

NOTES

FINISHES LEGEND

SR STEEL ROOFING
TC TIMBER CLADDING
HW HARDWOOD
TD HARDWOOD DECKING
S PAINTED STEEL MEMBERS
PCR POLYCARBONATE ROOFING
C CONCRETE SLAB
B-X EXISTING BRICK

GENERAL :

- EXISTING STRUCTURES TO BE DEMOLISHED SHOWN DOTTED RED
- ALL LEVELS IN ACCORDANCE WITH AHD
- ALL BUILDING WORK IN ACCORDANCE WITH BCA, COUNCIL CODES AND ALL RELEVANT AUSTRALIAN STANDARDS, INCLUDING, BUT NOT LIMITED TO :

- AS 1684 - LIGHT TIMBER FRAMING CODE
- AS 2047 - 2014 - SELECTION AND INSTALLATION OF WINDOWS
- AS 2870 - 2011 - RESIDENTIAL SLABS AND FOOTINGS
- AS/NZS 3000 - 2018 - WIRING RULES
- AS/NZS 3500.5:2021 - PLUMBING AND DRAINAGE
- AS 3680.1 - 2014 - TERMITE MANAGEMENT
- AS 3700-2018 - MASONRY STRUCTURES
- AS 3740-2021 - WATERPROOFING OF WET AREAS
- AS 4100 - 2020 - STEEL STRUCTURES
- AS 1926.1 - 2012 - SWIMMING POOL SAFETY

BASIX SPECIFICATIONS

WATER :

- Showers : 3", Taps : 3", Toilets 3"

OUTDOOR SWIMMING POOL:

- Pool must be outdoors
- Must not have a capacity greater than 24kL
- Must install a pool cover and a pool pump timer
- Must install a solar only heating system

FIXTURES:

- Showerheads <9L/min, or 3" water rating
- Toilets <4L/flush, or min. 3" water rating
- Taps <9L/min, or min. 3" water rating

CONSTRUCTION:

- External Walls: R1.30
- Ceiling: R2.50 (up), roof: foil / sarking
- Roof: Medium colour, absorptance 0.475 - 0.70

ALL WINDOWS AND DOORS:

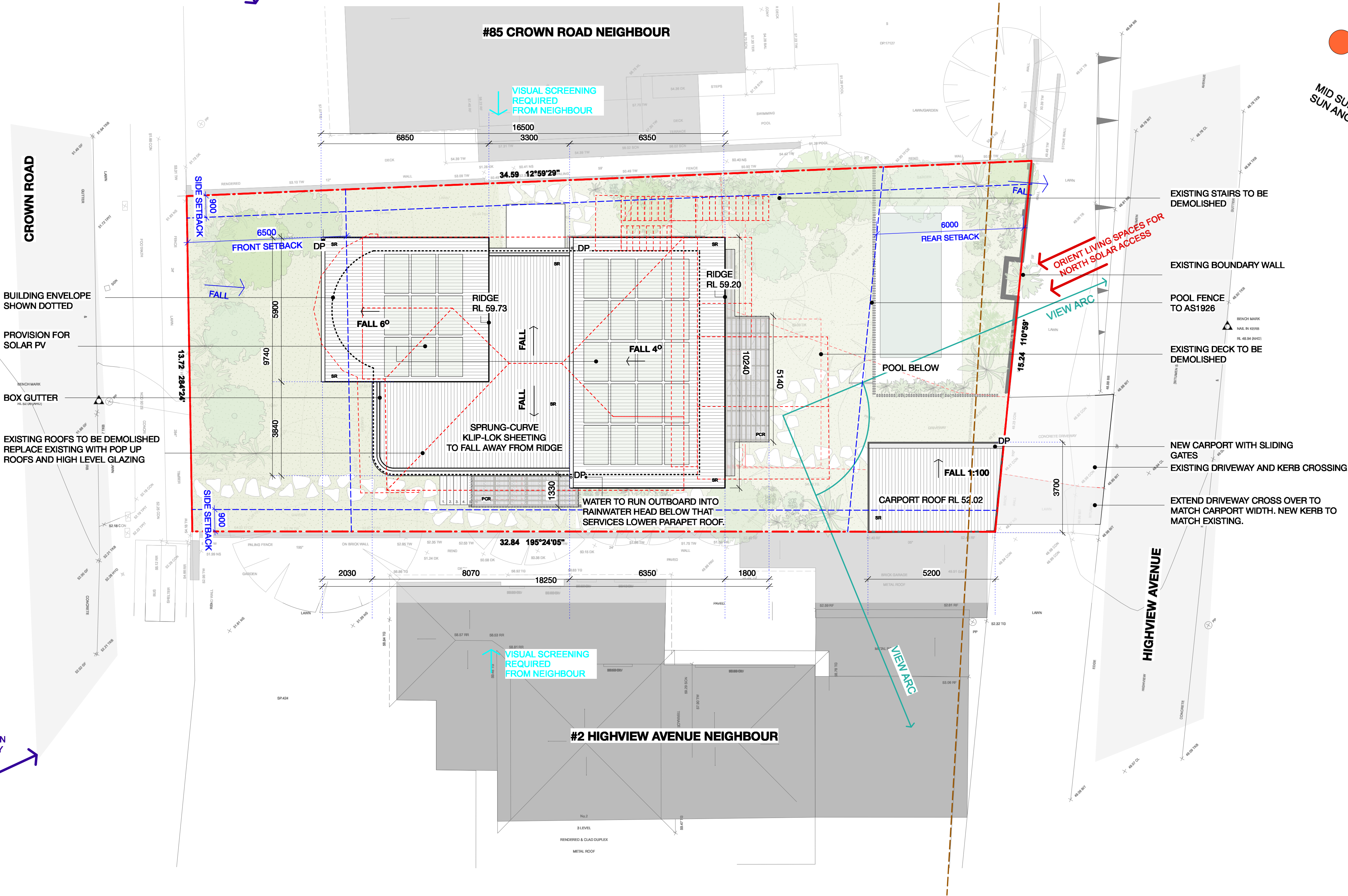
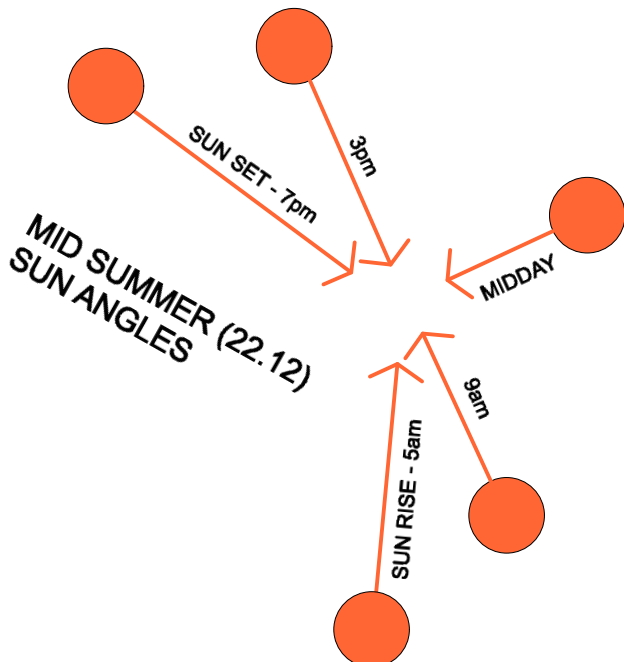
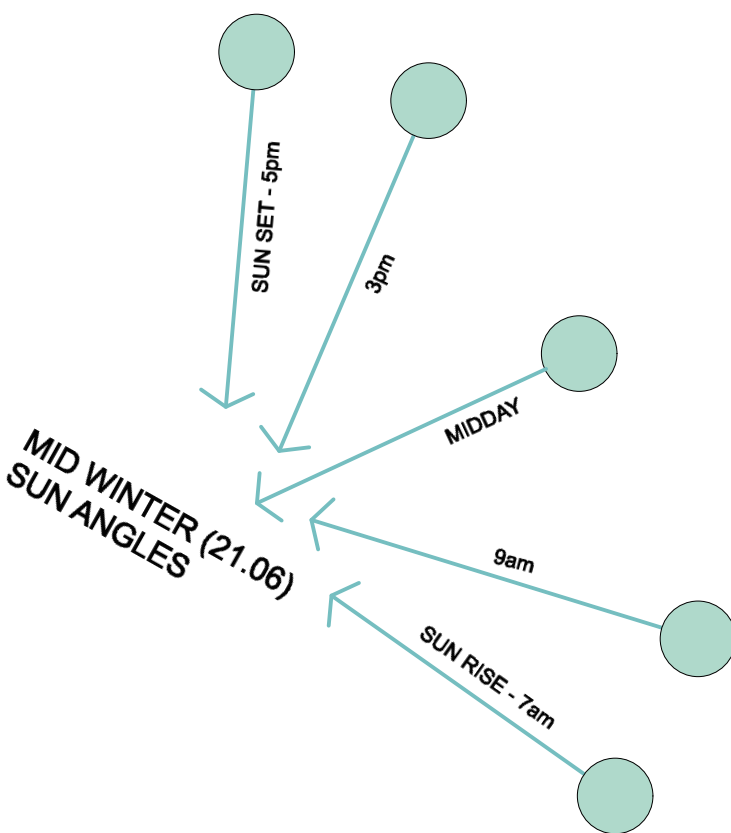
- Timber or uPVC
- U-Value: 5.71
- SHGC: 0.66

EXPOSURE TO COLD WINTER WIND PARTIALLY SCREENED BY NEIGHBOUR

STREET ADDRESS. BUILDING TO PROVIDE LEGIBLE ENTRY AND VISUAL SCREENING

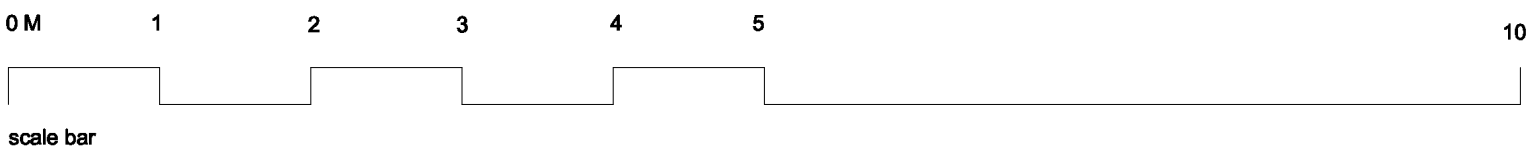
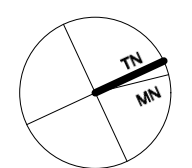
COLD SUMMER WIND ASSOCIATED WITH RAIN FRONTS SCREENED BY TOPOGRAPHY

SEWER MAIN PLOTTED FROM SYDNEY WATER DIAGRAM APPROXIMATE POSITION ONLY



LEGEND
EXISTING WALLS TO BE RETAINED SHOWN BLACK
EXISTING STRUCTURE TO BE DEMOLISHED

DA1 - 01 SITE PLAN / ANALYSIS 1:100 @ A3



REVISION	DATE	DESCRIPTION

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2024/1139

INCIDENTAL ARCHITECTURE

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Suite 1/6 Waratah St, Mona Vale NSW 2103
p : 8916 7357 e : info@incidentalarchitecture.com.au
Nominated Architect: Matthew Elkan NSW Reg # 6821

BEKMANN HOUSE - 83 CROWN ROAD, QUEENSClIFF
On the land of the Gadigal People

SITE PLAN / ANALYSIS

AUG 2024

1:200 @ A3

DA ISSUE

DA1

NOTES

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B-X EXISTING BRICK

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- AS/NZS 3500.5:2021 - PLUMBING AND DRAINAGE
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- AS 3740-2021 - WATERPROOFING OF WET AREAS
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BASIX SPECIFICATIONS

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FIXTURES:

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- Toilets <4L/flush, or min. 3" water rating
- Taps <9L/min, or min. 3" water rating

CONSTRUCTION:

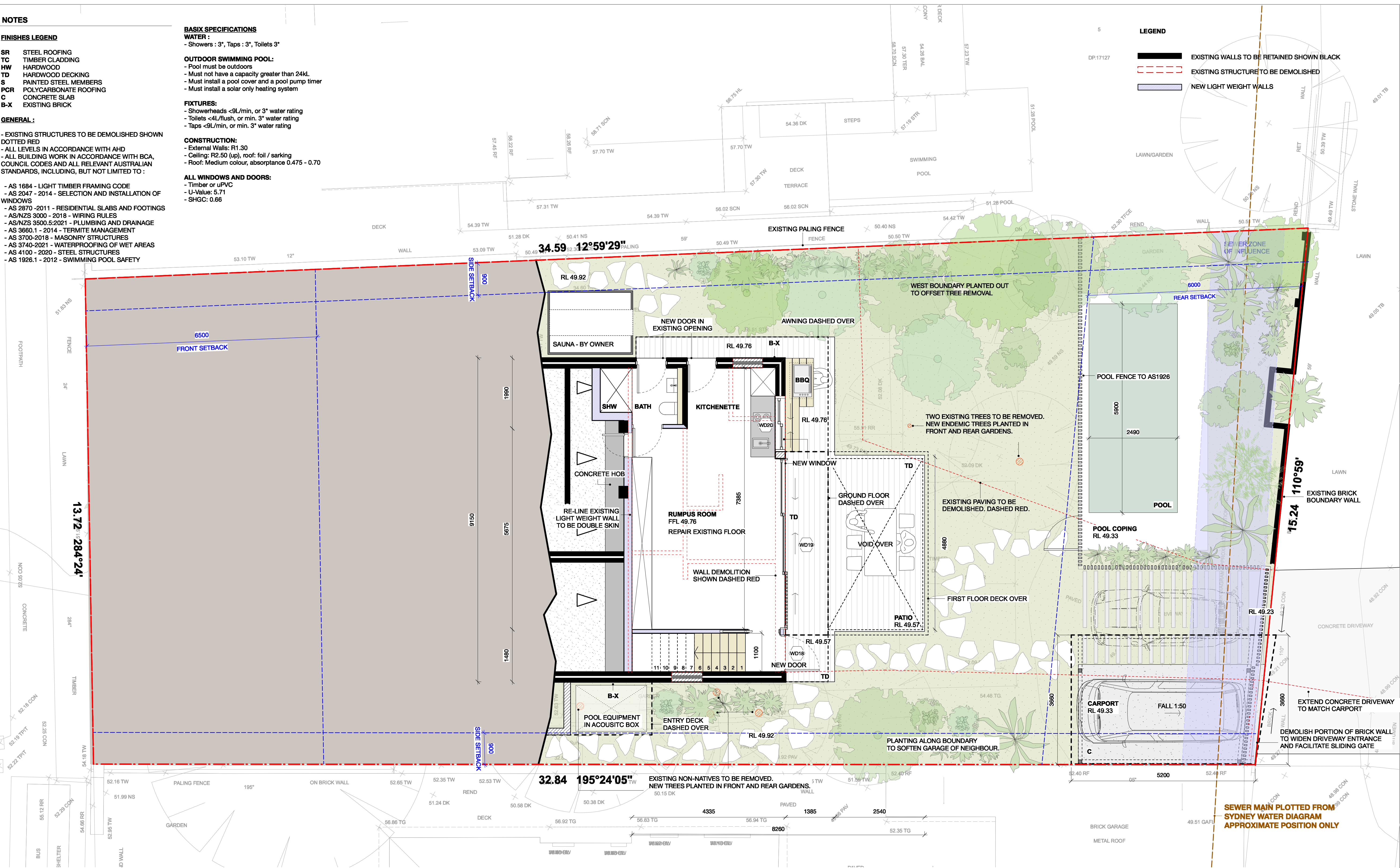
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ALL WINDOWS AND DOORS:

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- SHGC: 0.66

LEGEND

EXISTING WALLS TO BE RETAINED SHOWN BLACK
EXISTING STRUCTURE TO BE DEMOLISHED
NEW LIGHT WEIGHT WALLS



DA2 - 01 LOWER GROUND FLOOR PLAN 1:100 @A3



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DA2024/1139

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p : 8916 7357 e : info@incidentalarchitecture.com.au
Nominated Architect: Matthew Elkan NSW Reg # 6821

PROJECT: BEKMANN HOUSE - 83 CROWN ROAD, QUEENSLIFF
On the land of the Gadigal People

BASEMENT FLOOR PLAN

AUG 2024

1:100 @ A3

DA ISSUE

DA2

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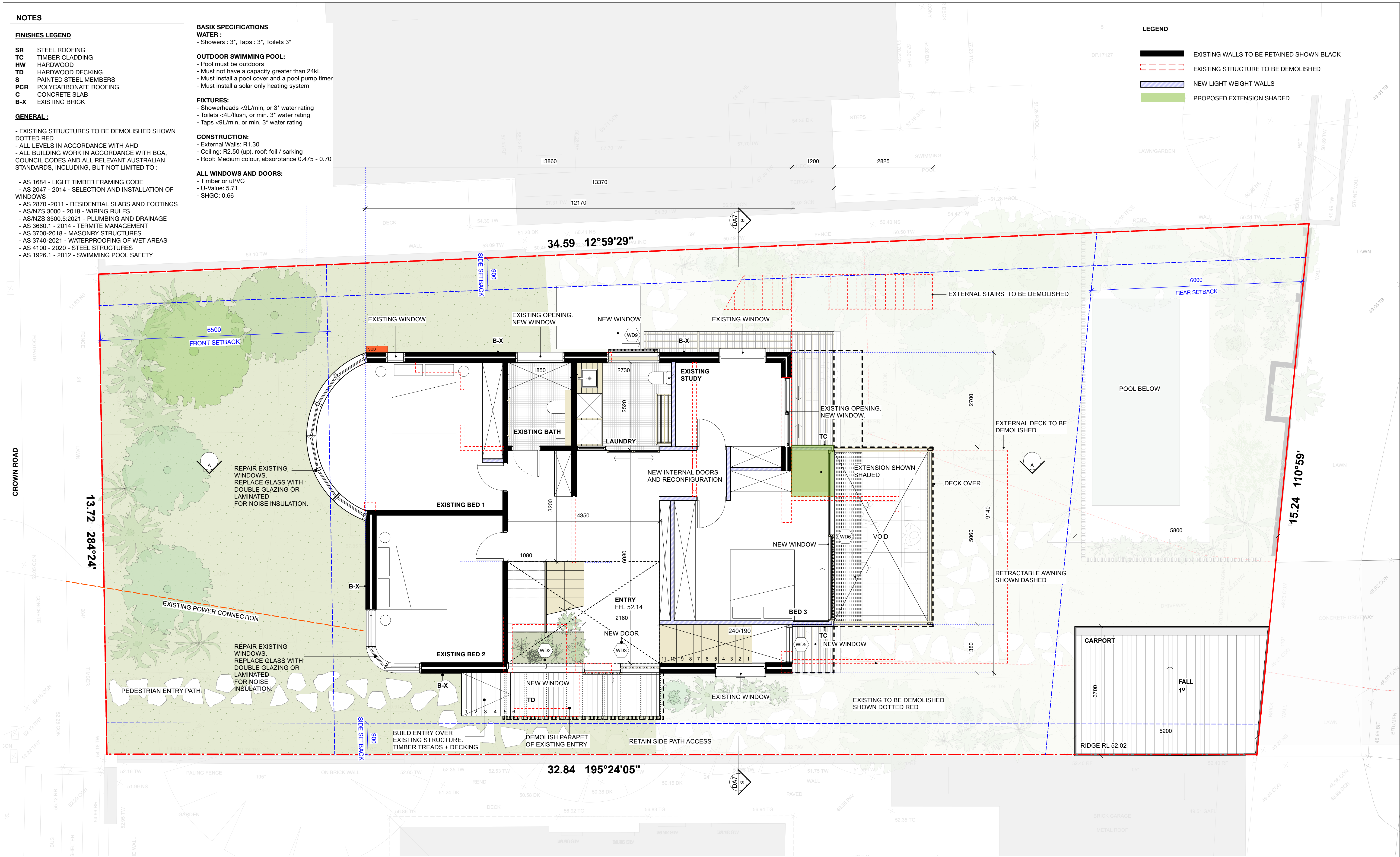
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- Ceiling: R2.50 (up), roof: foil / sarking
- Roof: Medium colour, absorptance 0.475 - 0.70

ALL WINDOWS AND DOORS:

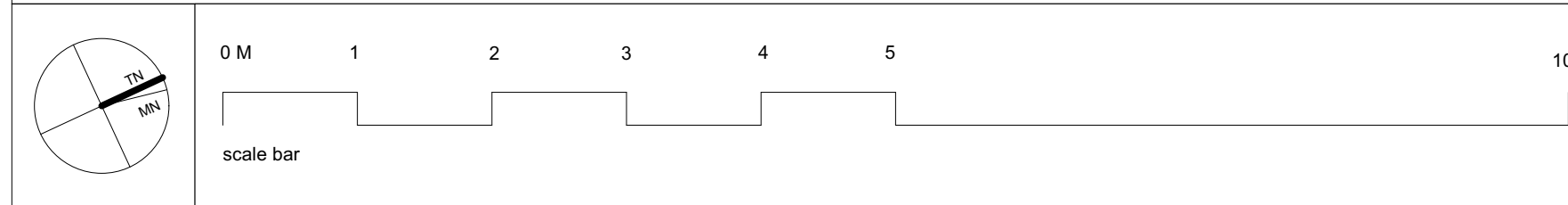
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- U-Value: 5.71
- SHGC: 0.66

LEGEND

EXISTING WALLS TO BE RETAINED SHOWN BLACK
EXISTING STRUCTURE TO BE DEMOLISHED
NEW LIGHT WEIGHT WALLS
PROPOSED EXTENSION SHADED



DA3 - 01 GROUND FLOOR PLAN 1:100 @ A3



REVISION	DATE	DESCRIPTION

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DA2024/1139

BY

INCIDENTAL ARCHITECTURE
Suite 1/6 Waratah St, Mona Vale NSW 2103
p : 8916 7357 e : info@incidentalarchitecture.com.au
Nominated Architect: Matthew Elkan NSW Reg # 6821

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PROJECT: BEKMANN HOUSE - 83 CROWN ROAD, QUEENSCLIFF
On the land of the Gadigal People
DRAWING: GROUND FLOOR PLAN

SITE INFORMATION :
- LOT 6 in D.P. 17127
- SITE AREA : 488.1 m2
- LOCAL GOVERNMENT : NOTHERN BEACHES COUNCIL
- ZONING R2 - LOW DENSITY RESIDENTIAL

DATE: AUG 2024
SCALE: 1:100 @ A3

DA ISSUE

DA3

NOTES

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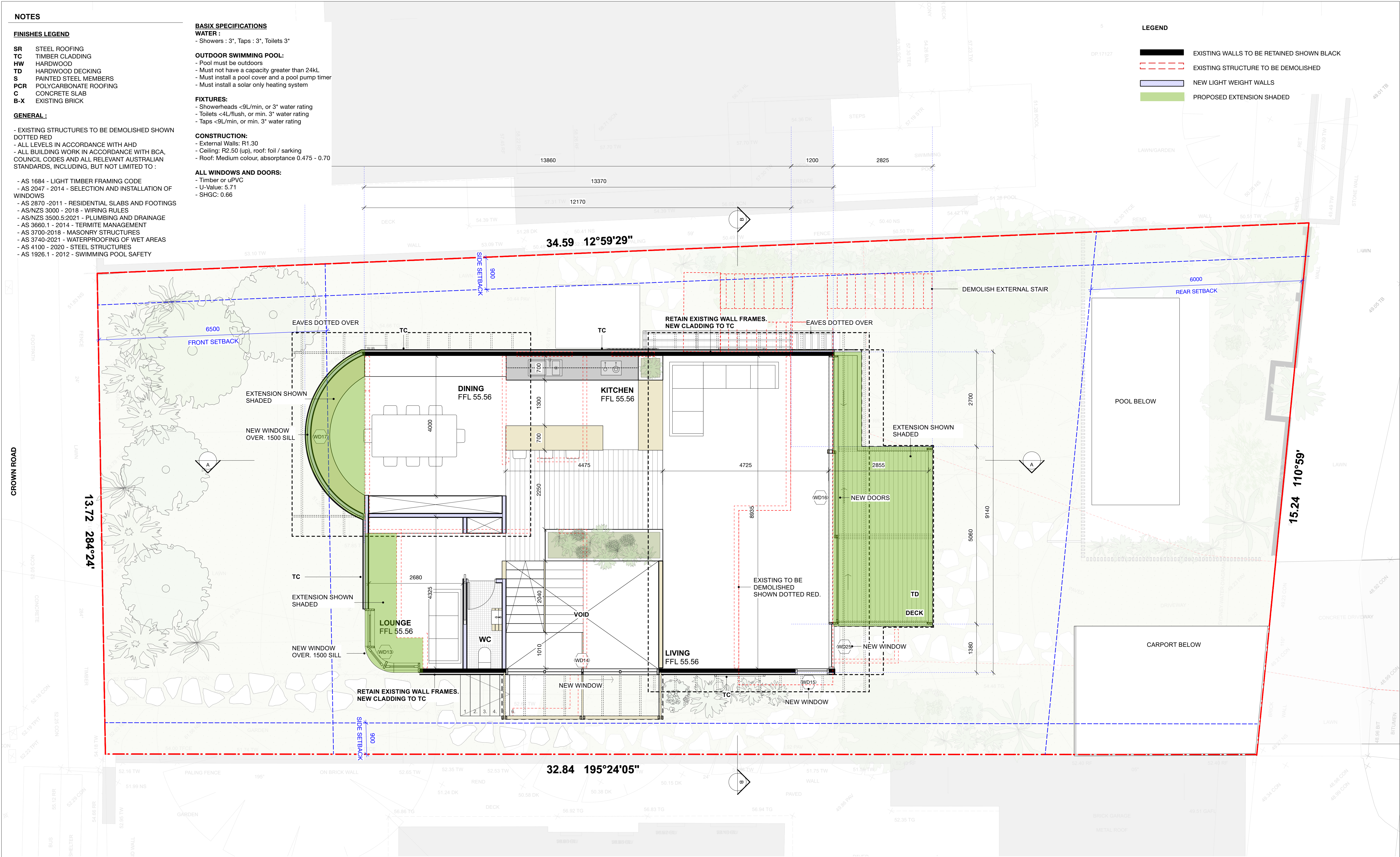
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LEGEND

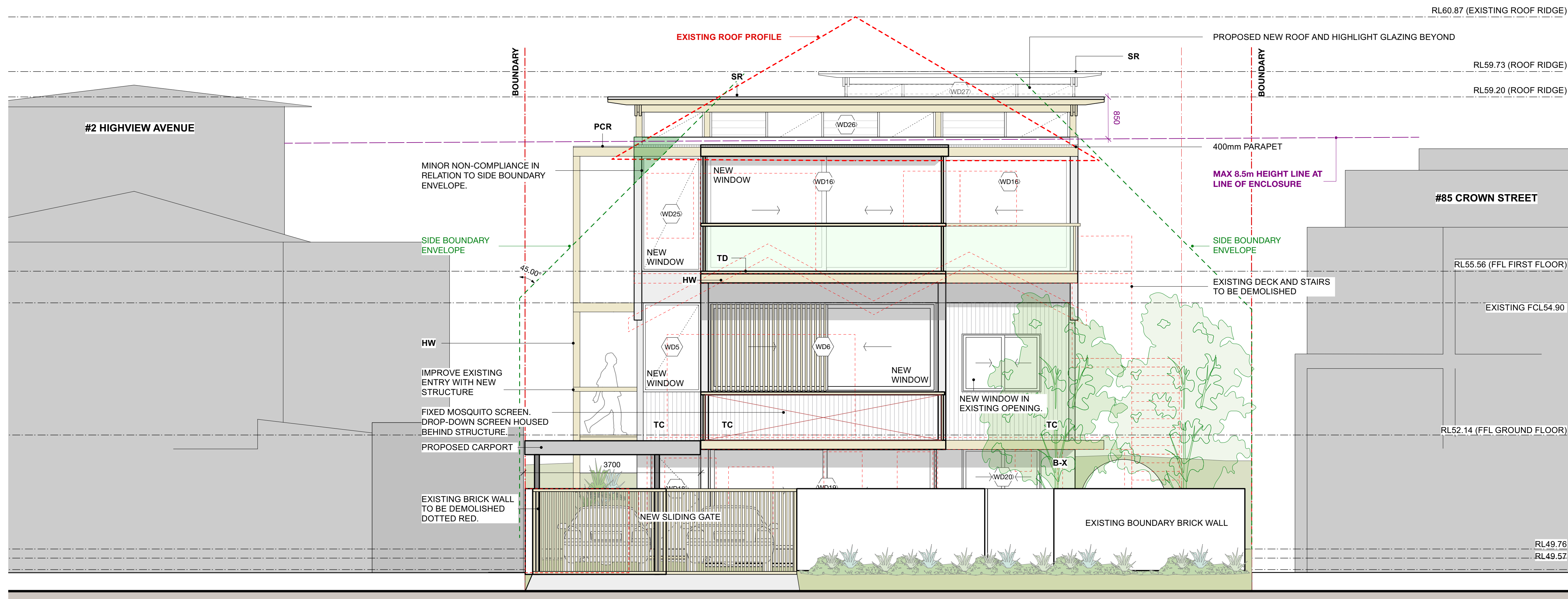
EXISTING WALLS TO BE RETAINED SHOWN BLACK
EXISTING STRUCTURE TO BE DEMOLISHED
NEW LIGHT WEIGHT WALLS
PROPOSED EXTENSION SHADED



DA4 - 01 FIRST FLOOR PLAN 1:100 @ A3

SITE INFORMATION :
- LOT 6 in D.P. 17127
- SITE AREA : 488.1 m2
- LOCAL GOVERNMENT : NOTHERN BEACHES COUNCIL
- ZONING R2 - LOW DENSITY RESIDENTIAL

DA ISSUE



NOTES

FINISHES LEGEND

SR	STEEL ROOFING
TC	TIMBER CLADDING
HW	HARDWOOD
TD	HARDWOOD DECKING
S	PAINTED STEEL MEMBERS
PCR	POLYCARBONATE ROOFING
C	CONCRETE SLAB
B-X	EXISTING BRICK

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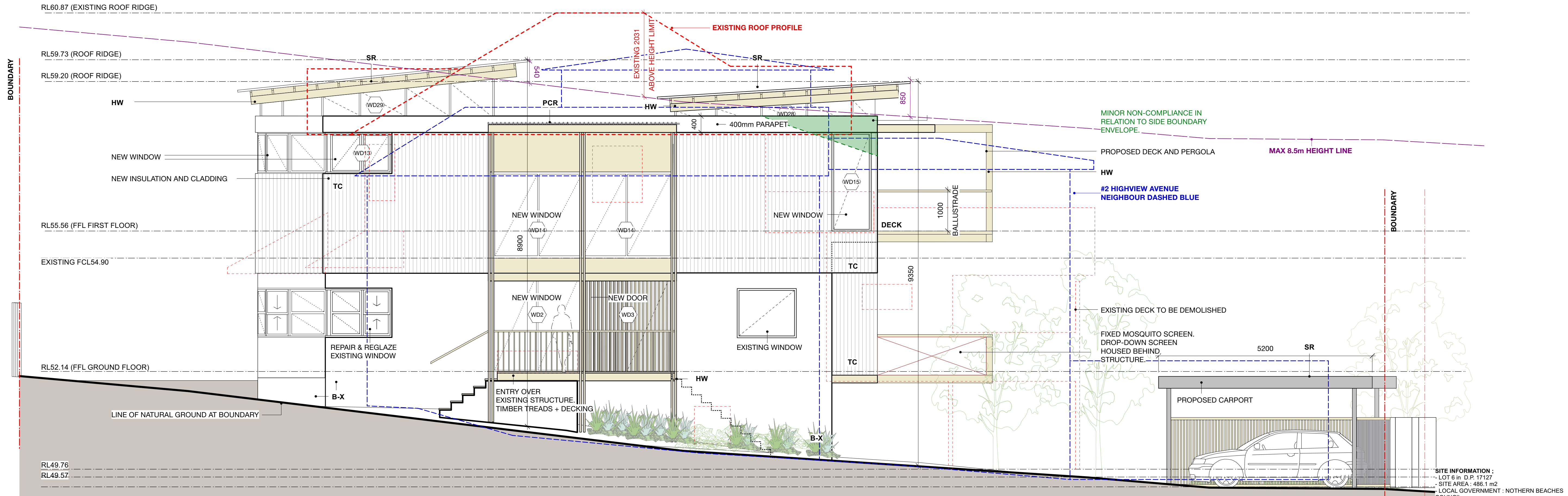
CONSTRUCTION:

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ALL WINDOWS AND DOORS:

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- SHGC: 0.66

DA5 - 01 NORTH ELEVATION A 1:100 @ A3



DA5 - 01 EAST ELEVATION B 1:100 @ A3



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PROJECT: BEKMANN HOUSE - 83 CROWN ROAD, QUEENSLIFF
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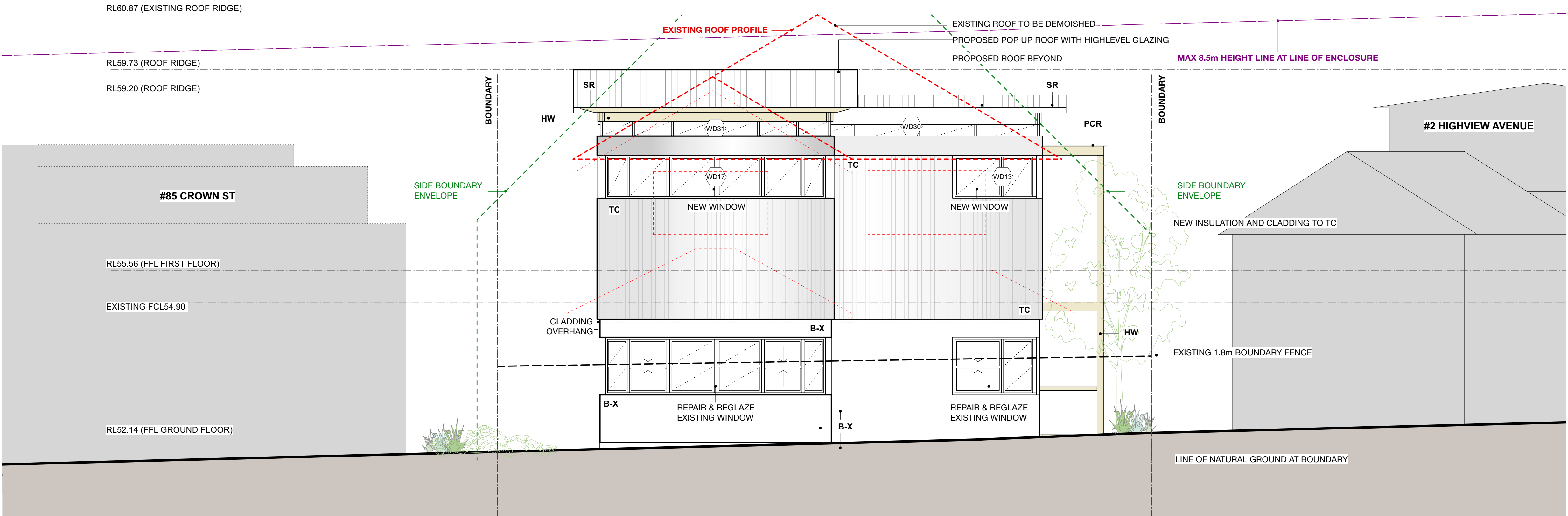
DRAWING: NORTH AND EAST ELEVATIONS

AUG 2024

1:100 @ A3

DA ISSUE

DA5



DA6 - 01 SOUTH ELEVATION A 1:100 @ A3

NOTES

FINISHES LEGEND

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FIXTURES:

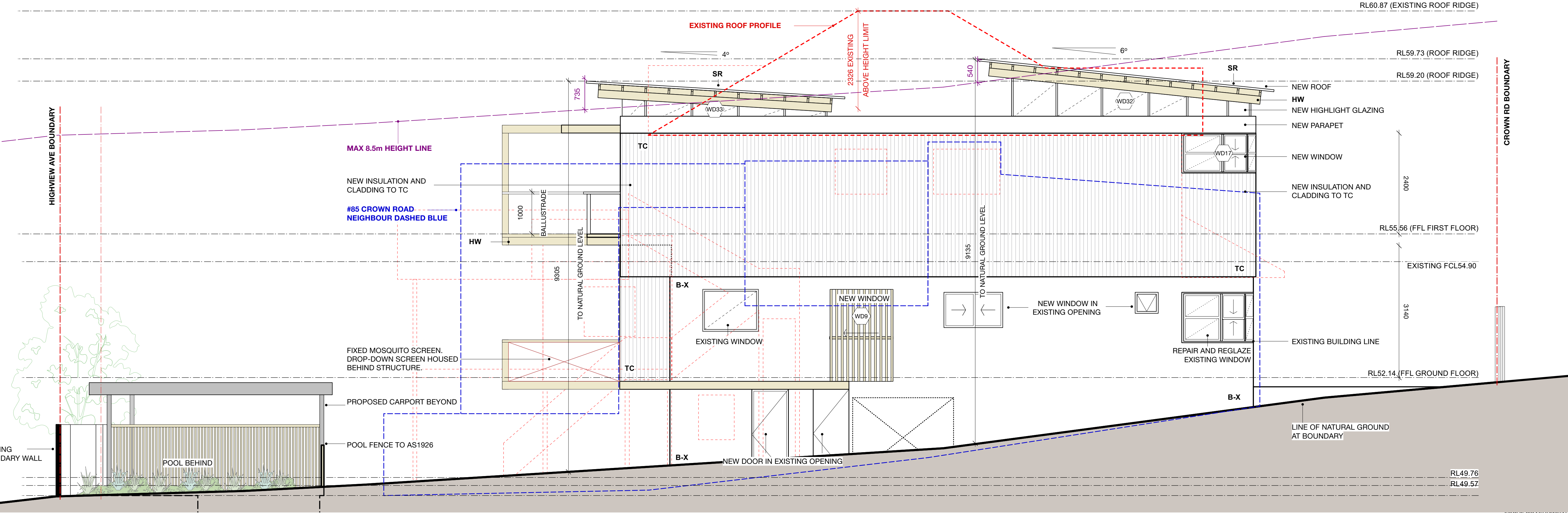
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DA6 - 02 WEST ELEVATION B 1:100 @ A3



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BEKMANN HOUSE - 83 CROWN ROAD, QUEENSClIFF
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SOUTH AND WEST ELEVATIONS

AUG 2024

1:100 @ A3

DA6

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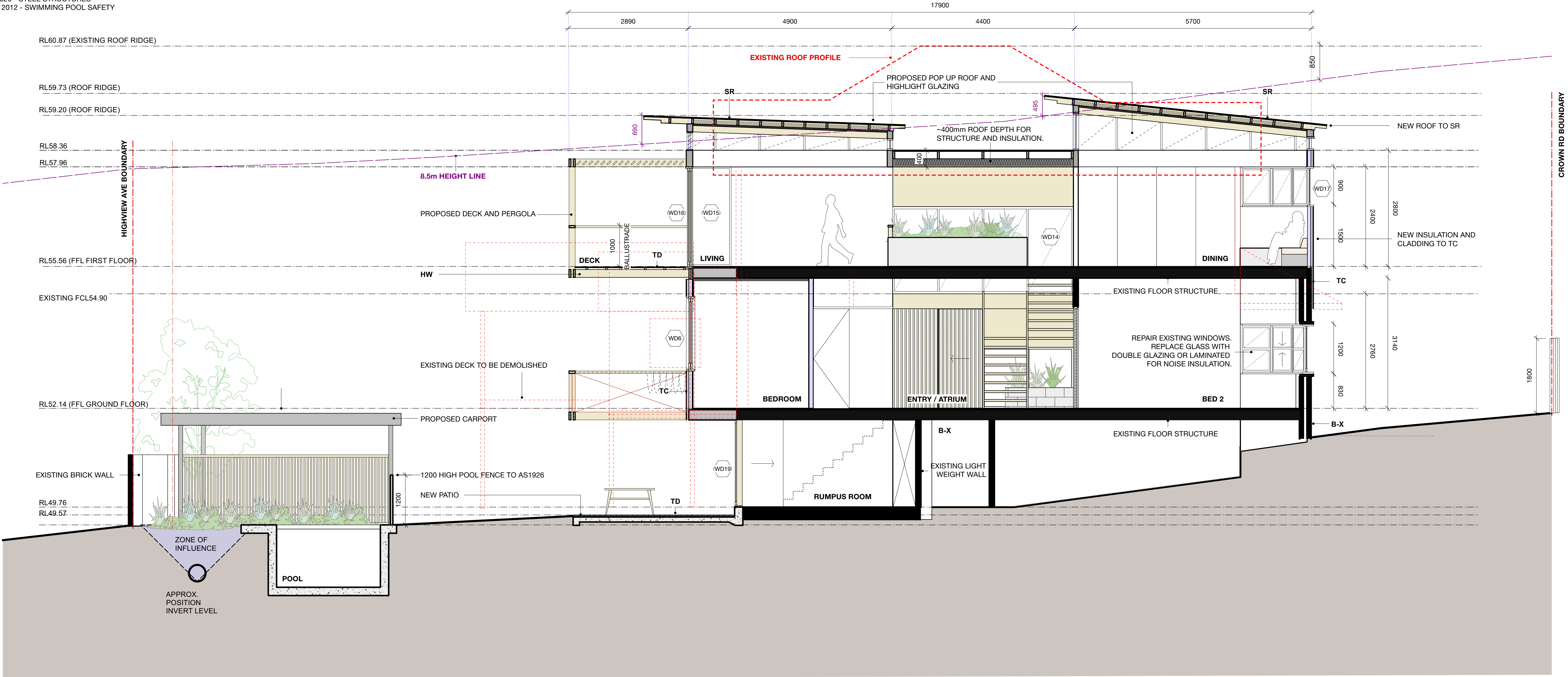
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DA7 - SECTION AA 1:100 @ A3

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DA ISSUE

DA7

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BEKMANN HOUSE - 83 CROWN ROAD, QUEENSClIFF
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SECTION AA

AUG 2024

1:100 @ A3

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FIXTURES:

- Showerheads <9L/min, or 3" water rating
- Toilets <4L/flush, or min. 3" water rating
- Taps <9L/min, or min. 3" water rating

CONSTRUCTION:

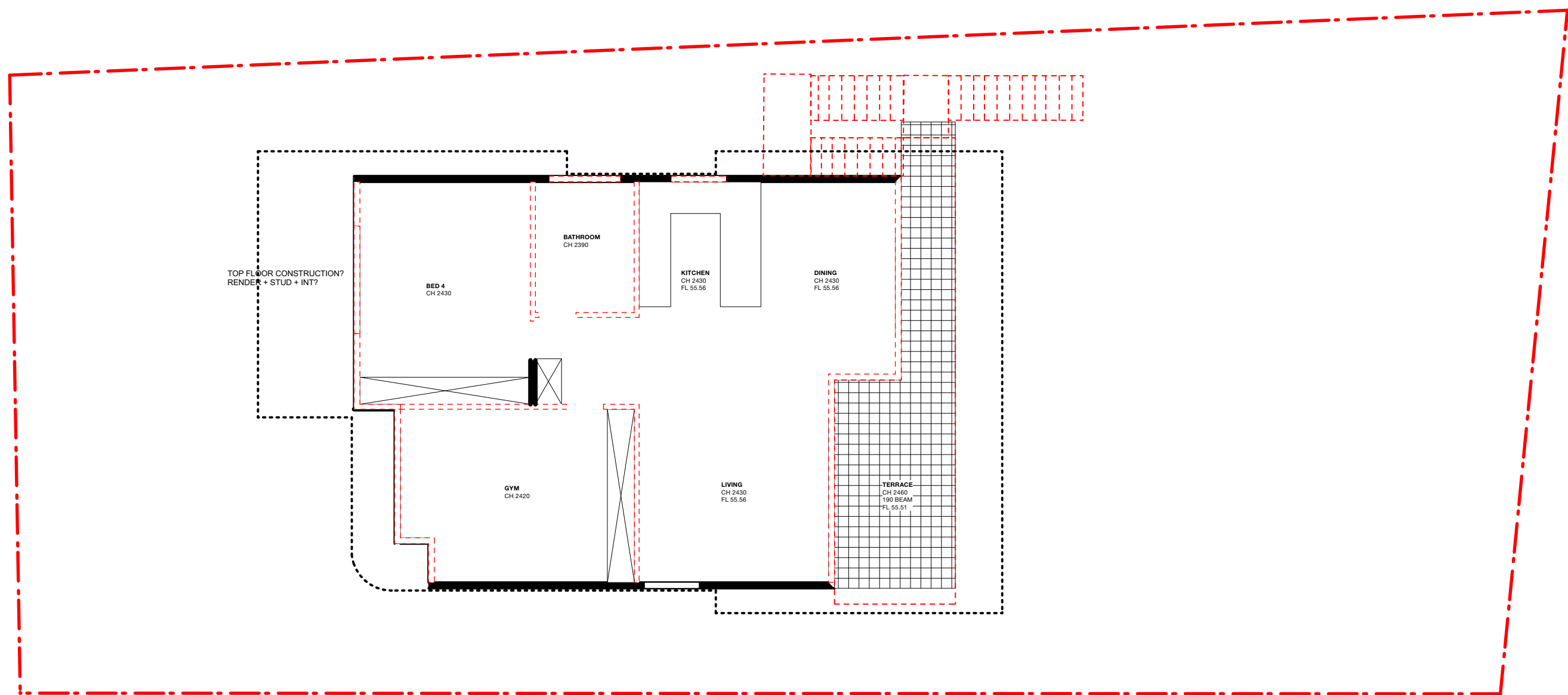
- External Walls: R1.30
- Ceiling: R2.50 (up), roof: foil / sarking
- Roof: Medium colour, absorptance 0.475 - 0.70

ALL WINDOWS AND DOORS:

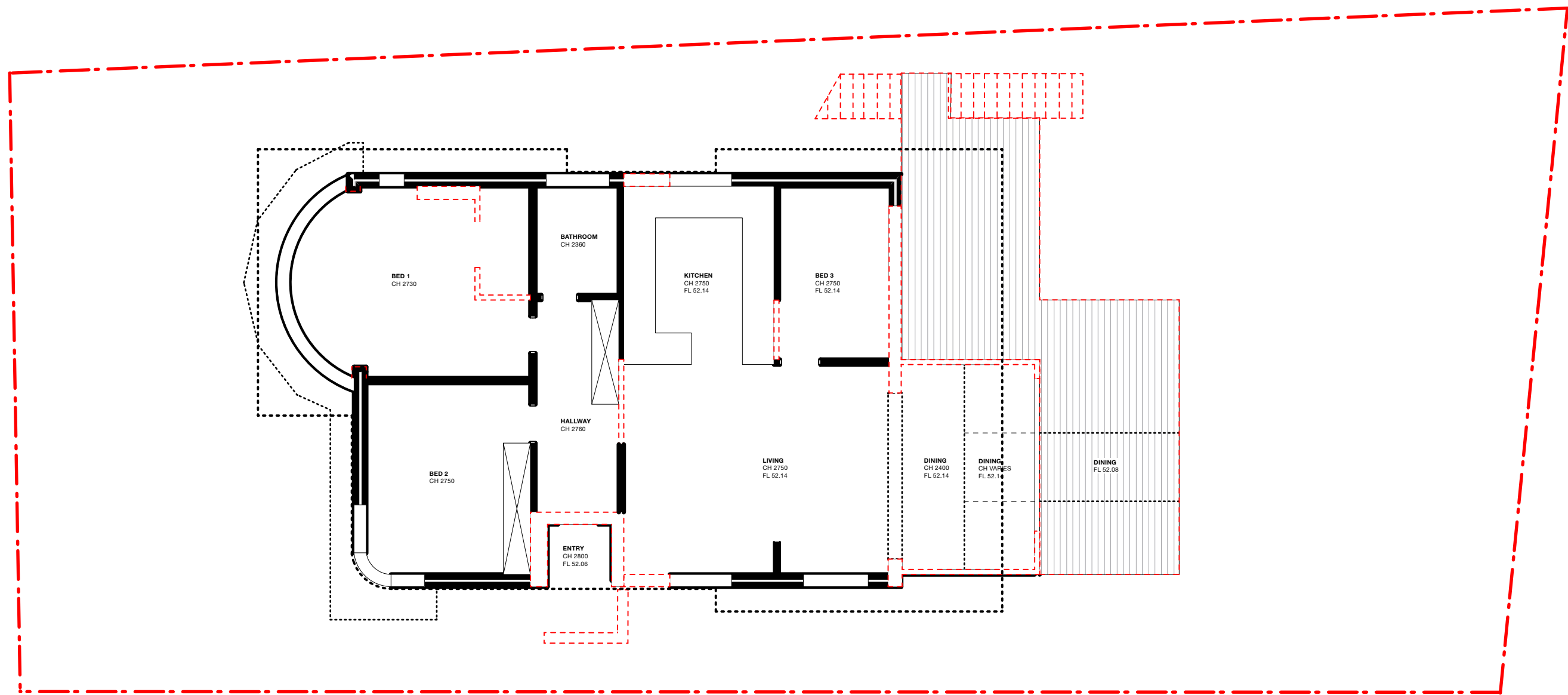
- Timber or uPVC
- U-Value: 5.71
- SHGC: 0.66

LEGEND

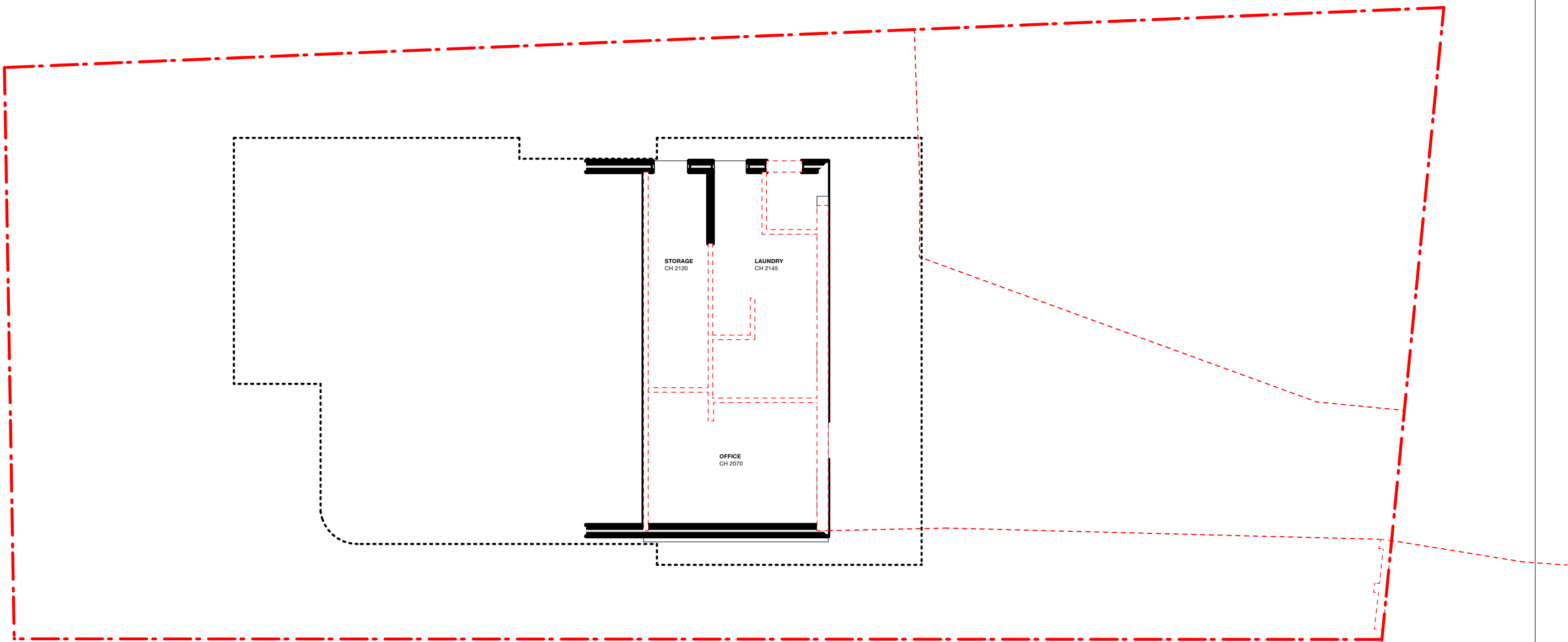
- - - - - SITE BOUNDARY
- - - - - EXISTING WALLS TO BE RETAINED
- - - - - EXISTING STRUCTURE TO BE DEMOLISHED



DA8 - 01 DEMOLITION / EXISTING FIRST FLOOR PLAN 1:200



DA8 - 02 DEMOLITION / EXISTING GROUND FLOOR PLAN 1:200



DA8 - 03 DEMOLITION / EXISTING LOWER GROUND FLOOR PLAN 1:200

SITE INFORMATION :
- LOT 6 in D.P. 17127
- SITE AREA : 488.1 m2
- LOCAL GOVERNMENT : NOTHERN BEACHES COUNCIL
- ZONING R2 - LOW DENSITY RESIDENTIAL

DA ISSUE

DA8

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2024/1139

INCIDENTAL ARCHITECTURE

Suite 1/6 Waratah St, Mona Vale NSW 2103
p : 8916 7357 e : info@incidentalarchitecture.com.au
Nominated Architect: Matthew Elkan NSW Reg # 6821

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS
DO NOT SCALE OFF DRAWINGS. PRECEDENCE IS TO BE GIVEN TO WRITTEN DIMENSIONS. VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION
REPORT ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY
COPYRIGHT OF THIS DRAWING IS VESTED WITH THE ARCHITECT

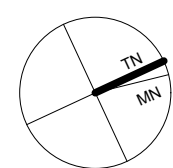
PROJECT: BEKMANN HOUSE - 83 CROWN ROAD, QUEENSCLIFF
On the land of the Gadigal People

DRAWING: DEMOLITION PLANS

DATE: AUG 2024

SCALE: 1:200 @ A3

PAGE: 1



0 M 1 2 3 4 5 10
scale bar

REVISION DATE DESCRIPTION