

---

**From:** Michael Haynes  
**Sent:** 19/11/2025 2:08:52 PM  
**To:** Council Northernbeaches Mailbox  
**Cc:** Brittany Harrison  
**Subject:** DA2025/1552 - Proposed development at 3A Beach Road, Newport - Coates Submission  
**Attachments:** Submission to DA2025-1552 - Coates.pdf;

Dear Council,  
Please see submission attached relating to the subject DA and property.

Kind Regards

**Michael Haynes**

Director



**Town Planners**

Telephone: [REDACTED]

Mobile: [REDACTED]

19 November 2025

Chief Executive Officer  
Northern Beaches Council  
Attention: Ms Brittany Harrison

**SUBMISSION from 198 Barrenjoey Road, Newport  
Proposed development at 3A Beach Road, Newport  
DA2025/1552**

Dear Sir / Madam,

This submission is made on behalf of my clients', the property owners at 198 Barrenjoey Road, Newport, Damien and Emily Coates.

My clients' property is directly behind, to the west of the subject site at 3A Beach Road and enjoys coastal views over the property.

My clients are generally supportive of the development of the subject site for a dwelling house. However, they are concerned about the proposal's potential to impact on their highly valued coastal views. Their property enjoys significant ocean, beach, and headland views from several valued living spaces, including the ground floor main living level, first floor main bedroom and ensuite bathroom, and lower ground floor secondary living room and covered deck [floor plans depicted in figures 1-3].

Building height profiles are requested; the reasons for which are summarised below.

**1 Consideration of the DA – insufficient assessment of view sharing**

We have reviewed the development application and the submissions that it makes regarding view sharing within Section 5.3 [C1.3 view sharing] of the Statement of Environmental Effects. We identify the following shortcomings with the information:

Reference is made to height poles that have been erected at some time in the past; it's unclear when; the poles are not currently in place. The poles are shown in 'View Photos 3, 4, and 5. However, the height and location of these poles is not communicated on the plans or verified by a surveyor. They cannot be relied upon to determine the proposals view impact.

The Statement of Environmental Effects refers to the assessment of the potential view sharing impact from the properties at 3, 5, 7, and 9 Beach Road. However, it excludes assessment, from our clients' property at 198 Barrenjoey Road, which is located directly to the west of the site [Figure 5]. 'View Photo 2' includes a photo from the living room of 198 Barrenjoey Road. However, this is just a photo taken from a real estate website without any observations, assessment, or conclusions regarding the proposal's view impact from this level. My client's property includes several key living areas from which coastal views are enjoyed in addition to the living area depicted in this photograph.

For these reasons we request that height profiles be erected, verified by a surveyor, my clients be given further opportunity to consider the impact on their highly valued views, and, if required, make further submissions regarding this aspect to the development application.

## **2 Context and character of coastal views**

My client's key concerns relate to the positions of the northeastern corner [where there are sightlines towards Bungan Beach's northern headland] and eastern most roof edge of the proposed building / roofline. The extent to which the proposed building projects in an easterly direction has the potential to impact upon the foredune, beach and land / water interface views from the identified living areas within 198 Barrenjoey Road.

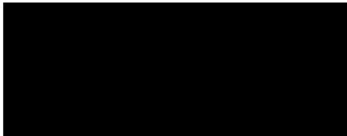
Given the quality of these views and that the DA proposes building heights above 8.5m, it is incumbent on the applicant to demonstrate that the provisions of Clause 4.3 2(D) are met and the objectives of LEP Clause 4.3 – Height of Buildings have been satisfied, including objective (d) which states '*to allow for the reasonable sharing of views*'. The DA does not provide this evidence and therefore verified height profiles, in our opinion, are required to address this matter.

## **3 Conclusion**

We appreciate Councils' consideration of these matters and requests and look forward to Councils' response.

Please don't hesitate to contact me [REDACTED] if you wish to clarify any of these matters.

Yours sincerely,



Michael Haynes  
**Director - BBF Town Planners**





**Figure 1 - site plan of 198 (source: XXXX)**



**Figure 2 - First floor, coastal views are enjoyed from the main bedroom and adjacent ensuite bathroom**



Figure 3 – Ground floor, coastal views are enjoyed from the main living level

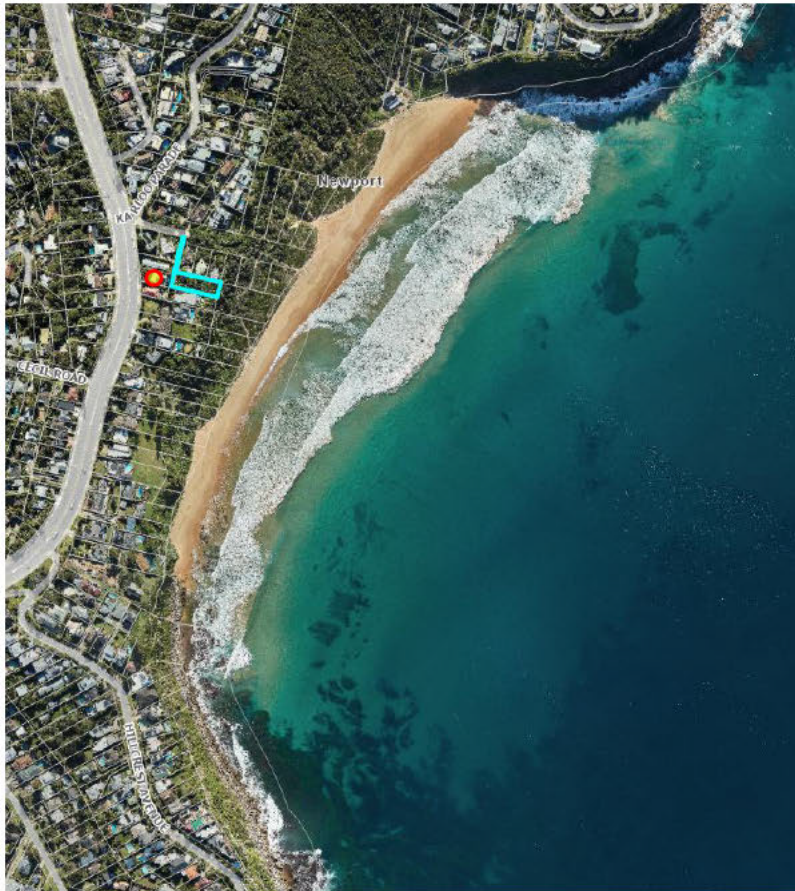


Figure 4 – lower ground floor, coastal views are enjoyed from the secondary living room and covered deck which connects to the swimming pool and terrace [see figure 1]





**Figure 5 – 198 Barrenjoey Road, Newport is directly behind, to the west of the subject site with coastal views over the property**



**Figure 6 – nature and scope of beach / coastal views available to the east**