

SCHEDULE OF EXTERNAL FINISHES



STEEL ROOFING (SR)



TIMBER CLADDING (TC)



HARDWOOD DETAILS (HW)



HARDWOOD DECKING (TD)



POLYCARBONATE ROOFING (PCR)



EXISTING BRICK (B-X)



TIMBER WINDOWS/DOORS

PAGE	DRAWING	DATE	REVISION
DA 1	1:200 SITE PLAN / SITE ANALYSIS	AUG 2025	S4.55 ISSUE
DA 2	1:100 LOWER GROUND FLOOR PLAN	AUG 2025	S4.55 ISSUE
DA 3	1:100 GROUND FLOOR PLAN	AUG 2025	S4.55 ISSUE
DA 4	1:100 FIRST FLOOR PLAN	AUG 2025	S4.55 ISSUE
DA 5	1:100 NORTH AND EAST ELEVATIONS	AUG 2025	S4.55 ISSUE
DA 6	1:100 SOUTH AND WEST ELEVATIONS	AUG 2025	S4.55 ISSUE
DA 7	1:100 SECTION AA	AUG 2025	S4.55 ISSUE
DA 8	1:200 DEMOLITION / EXISTING PLANS	JULY 2024	DA ISSUE
DA 9	1:200 EROSION AND SEDIMENT CONTROL PLAN	JULY 2024	DA ISSUE
DA 10	1:200 CONCEPT DRAINAGE PLAN	JULY 2024	DA ISSUE
DA 11	1:200 SHADOW DIAGRAMS	JULY 2024	S4.55 ISSUE
DA 12	1:200 LANDSCAPING / PRIVATE OPEN SPACE CALCULATION PLANS	AUG 2025	S4.55 ISSUE



CONTEXT



SITE

NOTES

FINISHES LEGEND

- SR STEEL ROOFING
- TC TIMBER CLADDING
- HW HARDWOOD
- TD HARDWOOD DECKING
- S PAINTED STEEL MEMBERS
- PCR POLYCARBONATE ROOFING
- C CONCRETE SLAB
- B-X EXISTING BRICK

GENERAL :

- EXISTING STRUCTURES TO BE DEMOLISHED SHOWN DOTTED RED
- ALL LEVELS IN ACCORDANCE WITH AHD
- ALL BUILDING WORK IN ACCORDANCE WITH BCA, COUNCIL CODES AND ALL RELEVANT AUSTRALIAN STANDARDS, INCLUDING, BUT NOT LIMITED TO :
- AS 1684 - LIGHT TIMBER FRAMING CODE
- AS 2047 - 2014 - SELECTION AND INSTALLATION OF WINDOWS
- AS 2870 -2011 - RESIDENTIAL SLABS AND FOOTINGS
- AS/NZS 3000 - 2018 - WIRING RULES
- AS/NZS 3500.5:2021 - PLUMBING AND DRAINAGE
- AS 3660.1 - 2014 - TERMITE MANAGEMENT
- AS 3700-2018 - MASONRY STRUCTURES
- AS 3740-2021 - WATERPROOFING OF WET AREAS
- AS 4100 - 2020 - STEEL STRUCTURES
- AS 1926.1 - 2012 - SWIMMING POOL SAFETY

BASIX SPECIFICATIONS

- WATER :
 - Showers : 3", Taps : 3", Toilets 3"
- OUTDOOR SWIMMING POOL:
 - Pool must be outdoors
 - Must not have a capacity greater than 24kL
 - Must install a pool cover and a pool pump timer
 - Must install a solar only heating system
- FIXTURES:
 - Showerheads <9L/min, or 3" water rating
 - Toilets <4L/flush, or min. 3" water rating
 - Taps <9L/min, or min. 3" water rating
- CONSTRUCTION:
 - External Walls: R1.30
 - Ceiling: R2.50 (up), roof: foil / sarking
 - Roof: Medium colour, absorptance 0.475 - 0.70
- ALL WINDOWS AND DOORS:
 - Timber or uPVC
 - U-Value: 5.71
 - SHGC: 0.66

- SITE INFORMATION :
 - LOT 6 in D.P. 17127
 - SITE AREA : 488.1 m2
 - LOCAL GOVERNMENT : NOTHERN BEACHES COUNCIL
 - ZONING R2 - LOW DENSITY RESIDENTIAL

S4.55 ISSUE

		REVISION	DATE	DESCRIPTION	BY	<div><div></div><div>INCIDENTAL ARCHITECTURE</div><div><small>THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS DO NOT SCALE OFF DRAWINGS. PRECEDENCE IS TO BE GIVEN TO WRITTEN DIMENSIONS. VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION REPORT ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY COPYRIGHT OF THIS DRAWING IS VESTED WITH THE ARCHITECT</small></div></div>	PROJECT BEKMANN HOUSE - 83 CROWN ROAD, QUEENSCLIFF <i>On the land of the Gadigal People</i>	DATE : AUG 2025	<div></div>
							DRAWING COVER SHEET & GENERAL NOTES	SCALE : NTS	

NOTES

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- Roof: Medium colour, absorbance 0.475 - 0.70

ALL WINDOWS AND DOORS:

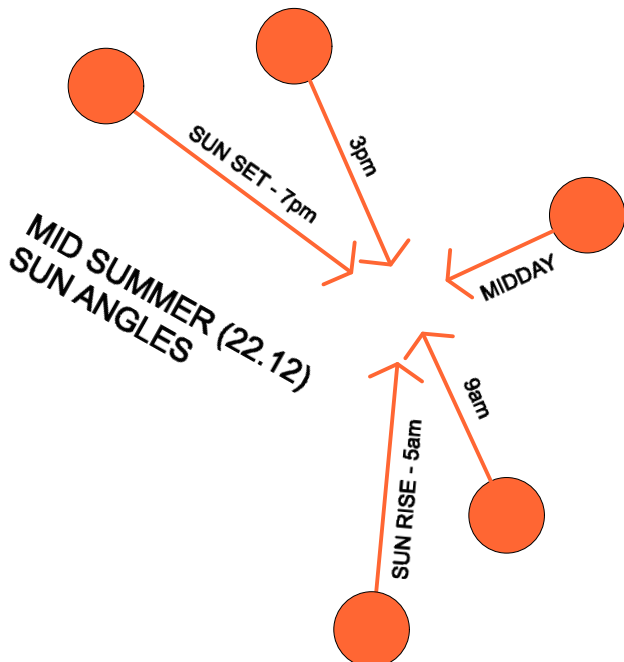
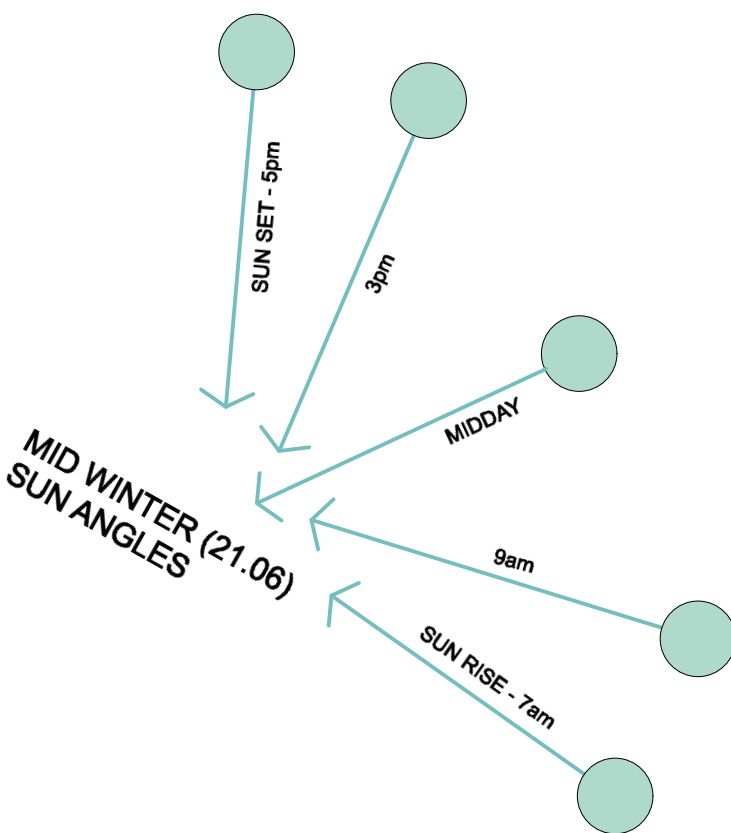
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- U-Value: 5.71
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STREET ADDRESS.
BUILDING TO PROVIDE LEGIBLE
ENTRY AND VISUAL SCREENING

EXPOSURE TO
COLD WINTER WIND FROM
SCREENED BY NEIGHBOUR

COLD SUMMER WIND
ASSOCIATED WITH RAIN
FRONTS SCREENED BY
TOPOGRAPHY

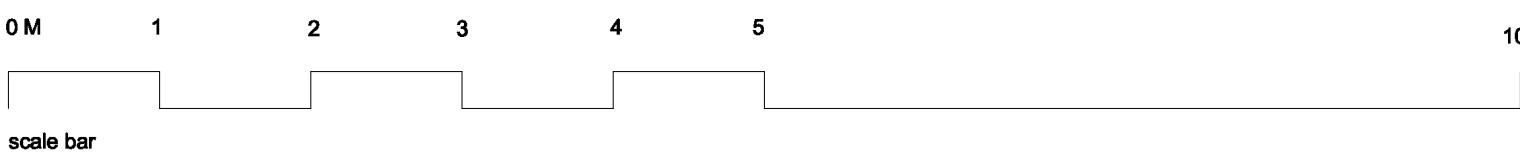
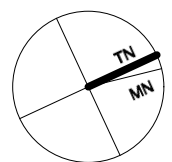
SEWER MAIN PLOTTED FROM
SYDNEY WATER DIAGRAM
APPROXIMATE POSITION ONLY



LEGEND

EXISTING WALLS TO BE RETAINED SHOWN BLACK
EXISTING STRUCTURE TO BE DEMOLISHED
PROPOSED MODIFICATIONS SHOWN PINK

DA1 - 01 SITE PLAN / ANALYSIS 1:100 @ A3



REVISION	DATE	DESCRIPTION	BY

INCIDENTAL
ARCHITECTURE

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Suite 1/6 Waratah St, Mona Vale NSW 2103
p : 8916 7357 e : info@incidentalarchitecture.com.au
Nominated Architect: Matthew Elkan NSW Reg # 6821

PROJECT: BEKMANN HOUSE - 83 CROWN
ROAD, QUEENSClIFF
On the land of the Gadigal People

DRAWING: SITE PLAN / ANALYSIS

DATE: AUG 2025

SCALE: 1:200 @ A3

DA1

SITE INFORMATION:
- LOT 6 in D.P. 17127
- SITE AREA: 488.1 m²
- LOCAL GOVERNMENT: NOTHERN BEACHES COUNCIL
- ZONING R2 - LOW DENSITY RESIDENTIAL

S4.55 ISSUE

NOTES

FINISHES LEGEND

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TD HARDWOOD DECKING
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C CONCRETE SLAB
B-X EXISTING BRICK

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- AS 4100 - 2020 - STEEL STRUCTURES
- AS 1926.1 - 2012 - SWIMMING POOL SAFETY

BASIX SPECIFICATIONS

WATER :
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OUTDOOR SWIMMING POOL:

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FIXTURES:

- Showerheads <9L/min, or 3" water rating
- Toilets <4L/flush, or min. 3" water rating
- Taps <9L/min, or min. 3" water rating

CONSTRUCTION:

- External Walls: R1.30
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- Roof: Medium colour, absorptance 0.475 - 0.70

ALL WINDOWS AND DOORS:

- Timber or uPVC
- U-Value: 5.71
- SHGC: 0.66

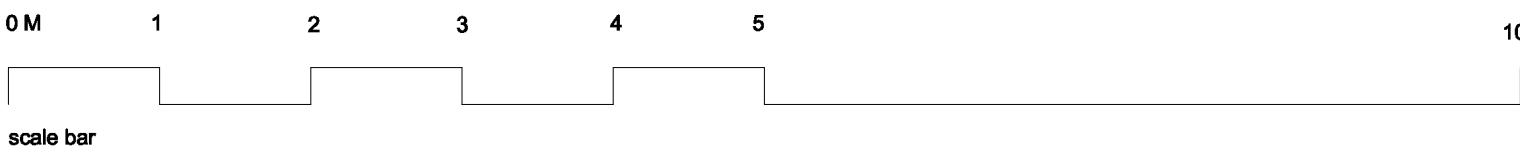
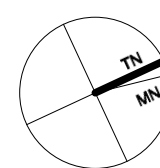
LEGEND

EXISTING WALLS TO BE RETAINED SHOWN BLACK
EXISTING STRUCTURE TO BE DEMOLISHED
NEW LIGHT WEIGHT WALLS

LEGEND

EXISTING WALLS TO BE RETAINED SHOWN BLACK
EXISTING STRUCTURE TO BE DEMOLISHED
PROPOSED MODIFICATIONS SHOWN PINK

DA2 - 01 LOWER GROUND FLOOR PLAN 1:100 @A3



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Nominated Architect: Matthew Elkan NSW Reg # 6821

PROJECT: BEKMANN HOUSE - 83 CROWN ROAD, QUEENSLIFF
On the land of the Gadigal People

DRAWING: BASEMENT FLOOR PLAN

AUG 2025

1:100 @ A3

DA2

SITE INFORMATION :
- LOT 6 in D.P. 17127
- SITE AREA : 486.1 m2
- LOCAL GOVERNMENT : NOTHERN BEACHES COUNCIL
- ZONING R2 - LOW DENSITY RESIDENTIAL

S4.55 ISSUE

NOTES

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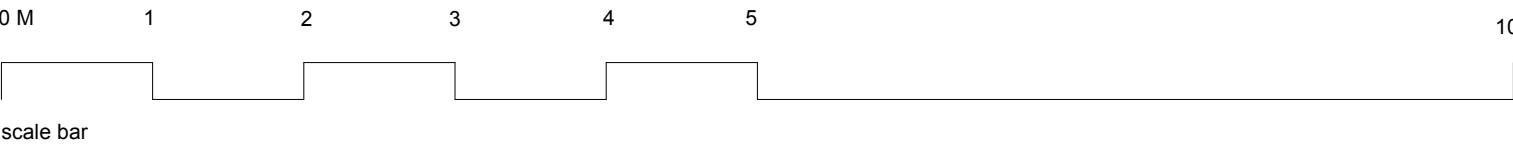
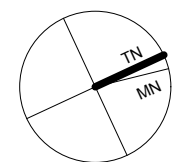
LEGEND

EXISTING WALLS TO BE RETAINED SHOWN BLACK
EXISTING STRUCTURE TO BE DEMOLISHED
NEW LIGHT WEIGHT WALLS
PROPOSED EXTENSION SHADED

LEGEND

EXISTING WALLS TO BE RETAINED SHOWN BLACK
EXISTING STRUCTURE TO BE DEMOLISHED
PROPOSED MODIFICATIONS SHOWN PINK

DA3 - 01 GROUND FLOOR PLAN 1:100 @ A3



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PROJECT: BEKMANN HOUSE - 83 CROWN
ROAD, QUEENSLIFF
On the land of the Gadigal People

DRAWING: GROUND FLOOR PLAN

AUG 2025

1:100 @ A3

DA3

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- SITE AREA : 488.1 m2
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S4.55 ISSUE

NOTES

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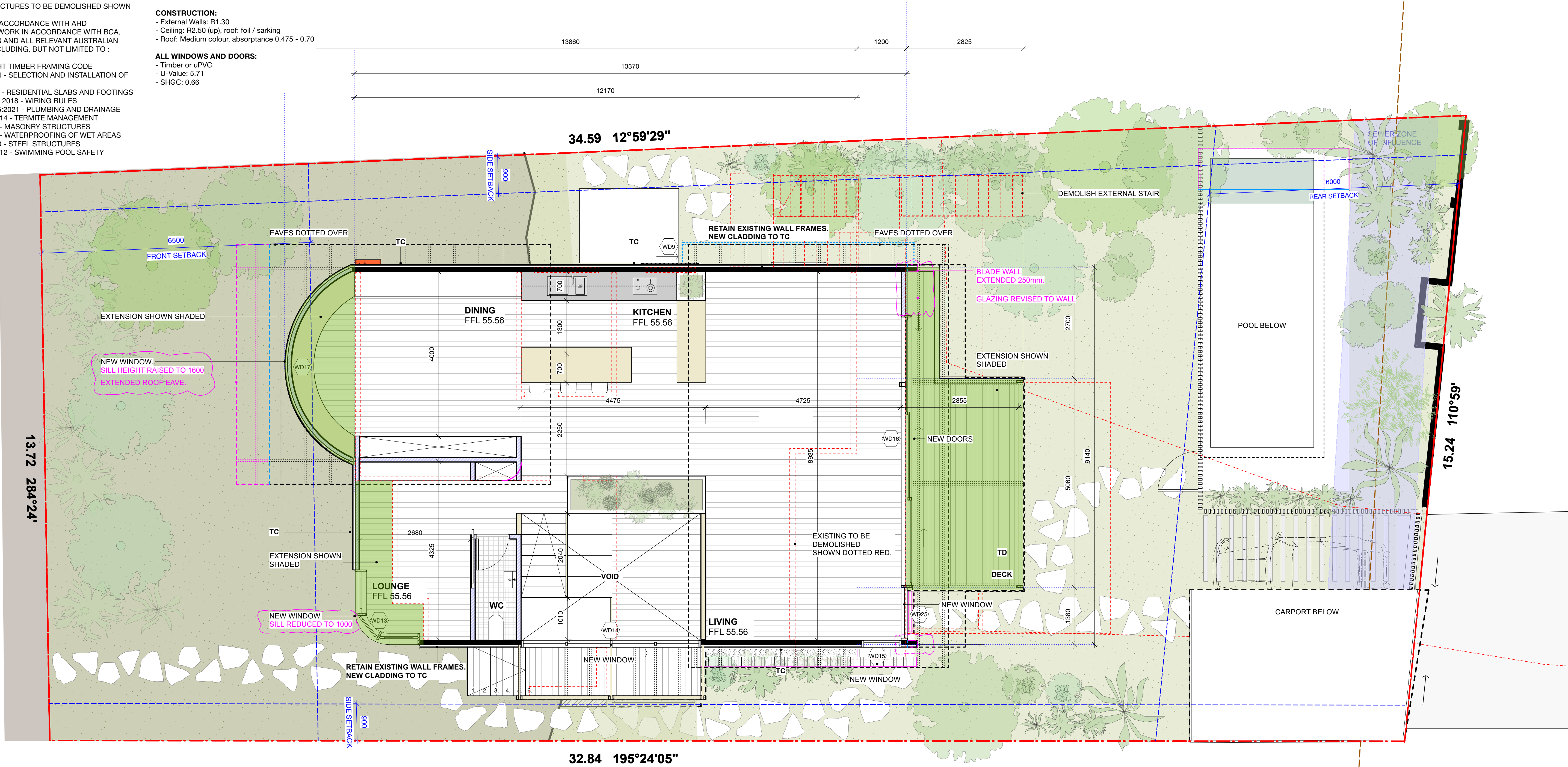
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LEGEND

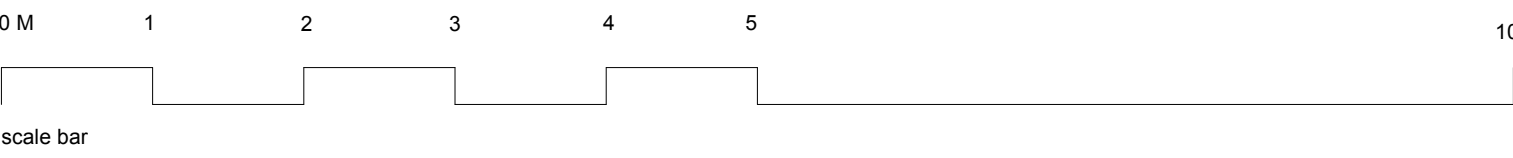
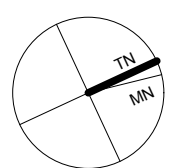
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LEGEND

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DA4 - 01 FIRST FLOOR PLAN 1:100 @ A3



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PROJECT: BEKMANN HOUSE - 83 CROWN
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DRAWING: FIRST FLOOR PLAN

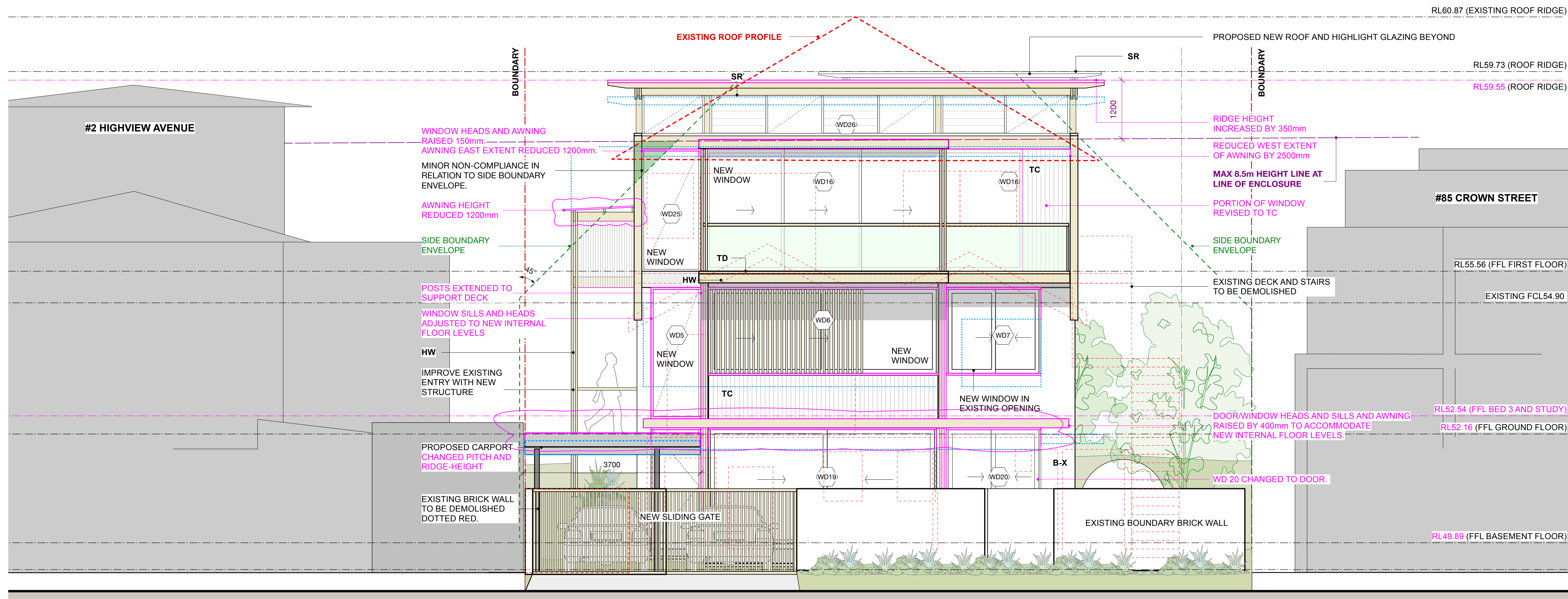
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S4.55 ISSUE

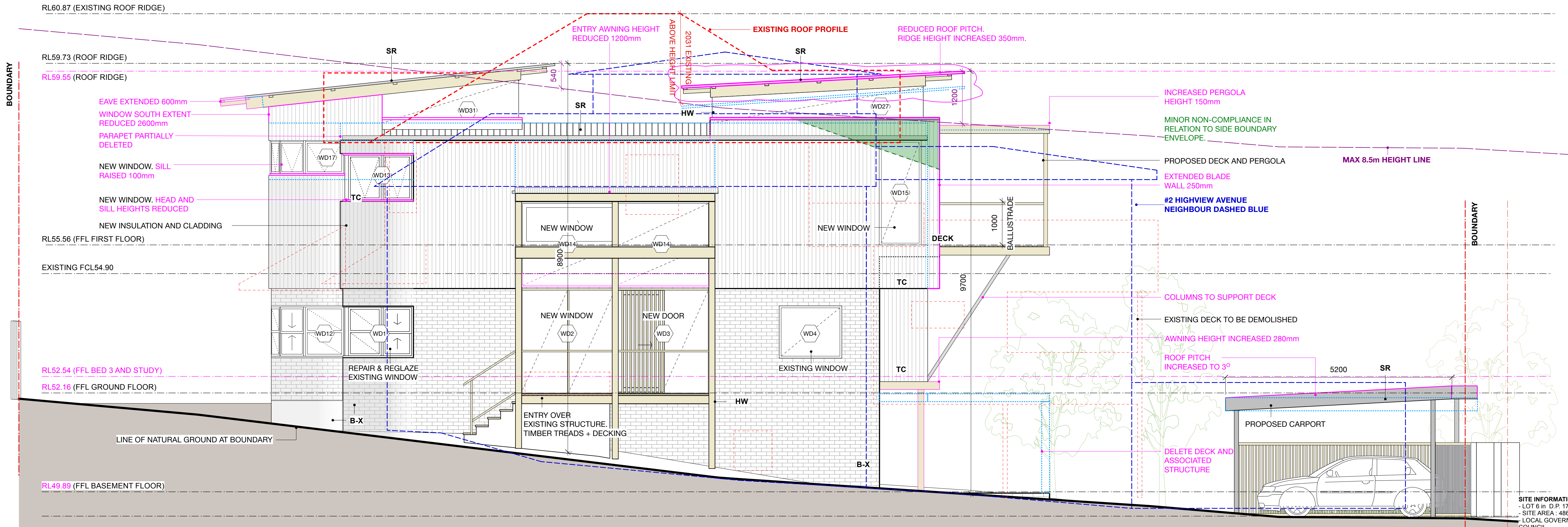
AUG 2025

1:100 @ A3

DA4



DA5 - 01 NORTH ELEVATION A 1:100 @ A3



DA5 - 01 EAST ELEVATION B 1:100 @ A3

NOTES

FINISHES LEGEND

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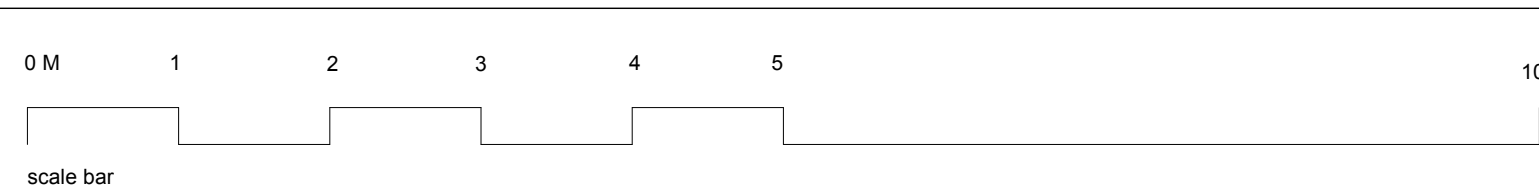
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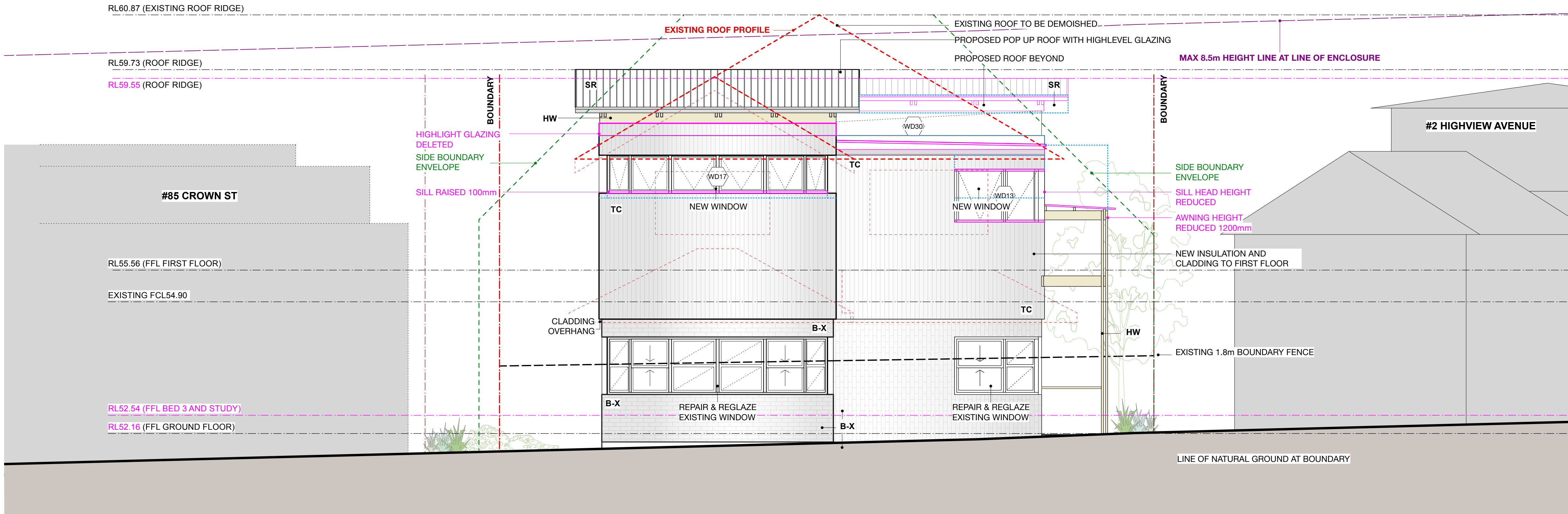
DRAWING: NORTH AND EAST ELEVATIONS

AUG 2025

1:100 @ A3

S4.55 ISSUE

DA5



DA6 - 01 SOUTH ELEVATION A 1:100 @ A3

NOTES

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 - AS 3740-2021 - WATERPROOFING OF WET AREAS
 - AS 4100 - 2020 - STEEL STRUCTURES
 - AS 1926.1 - 2012 - SWIMMING POOL SAFETY

BASIX SPECIFICATIONS

- WATER :
 - Showers : 3", Taps : 3", Toilets 3"

OUTDOOR SWIMMING POOL:

- Pool must be outdoors
- Must not have a capacity greater than 24kL
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FIXTURES:

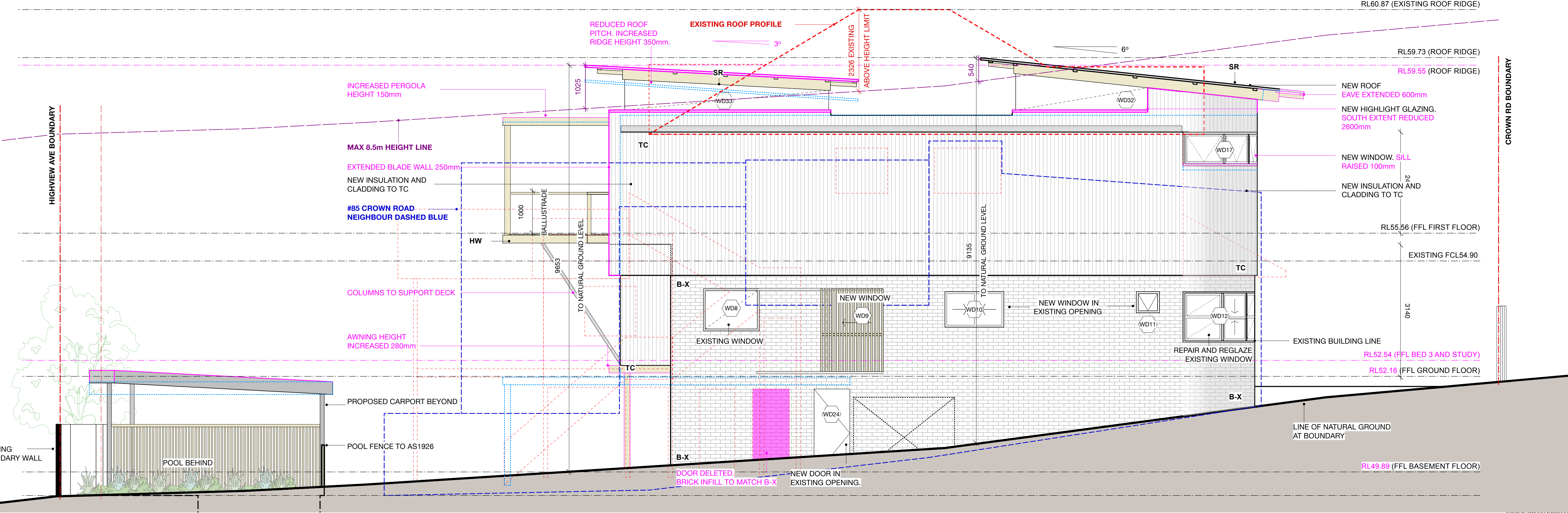
- Showerheads <9L/min, or 3" water rating
- Toilets <4L/flush, or min. 3" water rating
- Taps <9L/min, or min. 3" water rating

CONSTRUCTION:

- External Walls: R1.30
- Ceiling: R2.50 (up), roof: foil / sarking
- Roof: Medium colour, absorptance 0.475 - 0.70

ALL WINDOWS AND DOORS:

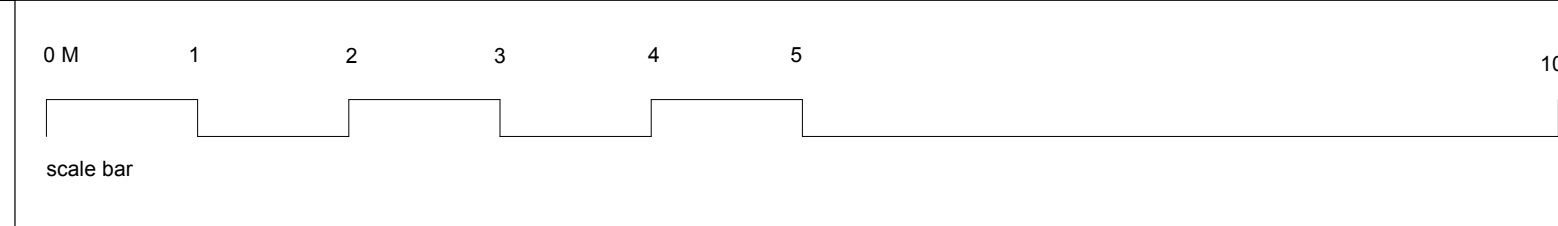
- Timber or uPVC
- U-Value: 5.71
- SHGC: 0.66



DA6 - 02 WEST ELEVATION B 1:100 @ A3

LOCAL GOVERNMENT: NORTHERN BEACHES COUNCIL
ZONING R2 - LOW DENSITY RESIDENTIAL

S4.55 ISSUE



REVISION	DATE	DESCRIPTION	BY

INCIDENTAL ARCHITECTURE

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Suite 1/6 Waratah St, Mona Vale NSW 2103
p : 8916 7357 e : info@incidentalarchitecture.com.au
Nominated Architect: Matthew Elkan NSW Reg # 6821

BEKMANN HOUSE - 83 CROWN ROAD, QUEENSLIFF
On the land of the Gadigal People

SOUTH AND WEST ELEVATIONS

AUG 2025

1:100 @ A3

DA6

NOTES

FINISHES LEGEND

SR STEEL ROOFING
TC TIMBER CLADDING
HW HARDWOOD
TD HARDWOOD DECKING
S PAINTED STEEL MEMBERS
PCR POLYCARBONATE ROOFING
C CONCRETE SLAB
B-X EXISTING BRICK

GENERAL :

- EXISTING STRUCTURES TO BE DEMOLISHED SHOWN DOTTED RED
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- AS/NZS 3500.5:2021 - PLUMBING AND DRAINAGE
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- Taps <9L/min, or min. 3" water rating

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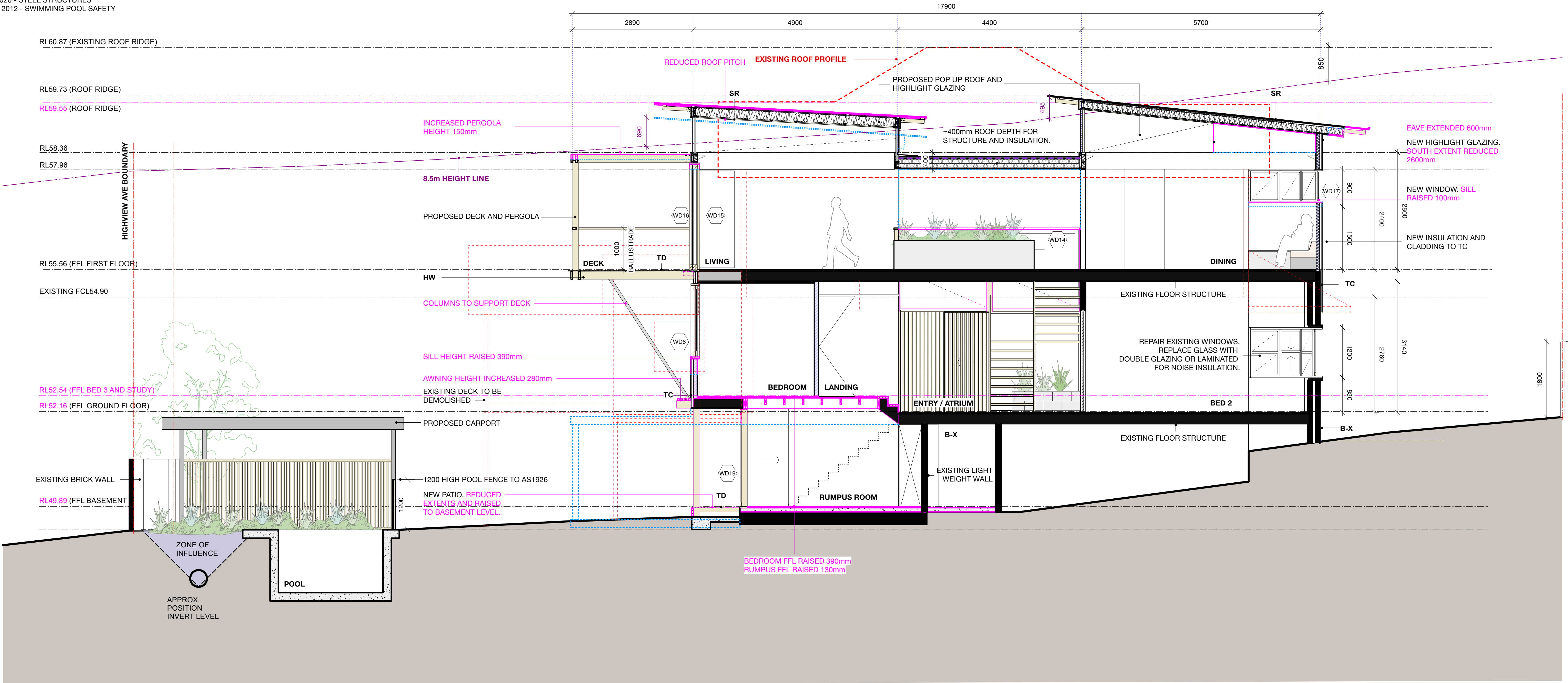
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- Roof: Medium colour, absorptance 0.475 - 0.70

ALL WINDOWS AND DOORS:

- Timber or uPVC
- U-Value: 5.71
- SHGC: 0.66

LEGEND

EXISTING WALLS TO BE RETAINED SHOWN BLACK
EXISTING STRUCTURE TO BE DEMOLISHED
NEW LIGHT WEIGHT WALLS



DA7 - SECTION AA 1:100 @ A3

SITE INFORMATION :
- LOT 6 in D.P. 17127
- SITE AREA : 488.1 m2
- LOCAL GOVERNMENT : NOTHERN BEACHES COUNCIL
- ZONING R2 - LOW DENSITY RESIDENTIAL

S4.55 ISSUE

INCIDENTAL
ARCHITECTURE

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BEKMANN HOUSE - 83 CROWN
ROAD, QUEENSClIFF
On the land of the Gadigal People

SECTION AA

AUG 2025

1:100 @ A3

DA7

NOTES

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TC TIMBER CLADDING
HW HARDWOOD
TD HARDWOOD DECKING
S PAINTED STEEL MEMBERS
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CONSTRUCTION:

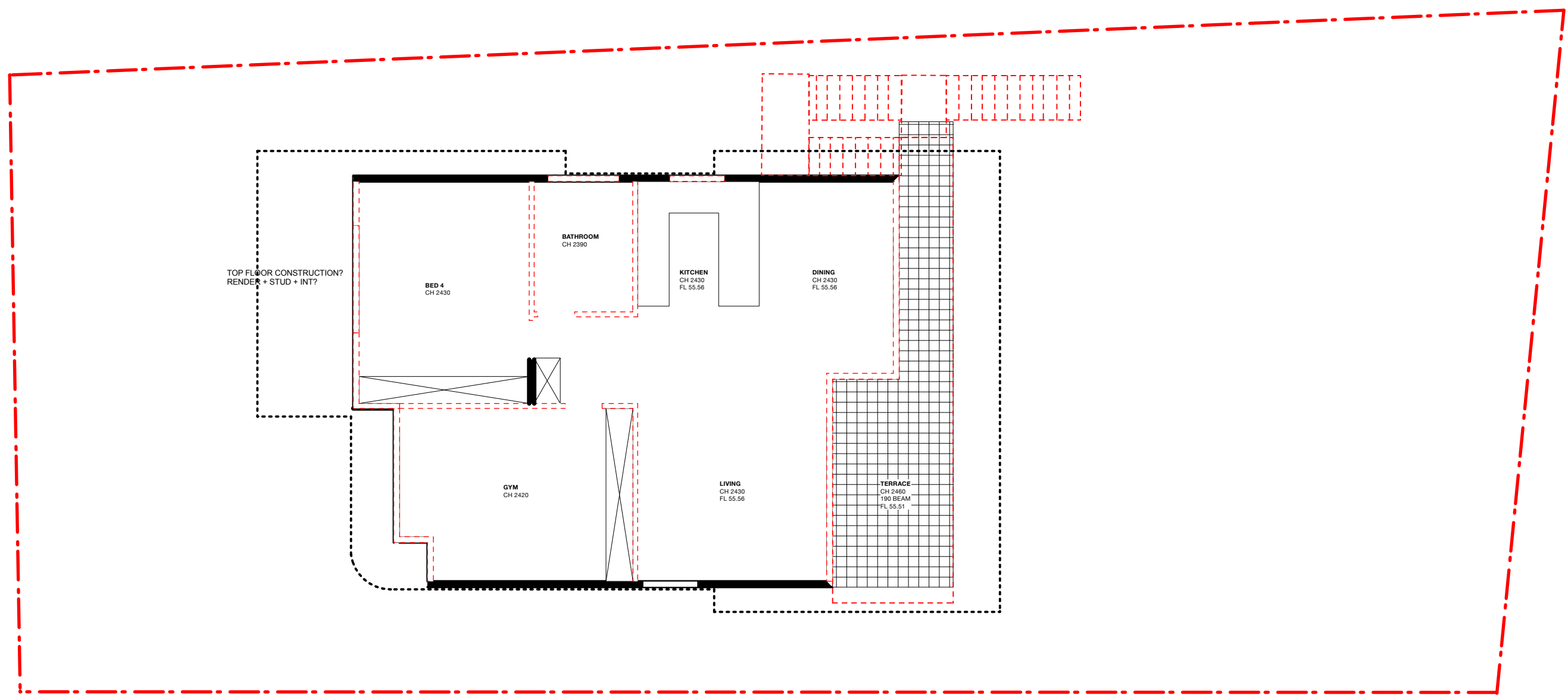
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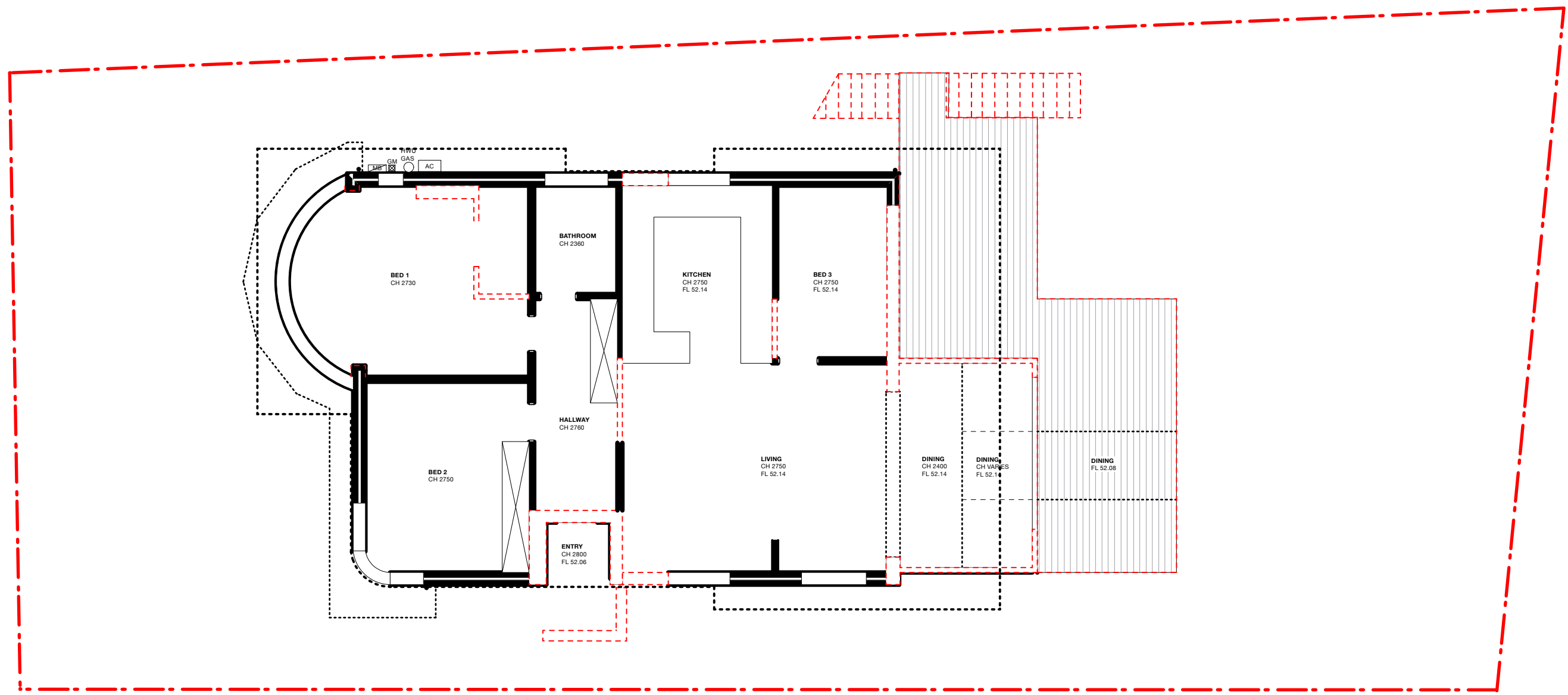
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LEGEND

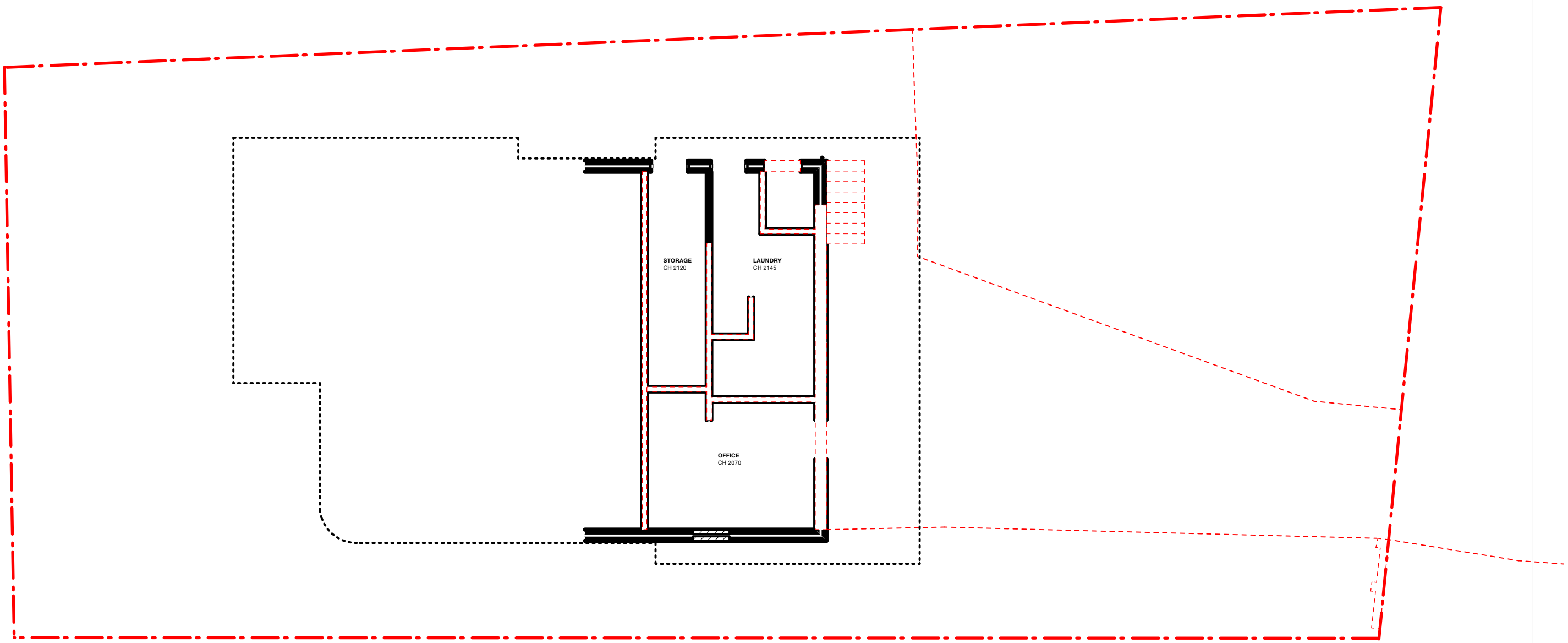
--- SITE BOUNDARY
--- EXISTING WALLS TO BE RETAINED
--- EXISTING STRUCTURE TO BE DEMOLISHED



DA8 - 01 DEMOLITION / EXISTING FIRST FLOOR PLAN 1:200



DA8 - 02 DEMOLITION / EXISTING GROUND FLOOR PLAN 1:200



DA8 - 03 DEMOLITION / EXISTING LOWER GROUND FLOOR PLAN 1:200

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S4.55 ISSUE

NOTES

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TC	TIMBER CLADDING
HW	HARDWOOD
TD	HARDWOOD DECKING
S	PAINTED STEEL MEMBERS
PCR	POLYCARBONATE ROOFING
C	CONCRETE SLAB
B-X	EXISTING BRICK

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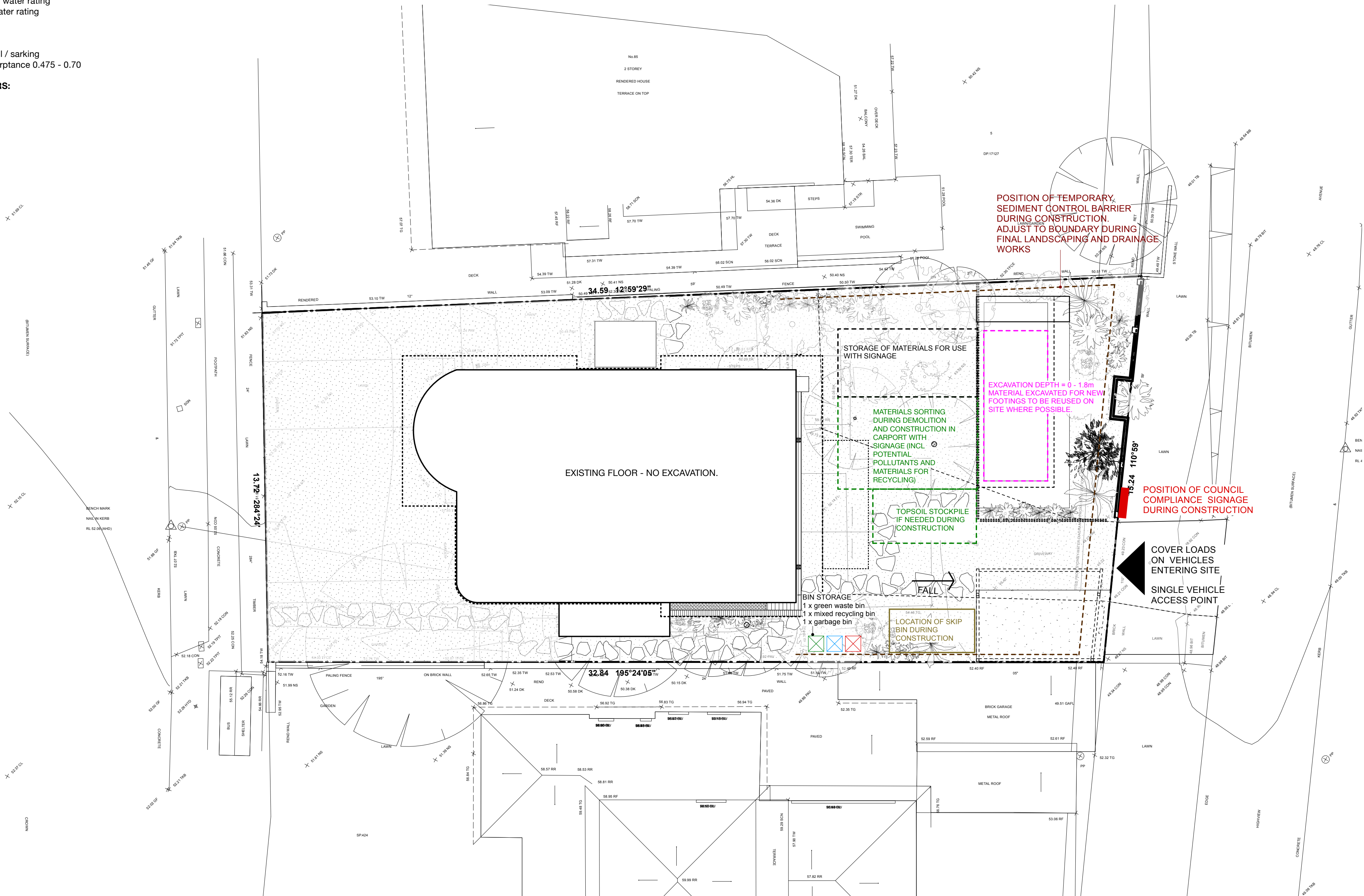
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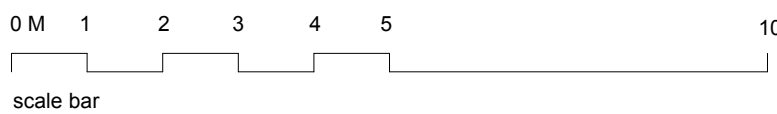
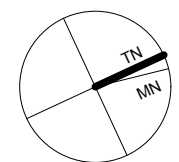
- Timber or uPVC
- U-Value: 5.71
- SHGC: 0.66



DA9 - 01 EROSION AND SEDIMENT CONTROL PLAN / WASTE MANAGEMENT PLAN 1:200

SITE INFORMATION :
- LOT 6 in D.P. 17127
- SITE AREA : 488.1 m2
- LOCAL GOVERNMENT : NOTHERN BEACHES COUNCIL
- ZONING R2 - LOW DENSITY RESIDENTIAL

S4.55 ISSUE



REVISION	DATE	DESCRIPTION	BY



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p : 8916 7357 e : info@incidentalarchitecture.com.au
Nominated Architect: Matthew Elkan NSW Reg # 6821

PROJECT: BEKMANN HOUSE - 83 CROWN ROAD, QUEENSCLIFF
On the land of the Gadigal People

DRAWING: EROSION AND SEDIMENT CONTROL PLAN
WASTE MANAGEMENT PLAN

JULY 2024

1:200 @ A3

DA9

NOTES

FINISHES LEGEND

SR STEEL ROOFING
TC TIMBER CLADDING
HW HARDWOOD
TD HARDWOOD DECKING
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NOTE:
ON-SITE DETENTION NOT REQUIRED FOR ALTERATIONS AND ADDITIONS.

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- U-Value: 5.71
- SHGC: 0.66

SEWER MAIN PLOTTED FROM SYDNEY WATER DIAGRAM APPROXIMATE POSITION ONLY

ALL STORMWATER TO FLOW DOWNHILL TO HIGHVIEW AVENUE AS PER EXISTING.

NO ADDITIONAL DEMAND ON ROOF WATER COLLECTION

CONNECT SEWER LINE TO EXISTING JUNCTION

POOL WASTEWATER / BACKWASH TO BE CONNECTED TO SEWER

ALL STORMWATER TO FLOW DOWNHILL TO HIGHVIEW AVENUE AS PER EXISTING.

NO ADDITIONAL DEMAND ON ROOF WATER COLLECTION

LEGEND

STORMWATER

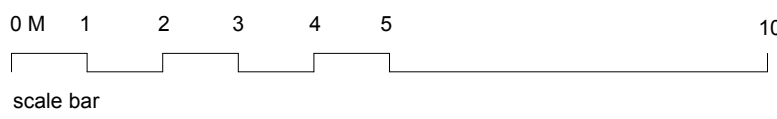
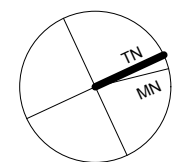
SEWER

NB: DRAINAGE LINES INDICATIVE ONLY

DA10 - 01 CONCEPT DRAINAGE PLAN 1:200

SITE INFORMATION :
- LOT 6 in D.P. 17127
- SITE AREA : 488.1 m2
- LOCAL GOVERNMENT : NOTHERN BEACHES COUNCIL
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S4.55 ISSUE



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Nominated Architect: Matthew Elkan NSW Reg # 6821

PROJECT: BEKMANN HOUSE - 83 CROWN ROAD, QUEENSClIFF
On the land of the Gadigal People

DRAWING: CONCEPT DRAINAGE PLAN

DATE: JULY 2024

SCALE: 1:200 @ A3

PAGE: 10

DA10

NOTES

FINISHES LEGEND

SR STEEL ROOFING
TC TIMBER CLADDING
HW HARDWOOD
TD HARDWOOD DECKING
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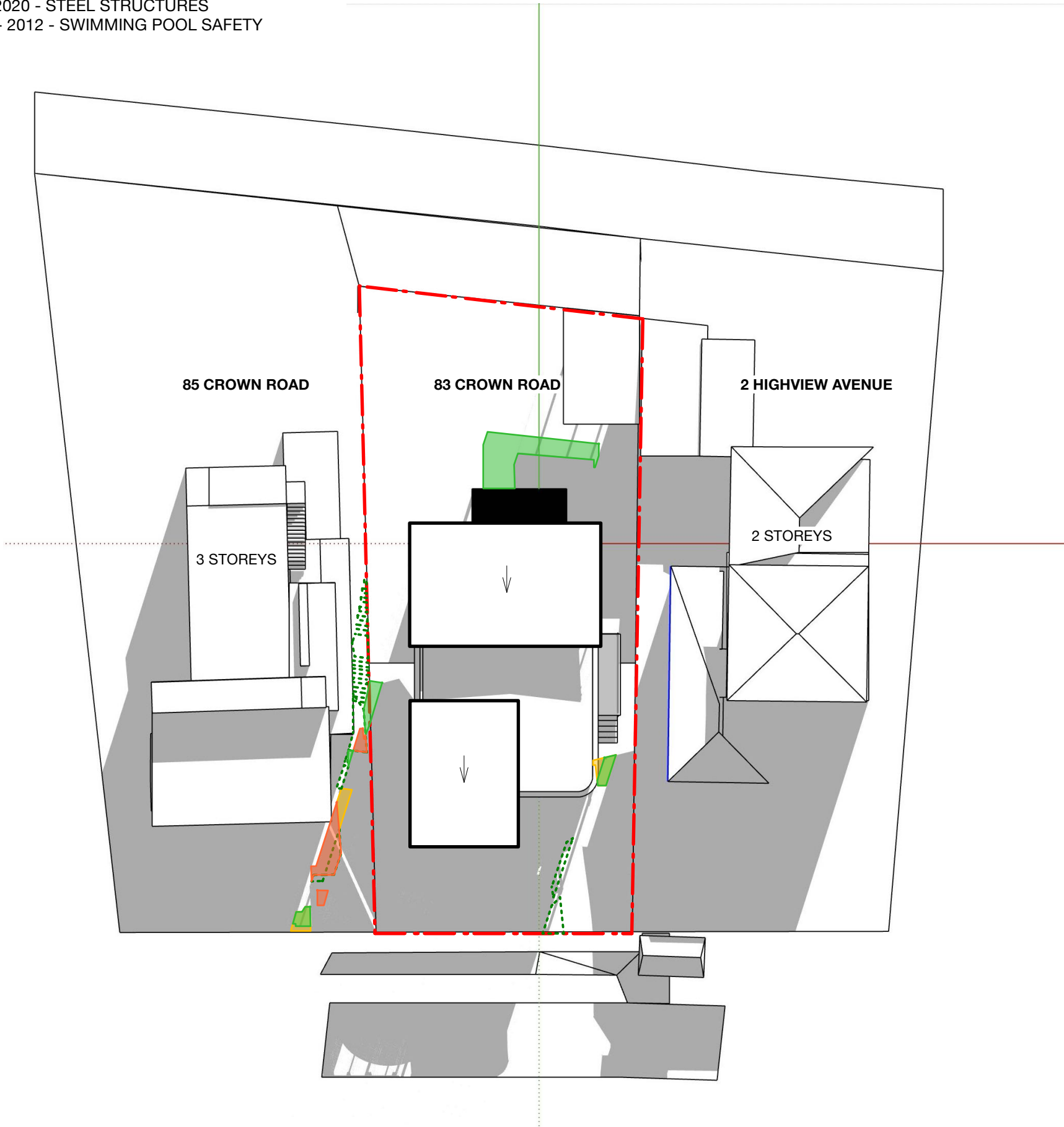
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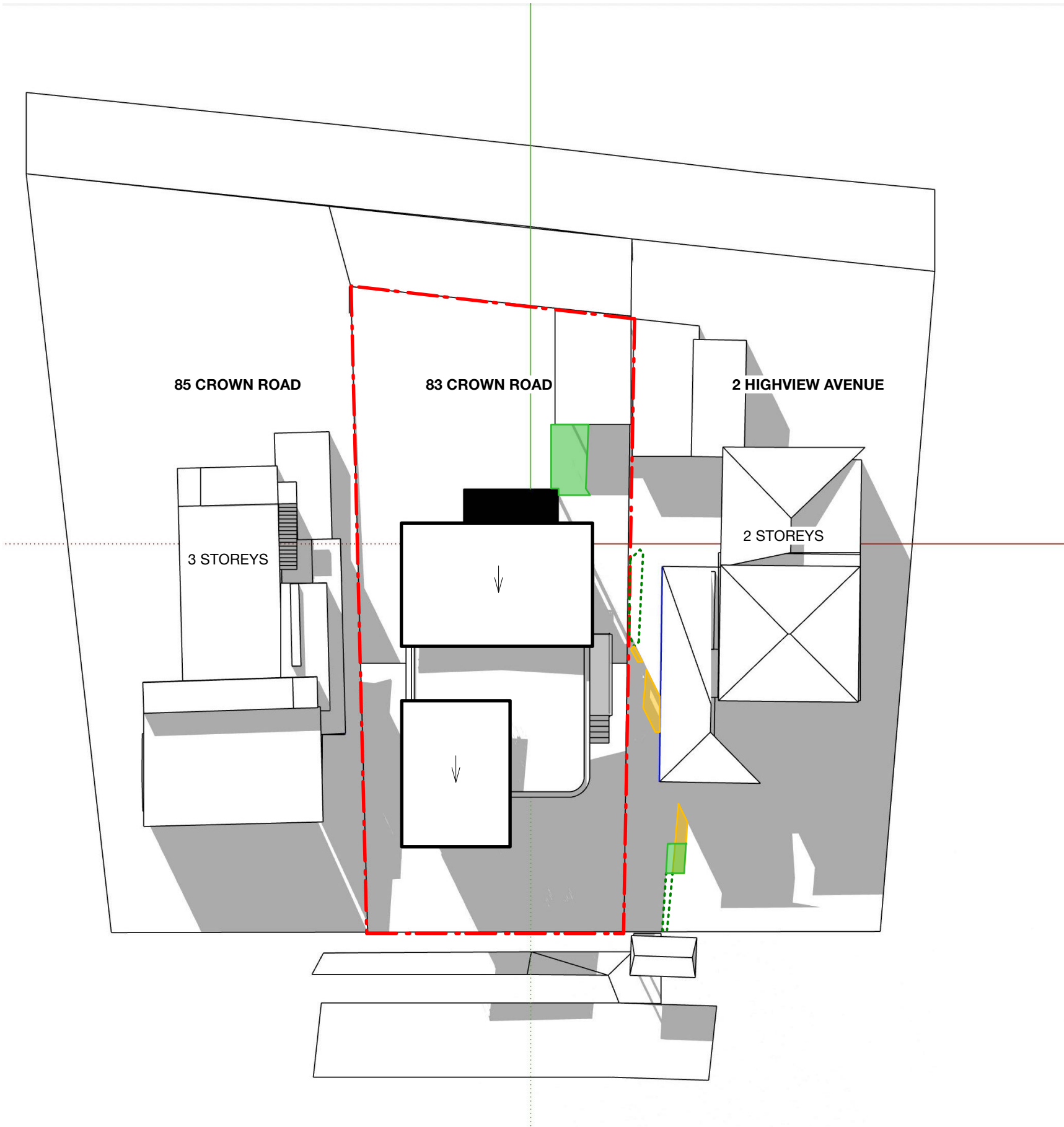
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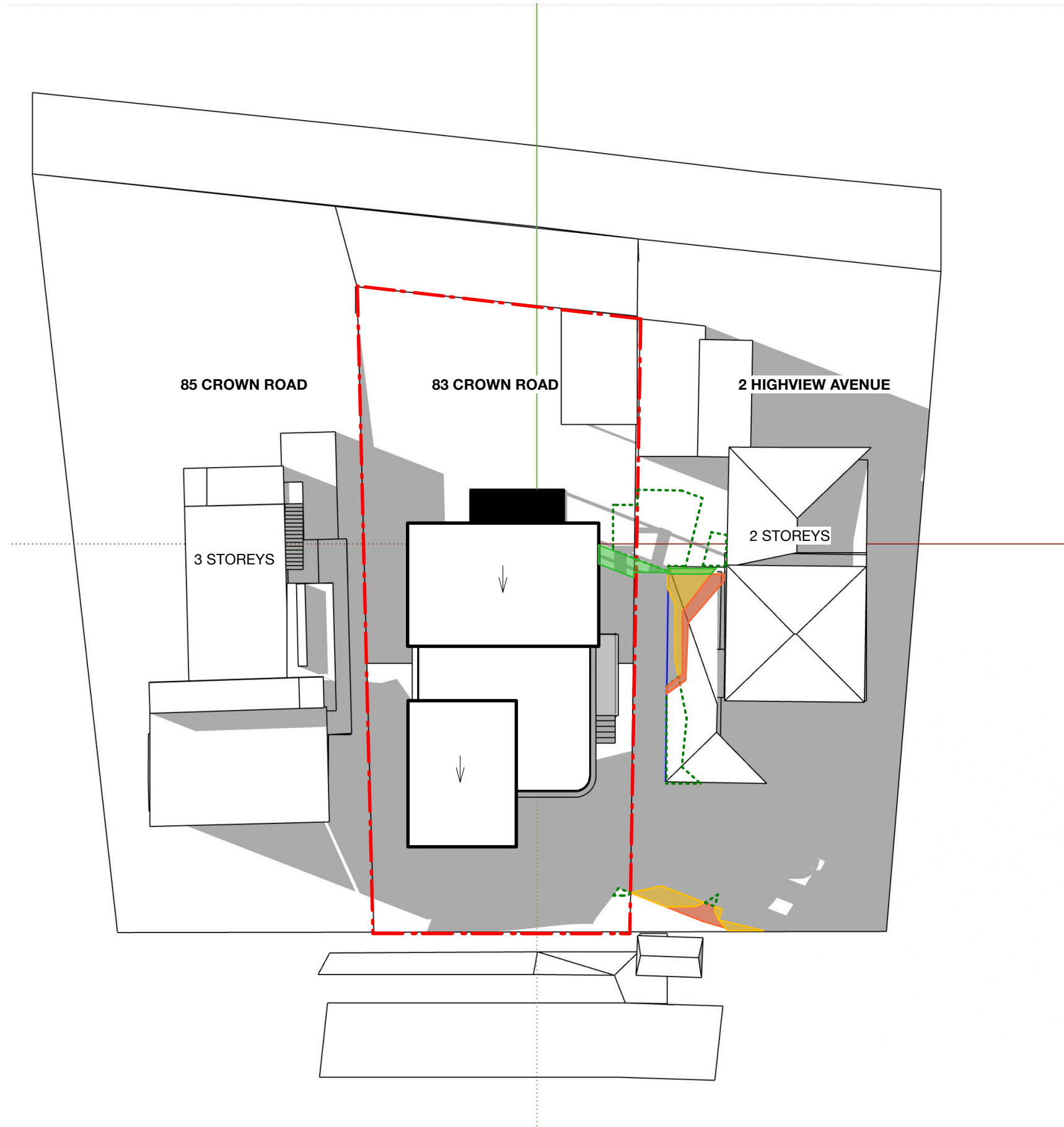
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21ST JUNE 9AM



21ST JUNE 12PM



21ST JUNE 3PM

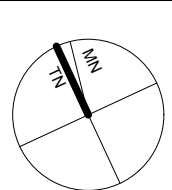
LEGEND

- - - SITE BOUNDARY
- - - SHADOW REDUCTION FROM EXISTING DWELLING
- - - APPROVED DA SHADOW
- - - SHADOW REDUCTION FROM DA
- - - NEW PROPOSAL SHADOW

DA11 - 01 SHADOW DIAGRAMS WINTER 1:500

SITE INFORMATION :
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ROAD, QUEENSCLIFF
On the land of the Gadigal People

DRAWING: SHADOW DIAGRAMS

DATE: AUG 2025

SCALE: 1:200 @ A3

DA11

NOTES

FINISHES LEGEND

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TC	TIMBER CLADDING
HW	HARDWOOD
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C	CONCRETE SLAB
B-X	EXISTING BRICK

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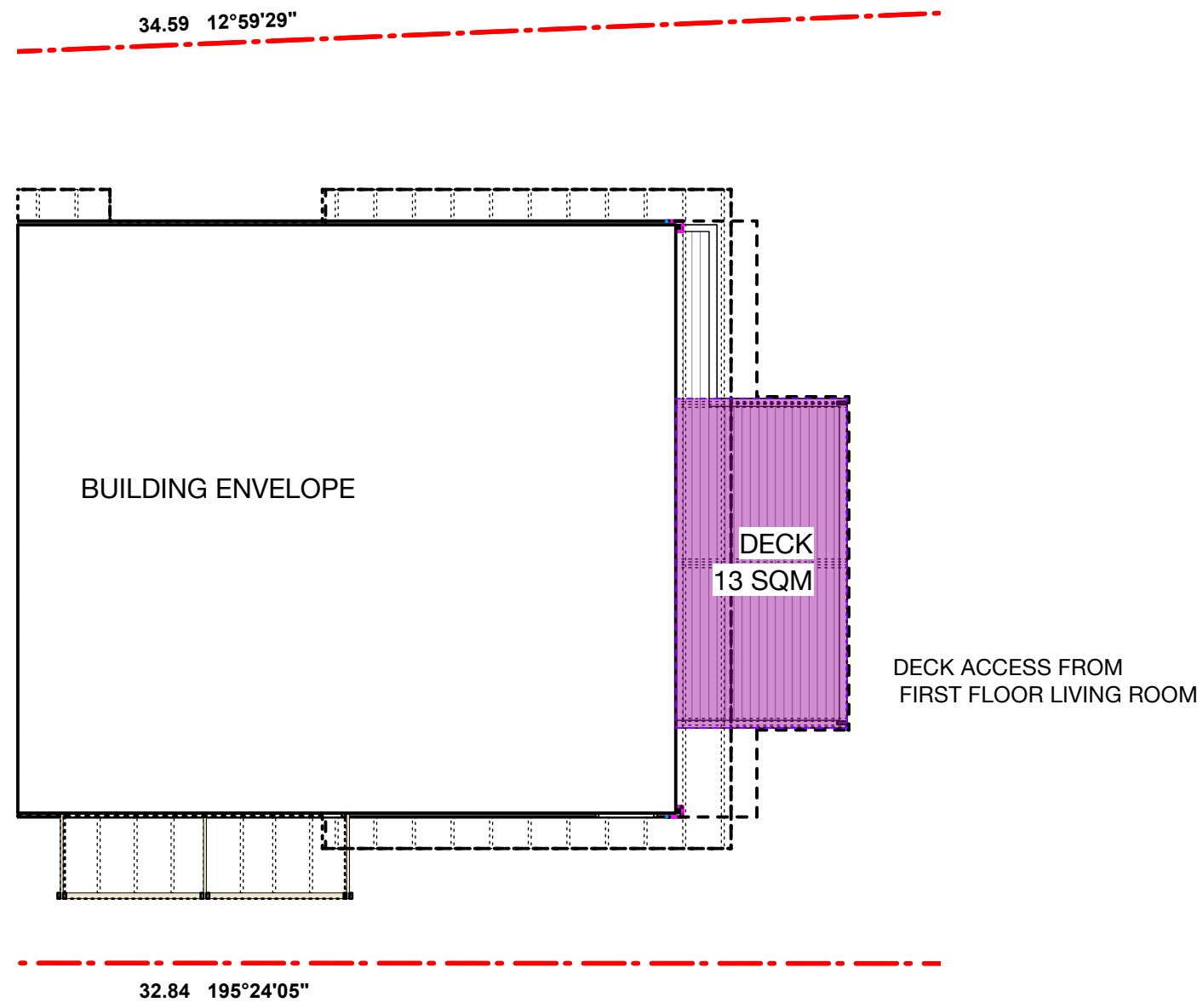
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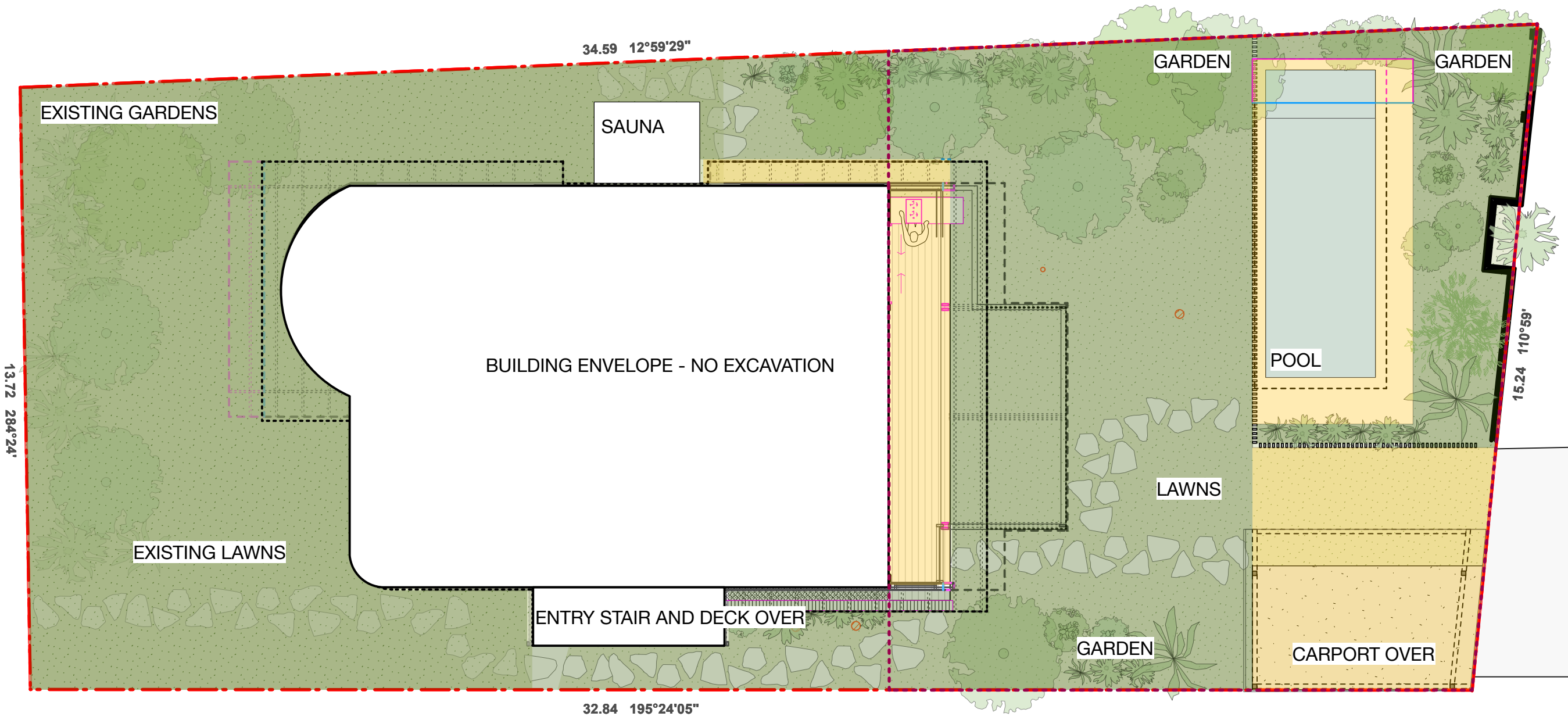
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LEGEND

	SITE BOUNDARY
	PROPOSED HARD LANDSCAPING AREA
	SOFT LANDSCAPING
	PRIVATE OPEN SPACE



DA12 - 02 PRIVATE OPEN SPACE AREA CALCULATION FIRST FLOOR PLAN 1:200



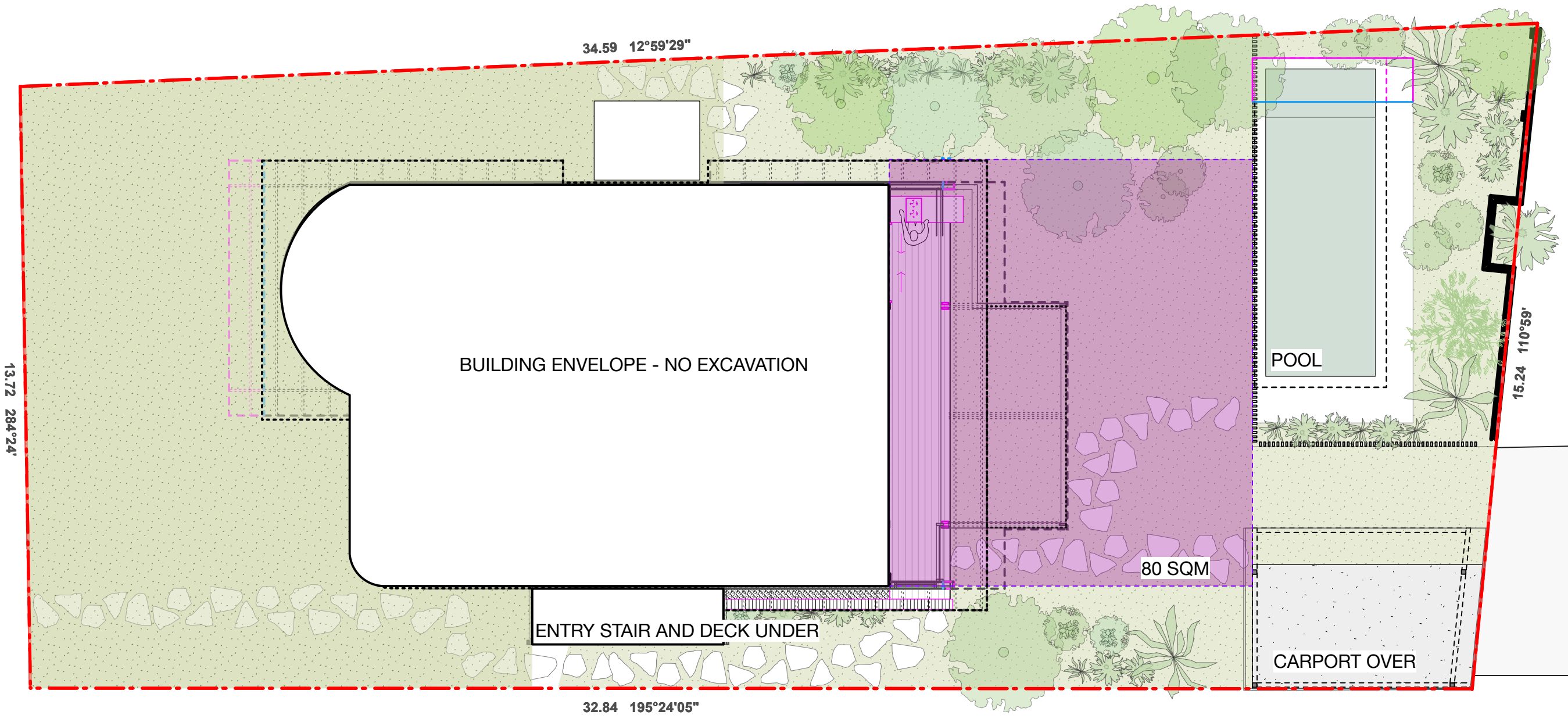
DA12 - 01 SOFT LANDSCAPING AREA CALCULATION PLAN 1:200

SOFT LANDSCAPING AREA CALCULATION

SITE AREA:	486.1 m2
MINIMUM SOFT LANDSCAPING AREA: 40% OF SITE AREA AS PER Warringah DCP 2011	194.44 m2
PROPOSED SOFT LANDSCAPING AREA:	278 m2 (269 PREVIOUSLY)
COMPLIANT (Y/N)	YES

SOFT LANDSCAPING AT STREET FRONTAGE AREA CALCULATION

SITE AREA FORWARD OF BUILDING LINE:	207.9 m2
MINIMUM SOFT LANDSCAPING AREA: 50% OF SITE FRONTAGE AREA FORWARD OF BUILDING LINE	103.95 m2
PROPOSED SOFT LANDSCAPING AREA FORWARD OF BUILDING LINE	123.5 m2
COMPLIANT (Y/N)	YES



DA12 - 03 PRIVATE OPEN SPACE AREA CALCULATION LOWER GROUND PLAN 1:200

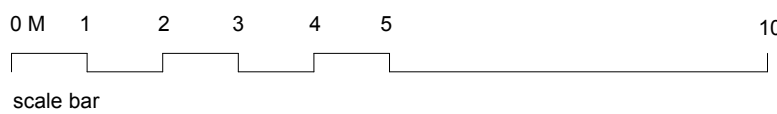
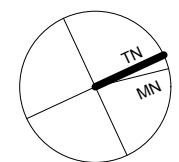
ACCESS FROM LOWER GROUND RUMPUS ROOM

PRIVATE OPEN SPACE AREA CALCULATION

SITE AREA :	486.1 m2
MINIMUM PRIVATE OPEN SPACE AREA REQUIRED:	60 m2
PROPOSED PRIVATE OPEN LOWER GROUND FLOOR SPACE AREA :	80 m2
PROPOSED PRIVATE OPEN FIRST FLOOR SPACE AREA :	13 m2
TOTAL:	93 m2
COMPLIANT (Y/N)	YES

SITE INFORMATION :
- LOT 6 in D.P. 17127
- SITE AREA : 486.1 m2
- LOCAL GOVERNMENT : NOTHERN BEACHES COUNCIL
- ZONING R2 - LOW DENSITY RESIDENTIAL

S4.55 ISSUE



REVISION	DATE	DESCRIPTION	BY



THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS
DO NOT SCALE OFF DRAWINGS. PRECEDENCE IS TO BE GIVEN TO WRITTEN DIMENSIONS. VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION
REPORT ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY
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Suite 1/6 Waratah St, Mona Vale NSW 2103
p : 8916 7357 e : info@incidentalarchitecture.com.au
Nominated Architect: Matthew Elkan NSW Reg # 6821

PROJECT: BEKMANN HOUSE - 83 CROWN ROAD, QUEENSCLIFF
On the land of the Gadigal People

DRAWING: LANDSCAPE & PRIVATE OPEN SPACE AREA CALCULATION PLAN

DATE: AUG 2025

SCALE: 1:200 @ A3

DA 12