53A & 53B WARRIEWOOD ROAD, WARRIEWOOD 2102 (PROPOSED LOTS 13 -20)

DA - Table of Contents									
SHEET	SHEET NAME								
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DA-2	SITE PLAN								
DA-3	SITE + DRIVEWAY COMPLIANCE								
DA-4	SITE PLAN - CREEKLINE CORRIDOR								
DA-5	SITE WORKS PLAN								
DA-6	STORMWATER MANAGEMENT PLAN								
DA-7	SITE ANALYSIS PLAN								
DA-8	LANDSCAPE PLAN								
DA-9	SHADOWS DIAGRAMS								
DA-10	LOT 13 - TL03 F01 - G.F.P								
DA-11	LOT 13 - TL03 F01 - F.F.P								
DA-12	LOT 13 - WINDOW / DOOR SCHEDULE								
DA-13	LOT 14 - TL02 F01 - G.F.P								
DA-14	LOT 14 - TL02 F01- F.F.P								
DA-15	LOT 14 - WINDOW / DOOR SCHEDULE								
DA-16	LOT 15 - TL02 F02 - G.F.P								
DA-17	LOT 15 - TL02 F02 - F.F.P								
DA-18	LOT 15 - WINDOW / DOOR SCHEDULE								
DA-19	LOT 16 - TL03 F02 - G.F.P								
DA-20	LOT 16 - TL03 F02 - F.F.P								
DA-21	LOT 16 - WINDOW / DOOR SCHEDULE								
DA-22	LOT 17 - TL07 F01 - G.F.P								
DA-23	LOT 17 - TL07 F01 - F.F.P								
DA-24	LOT 17 - WINDOW / DOOR SCHEDULE								
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DA-26	LOT 18 - TL07 F02 - F.F.P								
DA-27	LOT 18 - WINDOW / DOOR SCHEDULE								
DA-28	LOT 19 - TL08 F01 - G.F.P								
DA-29	LOT 19 - TL08 F02 - F.F.P								
DA-30	LOT 19 - WINDOW / DOOR SCHEDULE								
DA-31	LOT 20 - TL03 F02 - G.F.P								
DA-32	LOT 20 - TL03 F02 - F.F.P								
DA-33	LOT 20 - WINDOW / DOOR SCHEDULE								
DA-34	ROOF PLAN								

	DA - Table of Contents
SHEET	SHEET NAME
DA-35	ROOF PLAN
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DA-46	LOT 15 & 16 - SECTIONS
DA-47	LOT 15 & 16 - SECTIONS
DA-48	LOT 17 - SECTIONS
DA-49	LOT 18 - SECTIONS
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DA-52	NOTIFICATION PLAN

Addresses to Proposed Lots 13 - 20

FL03 F01 AT
LOT 13 ROAD NO.1, WARRIEWOOD NSV
FL02 F01 AT
LOT 14 LORIKEET GROVE, WARRIEWOO
FL02 F02 AT
LOT 15 LORIKEET GROVE, WARRIEWOO
FL03 F02 AT
LOT 16 PHEASANT PLACE, WARRIEWO
FL07 F01 AT
LOT 17 PHEASANT PLACE, WARRIEWO
FL07 F02 AT
LOT 18 PHEASANT PLACE, WARRIEWO
FL08 F01 AT
LOT 19 ROAD NO.2, WARRIEWOOD NSV
FL03 F02 AT
LOT 20 ROAD NO.1, WARRIEWOOD NSV

BASIX Information

SEE SHEET DA-3 SITE PLAN FOR **BASIX INFORMATION**

Compliance Calculations

SEE SHEET DA-3 SITE PLAN FOR **COMPLIANCE CALCULATIONS**

NO SEWER INFORMATION AVAILABLE AT COMPLETION OF DA PLANS

REV 01 02	AMENDMENT IDA PLANS IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS, STORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES)	BY NM NM	26.03.2025	ADDRESS: 53A & 53B WARRIEWOOD ROAD, WARRIEWOOD 2102 (PROPOSED LOTS 13-20)	DA COVER PAGE						
03	LOT 14 & 15 AMENDED AS PER PCV2 - KITCHEN NIB WALL EXTENSION LOT 16 - 20 AMENDED AS PER DESIGN REQUEST EMAIL DATED 26.06 - HEEL HEIGHT LOWERED + COLLISION DETECTION	SA NM	04.06.2025 27.06.2025	SHAWOOD	MODEL STOREY	TL - D	FACADE ACCOM	01	GARAGE -		
				68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 1800 951 068		T No: DESIGN	MASTE	ER CHECKED	SHEET: DA-1 PAGE: 1		
				Sekisui House Services (NSW) Pty Limited ABN: 42119550220. BL: 226045C.		SCALE:					

Printed Date: 30/06/2025 - Printed by:MirzaN - File Name:W:\c.Shawood\Varriewood\Talia\3. Lot Plans\Lot 13 (Old Lot 14) - TL03 F1\6. CAD File\TL - Lot 13 - 20 (Old Lot 14 - 21).pln

W 2102

OD NSW 2102

OD NSW 2102

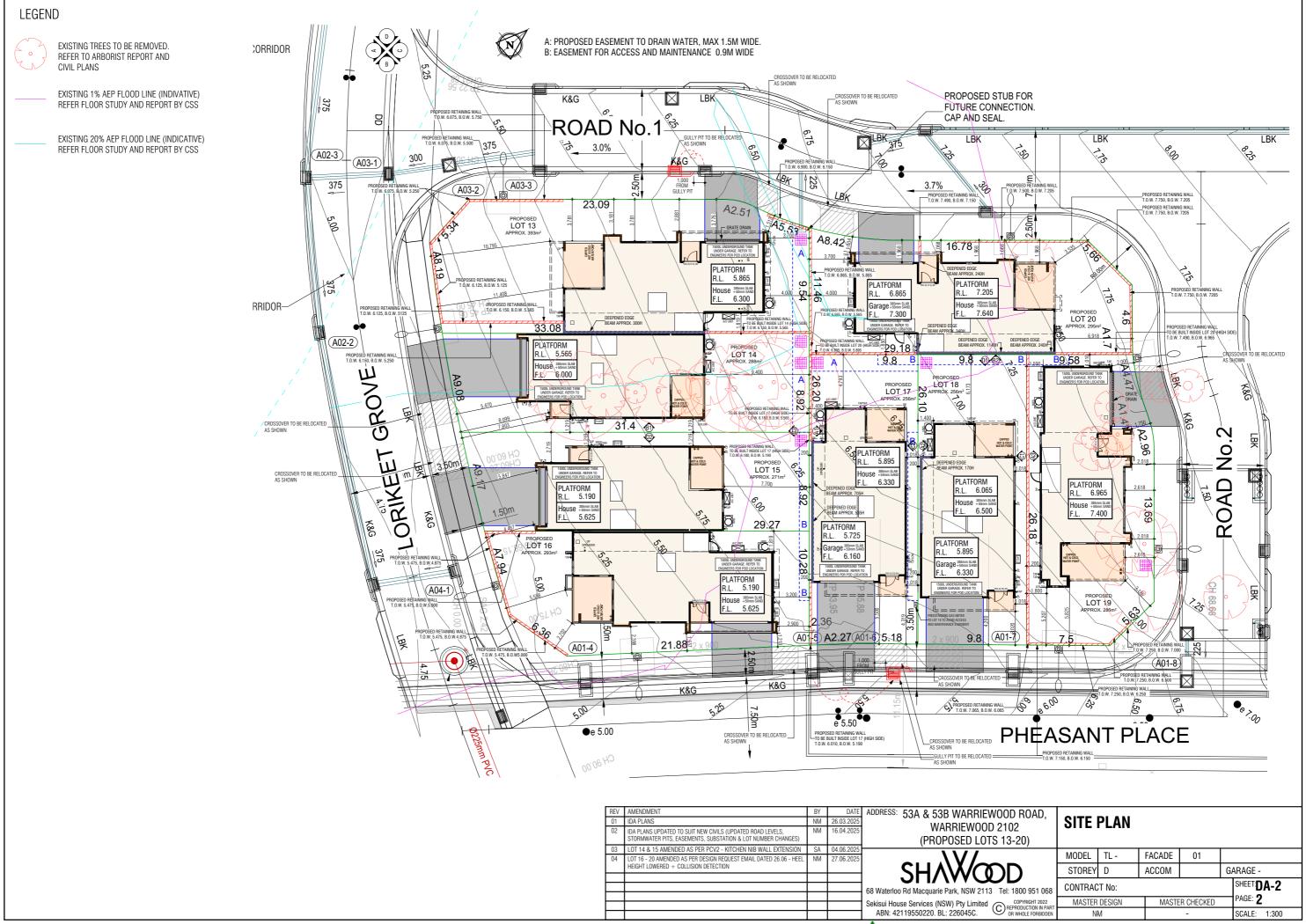
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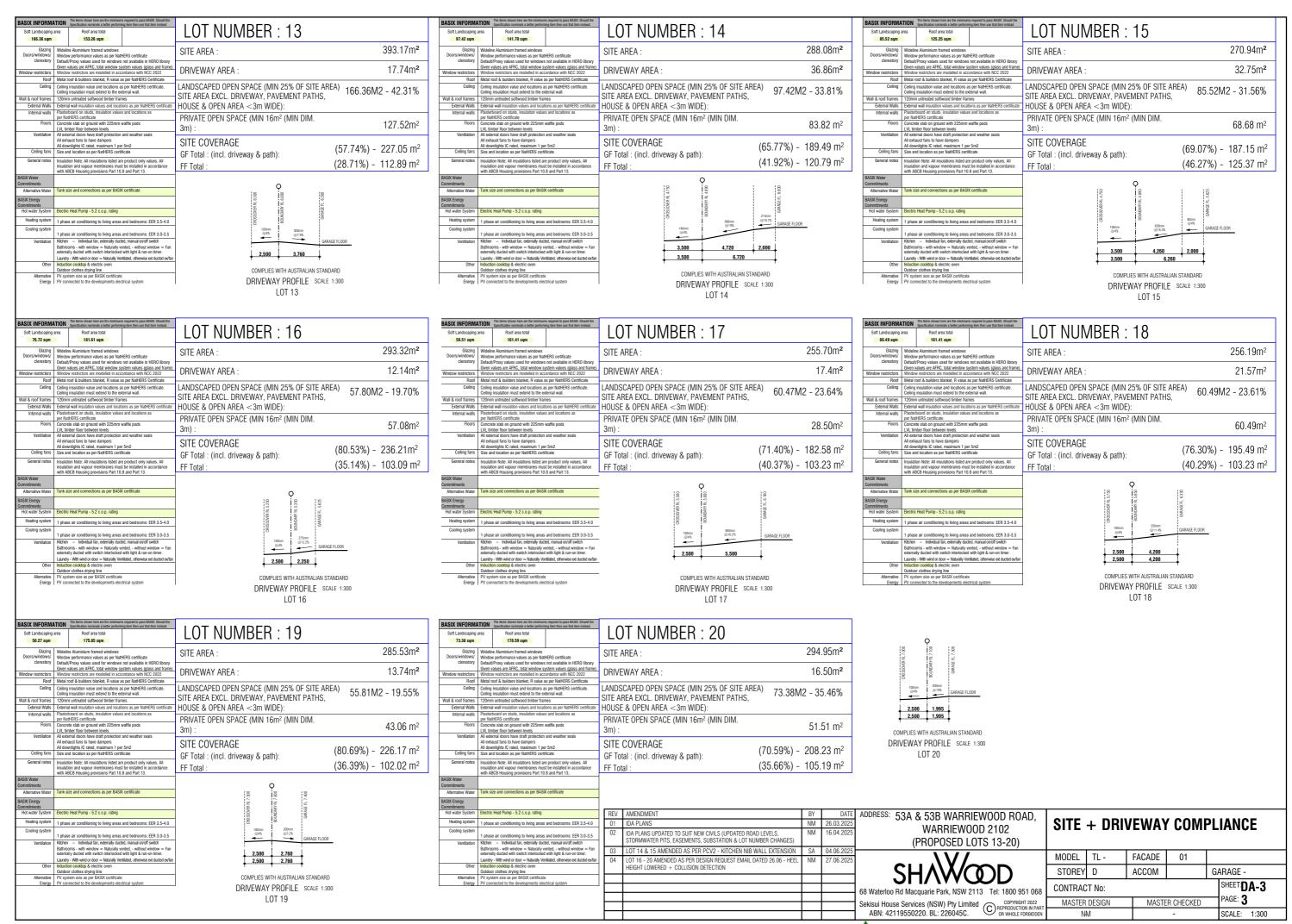
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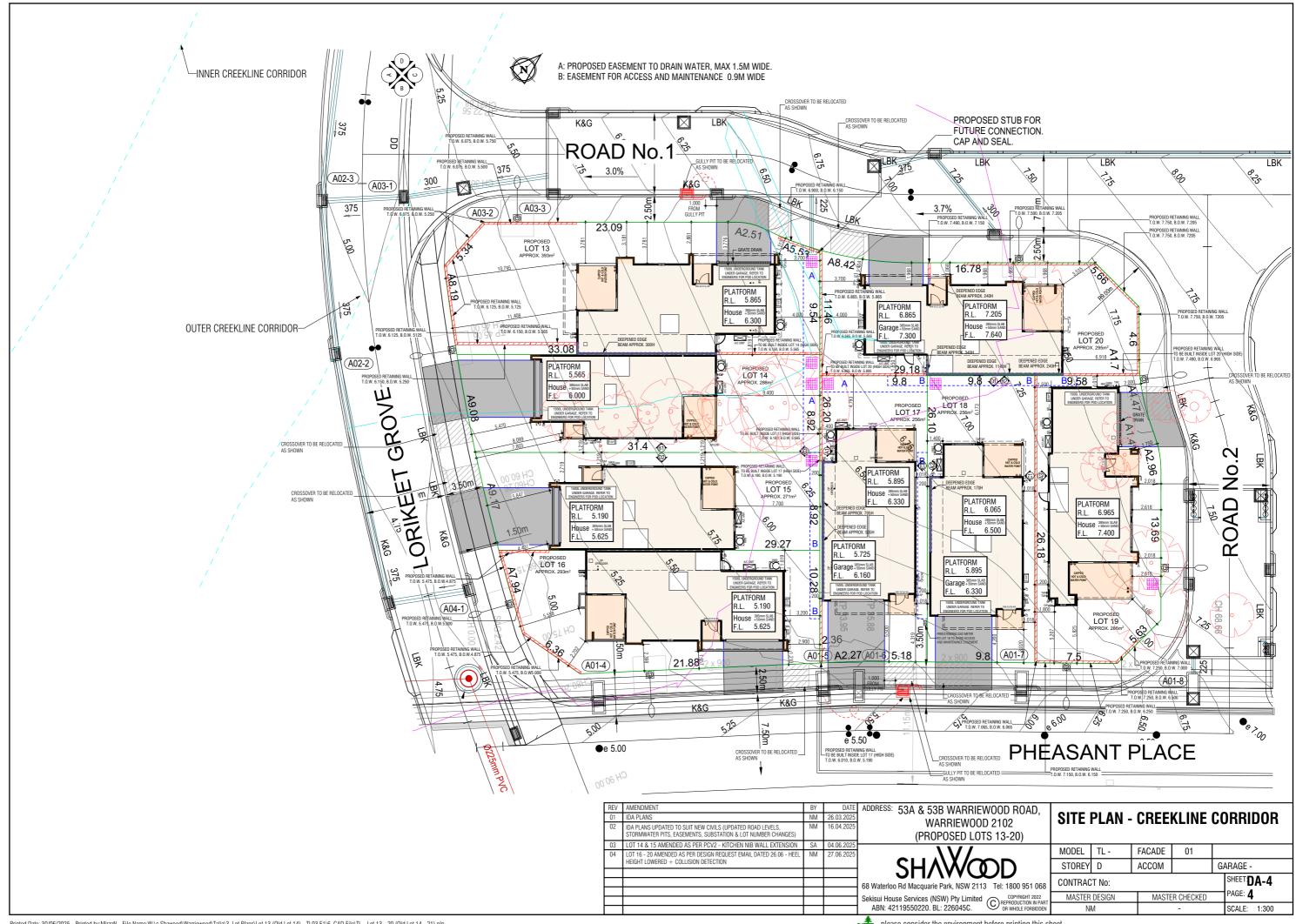
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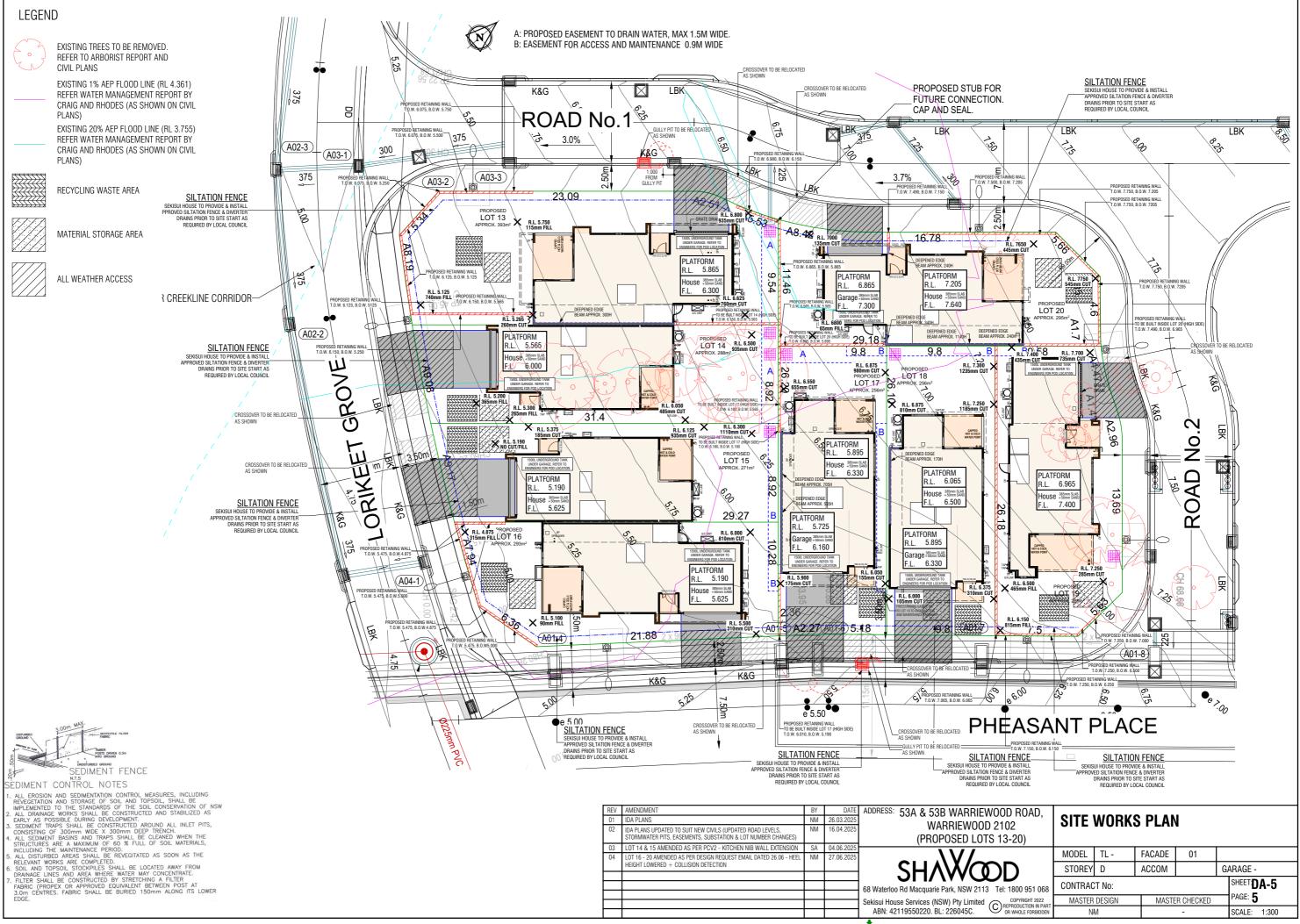
SW 2102

SW 2102

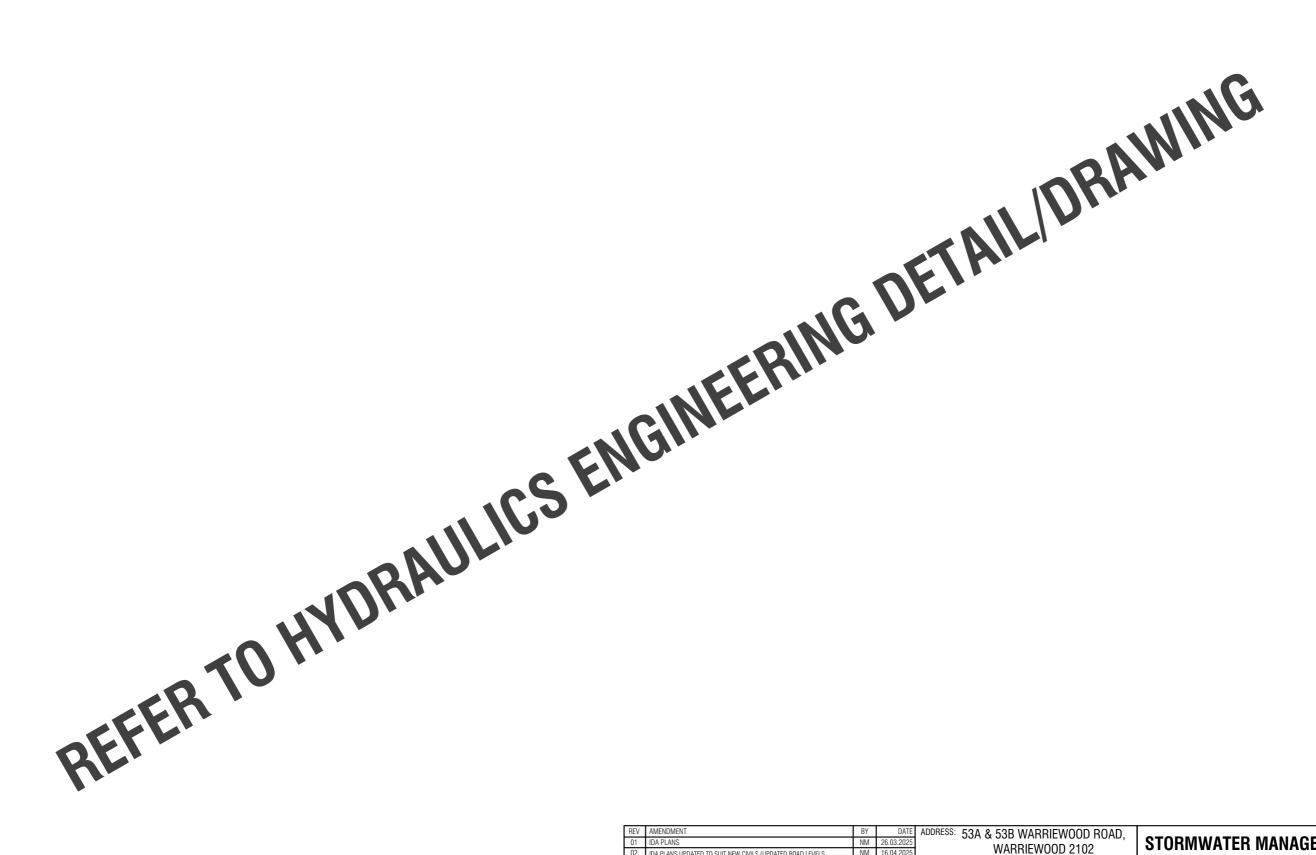


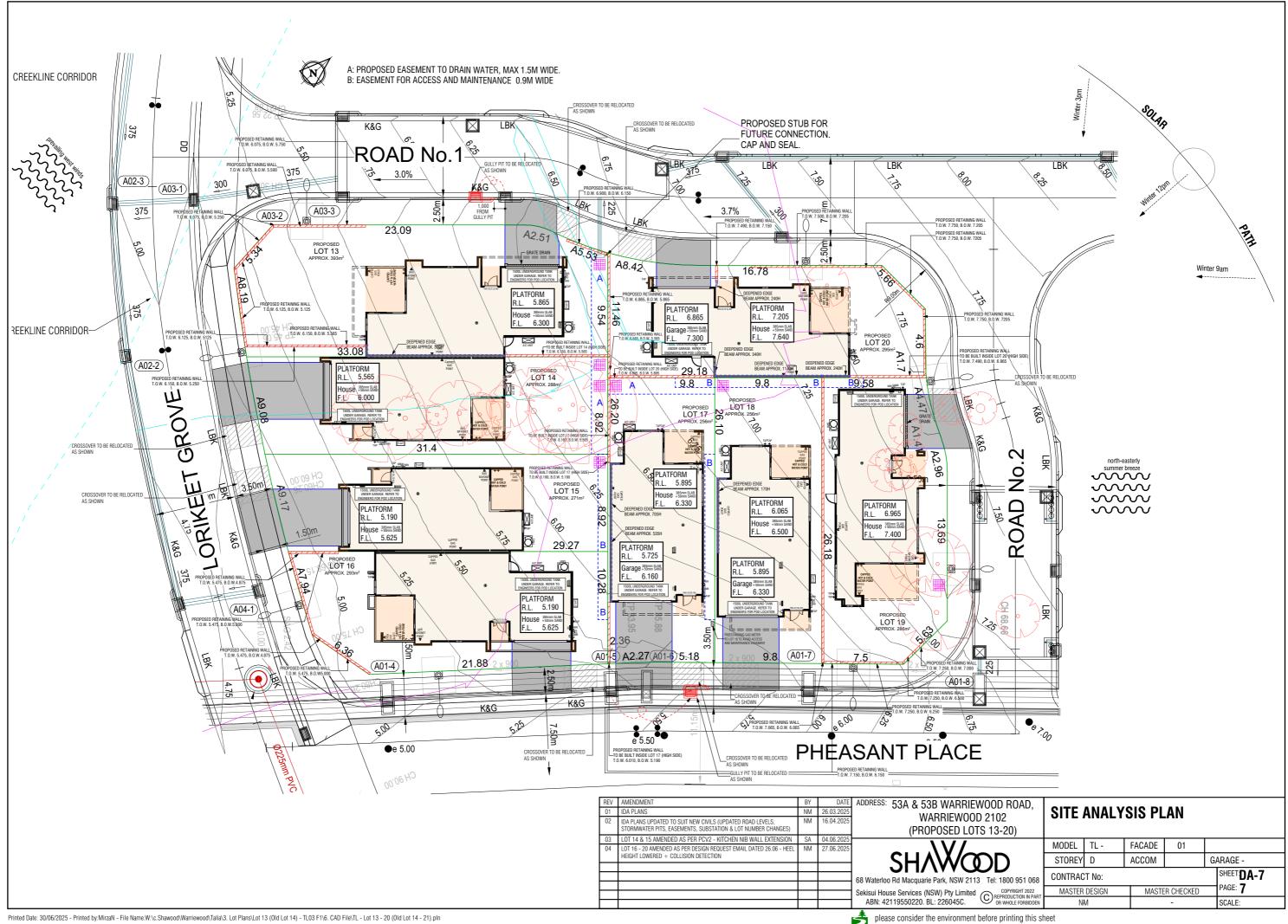






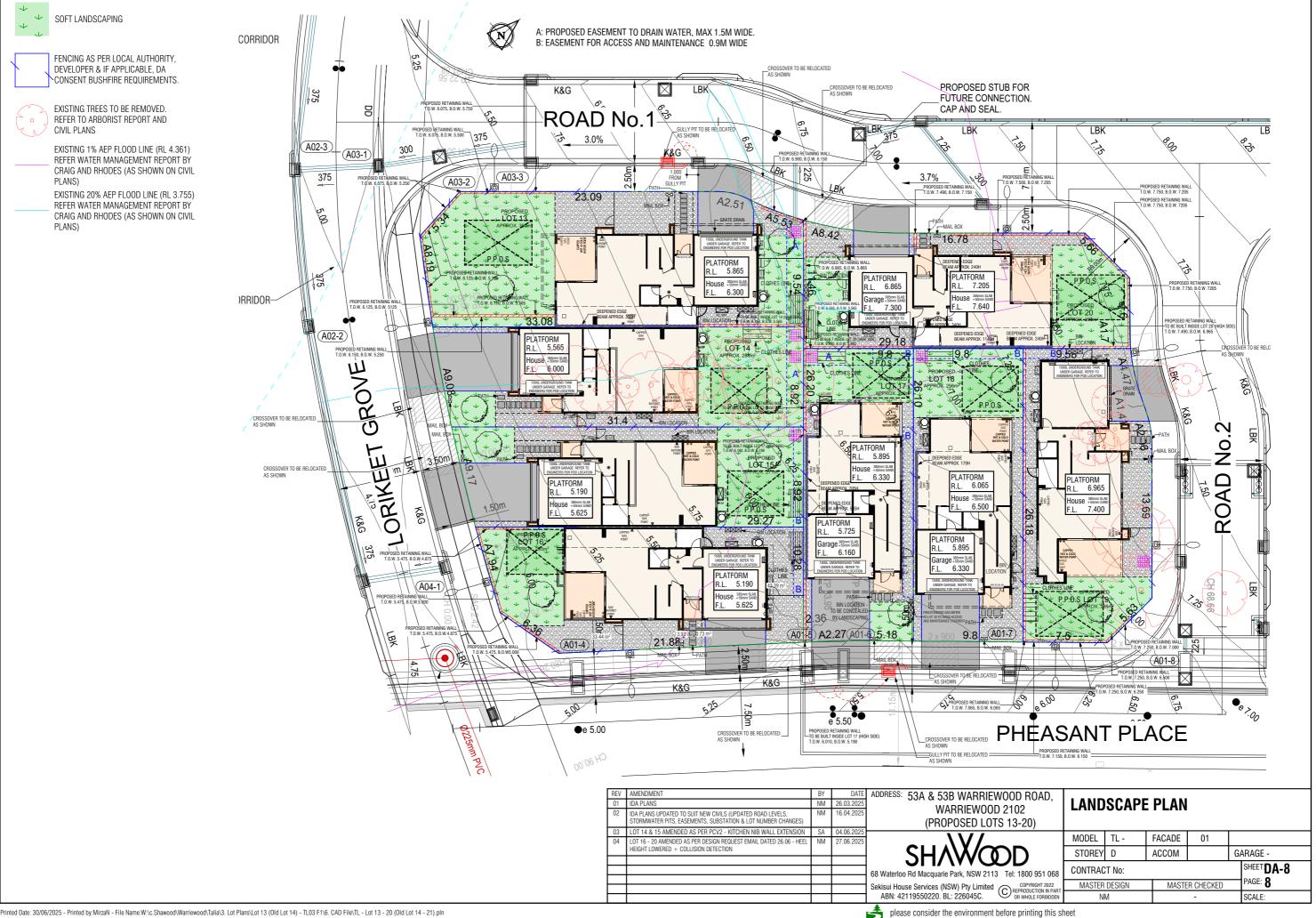
REV	AMENDMENT	BY	DATE	ADDRESS: 53A & 53B WARRIEWOOD ROAD,					
01	IDA PLANS	NM	26.03.2025		STOR	MWAT	er ma	INAGE	MENT PLA
02	IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS, STORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES)	NM	16.04.2025	WARRIEWOOD 2102 (PROPOSED LOTS 13-20)	0.01				
03	LOT 14 & 15 AMENDED AS PER PCV2 - KITCHEN NIB WALL EXTENSION	SA	04.06.2025		MODEL	TI -	FACADE	01	
04	LOT 16 - 20 AMENDED AS PER DESIGN REQUEST EMAIL DATED 26.06 - HEEL	NM	27.06.2025		WUDEL	IL-	FAGADE	01	
	HEIGHT LOWERED + COLLISION DETECTION			SHAWOOD	STOREY	D	ACCOM		GARAGE -
				18 Waterloo Rd Macquarie Park, NSW 2113 Tel: 1800 951 068 CONTRACT No:					SHEET DA-6
				Sekisui House Services (NSW) Pty Limited COPYRIGHT 2022 ABN: 42119550220. BL: 226045C.	MASTER DESIGN MASTER CHEC		TER DESIGN MASTER CHECKED		PAGE: 6
				ABN: 42119550220. BL: 226045C.			-	SCALE:	



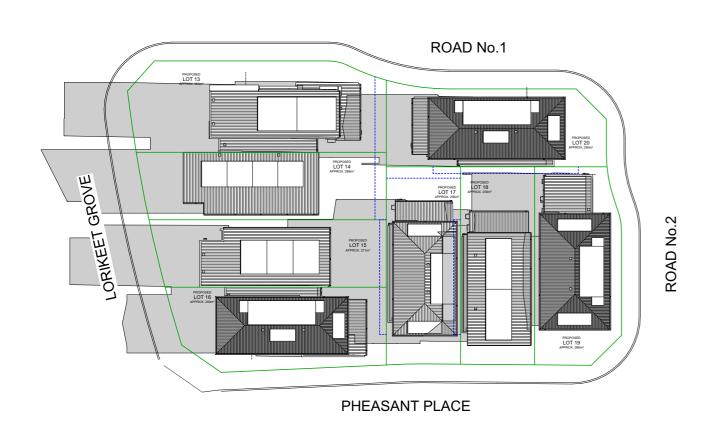


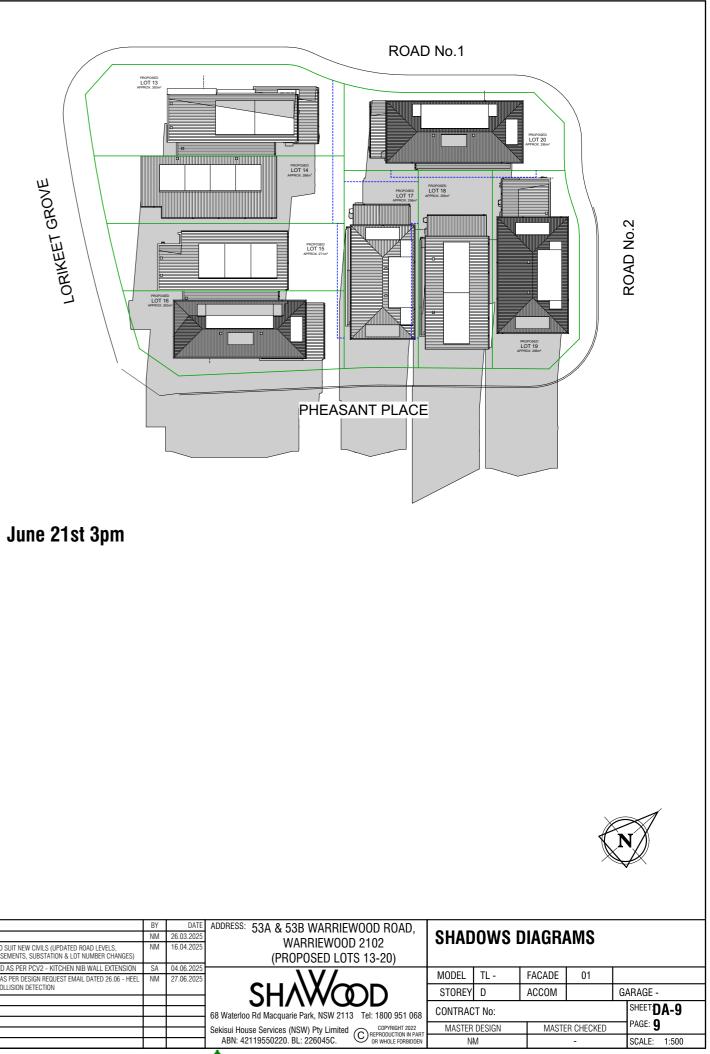
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LEGEND

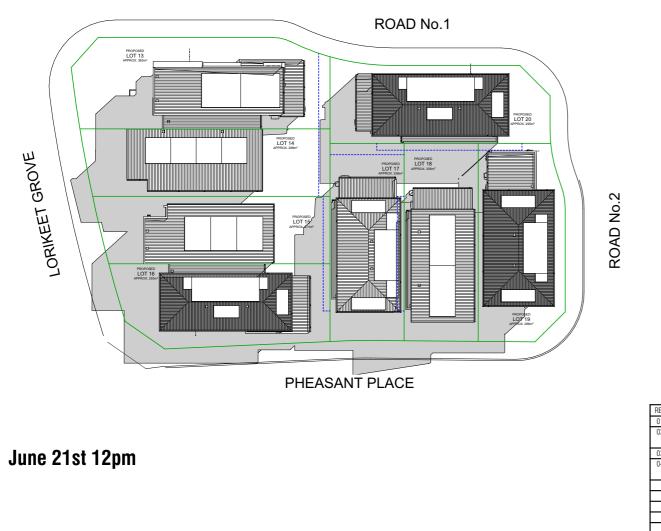


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June 21st 9am



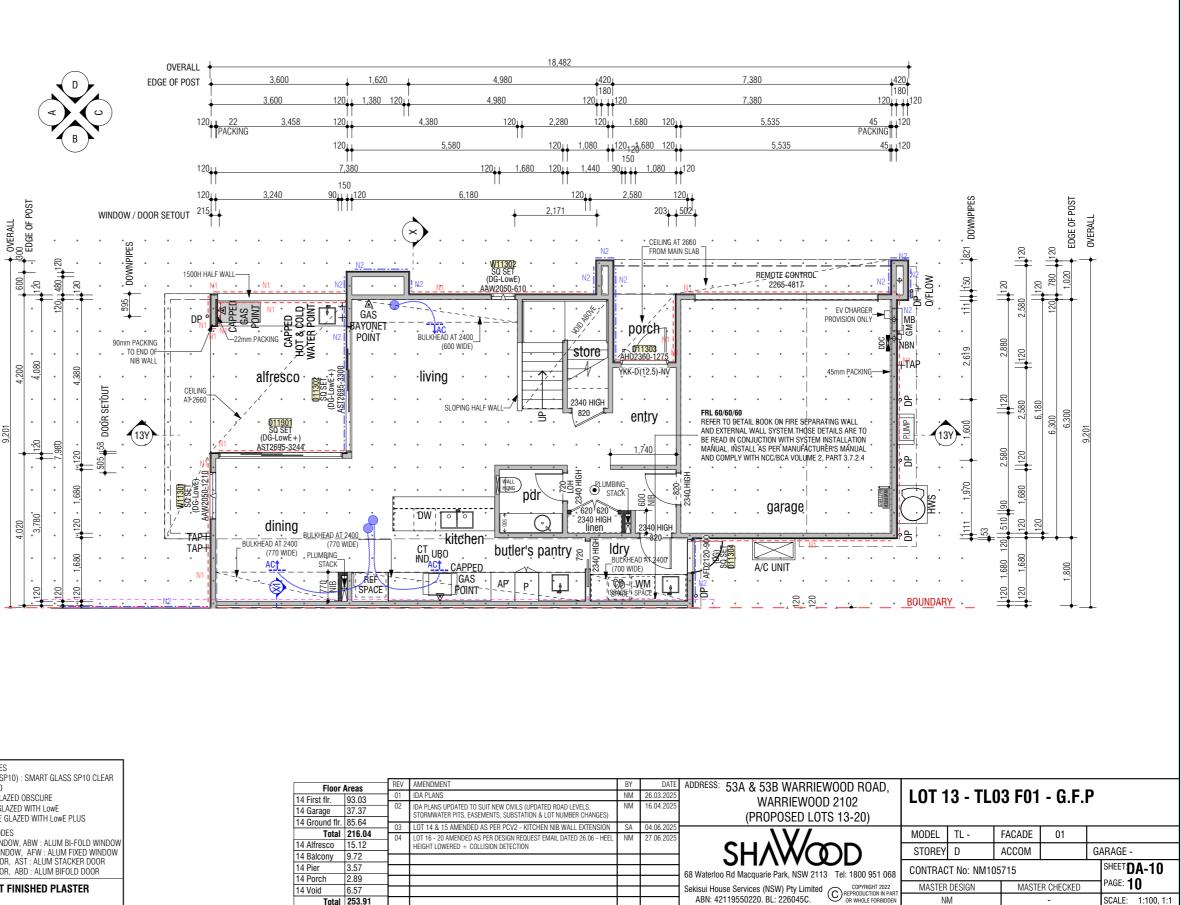


		_			_
REV	AMENDMENT	BY	DATE	ADDRESS: 53A & 53B WARRIEWOOD ROAD,	
01	IDA PLANS	NM	26.03.2025	,	S
02	IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS,	NM	16.04.2025	WARRIEW00D 2102	
	STORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES)			(PROPOSED LOTS 13-20)	
03	LOT 14 & 15 AMENDED AS PER PCV2 - KITCHEN NIB WALL EXTENSION	SA	04.06.2025		
04	LOT 16 - 20 AMENDED AS PER DESIGN REQUEST EMAIL DATED 26.06 - HEEL	NM	27.06.2025		M
	HEIGHT LOWERED + COLLISION DETECTION			SHAWOOD	S
					<u> </u>
				68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 1800 951 068	CO
				· · ·	
				Sekisui House Services (NSW) Pty Limited	
				ABN: 42119550220. BL: 226045C.	
				please consider the environment before printing this st	neet

GENERAL NOTES								
DROP SLAB 60MM TO WET AREAS.								
 DROP SLAB 70mm TO PORCH AND OUTDOOR LIVING U.N.O. 								
 WET AREAS IN ACCORDANCE WITH NCC REQUIREMENTS 								
WC DOOR REMOVABLE WHERE REQUIRED AND FITTED WITH LIFT OFF								
HINGES IN ACCORDANCE WITH NCC VOL2 PART H4								
MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH NCC VOL2 PART H4								
 WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE. 								
 REFER ENGINEER'S DRAWING FOR BRACING WALLS INFORMATION. 								
 REF, FRE, W.M AND C.D SYMBOLS INDICATE POSITION ONLY 								
 SQUARE SET CORNICE TO CEILING THROUGHOUT. 								
 "GRID" = CENTER OF SHAWOOD FRAME 								
GF CEILING HEIGHT = 2660 UNLESS NOTED OTHERWISE								
• FF CEILING HEIGHT = 2510 UNLESS NOTED OTHERWISE								
 EXTERNAL WINDOW HEAD HEIGHT UNLESS NOTED OTHERWISE 								
- GROUND FLOOR (MEASURE FROM TOP OF SLAB) = 2375mm								
- FIRST FLOOR (MEASURE FROM TOP OF PARTICLE BOARD) = 2296mm								
EXTERNAL DOOR HEAD HEIGHT UNLESS OTHERWISE NOTED								
= 2375mm (MEASURE FROM TOP OF SLAB)								
ALL HEIGHTS NOMINATED ARE FROM THE STRUCTURAL SLAB BELOW EXCEPT PORCH AND ALFRESCO								
UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:								
- EXT 151mm=16 CLADDING+15 CAVITY+120 STUD								
- INTERNAL = 90mm STUD AND 120mm STUD - WALL CLADDING OVERHANGS THE SLAB EDGE BY 11mm								
PROVIDE WEATHERTIGHT WINDOW FLASHING TO THE SILL OF ALL								
WINDOWS AS PER STANDARD DETAIL 4.20-4.22								
STANDARD DETAIL VERSION: 2025-05								
PROVIDE PLYWOOD LINING TO THE ROOF STRUCTURE AS PER STANDARD DETAILS 5.3-2 to 5.3-5								
CONDENSATION MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH PART 10.8 OF THE HOUSING PROVISIONS.								
LEGEND								
<u>N1</u> STANDARD FUGE								
N2 FEATURE FUGE								
^{R1} RENDERED								

_____ . ____ - RENDER 2

- <u>R3</u> - - RENDER 3



 OP - DOWNPIPE. REFER TO STORMWATER MANAGEMENT PLAN FOR CONNECTION TO TANK [RA] - ROOF ACCESS [PA] - RETURN AIR CEILING GRILL (ŷ) ' (ɣ) - CEILING VENTS ☎ - DENOTES SHAWOOD POST (④) - SMOKE ALARM (DIRECT WIRED) 	WINDOW GLAZING CODES (0BS): 0BSCURED, (SP10): SMART GLASS SP10 CLEAR (DG): DOUBLE GLAZED (DG-0BS): DOUBLE GLAZED OBSCURE (DG-LowE): DOUBLE GLAZED WITH LowE (DG-LowE+): DOUBLE GLAZED WITH LowE PLUS
- 120mm WALL	WINDOW AND DOOR CODES ASW : ALUM SLIDING WINDOW, ABW : ALUM BI-FOLD WINDOW AAW : ALUM SUDING WINDOW, AFW : ALUM FIXED WINDOW ASD : ALUM SLIDING DOOR, AST : ALUM STACKER DOOR AFD : ALUM FRENCH DOOR, ABD : ALUM BIFOLD DOOR

REFER TO ENGINEER'S DRAWING FOR BRACING DETAILS

				B 14		
Floor	Areas	REV	AMENDMENT	BY	DATE	ADDRESS: 53A & 53B WARRIEW
	93.03	01	IDA PLANS	NM	26.03.2025	
		02	IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS.	NM	16.04.2025	WARRIEWOOD
	37.37		STORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES)			(PROPOSED LOTS
14 Ground flr.	85.64	03	LOT 14 & 15 AMENDED AS PER PCV2 - KITCHEN NIB WALL EXTENSION	SA	04.06.2025	
Total	216.04					\\//
	15.12	04	LOT 16 - 20 AMENDED AS PER DESIGN REQUEST EMAIL DATED 26.06 - HEEL HEIGHT LOWERED + COLLISION DETECTION	NM	27.06.2025	
14 Balcony	9.72	<u> </u>				SHAWQ
14 Pier	3.57					
14 Porch	2.89	├──				68 Waterloo Rd Macquarie Park, NSW 2113
14 Void	6.57					Sekisui House Services (NSW) Pty Limited
Total	253.91					ABN: 42119550220. BL: 226045C.
						A

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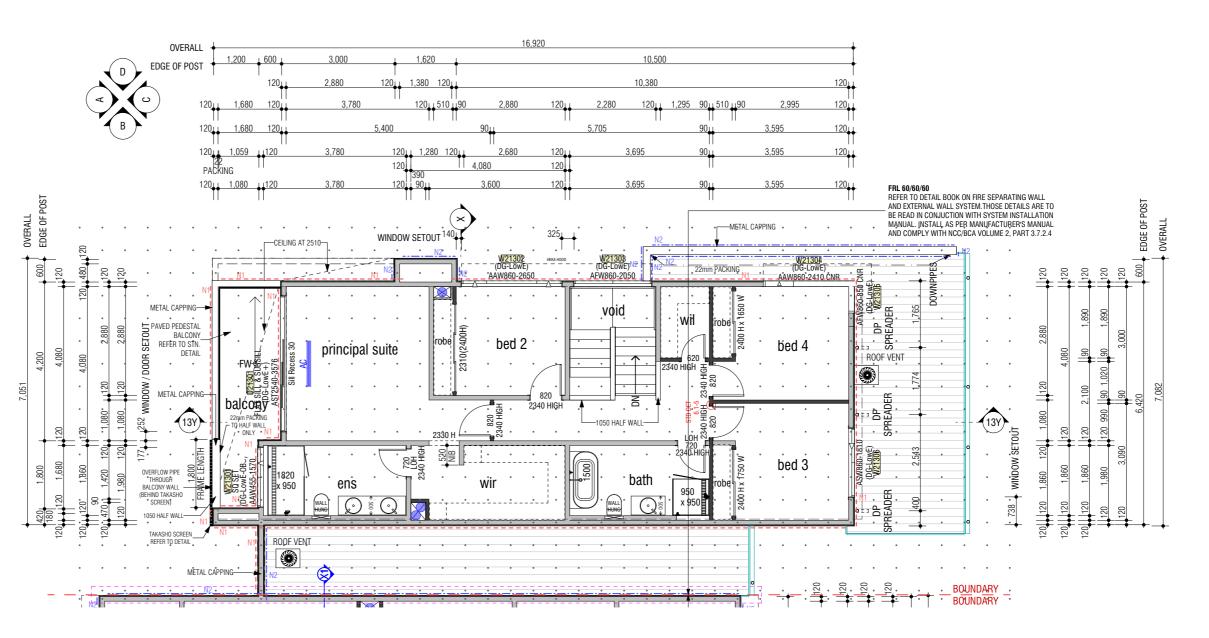
NŧM

SCALE: 1:100, 1:1

	-
GENERAL NOTES	
DROP SLAB 60MM TO WET AREAS.	1
 DROP SLAB 70mm TO PORCH AND OUTDOOR LIVING U.N.O. 	l
 WET AREAS IN ACCORDANCE WITH NCC REQUIREMENTS 	l
WC DOOR REMOVABLE WHERE REQUIRED AND FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH NCC VOL2 PART H4	
MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH NCC VOL2 PART H4	
WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE.	l
 REFER ENGINEER'S DRAWING FOR BRACING WALLS INFORMATION. 	l
 REF, FRE, W.M AND C.D SYMBOLS INDICATE POSITION ONLY 	L
 SQUARE SET CORNICE TO CEILING THROUGHOUT. 	L
 "GRID" = CENTER OF SHAWOOD FRAME 	L
GF CEILING HEIGHT = 2660 UNLESS NOTED OTHERWISE	L
• FF CEILING HEIGHT = 2510 UNLESS NOTED OTHERWISE	L
 EXTERNAL WINDOW HEAD HEIGHT UNLESS NOTED OTHERWISE 	L
- GROUND FLOOR (MEASURE FROM TOP OF SLAB) = 2375mm	l
- FIRST FLOOR (MEASURE FROM TOP OF PARTICLE BOARD) = 2296mm	l
 EXTERNAL DOOR HEAD HEIGHT UNLESS OTHERWISE NOTED 	L
= 2375mm (MEASURE FROM TOP OF SLAB)	l
ALL HEIGHTS NOMINATED ARE FROM THE STRUCTURAL SLAB BELOW EXCEPT PORCH AND ALFRESCO	
UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:	l
- EXT 151mm=16 CLADDING+15 CAVITY+120 STUD	l
- INTERNAL = 90mm STUD AND 120mm STUD	l
- WALL CLADDING OVERHANGS THE SLAB EDGE BY 11mm	l
PROVIDE WEATHERTIGHT WINDOW FLASHING TO THE SILL OF ALL WINDOWS AS PER STANDARD DETAIL 4.20-4.22	
 STANDARD DETAIL VERSION: 2025-05 	L
PROVIDE PLYWOOD LINING TO THE ROOF STRUCTURE AS PER STANDARD DETAILS 5.3-2 to 5.3-5	1
CONDENSATION MANAGEMENT WILL BE PROVIDED IN	1
ACCORDANCE WITH PART 10.8 OF THE HOUSING PROVISIONS.	
LEGEND	
<u>N1</u> STANDARD FUGE	
N2 FEATURE FUGE	

____R1 ____ - _ - RENDERED

<u>R3</u> . ___ - RENDER 3



● DP - DOWNPIPE. REFER TO STORMWATER MANAGEMENT PLAN FOR CONNECTION TO TANK [PA] - ROOF ACCESS [PA] ↓ - ROOF ACCESS [PA] ↓ - CEILING VENTS ⊠ - DENOTES SHAWOOD POST ● - SMOKE ALARM (DIRECT WIRED) - 120mm WALL - 90mm WALL	WINDOW GLAZING CODES (0BS): OBSCURED, (SP10): SMART GLASS SP10 CLEAR (DG): DOUBLE GLAZED (DG-OBS): DOUBLE GLAZED OBSCURE (DG-LowE): DOUBLE GLAZED WITH LOWE (DG-LowE): DOUBLE GLAZED WITH LOWE PLUS WINDOW AND DOOR CODES ASW: ALUM SLIDING WINDOW, ABW: ALUM BI-FOLD WINDOW AAW: ALUM SUDING WINDOW, AFW: ALUM STACKER DOOR AFD: ALUM FRENCH DOOR, ABD: ALUM BIFOLD DOOR
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REFER TO ENGINEER'S DRAWING FOR BRACING DETAILS

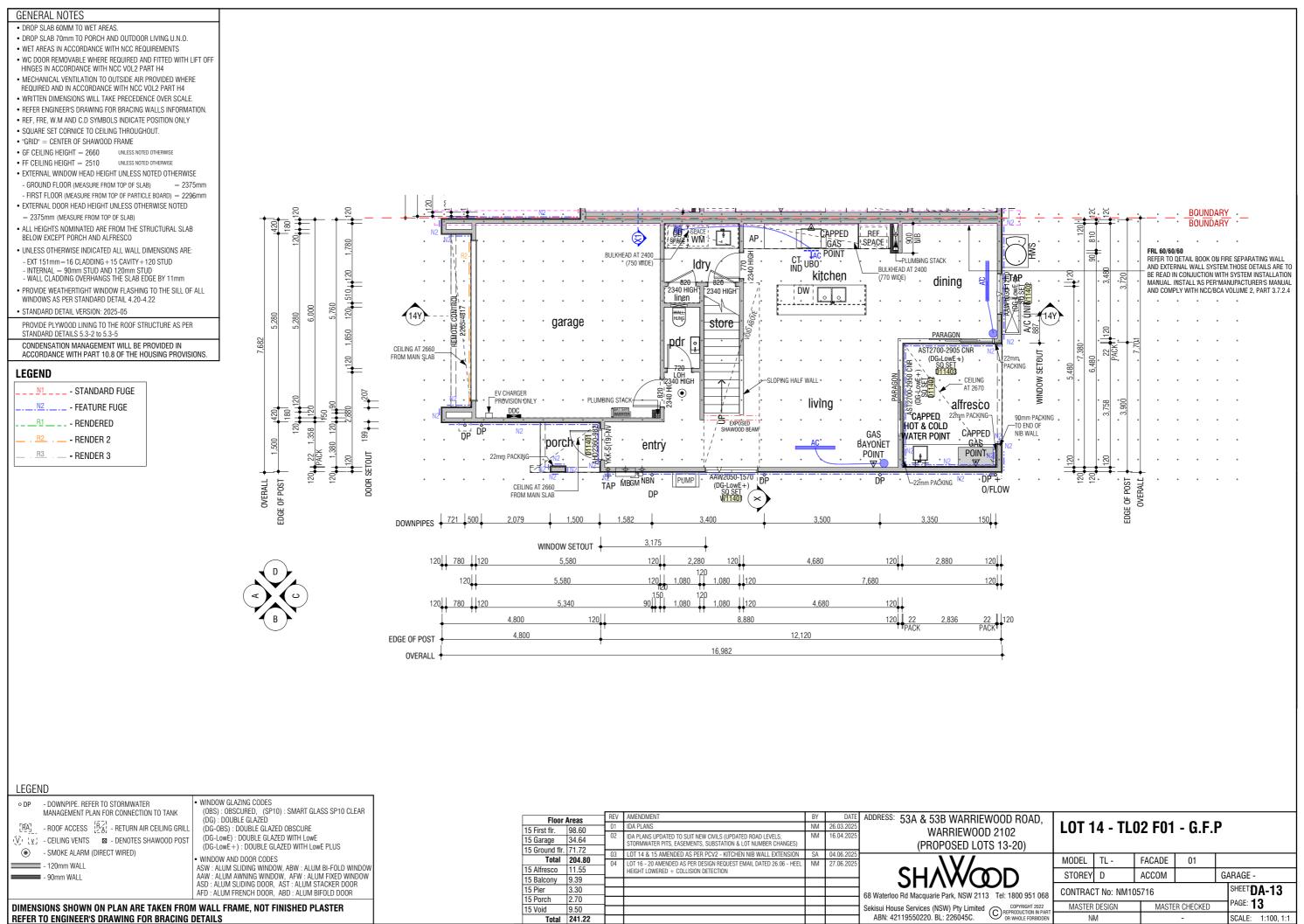
Floor	Arose	REV	AMENDMENT	BY	DATE	ADDRESS: 53A & 53B WARRIEWOOD ROAD,							
14 First flr.	93.03	01	IDA PLANS	NM	26.03.2025		LOT 13 - TL03 F01 - F.F.P						
14 Garage	37.37	02	IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS,	NM	16.04.2025	WARRIEWOOD 2102							
14 Ground flr.		0.2	STORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES) LOT 14 & 15 AMENDED AS PER PCV2 - KITCHEN NIB WALL EXTENSION	CA	04.06.2025	(PROPOSED LOTS 13-20)							
Total	216.04	03	LOT 14 & 15 AMENDED AS PER PCV2 - NITCHEN NIB WALL EXTENSION LOT 16 - 20 AMENDED AS PER DESIGN REQUEST EMAIL DATED 26.06 - HEEL	SA NM	27.06.2025	\\//	MODEL	TL -	FACADE	01			
14 Alfresco	15.12		HEIGHT LOWERED + COLLISION DETECTION		21.00.2020	SHAWOOD	STOREY	D	ACCOM		GARAGE -		
14 Balcony	9.72						STURLT	D	ACCOIVI				
14 Pier	3.57					68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 1800 951 068	CONTRAC	T No: NM10	5715		SHEET: DA-11		
14 Porch	2.89						MASTER DESIGN		MASTER DESIGN MASTER CHE			PAGE: 11	
	6.57	<u> </u>		<u> </u>		Sekisui House Services (NSW) Pty Limited ABN: 42119550220. BL: 226045C.		NM			SCALE: 1:100, 1:1		
l lotal	253.91						114	VI		-	JUALL. 1.100, 1.1		

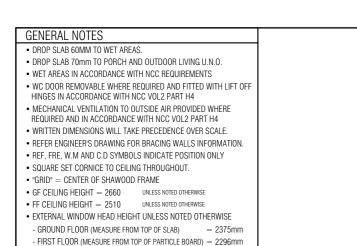
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	Window Schedule													
Element ID	Window Code Parameter	Paragon	Height	Width	Reveal Thickness	Square Set 2mm gap	Tiled Reveal 6mm gap	View from Opening Side	Special Note	Glazing	BOTTOM Sash	werslink	Uvalue	SHGC
W11301	AAW2050-1210		2,050	1,210	117			\bigvee		DG-LowE:- Double Glass with LowE		WID-101-002	3.40	0.49
W11302	AAW2050-610		2,050	610	117					DG-LowE:- Double Glass with LowE		WID-101-002	3.40	0.49
W21301	AAW455-1570		455	1,570	117			592		DG-LowE- OBS:- Double Glass with LowE Obscure		WID-101-002	3.40	0.49
W21302	AAW860-2650		860	2,650	130			M		DG-LowE:- Double Glass with LowE		WID-101-002	3.40	0.49
W21303	AFW860-2050		860	2,050	130					DG-LowE:- Double Glass with LowE		WID-106-020	2.30	0.59
W21304	AAW860-2410 CNR		860	2,410	130					DG-LowE:- Double Glass with LowE		WID-101-002	3.40	0.49
W21305	AFW860-850 CNR		860	850	130					DG-LowE:- Double Glass with LowE		WID-106-020	2.30	0.00
W21306	ASW860-1810		860	1,810	130			×		DG-LowE:- Double Glass with LowE		WID-102-021	3.30	0.51
8														

	Door Schedule												
Element ID	DoorCodeParam	Paragon	Height	Width	Reveal Thickness	Square Set 2mm gap	View from Opening Side	Glazing	Special Note	werslink	Uvalue	SHGC	
D11301	AST2695-3244		2,695	3,244	117		* *	DG-LowE+:- Double Glass with LowE PLUS		WID-111-005	2.90	0.48	
D11302	AST2695-3300		2,695	3,300	117		κ κ	DG-LowE+:- Double Glass with LowE PLUS		WID-111-005	2.90	0.48	
D11304	AFD2120-900		2,120	900	117			DG:- Double Glass		WID-122-017	3.90	0.51	
D21301	AST2540-3576		2,540	3,576	130		* *	DG-LowE+:- Double Glass with LowE PLUS	Flat Sill with Subsill	WID-111-005	2.90	0.48	
4													

REV	AMENDMENT IDA PLANS	BY	DATE 26.03.2025	ADDRESS: 53A & 53B WARRIEWOOD ROAD,	1074	o w/0		/ 000		
02	IDA FLANS IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS, STORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES)	NM	16.04.2025	WARRIEWOOD 2102 (PROPOSED LOTS 13-20)	LUII	R SCHEDULE				
	LOT 14 & 15 AMENDED AS PER PCV2 - KITCHEN NIB WALL EXTENSION	SA	04.06.2025		MODEL	TL -	FACADE	01		
04	LOT 16 - 20 AMENDED AS PER DESIGN REQUEST EMAIL DATED 26.06 - HEEL	NM	27.06.2025		WUDEL	12-	FAGADE	01		
	HEIGHT LOWERED + COLLISION DETECTION			SHAWOOD	STOREY	D	ACCOM		GARAGE -	
				68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 1800 951 068	CONTRAC	T No: NM10	5715		SHEET DA-12	
<u> </u>				Sekisui House Services (NSW) Ptv Limited COPYRIGHT 2022	MASTER	DESIGN	MASTE	R CHECKED	PAGE: 12	
				Sekisui House Services (NSW) Pty Limited ABN: 42119550220. BL: 226045C.	N	M		-	SCALE: 1:1	
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EXTERNAL DOOR HEAD HEIGHT UNLESS OTHERWISE NOTED

ALL HEIGHTS NOMINATED ARE FROM THE STRUCTURAL SLAB

• UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:

- WALL CLADDING OVERHANGS THE SLAB EDGE BY 11mm

• PROVIDE WEATHERTIGHT WINDOW FLASHING TO THE SILL OF ALL

PROVIDE PLYWOOD LINING TO THE ROOF STRUCTURE AS PER STANDARD DETAILS 5.3-2 to 5.3-5

ACCORDANCE WITH PART 10.8 OF THE HOUSING PROVISIONS.

CONDENSATION MANAGEMENT WILL BE PROVIDED IN

- EXT 151mm=16 CLADDING+15 CAVITY+120 STUD

- INTERNAL = 90mm STUD AND 120mm STUD

WINDOWS AS PER STANDARD DETAIL 4.20-4.22

• STANDARD DETAIL VERSION: 2025-05

___<u>N1</u>___ - STANDARD FUGE

..___.<u>N2</u>.____ - FEATURE FUGE

____<u>R1</u>____ - RENDERED

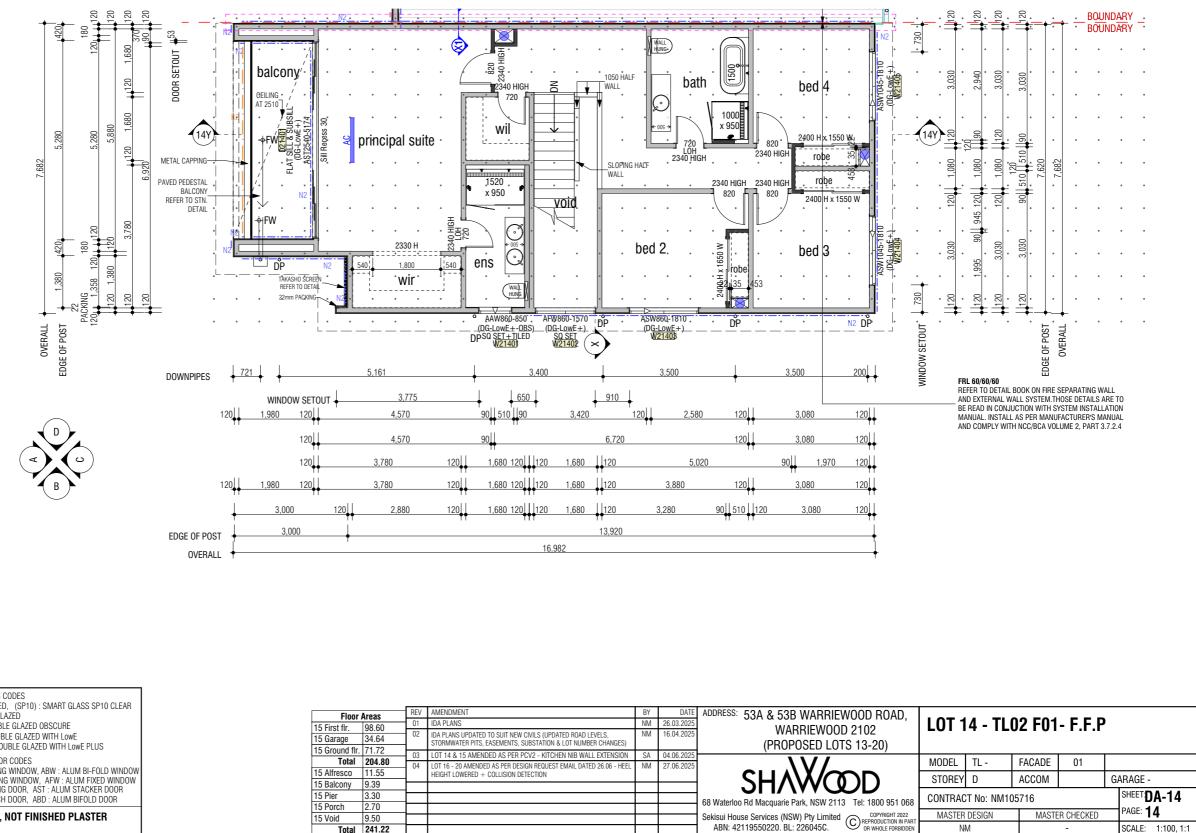
_____ . ___ - RENDER 2

_____ • <u>___</u> • ___ • RENDER 3

LEGEND

= 2375mm (MEASURE FROM TOP OF SLAB)

BELOW EXCEPT PORCH AND ALFRESCO



LEGEN	ND	
∘ DP	- DOWNPIPE. REF MANAGEMENT PI	
[RA]	- ROOF ACCESS	RETU

REFER TO ENGINEER'S DRAWING FOR BRACING DETAILS

LEGEND	
● OP - DOWNPIPE. REFER TO STORMWATER MANAGEMENT PLAN FOR CONNECTION TO TANK [[H]] - ROOF ACCESS [[J]] · [Y] - CEILING VENTS ⊠ - DENOTES SHAWOOD POS ③ - SMOKE ALARM (DIRECT WIRED) - 120mm WALL - 90mm WALL	

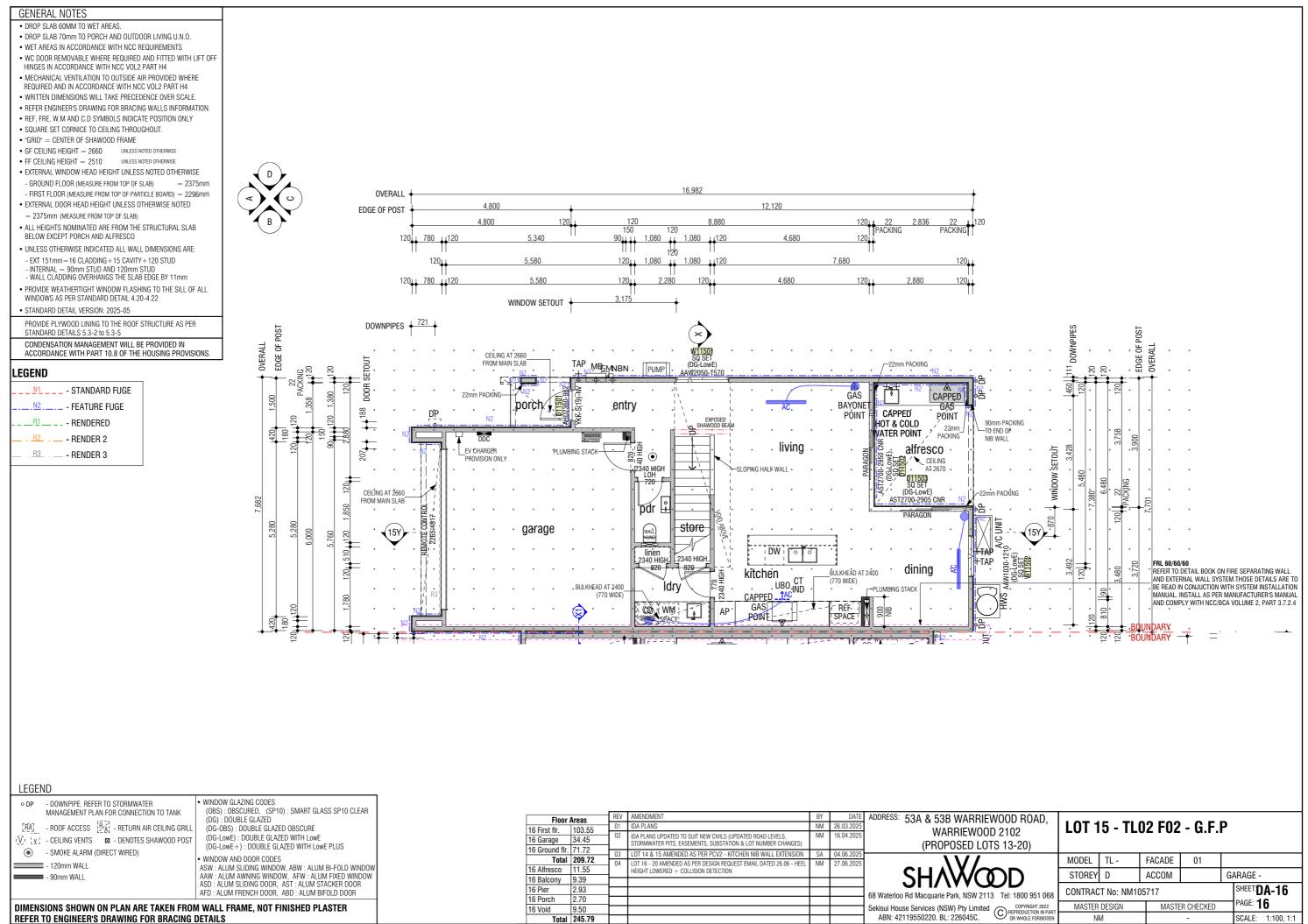
Floor	Areas	REV	AMENDMENT	BY	DATE	ADDRESS: 53A & 53B WARRIEWO
15 First flr.	98.60	01	IDA PLANS	NM	26.03.2025	
15 Garage	34.64	02	IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS,	NM	16.04.2025	WARRIEWOOD 2
15 Ground flr.			STORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES)			(PROPOSED LOTS
		03	LOT 14 & 15 AMENDED AS PER PCV2 - KITCHEN NIB WALL EXTENSION	SA	04.06.2025	``````````````````````````````````````
Total	204.80	04	LOT 16 - 20 AMENDED AS PER DESIGN REQUEST EMAIL DATED 26.06 - HEEL	NM	27.06.2025	
15 Alfresco	11.55		HEIGHT LOWERED + COLLISION DETECTION			
15 Balcony	9.39					SHAWOO
15 Pier	3.30					
15 Porch	2.70	├ ──				68 Waterloo Rd Macquarie Park, NSW 2113
15 Void	9.50					Sekisui House Services (NSW) Pty Limited
Total	241.22					ABN: 42119550220. BL: 226045C.
						*

Printed Date: 30/06/2025 - Printed by: MirzaN - File Name: W:\c.Shawood\Warriewood\Talia\3. Lot Plans\Lot 13 (Old Lot 14) - TL03 F1\6. CAD File\TL - Lot 13 - 20 (Old Lot 14 - 21).pln

	Lot 6 - Window Schedule													
Element ID	Window Code Parameter	Paragon	Height	Width	Reveal Thickness	Square Set 2mm gap	Tiled Reveal 6mm gap	View from Opening Side	Special Note	Glazing	BOTTOM Sash	werslink	Uvalue	SHGC
W11401	AAW2050-1570		2,050	1,570	117					DG-LowE+:- Double Glass with LowE PLUS		WID-101-012	3.20	0.45
W11402	AAW1030-1210		1,030	1,210	117			\bigvee		DG-LowE+:- Double Glass with LowE PLUS		WID-101-012	3.20	0.45
W21401	AAW860-850		860	850	117					DG-LowE+- OBS:- Double Glass with LowE PLUS Obscure		WID-101-012	3.20	0.45
W21402	AFW860-1570		860	1,570	117					DG-LowE+:- Double Glass with LowE PLUS	-	WID-106-028	2.10	0.54
W21403	ASW860-1810		860	1,810	130			*		DG-LowE+:- Double Glass with LowE PLUS	-	WID-102-028	3.10	0.47
W21404	ASW1045-1810		1,045	1,810	130			×		DG-LowE+:- Double Glass with LowE PLUS	-	WID-102-028	3.10	0.47
W21405	ASW1045-1810		1,045	1,810	130			*		DG-LowE+:- Double Glass with LowE PLUS	-	WID-102-028	3.10	0.47
7														

	Lot 6 - Door Schedule												
Element ID	DoorCodeParam	Paragon	Height	Width	Reveal Thickness	Square Set 2mm gap	View from Opening Side	Glazing	Special Note	werslink	Uvalue	SHGC	
D11402	AST2700-2950 CNR		2,700	2,950	139	⊠	← ←	DG-LowE+:- Double Glass with LowE PLUS		WID-124-029	3.30	0.45	
D11403	AST2700-2905 CNR		2,700	2,905	139		\rightarrow \rightarrow	DG-LowE+:- Double Glass with LowE PLUS		WID-124-029	3.30	0.45	
D21401	AST2540-5174		2,540	5,174	130		* * *	DG-LowE+:- Double Glass with LowE PLUS	Flat Sill with Subsill	WID-111-005	2.90	0.48	
3													

REV	AMENDMENT	BY	DATE	ADDRESS: 53A & 53B WARRIEWOOD ROAD,						
01	IDA PLANS	NM	26.03.2025		LOT 1	4 - WI	NDOW	7 DOO	R SCHEDULE	
02	IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS,	NM	16.04.2025		-0			/ 200		
	STORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES)			(PROPOSED LOTS 13-20)						
03	LOT 14 & 15 AMENDED AS PER PCV2 - KITCHEN NIB WALL EXTENSION	SA	04.06.2025		MODEL		FAGADE			
04	LOT 16 - 20 AMENDED AS PER DESIGN REQUEST EMAIL DATED 26.06 - HEEL	NM	27.06.2025		MODEL	TL -	FACADE	01		
	HEIGHT LOWERED + COLLISION DETECTION			SHAWOOD	STOREY	n	ACCOM		GARAGE -	
					OTONET	D	AUDUM			
					CONTRAC	T No: NM10	5716		SHEET DA-15	
				68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 1800 951 068			-		PAGE: 15	
\vdash				Sekisui House Services (NSW) Pty Limited COPYRIGHT 2022	MASTER	DESIGN	MASTE	R CHECKED	FAGL. 13	
				Sekisui House Services (NSW) Pty Limited ABN: 42119550220. BL: 226045C.	N	M		-	SCALE: 1:1	
	please consider the environment before printing this sheet									



16 Void

Total 245.79

DIMENSIONS SHOWN ON PLAN ARE TAKEN FROM WALL FRAME, NOT FINISHED PLASTER **REFER TO ENGINEER'S DRAWING FOR BRACING DETAILS**

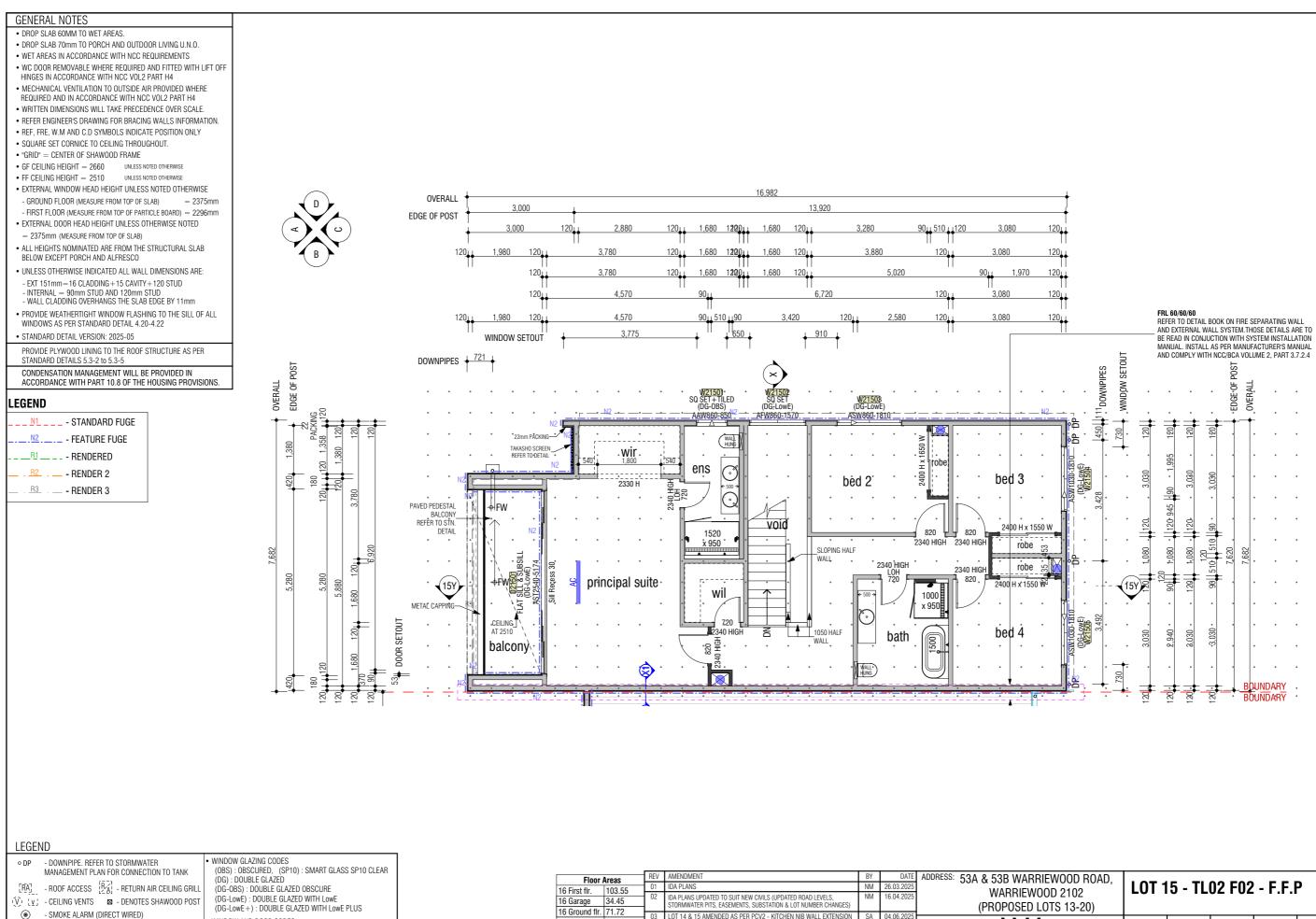
Printed Date: 30/06/2025 - Printed by:MirzaN - File Name:W:\c.Shawood\Warriewood\Talia\3. Lot Plans\Lot 13 (Old Lot 14) - TL03 F1\6. CAD File\TL - Lot 13 - 20 (Old Lot 14 - 21).pln

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efore	printing	this	sheet	

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SCALE: 1:100, 1:1



Total 209.72

Total 245.79

16 Alfresco 11.55

16 Balcony 9.39 16 Pier 2.93

 16 Porch
 2.30

 16 Porch
 2.70

 16 Void
 9.50

16 Void

LOT 16 - 20 AMENDED AS PER DESIGN REQUEST EMAIL DATED 26.06 - HEE HEIGHT LOWERED + COLLISION DETECTION

NM

27.06.20

ASW : ALUM SLIDING WINDOW, ABW : ALUM BI-FOLD WINDOW AAW : ALUM AWNING WINDOW, AFW : ALUM FIXED WINDOW ASD : ALUM SLIDING DOOR, AST : ALUM STACKER DOOR AFD : ALUM FRENCH DOOR, ABD : ALUM BIFOLD DOOR DIMENSIONS SHOWN ON PLAN ARE TAKEN FROM WALL FRAME, NOT FINISHED PLASTER REFER TO ENGINEER'S DRAWING FOR BRACING DETAILS

- 120mm WALL

– 90mm WALL

Printed Date: 30/06/2025 - Printed by	v:MirzaN - File Name:W:\c.Shawood\Warriewood\Talia\3. Lot Plans\	ot 13 (Old Lot 14	4) - TL03 F1\6_CAD File\TL - Lot 13 - 20 (Old Lot 14 - 21)) nln

WINDOW AND DOOR CODES

ABN: 42119550220. BL: 226045C. please consider the environment before printing this sheet

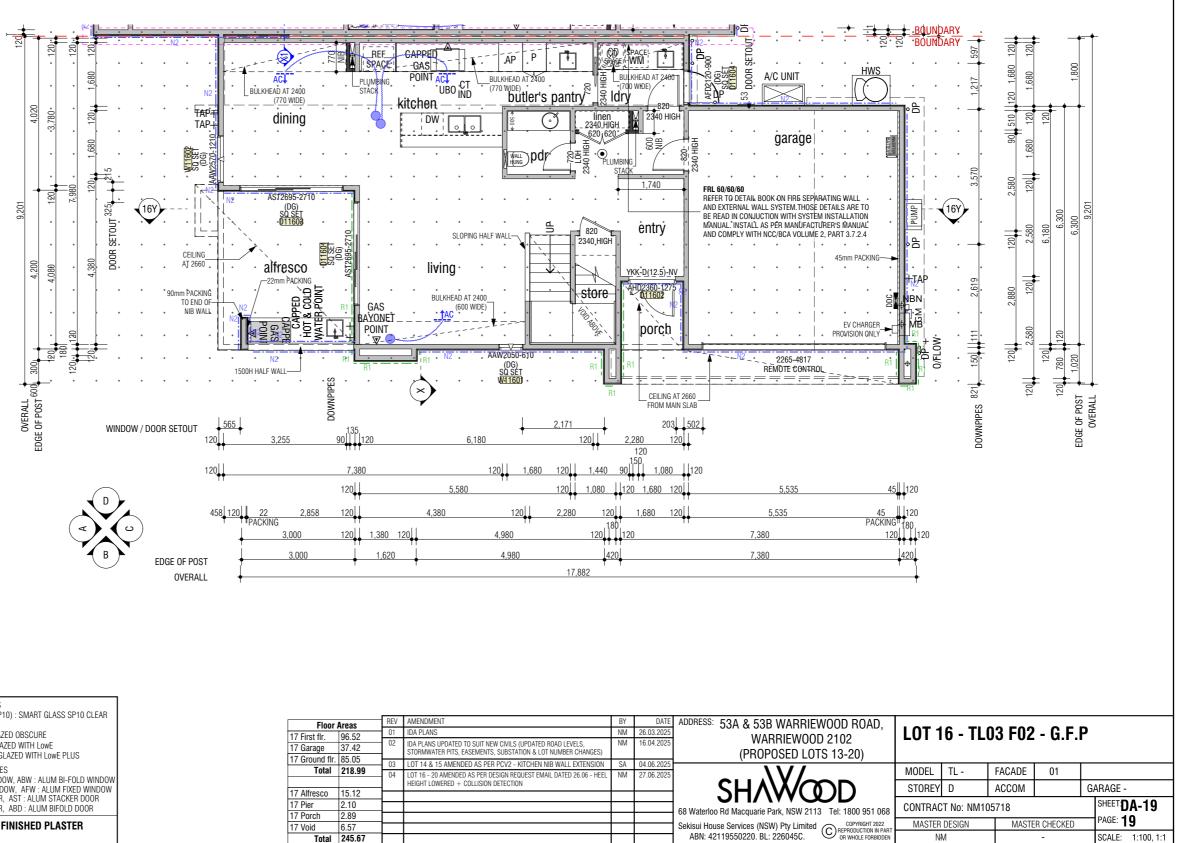
ADDRESS: 53A & 53B WARRIEWOOD ROAD, WARRIEWOOD 2102 (PROPOSED LOTS 13-20)	LOT 1	5 - TL	02 F02	- F.F.I	P
	MODEL	TL -	FACADE	01	
SHAWOOD	STOREY	D	ACCOM		GARAGE -
68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 1800 951 068	CONTRAC	T No: NM10)5717		SHEET DA-17
Sekisui House Services (NSW) Pty Limited C REPRODUCTION IN PART	MASTER	DESIGN	MASTE	R CHECKED	PAGE: 17
ABN: 42119550220. BL: 226045C.	NŧM			-	SCALE: 1:100, 1:1
🛓					

	Window Schedule													
Element ID	Window Code Parameter	Paragon	Height	Width	Reveal Thickness	Square Set 2mm gap	Tiled Reveal 6mm gap	View from Opening Side	Special Note	Glazing	BOTTOM Sash	werslink	Uvalue	SHGC
W11501	AAW2050-1570		2,050	1,570	117					DG-LowE:- Double Glass with LowE		WID-101-002	3.40	0.49
W11502	AAW1030-1210		1,030	1,210	117			\bigtriangledown		DG-LowE:- Double Glass with LowE		WID-101-002	3.40	0.49
W21501	AAW860-850		860	850	117			V		DG-OBS:- Double Glass Obscure		WID-101-032	4.00	0.58
W21502	AFW860-1570		860	1,570	117					DG-LowE:- Double Glass with LowE		WID-106-020	2.30	0.59
W21503	ASW860-1810		860	1,810	130			×		DG-LowE:- Double Glass with LowE		WID-102-021	3.30	0.51
W21504	ASW1030-1810		1,030	1,810	130			X		DG-LowE:- Double Glass with LowE		WID-102-021	3.30	0.51
W21505	ASW1030-1810		1,030	1,810	130			×		DG-LowE:- Double Glass with LowE		WID-102-021	3.30	0.51
7														

						D	oor Schedule					
Element ID	DoorCodeParam	Paragon	Height	Width	Reveal Thickness	Square Set 2mm gap	View from Opening Side	Glazing	Special Note	werslink	Uvalue	SHGC
D11502	AST2700-2950 CNR		2,700	2,950	139		\rightarrow \rightarrow	DG-LowE:- Double Glass with LowE		WID-124-022	3.40	0.49
D11503	AST2700-2905 CNR		2,700	2,905	139		← ←	DG-LowE:- Double Glass with LowE		WID-124-022	3.40	0.49
D21501	AST2540-5174		2,540	5,174	130		* * *	DG-LowE:- Double Glass with LowE	Flat Sill with Subsill	WID-111-014	3.10	0.52
3												

REV 01 02	AMENDMENT IDA PLANS IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS, STORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES)	BY NM NM	DATE 26.03.2025 16.04.2025	ADDRESS: 53A & 53B WARRIEWOOD ROAD, WARRIEWOOD 2102 (PROPOSED LOTS 13-20)	LOT 1	5 - WI	NDOW	/ D00	R SCHEDULE
03 04	LOT 14 & 15 AMENDED AS PER PCV2 - KITCHEN NIB WALL EXTENSION LOT 16 - 20 AMENDED AS PER DESIGN REQUEST EMAIL DATED 26.06 - HEEL HEIGHT LOWERED + COLLISION DETECTION	SA NM	04.06.2025 27.06.2025		MODEL STOREY	TL - D	FACADE	01	GARAGE -
				68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 1800 951 068		T No: NM10		R CHECKED	SHEET DA-18 PAGE: 18
				Sekisui House Services (NSW) Pty Limited ABN: 42119550220. BL: 226045C.		М		-	SCALE: 1:1

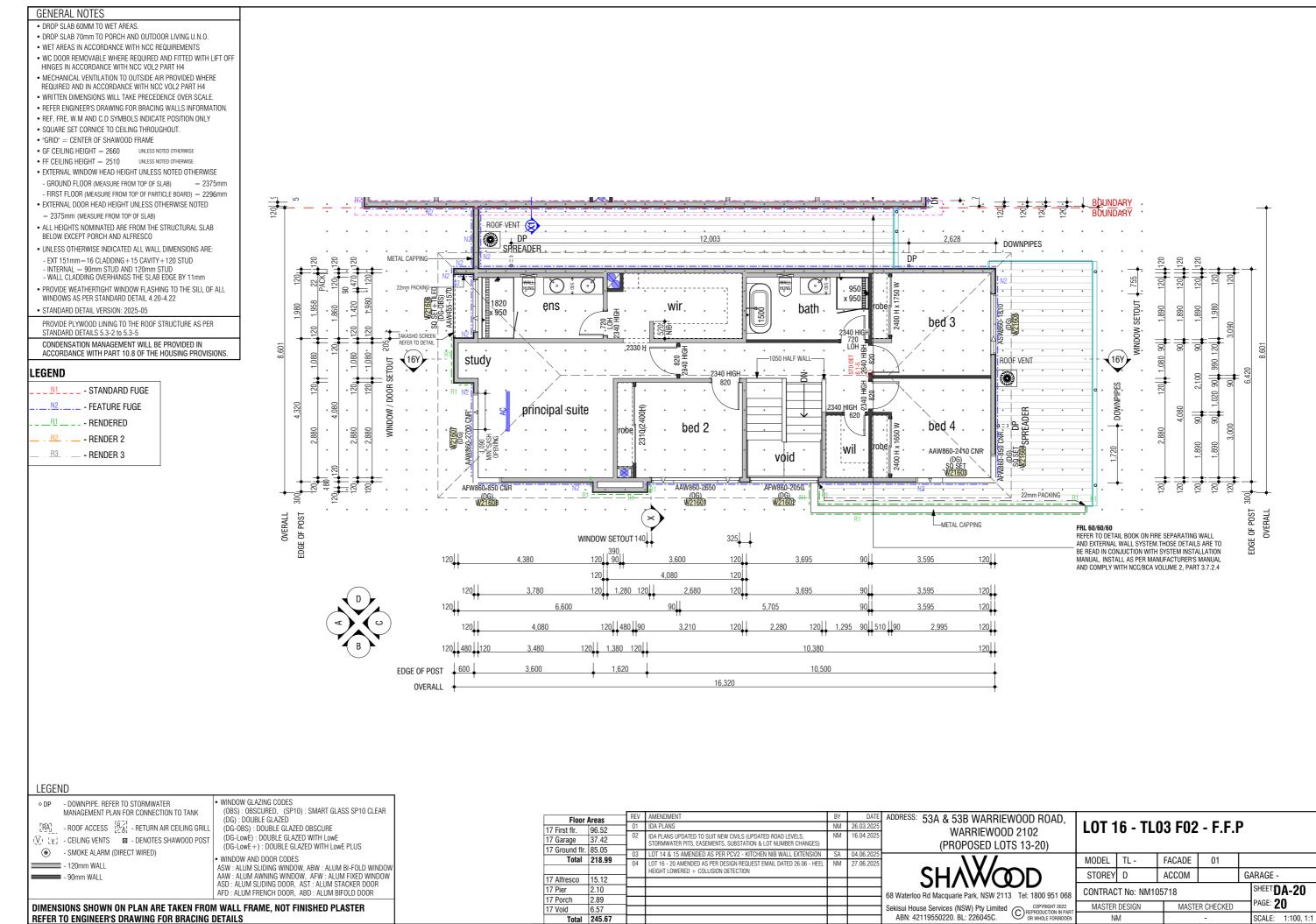
GENERAL NOTES • DROP SLAB 60MM TO WET AREAS. • DROP SLAB 70mm TO PORCH AND OUTD • WET AREAS IN ACCORDANCE WITH NCC 1 • WC DOOR REMOVABLE WHERE REQUIRED HINGES IN ACCORDANCE WITH NCC VOL2 • MECHANICAL VENTILATION TO OUTSIDE A REQUIRED AND IN ACCORDANCE WITH NC • WRITTEN DIMENSIONS WILL TAKE PRECE • REFER ENGINEER'S DRAWING FOR BRACII	REQUIREMENTS AND FITTED WITH LIFT OFF PART H4 IR PROVIDED WHERE
DROP SLAB 70mm TO PORCH AND OUTD WET AREAS IN ACCORDANCE WITH NCC F WC DOOR REMOVABLE WHERE REQUIRED HINGES IN ACCORDANCE WITH NCC VOL2 MECHANICAL VENTILATION TO OUTSIDE A REQUIRED AND IN ACCORDANCE WITH NC WRITTEN DIMENSIONS WILL TAKE PRECE	REQUIREMENTS AND FITTED WITH LIFT OFF PART H4 IR PROVIDED WHERE
WET AREAS IN ACCORDANCE WITH NCC F WC DOOR REMOVABLE WHERE REQUIRED HINGES IN ACCORDANCE WITH NCC VOL2 MECHANICAL VENTILATION TO OUTSIDE A REQUIRED AND IN ACCORDANCE WITH NC WRITTEN DIMENSIONS WILL TAKE PRECE	REQUIREMENTS AND FITTED WITH LIFT OFF PART H4 IR PROVIDED WHERE
WC DOOR REMOVABLE WHERE REQUIRED HINGES IN ACCORDANCE WITH NCC VOL2 MECHANICAL VENTILATION TO OUTSIDE A REQUIRED AND IN ACCORDANCE WITH NC WRITTEN DIMENSIONS WILL TAKE PRECE	AND FITTED WITH LIFT OFF PART H4 IR PROVIDED WHERE
HINGES IN ACCORDANCE WITH NCC VOL2 • MECHANICAL VENTILATION TO OUTSIDE A REQUIRED AND IN ACCORDANCE WITH NC • WRITTEN DIMENSIONS WILL TAKE PRECE	PART H4 IR PROVIDED WHERE
REQUIRED AND IN ACCORDANCE WITH NO • WRITTEN DIMENSIONS WILL TAKE PRECE	
WRITTEN DIMENSIONS WILL TAKE PRECE	
 REFER ENGINEER'S DRAWING FOR BRACIE 	
REF, FRE, W.M AND C.D SYMBOLS INDICA	
SQUARE SET CORNICE TO CEILING THROUT	
 "GRID" = CENTER OF SHAWOOD FRAME 	
	NOTED OTHERWISE
	NOTED OTHERWISE
• EXTERNAL WINDOW HEAD HEIGHT UNLES	S NOTED OTHERWISE
- GROUND FLOOR (MEASURE FROM TOP OF	SLAB) = 2375mm
- FIRST FLOOR (MEASURE FROM TOP OF PAP	
EXTERNAL DOOR HEAD HEIGHT UNLESS C	THERWISE NOTED
= 2375mm (MEASURE FROM TOP OF SLAB)	
ALL HEIGHTS NOMINATED ARE FROM THE BELOW EXCEPT PORCH AND ALFRESCO	STRUCTURAL SLAB
UNLESS OTHERWISE INDICATED ALL WAL	L DIMENSIONS ARE:
- EXT 151mm=16 CLADDING+15 CAVIT	
- INTERNAL = 90mm STUD AND 120mm - Wall Cladding overhangs the sla	B EDGE BY 11mm
 PROVIDE WEATHERTIGHT WINDOW FLASH WINDOWS AS PER STANDARD DETAIL 4.2 	
STANDARD DETAIL VERSION: 2025-05	
PROVIDE PLYWOOD LINING TO THE ROOF STANDARD DETAILS 5.3-2 to 5.3-5	STRUCTURE AS PER
CONDENSATION MANAGEMENT WILL B ACCORDANCE WITH PART 10.8 OF THE	-
LEGEND	
N1 STANDARD FUGE	
N2 FEATURE FUGE	
^{R1} RENDERED	
RENDER 2	
• R3 • RENDER 3	



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• DP - DOWNPIPE. REFER TO STORMWATER MANAGEMENT PLAN FOR CONNECTION TO TANK [RA] - ROOF ACCESS [PA] • (ŷ) - CEILING VENTS I - DENOTES SHAWOOD POST Image: Smoke ALARM (DIRECT WIRED) - 120mm WALL - 90mm WALL - 90mm WALL	WINDOW GLAZING CODES (0BS): OBSCURED, (SP10): SMART GLASS SP10 CLEAR (DG): DOUBLE GLAZED (DG-0BS): DOUBLE GLAZED OBSCURE (DG-LowE): DOUBLE GLAZED WITH LOWE (DG-LowE): DOUBLE GLAZED WITH LOWE PLUS WINDOW AND DOOR CODES ASW: ALUM SLIDING WINDOW, ABW: ALUM BI-FOLD WINDOW AAW: ALUM SUDING WINDOW, AFW: ALUM FIXED WINDOW ASD: ALUM SLIDING DOOR, AST: ALUM STACKER DOOR AFD: ALUM FRENCH DOOR, ABD: ALUM BI-FOLD DOOR
DIMENSIONS SHOWN ON PLAN ARE TAKEN FROM Refer to Engineer's Drawing for Bracing	

Total	245.67	1				ADN. 42113330220. DL. 2200430.
17 Void	6.57	_				Sekisui House Services (NSW) Pty Limited ABN: 42119550220, BL: 226045C.
		—				Sakisui Housa Sanvicas (NSW) Ptv Limitad
17 Porch	2.89	1				68 Waterloo Rd Macquarie Park, NSW 2113 T
17 Pier	2.10					
17 Alfresco	15.12					
			HEIGHT LOWERED + COLLISION DETECTION			SHAWOO
Total	218.99	04	LOT 16 - 20 AMENDED AS PER DESIGN REQUEST EMAIL DATED 26.06 - HEEL	NM	27.06.2025	
17 Ground flr.		03	LOT 14 & 15 AMENDED AS PER PCV2 - KITCHEN NIB WALL EXTENSION	SA	04.06.2025	(
17 Garage	37.42	4	STORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES)			(PROPOSED LOTS 1
		02	IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS,	NM	16.04.2025	WARRIEW00D 2
17 First flr.	96.52	01	IDA PLANS	NM	26.03.2025	
Floor	Areas	REV	AMENDMENT	BY	DATE	ADDRESS: 53A & 53B WARRIEWO



REFER TO ENGINEER'S DRAWING FOR BRACING DETAILS

Printed Date: 30/06/2025 - Printed by:MirzaN - File Name:W:\c.Shawood\Warriewood\Talia\3. Lot Plans\Lot 13 (Old Lot 14) - TL03 F1\6. CAD File\TL - Lot 13 - 20 (Old Lot 14 - 21).pln

							Lot 6 - W	indow Schedule						
Element ID	Window Code Parameter	Paragon	Height	Width	Reveal Thickness	Square Set 2mm gap	Tiled Reveal 6mm gap	View from Opening Side	Special Note	Glazing	BOTTOM Sash	werslink	Uvalue	SHGC
W11601	AAW2050-610		2,050	610	117					DG:- Double Glass		WID-101-032	4.00	0.58
W11602	AAW2570-1210		2,570	1,210	117			\bigvee		DG:- Double Glass		WID-101-032	4.00	0.58
W21601	AAW860-2650		860	2,650	130			M		DG:- Double Glass		WID-101-032	4.00	0.58
W21602	AFW860-2050		860	2,050	130					DG:- Double Glass		WID-106-017	3.10	0.71
W21603	AAW860-2410 CNR		860	2,410	117					DG:- Double Glass		WID-101-032	4.00	0.58
W21604	AFW860-850 CNR		860	850	117					DG:- Double Glass		WID-106-017	3.10	0.71
W21605	ASW860-1810		860	1,810	130			*		DG:- Double Glass		WID-102-018	4.00	0.61
W21606	AAW455-1570		455	1,570	117			572		DG-OBS:- Double Glass Obscure		WID-101-032	4.00	0.58
W21607	AAW860-2700 CNR		860	2,700	130					DG:- Double Glass		WID-101-032	4.00	0.58
W21608	AFW860-850 CNR		860	850	130					DG:- Double Glass		WID-106-017	3.10	0.71
10														

						Lot 6	- Door Schedule					
Element ID	DoorCodeParam	Paragon	Height	Width	Reveal Thickness	Square Set 2mm gap	View from Opening Side	Glazing	Special Note	werslink	Uvalue	SHGC
D11601	AST2695-2710		2,695	2,710	117		* *	DG:- Double Glass		WID-111-017	3.80	0.62
D11603	AST2695-2710		2,695	2,710	117		×	DG:- Double Glass		WID-111-017	3.80	0.62
D11604	AFD2120-900		2,120	900	117			DG:- Double Glass		WID-122-017	3.90	0.51
3												

REV 01	AMENDMENT IDA PLANS	BY	26.03.2025	ADDRESS: 53A & 53B WARRIEWOOD ROAD, WARRIEWOOD 2102	LOT 1	6 - WI	NDOW	/ D00	R SCHEDULE
02	IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS, STORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES)	NM	16.04.2025	(PROPOSED LOTS 13-20)				-	
03	LOT 14 & 15 AMENDED AS PER PCV2 - KITCHEN NIB WALL EXTENSION	SA	04.06.2025		MODEL	T 1		01	
04	LOT 16 - 20 AMENDED AS PER DESIGN REQUEST EMAIL DATED 26.06 - HEEL	NM	27.06.2025		MODEL	TL -	FACADE	01	
	HEIGHT LOWERED + COLLISION DETECTION			SHAWOOD	STOREY	D	ACCOM		GARAGE -
E				68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 1800 951 068	CONTRAC	T No: NM10)5718		SHEET DA-21
⊢				Sekisui House Services (NSW) Pty Limited COPYRIGHT 2022 ABN: 42119550220. BL: 226045C.	MASTER	DESIGN	MASTE	R CHECKED	PAGE: 21
				ABN: 42119550220. BL: 226045C.	N	M		-	SCALE: 1:1

GENERAL NOTES					
DROP SLAB 60MM TO WET AREAS.					FOR ORIENTA
DROP SLAB 70mm TO PORCH AND OUTDOOR LIVING U.N.O. WET AREAS IN ACCORDANCE WITH NCC REQUIREMENTS					
WC DOOR REMOVABLE WHERE REQUIRED AND FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH NCC VOL2 PART H4					
MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE		THC			
REQUIRED AND IN ACCORDANCE WITH NCC VOL2 PART H4 • WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE.		FRI 1.4 I WITH SY			
REFER ENGINEER'S DRAWING FOR BRACING WALLS INFORMATION.		16mm FRL 60/60/6 1.4 & L 60/60/6 E DETAILS AL 4 SYSTEM IN 4 SYSTEM IN AS P			
REF, FRE, W.M AND C.D SYMBOLS INDICATE POSITION ONLY SQUARE SET CORNICE TO CEILING THROUGHOUT.		DN TH INST/ S PER			
"GRID" = CENTER OF SHAWOOD FRAME		m MULTISHIELD PLASTERBOARD 120 60 REFER TO STANDARD DEFAIL N THE EXTERNAL SYSTEM ARE TO BE READ IN CONJUCTION NATION MANUFAL INSTALL PER MANUFACTORES MANUSCI		15,782	
GF CEILING HEIGHT = 2660 UNLESS NOTED OTHERWISE FF CEILING HEIGHT = 2510 UNLESS NOTED OTHERWISE				12,720	3,000
EXTERNAL WINDOW HEAD HEIGHT UNLESS NOTED OTHERWISE			5,580	12011 1,980 12011	4,680 1201
- GROUND FLOOR (MEASURE FROM TOP OF SLAB) = 2375mm			5,580		7,680 12
- FIRST FLOOR (MEASURE FROM TOP OF PARTICLE BOARD) = 2296mm • EXTERNAL DOOR HEAD HEIGHT UNLESS OTHERWISE NOTED					
= 2375mm (MEASURE FROM TOP OF SLAB)					
ALL HEIGHTS NOMINATED ARE FROM THE STRUCTURAL SLAB BELOW EXCEPT PORCH AND ALFRESCO					
UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:	- +- ++		<u></u> <u></u>	·	<u> </u>
- EXT 151mm=16 CLADDING+15 CAVITY+120 STUD - INTERNAL = 90mm STUD AND 120mm STUD					
- WALL CLADDING OVERHANGS THE SLAB EDGE BY 11mm		· · · ````			- SAP
PROVIDE WEATHERTIGHT WINDOW FLASHING TO THE SILL OF ALL WINDOWS AS PER STANDARD DETAIL 4.20-4.22	· ·	· · · · · · · · · · · · · · · · · · ·	<u>, </u>	- - $-$ - $ -$ - $ -$ - $ -$ - $-$ - $ -$	
STANDARD DETAIL VERSION: 2025-05		. j			- 3ë 0 1
PROVIDE PLYWOOD LINING TO THE ROOF STRUCTURE AS PER STANDARD DETAILS 5.3-2 to 5.3-5				SPACE CD I	
CONDENSATION MANAGEMENT WILL BE PROVIDED IN	- <u>- 2,180</u> - <u>6,000</u> - <u>6,1</u>	24			
ACCORDANCE WITH PART 10.8 OF THE HOUSING PROVISIONS.	6,120 ·			720 1dry	
LEGEND			· · · · · · · · ·		· · · · · · · · · · · · · · ·
<u>N1</u> STANDARD FUGE	8,58	· · · · · · · · · · · · · · · · · · ·			· · · · · · · · · · · · · · · · · · ·
N2 FEATURE FUGE	32 1,380		````		-
R1 RENDERED		EV CHARGER	• • • • • • • • •		AST2695-2644
<u>R2</u> RENDER 2		≶≌			
• <u>R3</u> • RENDER 3					
			SLOPINC WALL	· · · · ● · · 2400H	
		<u>КК-</u> р(1 <u>9)-</u> И - <u>ројс</u> h - 22mm РАС	entry		
		HD2360-727 POICh 22mm PACK			
	080 12 12		• UP• + + + + + + + + + + + + + + + + + + +		
	120 120 120 120 120 120 120 120 120 120		�_ <u></u>		AAW600-3010
	120 120 120 - EDGE OF POST	ЧТАР Р	Bend DP + ⊼ 0/FLOW · · · ·	DP .	.(DG-LowE+)
	ALL .	GM			W101 A PA OF MM PA
	POST				HALF WALL
		•••••••••••••••••••••••••••••••••••••••	25	6,274	4,283 DOWNPIPES
				180	1,096 WINDOW/DOOR SETOU
		120	5,580		4,680 120
		120	7,080		ĬĬ
				12,000	4,680 120 2,858 22 PAC 3,000 12
		↓ ↓		15,782	Ť
LEGEND					
MANAGEMENT PLAN FOR CONNECTION TO TANK (OBS) : OBSCURED,	(SP10) : SMART GLASS SP10 CLEAR		REV AMEN	IDMENT	BY DATE ADDRESS: 534 & 538 WARRIEN
$[\overline{RA}]$ - ROOF ACCESS $[\overline{RA}]$ - RETURN AIR CEILING GRILL (DG-OBS) : DOUBLE GLAZ (DG-OBS) : DOUBLE	GLAZED OBSCURE		Floor Areas	LANS	NM 26.03.2025
(Û) ', ', ', - CEILING VENTS ⊠ - DENOTES SHAWOOD POST (DG-LowE) : DOUBLE (DG-LowE+) : DOUB	GLAZED WITH LOWE LE GLAZED WITH LOWE PLUS		18 Eirct flr 04 84 U2 IDA PL	LANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS, WWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHAN	(PROPOSED LOT
 SMOKE ALARM (UIRECT WIRED) WINDOW AND DOOR C 	CODES		18 Ground flr. 84.30 04 LOT 1		SION SA 04.06.2025
ASW : ALUM SLIDING V	INDOW, ABW : ALUM BI-FOLD WINDOW			IT LOWERED + COLLISION DETECTION	

 Total
 214.57

 18 Alfresco
 10.66

 18 Porch
 4.38

 18 Void
 8.39

Total 238.00

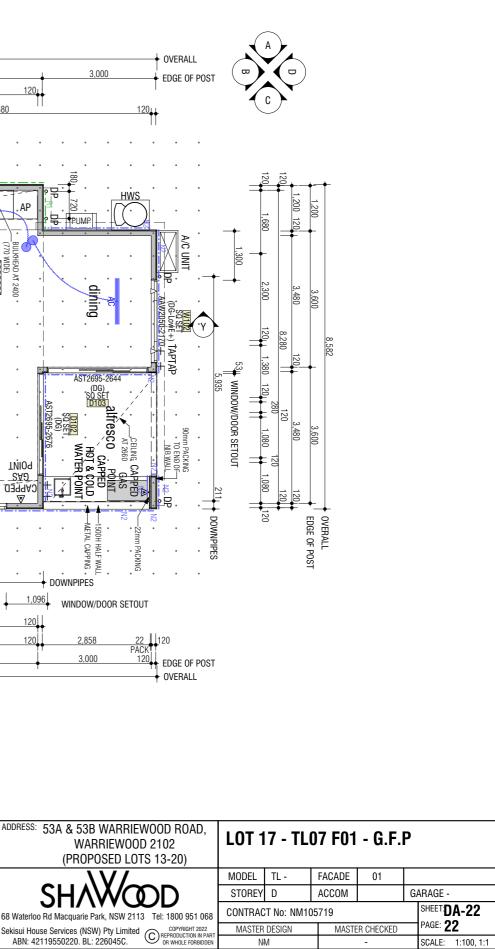
DIMENSIONS SHOWN ON PLAN ARE TAKEN FROM	W WALL FRAME, NOT FINISHED PLASTER
	AFD : ALUM FRENCH DOOR, ABD : ALUM BIFOLD DOOR
- John WALL	ASD : ALUM SLIDING DOOR, AST : ALUM STACKER DOOR
- 90mm WAI I	AAW : ALUM AWNING WINDOW, AFW : ALUM FIXED WINDOW
- 120mm WALL	ASW : ALUM SLIDING WINDOW, ABW : ALUM BI-FOLD WINDOW
SMOKE ALARM (DIRECT WIRED)	WINDOW AND DOOR CODES
· · · ·	(DG-LowE+) : DOUBLE GLAZED WITH LOWE PLUS
(V) v - CEILING VENTS	(DG-LowE) : DOUBLE GLAZED WITH LOWE
$\begin{bmatrix} RA \end{bmatrix}$ - ROOF ACCESS $\begin{bmatrix} RA \end{bmatrix}$ - RETURN AIR CEILING GRILL	(DG-OBS) : DOUBLE GLAZED OBSCURE
MANAGEMENT PLAN FOR CONNECTION TO TANK	(OBS) : OBSCURED, (SP10) : SMART GLASS SP10 CLEAR

DIMENSIONS SHOWN ON PLAN ARE TAI REFER TO ENGINEER'S DRAWING FOR BRACING DETAILS

Printed Date: 30/06/2025 - Printed by:MirzaN - File Name:W:\c.Shawood\Warriewood\Tatia\3. Lot Plans\Lot 13 (Old Lot 14) - TL03 F1\6. CAD File\TL - Lot 13 - 20 (Old Lot 14 - 21).pln

please consider the environment before printing this sheet

TION OF HOME REFER TO SITE PLAN



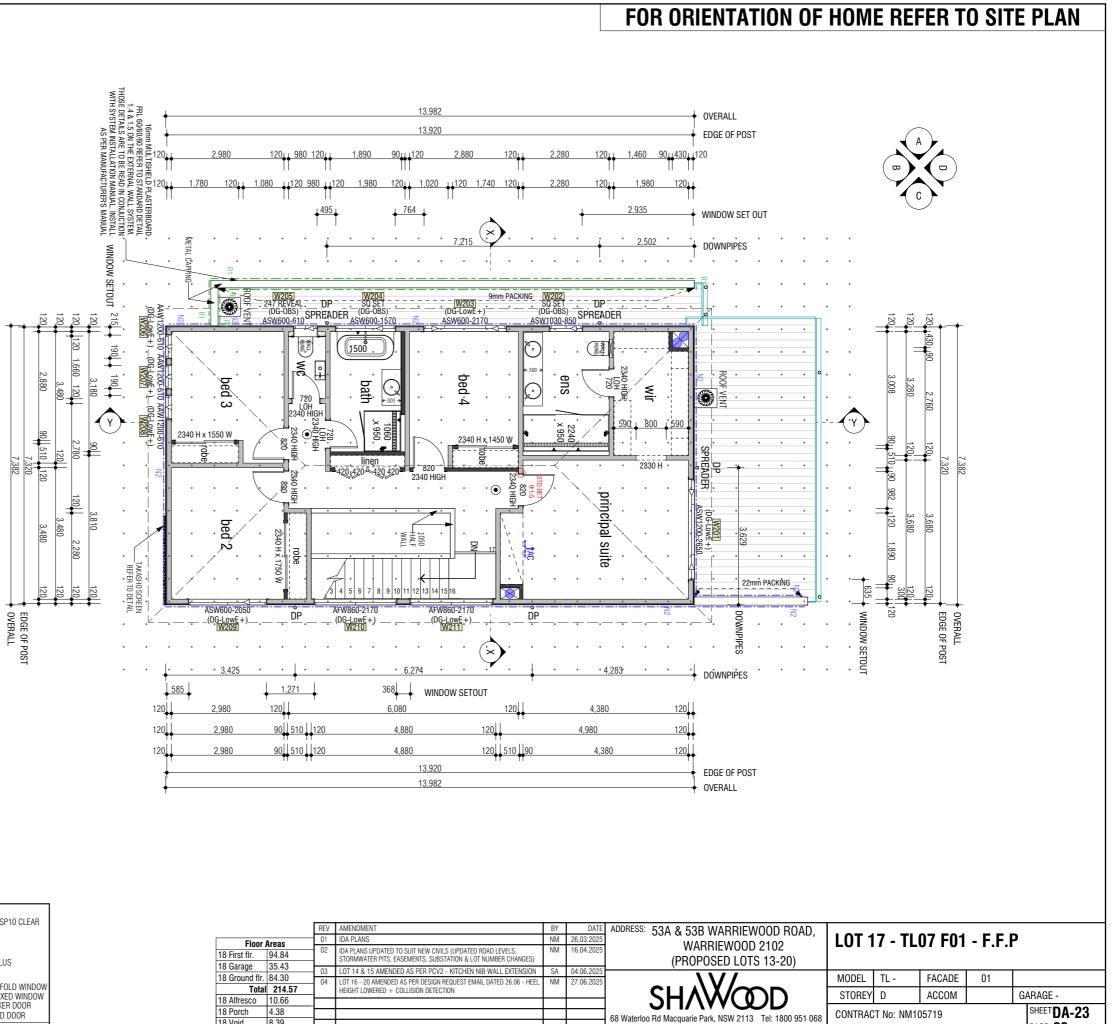
	GENERAL NOTES							
	DROP SLAB 60MM TO WET AREAS.							
	DROP SLAB 70mm TO PORCH AND OUTDOOR LIVING U.N.O.							
	WET AREAS IN ACCORDANCE WITH NCC REQUIREMENTS							
	• WC DOOR REMOVABLE WHERE REQUIRED AND FITTED WITH LIFT OFF							
	HINGES IN ACCORDANCE WITH NCC VOL2 PART H4							
	MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE							
	REQUIRED AND IN ACCORDANCE WITH NCC VOL2 PART H4							
	WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE.							
	REFER ENGINEER'S DRAWING FOR BRACING WALLS INFORMATION.							
	REF, FRE, W.M AND C.D SYMBOLS INDICATE POSITION ONLY							
	SQUARE SET CORNICE TO CEILING THROUGHOUT.							
	• "GRID" = CENTER OF SHAWOOD FRAME							
	• GF CEILING HEIGHT = 2660 UNLESS NOTED OTHERWISE							
	• FF CEILING HEIGHT = 2510 UNLESS NOTED OTHERWISE							
	EXTERNAL WINDOW HEAD HEIGHT UNLESS NOTED OTHERWISE							
	- GROUND FLOOR (MEASURE FROM TOP OF SLAB) = 2375mm							
	- FIRST FLOOR (MEASURE FROM TOP OF PARTICLE BOARD) $= 2296$ mm							
	EXTERNAL DOOR HEAD HEIGHT UNLESS OTHERWISE NOTED							
	= 2375mm (MEASURE FROM TOP OF SLAB)							
	ALL HEIGHTS NOMINATED ARE FROM THE STRUCTURAL SLAB							
	BELOW EXCEPT PORCH AND ALFRESCO							
	 UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE: 							
	- EXT 151mm=16 CLADDING+15 CAVITY+120 STUD							
	 INTERNAL = 90mm STUD AND 120mm STUD WALL CLADDING OVERHANGS THE SLAB EDGE BY 11mm 							
	PROVIDE WEATHERTIGHT WINDOW ELASHING TO THE SILL OF ALL							
	WINDOWS AS PER STANDARD DETAIL 4.20-4.22							
	STANDARD DETAIL VERSION: 2025-05							
	PROVIDE PLYWOOD LINING TO THE ROOF STRUCTURE AS PER							
	STANDARD DETAILS 5.3-2 to 5.3-5							
	CONDENSATION MANAGEMENT WILL BE PROVIDED IN							
_	ACCORDANCE WITH PART 10.8 OF THE HOUSING PROVISIONS.							
	LEGEND							
	N1 STANDARD FUGE							

____ - RENDERED

_____ . <u>____</u> . ____ - RENDER 2

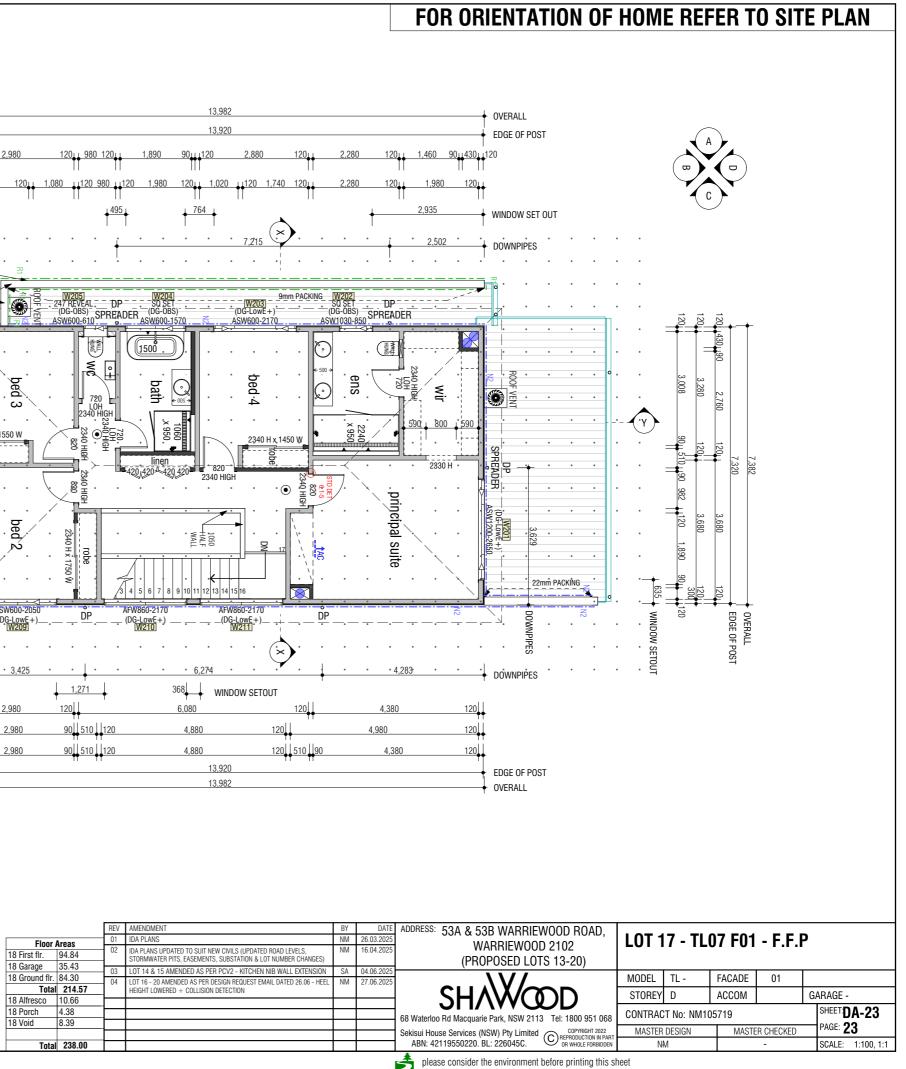
_____ • <u>____</u> • **RENDER 3**

<u>R1</u>



OP - DOWNPIPE. REFER TO STORMWATER MANAGEMENT PLAN FOR CONNECTION TO TANK [FA] - ROOF ACCESS [FA] - RETURN AIR CEILING GRIL [V] [Y] - CEILING VENTS 🖬 - DENOTES SHAWOOD POST O - SMOKE ALARM (DIRECT WIRED) - 120mm WALL - 90mm WALL	
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Printed Date: 30/06/2025 - Printed by:MirzaN - File Name:W.\c.Shawood\Warriewood\Talia\3. Lot Plans\Lot 13 (Old Lot 14) - TL03 F1\6. CAD File\TL - Lot 13 - 20 (Old Lot 14 - 21).pln



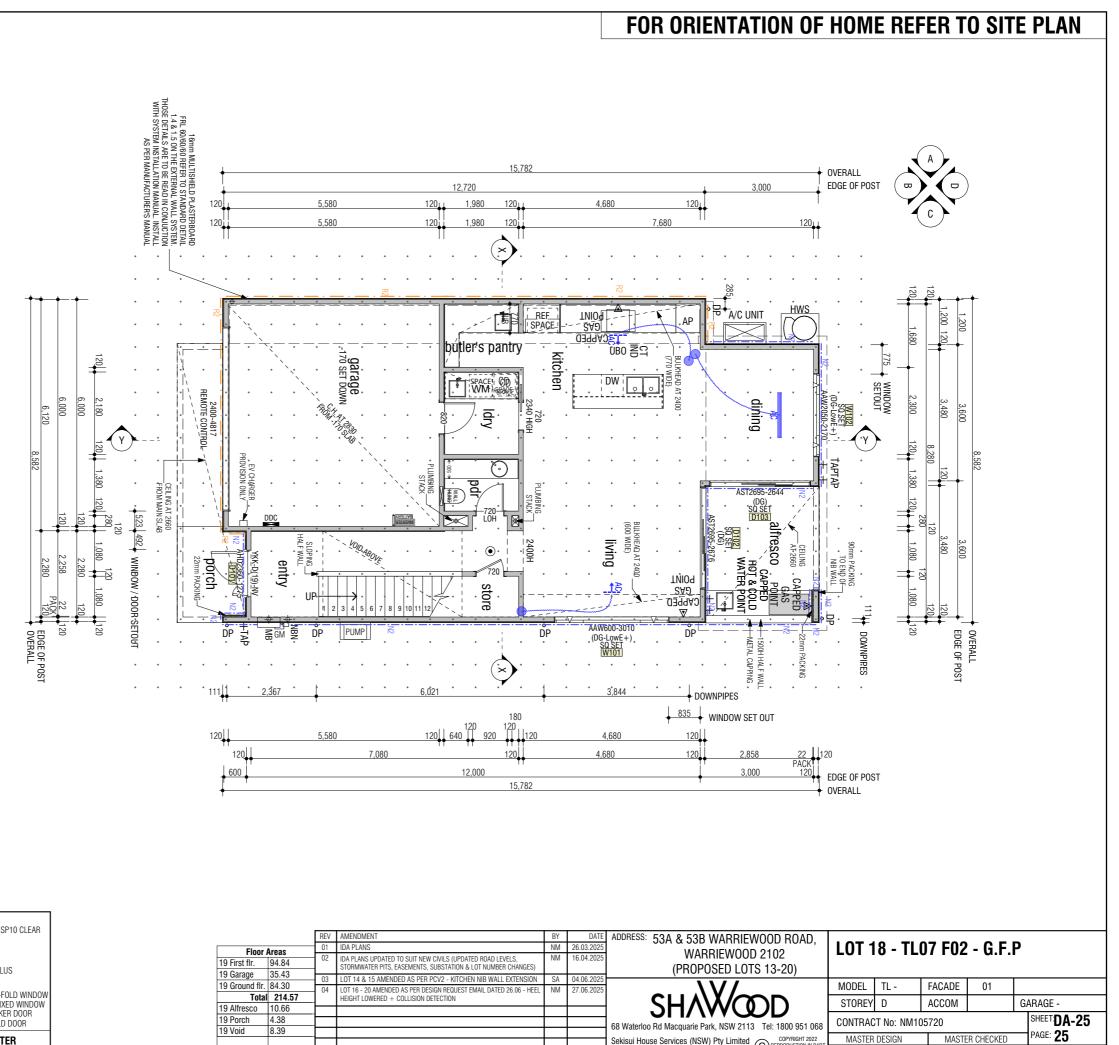
	Window Schedule													
Element ID	Window Code Parameter	Paragon	Height	Width	Reveal Thickness	Square Set 2mm gap	Tiled Reveal 6mm gap	View from Opening Side	Special Note	Glazing	BOTTOM Sash	werslink	Uvalue	SHGC
W101	AAW600-3010		600	3,010	117	×		X		DG-LowE+:- Double Glass with LowE PLUS		WID-101-012	3.20	0.45
W102	AAW2050-2170		2,050	2,170	117	⊠				DG-LowE+:- Double Glass with LowE PLUS		WID-101-012	3.20	0.45
W201	ASW1200-2650		1,200	2,650	130			* *		DG-LowE+:- Double Glass with LowE PLUS		WID-102-028	3.10	0.47
W202	ASW1030-850		1,030	850	117					DG-OBS:- Double Glass Obscure		WID-102-018	4.00	0.61
W203	ASW600-2170		600	2,170	130			XX		DG-LowE+:- Double Glass with LowE PLUS		WID-102-028	3.10	0.47
W204	ASW600-1570		600	1,570	117					DG-OBS:- Double Glass Obscure		WID-102-018	4.00	0.61
W205	ASW600-610		600	610	247					DG-OBS:- Double Glass Obscure		WID-102-018	4.00	0.61
W206	AAW1200-610		1,200	610	130			M		DG-LowE+:- Double Glass with LowE PLUS		WID-101-012	3.20	0.45
W207	AAW1200-610		1,200	610	130			M		DG-LowE+:- Double Glass with LowE PLUS		WID-101-012	3.20	0.45
W208	AAW1200-610		1,200	610	130			M		DG-LowE+:- Double Glass with LowE PLUS		WID-101-012	3.20	0.45
W209	ASW600-2050		600	2,050	130			<u> </u>		DG-LowE+:- Double Glass with LowE PLUS		WID-102-028	3.10	0.47
W210	AFW860-2170		860	2,170	130					DG-LowE+:- Double Glass with LowE PLUS		WID-106-028	2.10	0.54
W211	AFW860-2170		860	2,170	130					DG-LowE+:- Double Glass with LowE PLUS		WID-106-028	2.10	0.54
13														

	Door Schedule											
Element ID	DoorCodeParam	Paragon	Height	Width	Reveal Thickness	Square Set 2mm gap	View from Opening Side	Glazing	Special Note	werslink	Uvalue	SHGC
D102	AST2695-2676		2,695	2,676	117	⊠	* *	DG:- Double Glass		WID-111-017	3.80	0.62
D103	AST2695-2644		2,695	2,644	117		* *	DG:- Double Glass		WID-111-017	3.80	0.62
2												

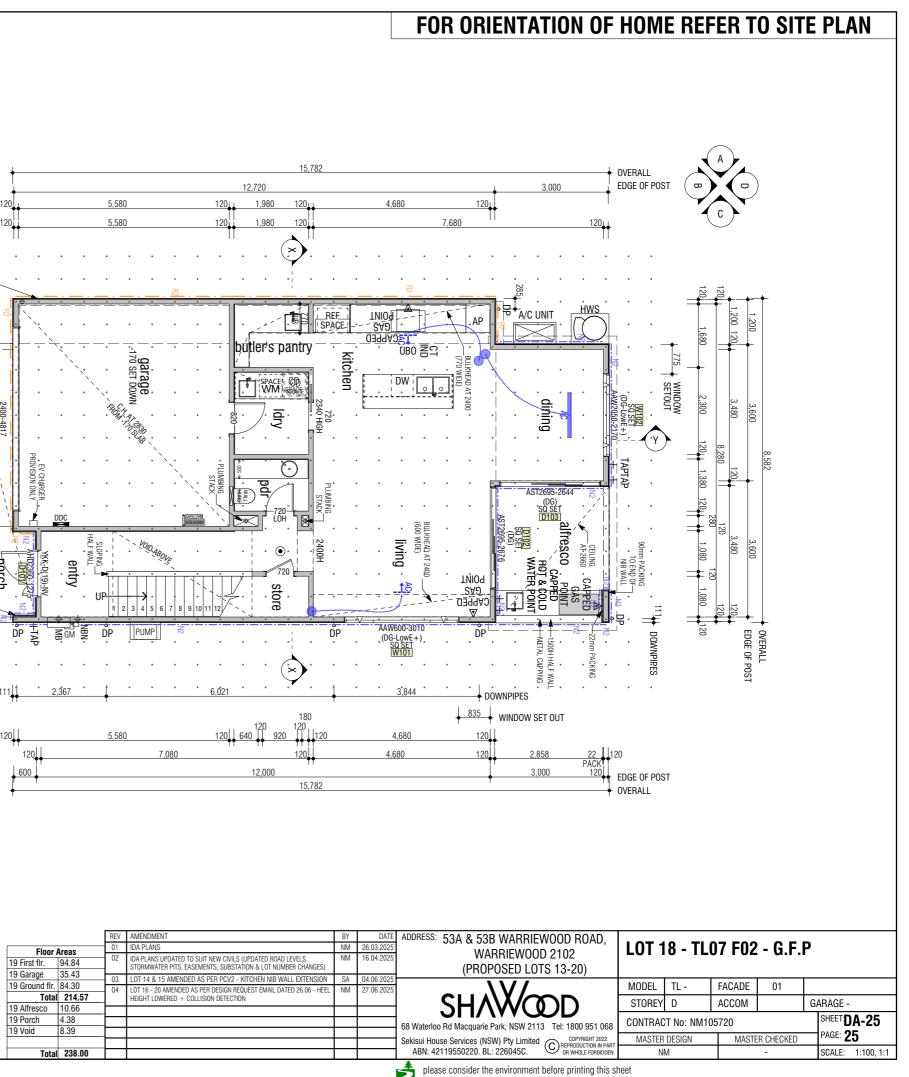
REV	AMENDMENT	BY	DATE	ADDRESS: 53A & 53B WARRIEWOOD ROAD,	1074				
01	IDA PLANS	NM	26.03.2025		LUI 1	1 - WII	NUUW	/ มบบ	R SCHEDULE
02	IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS,	NM	16.04.2025					, ====	
	STORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES)			(PROPOSED LOTS 13-20)					
03	LOT 14 & 15 AMENDED AS PER PCV2 - KITCHEN NIB WALL EXTENSION	SA	04.06.2025						
04	LOT 16 - 20 AMENDED AS PER DESIGN REQUEST EMAIL DATED 26.06 - HEEL	NM	27.06.2025		MODEL	TL-	FACADE	01	
1	HEIGHT LOWERED + COLLISION DETECTION			SHAWOOD	STOREY		ACCOM		GARAGE -
					STURET	D	ACCOIN		
<u> </u>					CONTRAC	T No: NM10	6710		SHEET DA-24
⊢				68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 1800 951 068	CUNTRAC		5719		
<u> </u>				Sekisui House Services (NSW) Ptv Limited COPYRIGHT 2022	MASTER	DESIGN	MASTE	R CHECKED	PAGE: 24
<u> </u>				Sekisui House Services (NSW) Pty Limited ABN: 42119550220. BL: 226045C.	N		-		CCALE: 1:1
				ADIN. 42119330220. DL. 2200430. OV UR WHOLE FORBIDDEN	IN	WI		-	SCALE: 1:1
	please consider the environment before printing this sheet								

GENERAL NOTES
DROP SLAB 60MM TO WET AREAS.
DROP SLAB 70mm TO PORCH AND OUTDOOR LIVING U.N.O.
WET AREAS IN ACCORDANCE WITH NCC REQUIREMENTS
WC DOOR REMOVABLE WHERE REQUIRED AND FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH NCC VOL2 PART H4
 MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE
REQUIRED AND IN ACCORDANCE WITH NCC VOL2 PART H4
WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE.
 REFER ENGINEER'S DRAWING FOR BRACING WALLS INFORMATION.
 REF, FRE, W.M AND C.D SYMBOLS INDICATE POSITION ONLY
SQUARE SET CORNICE TO CEILING THROUGHOUT.
 "GRID" = CENTER OF SHAWOOD FRAME
• GF CEILING HEIGHT = 2660 UNLESS NOTED OTHERWISE
• FF CEILING HEIGHT = 2510 UNLESS NOTED OTHERWISE
EXTERNAL WINDOW HEAD HEIGHT UNLESS NOTED OTHERWISE
- GROUND FLOOR (MEASURE FROM TOP OF SLAB) = 2375mm
- FIRST FLOOR (MEASURE FROM TOP OF PARTICLE BOARD) = 2296mm
EXTERNAL DOOR HEAD HEIGHT UNLESS OTHERWISE NOTED
= 2375mm (MEASURE FROM TOP OF SLAB)
 ALL HEIGHTS NOMINATED ARE FROM THE STRUCTURAL SLAB BELOW EXCEPT PORCH AND ALFRESCO
UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:
- EXT 151mm=16 CLADDING+15 CAVITY+120 STUD
- INTERNAL = 90mm STUD AND 120mm STUD
- WALL CLADDING OVERHANGS THE SLAB EDGE BY 11mm
 PROVIDE WEATHERTIGHT WINDOW FLASHING TO THE SILL OF ALL WINDOWS AS PER STANDARD DETAIL 4.20-4.22
 STANDARD DETAIL VERSION: 2025-05
PROVIDE PLYWOOD LINING TO THE ROOF STRUCTURE AS PER
STANDARD DETAILS 5.3-2 to 5.3-5
CONDENSATION MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH PART 10.8 OF THE HOUSING PROVISIONS.
LEGEND

<u>N1</u>	STANDARD FUGE
<u>N2</u>	
R1	RENDERED
<u> </u>	— - RENDER 2
<u> </u>	— - RENDER 3



● DP - DOWNPIPE. REFER TO STORMWATER MANAGEMENT PLAN FOR CONNECTION TO TANK [FA] - ROOF ACCESS [FC] [Y] - ROOF ACCESS [FC] [Y] - CEILING VENTS IM - DENOTES SHAWOOD POST Image: I	
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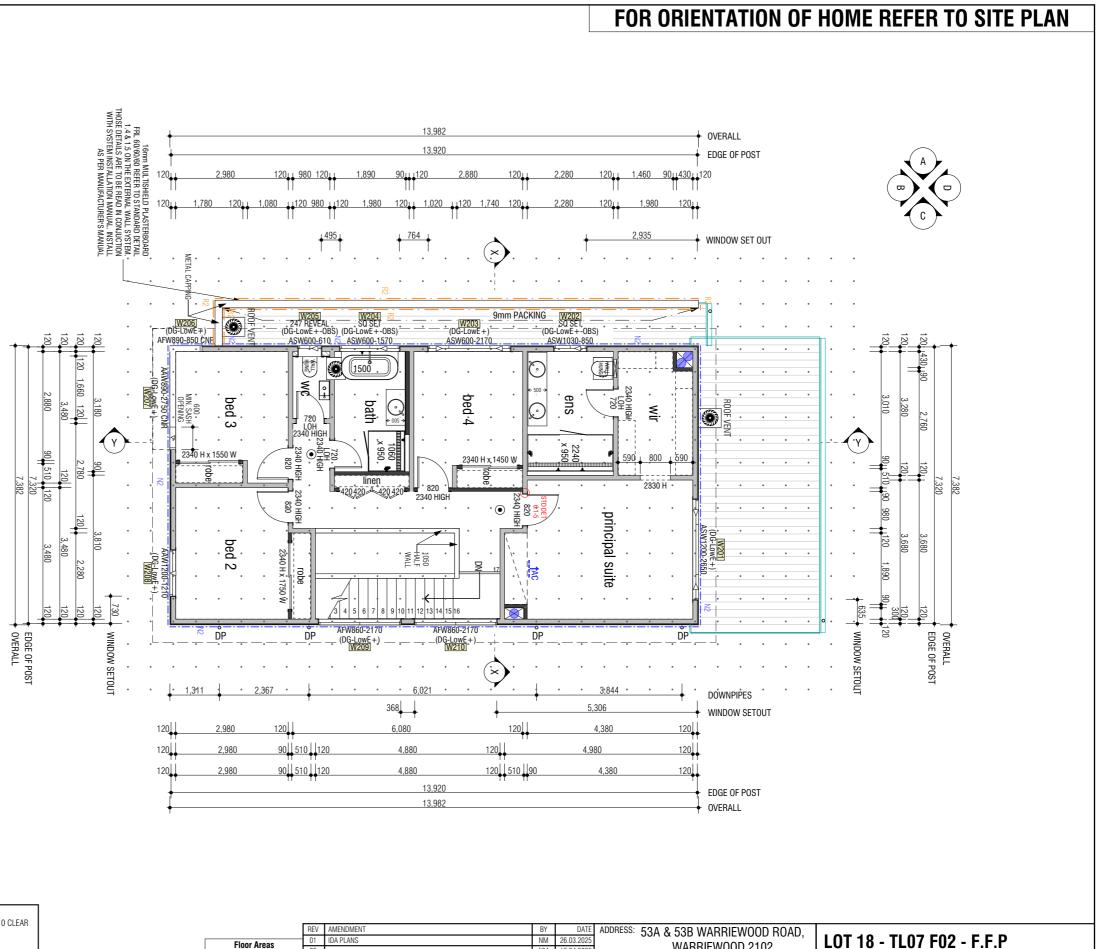
GENERAL NUTES
DROP SLAB 60MM TO WET AREAS.
DROP SLAB 70mm TO PORCH AND OUTDOOR LIVING U.N.O.
 WET AREAS IN ACCORDANCE WITH NCC REQUIREMENTS
• WC DOOR REMOVABLE WHERE REQUIRED AND FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH NCC VOL2 PART H4
MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH NCC VOL2 PART H4
 WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE.
REFER ENGINEER'S DRAWING FOR BRACING WALLS INFORMATION.
 REF, FRE, W.M AND C.D SYMBOLS INDICATE POSITION ONLY
 SQUARE SET CORNICE TO CEILING THROUGHOUT.
 "GRID" = CENTER OF SHAWOOD FRAME
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 EXTERNAL DOOR HEAD HEIGHT UNLESS OTHERWISE NOTED

- = 2375mm (MEASURE FROM TOP OF SLAB) ALL HEIGHTS NOMINATED ARE FROM THE STRUCTURAL SLAB BELOW EXCEPT PORCH AND ALFRESCO
- UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE: - EXT 151mm=16 CLADDING+15 CAVITY+120 STUD - INTERNAL = 90mm STUD AND 120mm STUD - WALL CLADDING OVERHANGS THE SLAB EDGE BY 11mm • PROVIDE WEATHERTIGHT WINDOW FLASHING TO THE SILL OF ALL
- WINDOWS AS PER STANDARD DETAIL 4.20-4.22 STANDARD DETAIL VERSION: 2025-05 PROVIDE PLYWOOD LINING TO THE ROOF STRUCTURE AS PER

STANDARD DETAILS 5.3-2 to 5.3-5
CONDENSATION MANAGEMENT WILL BE PROVIDED IN
ACCORDANCE WITH PART 10.8 OF THE HOUSING PROVISIONS

LEGEND

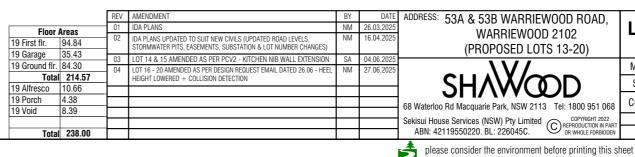
<u>N1</u>	STANDARD FUGE
<u>N2</u>	FEATURE FUGE
<u>R1</u>	RENDERED
<u> </u>	RENDER 2
<u> </u>	RENDER 3



(International and the international and the internationandet and the internationand and the international and the	WINDOW GLAZING CODES (0BS): 0BSCURED, (SP10): SMART GLASS SP10 CLEAR (DG): DOUBLE GLAZED (DG-0BS): DOUBLE GLAZED OBSCURE (DG-LowE): DOUBLE GLAZED WITH LOWE (DG-LowE): DOUBLE GLAZED WITH LOWE PLUS WINDOW AND DOOR CODES ASW: ALUM SLIDING WINDOW, ABW: ALUM BI-FOLD WINDOW AAW: ALUM SUDING WINDOW, AFW: ALUM STACKER DOOR
DIMENSIONS SHOWN ON PLAN ARE TAKEN FROM	AFD : ALUM FRENCH DOOR, ABD : ALUM BIFOLD DOOR

REFER TO ENGINEER'S DRAWING FOR BRACING DETAILS

Printed Date: 30/06/2025 - Printed by:MirzaN - File Name:W.\c.Shawood\Warriewood\Talia\3. Lot Plans\Lot 13 (Old Lot 14) - TL03 F1\6. CAD File\TL - Lot 13 - 20 (Old Lot 14 - 21).pln



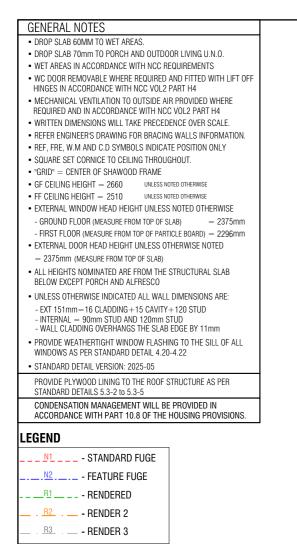
FACADE MODEL TL -01 STOREY D ACCOM GARAGE -SHEET DA-26 CONTRACT No: NM105720 PAGE: 26 MASTER DESIGN MASTER CHECKED NŧM SCALE: 1:100, 1:1

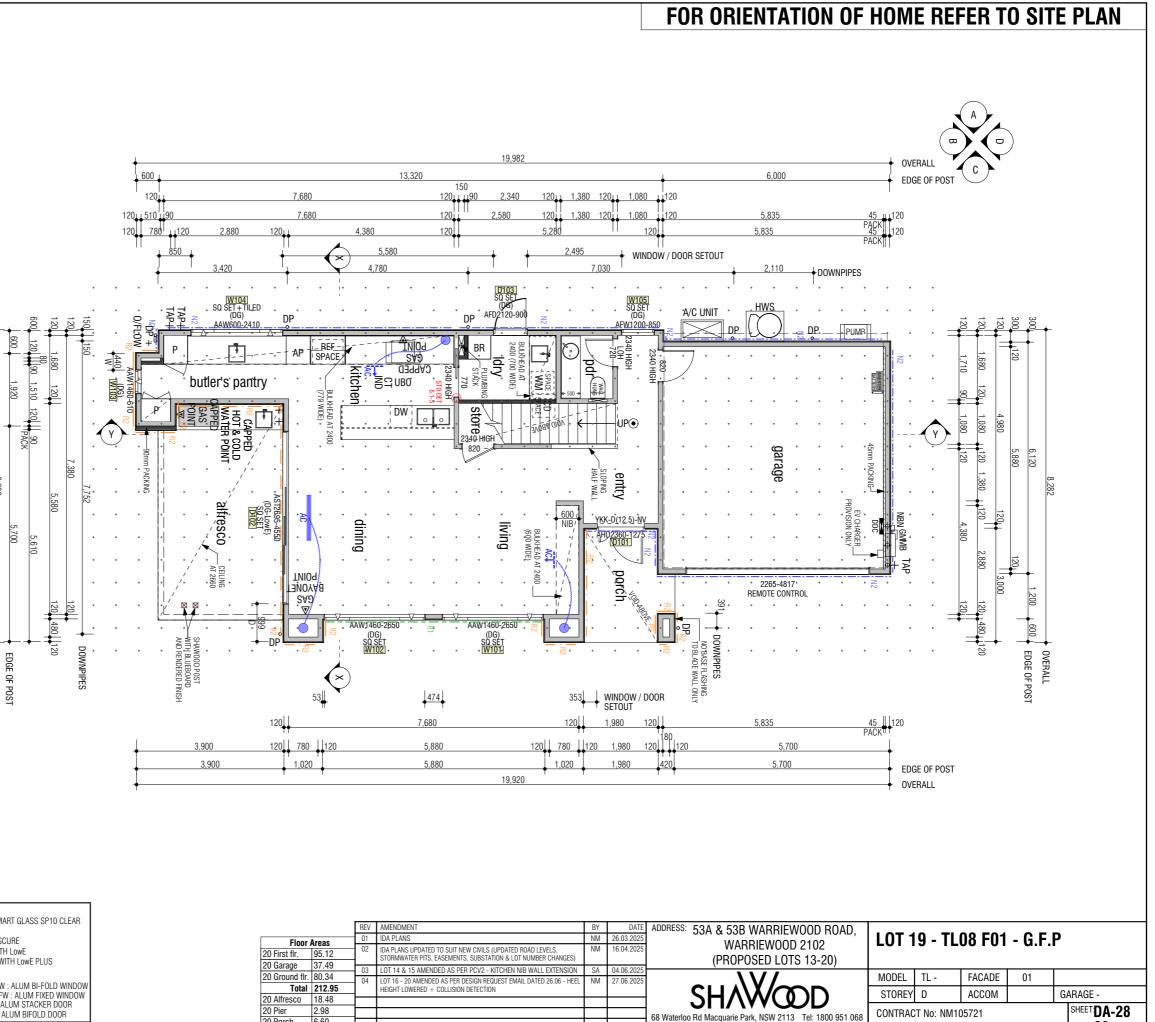
							Wind	ow Schedule						
Element ID	Window Code Parameter	Paragon	Height	Width	Reveal Thickness	Square Set 2mm gap	Tiled Reveal 6mm gap	View from Opening Side	Special Note	Glazing	BOTTOM Sash	werslink	Uvalue	SHGC
W101	AAW600-3010		600	3,010	117	⊠		X		DG-LowE+:- Double Glass with LowE PLUS		WID-101-012	3.20	0.45
W102	AAW2050-2170		2,050	2,170	117					DG-LowE+:- Double Glass with LowE PLUS		WID-101-012	3.20	0.45
W201	ASW1200-2650		1,200	2,650	130			*		DG-LowE+:- Double Glass with LowE PLUS		WID-102-028	3.10	0.47
W202	ASW1030-850		1,030	850	117					DG-LowE+- OBS:- Double Glass with LowE PLUS Obscure		WID-102-028	3.10	0.47
W203	ASW600-2170		600	2,170	130			X K		DG-LowE+:- Double Glass with LowE PLUS		WID-102-028	3.10	0.47
W204	ASW600-1570		600	1,570	117					DG-LowE+- OBS:- Double Glass with LowE PLUS Obscure		WID-102-028	3.10	0.47
W205	ASW600-610		600	610	247					DG-LowE+- OBS:- Double Glass with LowE PLUS Obscure		WID-102-028	3.10	0.47
W206	AFW890-850 CNR		890	850	130					DG-LowE+:- Double Glass with LowE PLUS		WID-106-028	2.10	0.54
W207	AAW890-2750 CNR		890	2,750	130			M		DG-LowE+:- Double Glass with LowE PLUS		WID-101-012	3.20	0.45
W208	AAW1200-1210		1,200	1,210	130			$\mathbf{\nabla}$		DG-LowE+:- Double Glass with LowE PLUS		WID-101-012	3.20	0.45
W209	AFW860-2170		860	2,170	130					DG-LowE+:- Double Glass with LowE PLUS		WID-106-028	2.10	0.54
W210	AFW860-2170		860	2,170	130					DG-LowE+:- Double Glass with LowE PLUS		WID-106-028	2.10	0.54
12														

	Door Schedule														
Element ID	DoorCodeParam	Paragon	Height	Width	Reveal Thickness	Square Set 2mm gap	View from Opening Side	Glazing	Special Note	werslink	Uvalue	SHGC			
D102	AST2695-2676		2,695	2,676	117		* *	DG:- Double Glass		WID-111-017	3.80	0.62			
D103	AST2695-2644		2,695	2,644	117	⊠	* *	DG:- Double Glass		WID-111-017	3.80	0.62			
2															

REV	AMENDMENT	BY	DATE						
01	IDA PLANS	NM	26.03.2025		I OT 1	8 - WI	NDOW	/ DOO	R SCHEDULE
02	IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS,	NM	16.04.2025		-011	• •••		, 200	
	STORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES)			(PROPOSED LOTS 13-20)					
03	LOT 14 & 15 AMENDED AS PER PCV2 - KITCHEN NIB WALL EXTENSION	SA	04.06.2025	· · · · / /	MODEL		FAGADE		
04	LOT 16 - 20 AMENDED AS PER DESIGN REQUEST EMAIL DATED 26.06 - HEEL	NM	27.06.2025		MODEL	TL-	FACADE	01	
	HEIGHT LOWERED + COLLISION DETECTION			SHAWOOD	STOREY	D	ACCOM		GARAGE -
					OTOTIET	5	7.0001		
				68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 1800 951 068	CONTRAC	T No: NM10)5720		SHEET DA-27
							-		
				Sekisui House Services (NSW) Pty Limited	MASTER	DESIGN	MASTE	R CHECKED	PAGE: 27
				Sekisui House Services (NSW) Pty Limited ABN: 42119550220. BL: 226045C.	N	M		-	SCALE: 1:1
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$\begin{array}{c} \widehat{\left[\mathbf{R}\underline{A}\right]} & -\operatorname{ROOF} \operatorname{ACCESS} \left[\widehat{\left[\mathbf{R}\underline{A}\right]}\right] - \operatorname{REOF} \operatorname{ACCESS} \left[\widehat{\left[\mathbf{R}\underline{A}\right]}\right] - \operatorname{RETURN} \operatorname{AIR} \operatorname{CEILING} \operatorname{GRILL} \\ \widehat{\left(\underline{V}\right)} \underbrace{\left[\underline{v}\right]} & -\operatorname{CEILING} \operatorname{VENTS} \blacksquare -\operatorname{DENOTES} \operatorname{SHAWOOD} \operatorname{POST} \\ \widehat{\left(\mathbf{O}\right)} & -\operatorname{SMOKE} \operatorname{ALARM} (\operatorname{DIRECT} \operatorname{WIRED}) \end{array}$	WINDOW GLAZING CODES (DBS): OBSCURED, (SP10): SMART GLASS SP10 CLEAR (DG): DOUBLE GLAZED (DG-OBS): DOUBLE GLAZED OBSCURE (DG-OBS): DOUBLE GLAZED WITH LowE (DG-LowE+): DOUBLE GLAZED WITH LowE PLUS WINDOW AND DOOR CODES ASW: ALUM SLIDING WINDOW, ABW: ALUM BI-FOLD WINDOW AAW: ALUM AWNING WINDOW, AFW: ALUM BI-FOLD WINDOW ASD: ALUM SLIDING DOOR, AST: ALUM SIACKER DOOR AFD: ALUM FRENCH DOOR, ABD: ALUM BIFOLD DOOR
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		REV	AMENDMENT	BY	DATE	ADDRESS: 53A & 53B WARRIEWOOD ROAD,
Floor	Areas	01	IDA PLANS	NM	26.03.2025	· · · · · · · · · · · · · · · · · · ·
		02	IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS,	NM	16.04.2025	WARRIEW00D 2102
20 First flr.	95.12		STORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES)			(PROPOSED LOTS 13-20)
20 Garage	37.49	0.2	LOT 14 & 15 AMENDED AS PER PCV2 - KITCHEN NIB WALL EXTENSION	SA	04.06.2025	(I NOI 03LD L013 13-20)
20 Ground flr.	80.34	03		<u> </u>		\\//
		04	LOT 16 - 20 AMENDED AS PER DESIGN REQUEST EMAIL DATED 26.06 - HEEL	NM	27.06.2025	
	212.95	1	HEIGHT LOWERED + COLLISION DETECTION	I		
20 Alfresco	18.48					SHAWOOD
20 Pier	2.98			<u> </u>		
20 Porch	6.60	├──				68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 1800 951 068
20 Void	3.92	├ ──				Sekisui House Services (NSW) Pty Limited
Total						ABN: 42119550220. BL: 226045C.
						*

OVERALL

MASTER DESIGN

NŧM

PAGE: **28**

SCALE: 1:100, 1:1

MASTER CHECKED

 DROP SLAB 60MM TO WET AREAS. 	
 DROP SLAB 70mm TO PORCH AND OUTDOOR LIVING U.N.O. 	
 WET AREAS IN ACCORDANCE WITH NCC REQUIREMENTS 	
WC DOOR REMOVABLE WHERE REQUIRED AND FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH NCC VOL2 PART H4	
MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH NCC VOL2 PART H4	
 WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE. 	
 REFER ENGINEER'S DRAWING FOR BRACING WALLS INFORMATION. 	
 REF, FRE, W.M AND C.D SYMBOLS INDICATE POSITION ONLY 	
 SQUARE SET CORNICE TO CEILING THROUGHOUT. 	
 "GRID" = CENTER OF SHAWOOD FRAME 	↓
GF CEILING HEIGHT = 2660 UNLESS NOTED OTHERWISE	600
FF CEILING HEIGHT = 2510 UNLESS NOTED OTHERWISE	1201148011120 3,180
 EXTERNAL WINDOW HEAD HEIGHT UNLESS NOTED OTHERWISE 	120 400 1120 5,180
- GROUND FLOOR (MEASURE FROM TOP OF SLAB) = 2375mm	120
- FIRST FLOOR (MEASURE FROM TOP OF PARTICLE BOARD) = 2296mm	I II
 EXTERNAL DOOR HEAD HEIGHT UNLESS OTHERWISE NOTED 	
= 2375mm (MEASURE FROM TOP OF SLAB)	
 ALL HEIGHTS NOMINATED ARE FROM THE STRUCTURAL SLAB BELOW EXCEPT PORCH AND ALFRESCO 	
UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:	5,420
- FXT 151mm=16 CLADDING+15 CAVITY+120 STUD	'
- INTERNAL = 90mm STUD AND 120mm STUD	W206
- WALL CLADDING OVERHANGS THE SLAB EDGE BY 11mm	
 PROVIDE WEATHERTIGHT WINDOW FLASHING TO THE SILL OF ALL WINDOWS AS PER STANDARD DETAIL 4.20-4.22 	
STANDARD DETAIL VERSION: 2025-05	
PROVIDE PLYWOOD LINING TO THE ROOF STRUCTURE AS PER STANDARD DETAILS 5.3-2 to 5.3-5	
CONDENSATION MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH PART 10.8 OF THE HOUSING PROVISIONS.	bed '4
LEGEND	
N1 STANDARD FUGE	8 8 8 8 Y

8,282

GENERAL NOTES

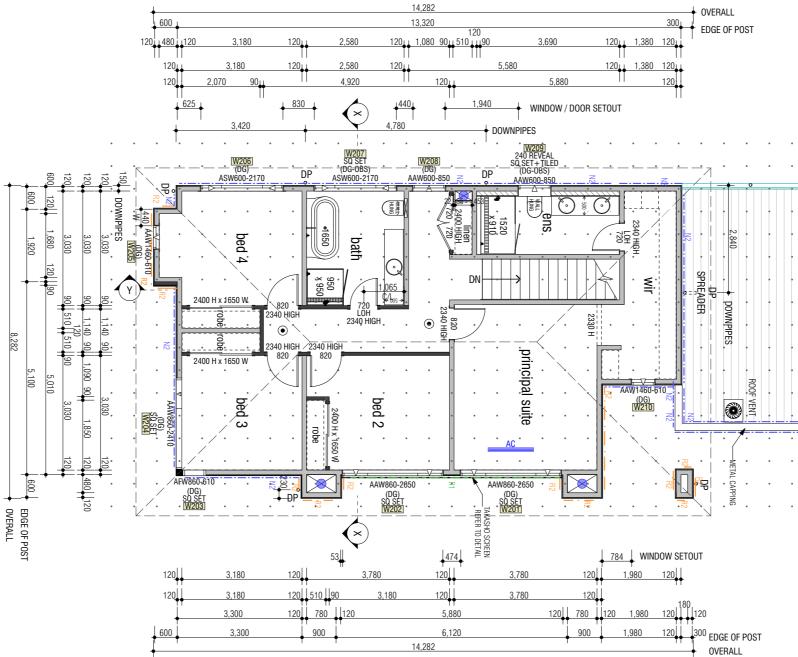
_____ - FEATURE FUGE

____<u>R1</u>____ - RENDERED

. . <u>R2</u> . ___ - RENDER 2

. <u>R3</u> . ___ - RENDER 3





$\begin{bmatrix} \underline{BA}_{1} \\ \hline \\ \end{bmatrix} = - \text{ROOF ACCESS} \begin{bmatrix} \underline{B}_{1} \\ \hline \\ \underline{B}_{2} \end{bmatrix} - \text{RETURN AIR CEILING GRILL}$ $\begin{bmatrix} \underline{BA}_{1} \\ \hline \\ \hline \\ \hline \\ \hline \\ \end{bmatrix} = - \text{CEILING VENTS} \blacksquare - \text{DENOTES SHAWOOD POST}$ $\textcircled{\textbf{o}} = - \text{SMOKE ALARM (DIRECT WIRED)}$	WINDOW GLAZING CODES (DBS): OBSCURED, (SP10): SMART GLASS SP10 CLEAR (DG): DOUBLE GLAZED (DG-LowE): DOUBLE GLAZED OBSCURE (DG-LowE): DOUBLE GLAZED WITH LowE (DG-LowE+): DOUBLE GLAZED WITH LowE PLUS WINDOW AND DOOR CODES ASW: ALUM SLIDING WINDOW, AFW: ALUM FIXED WINDOW AAW: ALUM AWNING WINDOW, AFW: ALUM FIXED WINDOW ASD: ALUM SLIDING DOOR, AST: ALUM STACKER DOOR AFD: ALUM FRENCH DOOR, ABD: ALUM BIFOLD DOOR
--	--

REFER TO ENGINEER'S DRAWING FOR BRACING DETAILS

				_		
		REV	AMENDMENT	BY	DATE	ADDRESS: 53A & 53B WARRIEWOOD ROAD,
Floor	Areas	01	IDA PLANS	NM	26.03.2025	
		02	IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS.	NM	16.04.2025	WARRIEW00D 2102
20 First flr.	95.12		STORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES)			(PROPOSED LOTS 13-20)
20 Garage	37.49	03	LOT 14 & 15 AMENDED AS PER PCV2 - KITCHEN NIB WALL EXTENSION	SA	04.06.2025	
20 Ground flr.	80.34	03		NM	27.06.2025	\\//
Total	212.95	04	LOT 16 - 20 AMENDED AS PER DESIGN REQUEST EMAIL DATED 26.06 - HEEL HEIGHT LOWERED + COLLISION DETECTION	NIVI	27.00.2023	
20 Alfresco	18.48					SHAWOOD
20 Pier	2.98					
20 Porch	6.60					68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 1800 951 068
20 Void	3.92					Sekisui House Services (NSW) Pty Limited COPYRIGHT 2022 ADN: 42110550220, PL: 2250450
Total	244.93					ABN: 42119550220. BL: 226045C.
						A

Printed Date: 30/06/2025 - Printed by:MirzaN - File Name:W:\c.Shawood\Warriewood\Talia\3. Lot Plans\Lot 13 (Old Lot 14) - TL03 F1\6. CAD File\TL - Lot 13 - 20 (Old Lot 14 - 21).pln

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FOR ORIENTATION OF HOME REFER TO SITE PLAN 39 ः 🗟 🕇 4,080 386'1 nm PACKING 780 2 120 1,380 1,380 2,280 1,000 120++480 = 480 ±120 120 EDGE OF POST OOD ROAD, LOT 19 - TL08 F02 - F.F.P 2102 13-20) MODEL TL -FACADE 01)D STOREY D ACCOM GARAGE -SHEET DA-29 CONTRACT No: NM105721 Tel: 1800 951 068

PAGE: **29**

SCALE: 1:100, 1:1

MASTER CHECKED

MASTER DESIGN

NŧM

							Wind	ow Schedule						
Element ID	Window Code Parameter	Paragon	Height	Width	Reveal Thickness	Square Set 2mm gap	Tiled Reveal 6mm gap	View from Opening Side	Special Note	Glazing	BOTTOM Sash	werslink	Uvalue	SHGC
W101	AAW1460-2650		1,460	2,650	117	⊠				DG:- Double Glass		WID-101-032	4.00	0.58
W102	AAW1460-2650		1,460	2,650	117					DG:- Double Glass		WID-101-032	4.00	0.58
W103	AAW1460-610		1,460	610	130					DG:- Double Glass		WID-101-032	4.00	0.58
W104	AAW600-2410		600	2,410	117			37		DG:- Double Glass		WID-101-032	4.00	0.58
W105	AFW1200-850		1,200	850	117					DG:- Double Glass		WID-106-017	3.10	0.71
W201	AAW860-2650		860	2,650	117			M M		DG:- Double Glass		WID-101-032	4.00	0.58
W202	AAW860-2650		860	2,650	117			M		DG:- Double Glass		WID-101-032	4.00	0.58
W203	AFW860-610		860	610	117			μ		DG:- Double Glass		WID-106-017	3.10	0.71
W204	AAW860-2410		860	2,410	117					DG:- Double Glass		WID-101-032	4.00	0.58
W205	AAW1460-610		1,460	610	130					DG:- Double Glass		WID-101-032	4.00	0.58
W206	ASW600-2170		600	2,170	130					DG:- Double Glass		WID-102-018	4.00	0.61
W207	ASW600-2170		600	2,170	117					DG-OBS:- Double Glass Obscure		WID-102-018	4.00	0.61
W208	AAW600-850		600	850	130					DG:- Double Glass		WID-101-032	4.00	0.58
W209	AAW600-850		600	850	240			892		DG-OBS:- Double Glass Obscure		WID-101-032	4.00	0.58
W210	AAW1460-610		1,460	610	130					DG:- Double Glass		WID-101-032	4.00	0.58
15														

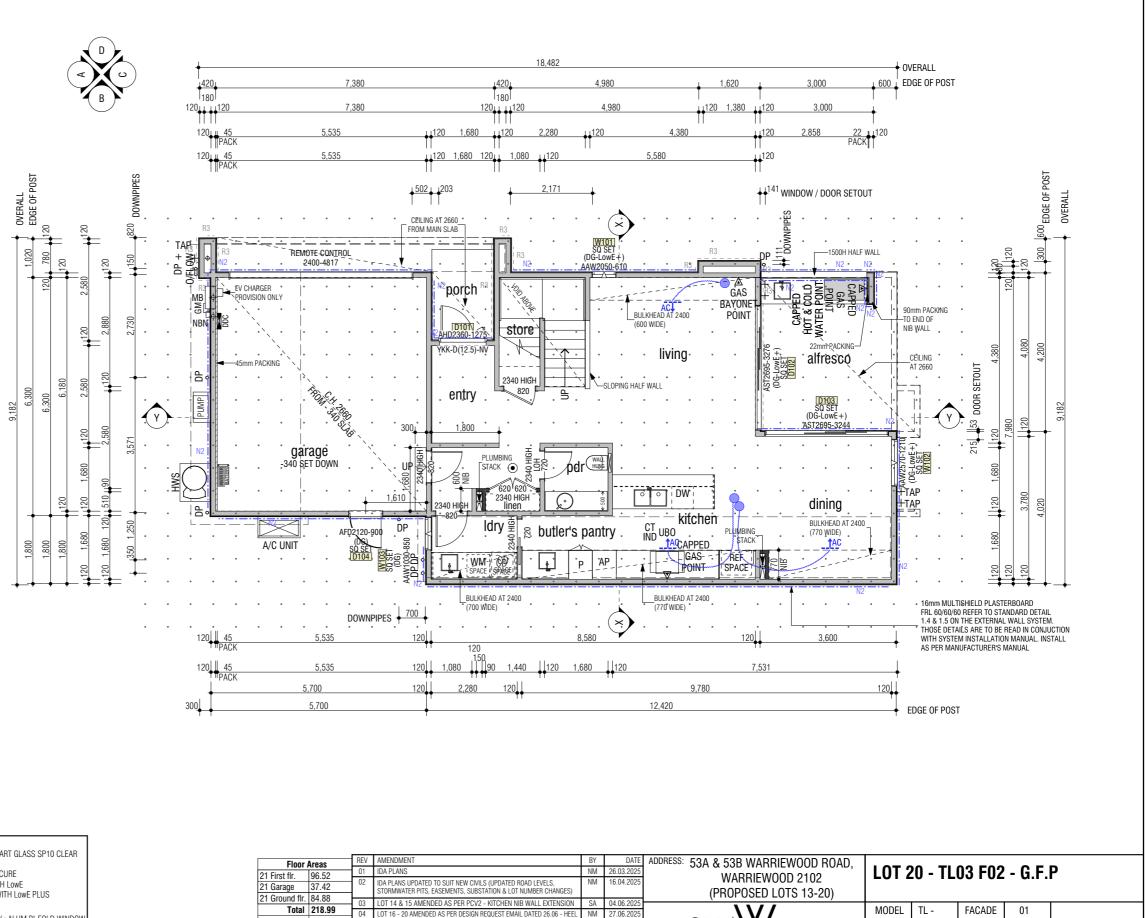
	Door Schedule														
Element ID	DoorCodeParam	Paragon	Height	Width	Reveal Thickness	Square Set 2mm gap	View from Opening Side	Glazing	Special Note	werslink	Uvalue	SHGC			
D102	AST2695-4550		2,695	4,550	117		*	DG-LowE:- Double Glass with LowE		WID-111-014	3.10	0.52			
D103	AFD2120-900		2,120	900	117	⊠		DG:- Double Glass		WID-122-017	3.90	0.51			
2															

REV	AMENDMENT	BY	DATE	ADDRESS: 53A & 53B WARRIEWOOD ROAD,					
01	IDA PLANS	NM	26.03.2025		1 OT 1	9 - WI	NDOW	/ DOO	R SCHEDULE
02	IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS,	NM	16.04.2025		-01			, 200	
	STORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES)			(PROPOSED LOTS 13-20)					
03	LOT 14 & 15 AMENDED AS PER PCV2 - KITCHEN NIB WALL EXTENSION	SA	04.06.2025		MODEL			04	
04	LOT 16 - 20 AMENDED AS PER DESIGN REQUEST EMAIL DATED 26.06 - HEEL	NM	27.06.2025		MODEL	TL -	FACADE	01	
	HEIGHT LOWERED + COLLISION DETECTION			SHAWOOD	STOREY	D	ACCOM		GARAGE -
					0.01121	5			
				68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 1800 951 068	CONTRAC	CT No: NM10	05721		SHEET DA-30
					LUCTED	DEGION			PAGE: 30
				Sekisui House Services (NSW) Pty Limited ABN: 42119550220. BL: 226045C.	MASTER	DESIGN	MASTE	R CHECKED	JU
				ABN: 42119550220. BL: 226045C. Or whole forbidden	N	M		-	SCALE: 1:1
	·	-			a a t				

GENERAL NOTES
DROP SLAB 60MM TO WET AREAS.
DROP SLAB 70mm TO PORCH AND OUTDOOR LIVING U.N.O.
WET AREAS IN ACCORDANCE WITH NCC REQUIREMENTS
WC DOOR REMOVABLE WHERE REQUIRED AND FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH NCC VOL2 PART H4
MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH NCC VOL2 PART H4
WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE.
REFER ENGINEER'S DRAWING FOR BRACING WALLS INFORMATION.
 REF, FRE, W.M AND C.D SYMBOLS INDICATE POSITION ONLY
 SQUARE SET CORNICE TO CEILING THROUGHOUT.
• "GRID" = CENTER OF SHAWOOD FRAME
• GF CEILING HEIGHT = 2660 UNLESS NOTED OTHERWISE
• FF CEILING HEIGHT = 2510 UNLESS NOTED OTHERWISE
EXTERNAL WINDOW HEAD HEIGHT UNLESS NOTED OTHERWISE
- GROUND FLOOR (MEASURE FROM TOP OF SLAB) = 2375mm
 FIRST FLOOR (MEASURE FROM TOP OF PARTICLE BOARD) = 2296mm EXTERNAL DOOR HEAD HEIGHT UNLESS OTHERWISE NOTED
= 2375mm (MEASURE FROM TOP OF SLAB)
ALL HEIGHTS NOMINATED ARE FROM THE STRUCTURAL SLAB BELOW EXCEPT PORCH AND ALFRESCO
UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:
- EXT 151mm=16 CLADDING+15 CAVITY+120 STUD
- INTERNAL = 90mm STUD AND 120mm STUD - WALL CLADDING OVERHANGS THE SLAB EDGE BY 11mm
PROVIDE WEATHERTIGHT WINDOW FLASHING TO THE SILL OF ALL WINDOWS AS PER STANDARD DETAIL 4.20-4.22
STANDARD DETAIL VERSION: 2025-05
PROVIDE PLYWOOD LINING TO THE ROOF STRUCTURE AS PER STANDARD DETAILS 5.3-2 to 5.3-5
CONDENSATION MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH PART 10.8 OF THE HOUSING PROVISIONS.

LEGEND

<u>N1</u>	STANDARD FUGE
<u>N2</u>	FEATURE FUGE
<u>R1</u>	RENDERED
<u> </u>	RENDER 2
<u> </u>	RENDER 3

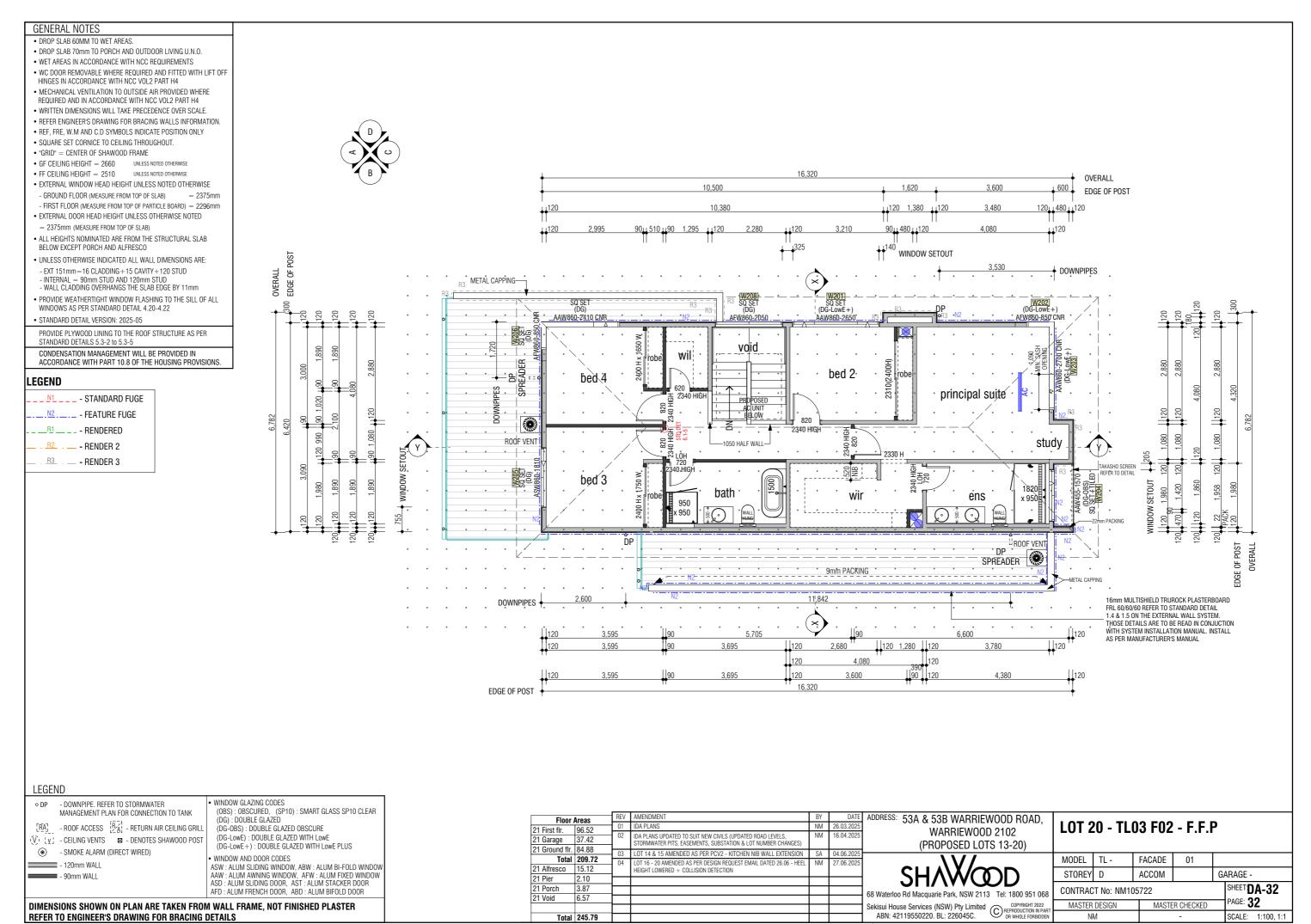


LEGEND	
• DP - DOWNPIPE. REFER TO STORMWATER MANAGEMENT PLAN FOR CONNECTION TO TANK [R] - ROOF ACCESS [N] · (ŷ) [½] - CEILING VENTS ⊠ - DENOTES SHAWOOD POS · • - SMOKE ALARM (DIRECT WIRED) - 120mm WALL - 90mm WALL - 90mm WALL	

REFER TO ENGINEER'S DRAWING FOR BRACING DETAILS

Floor	Areas	REV	AMENDMENT	BY	DATE	ADDRESS: 53A & 53B WARRIEWOOD ROAD,					
21 First flr.	96.52	01	IDA PLANS	NM	26.03.2025		I OT 2	20 - TL(13 FN2	- G F F	כ
21 Garage	37.42	02	IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS,	NM	16.04.2025	WARRIEW00D 2102				M .1 11	
21 Ground flr.	-	╘	STORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES)			(PROPOSED LOTS 13-20)					
	218.99		LOT 14 & 15 AMENDED AS PER PCV2 - KITCHEN NIB WALL EXTENSION	SA	04.06.2025		MODEL	ті	FACADE	01	
Total	210.35	04	LOT 16 - 20 AMENDED AS PER DESIGN REQUEST EMAIL DATED 26.06 - HEEL HEIGHT LOWERED + COLLISION DETECTION	NM	27.06.2025		WIUDLL	12-	TACADE	01	
21 Alfresco	15.12	└──	HEIGHT LOWERED + COLLISION DETECTION			SHAWOOD	STOREY	D	ACCOM		GARAGE -
21 Pier	2.10	⊨							-700		SHEET: DA-31
21 Porch	3.87	├				68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 1800 951 068	CUNTRAC	CT No: NM10	5722		
21 Void	6.57	├──				Sekisui House Services (NSW) Ptv Limited	MASTER	DESIGN	MASTE	r Checked	PAGE: 31
	245.67	-				Sekisui House Services (NSW) Pty Limited ABN: 42119550220. BL: 226045C.	NM - SCALE: 1		SCALE: 1:100, 1:1		

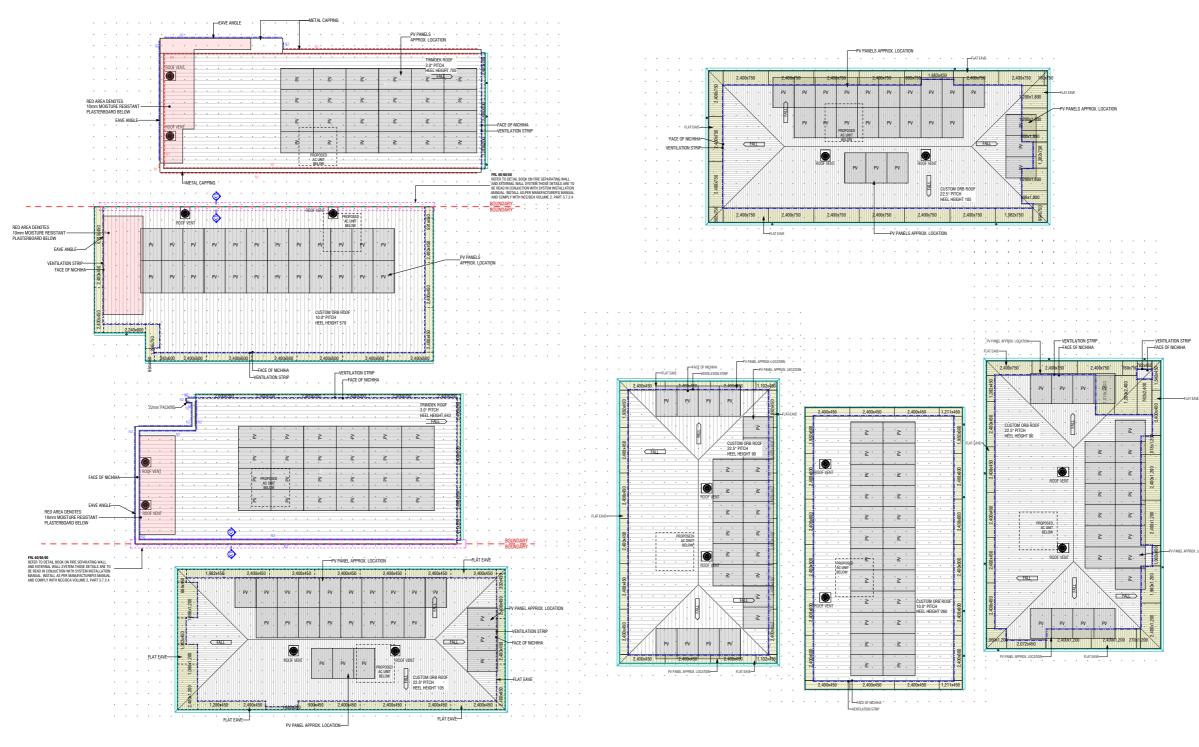
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	-						Winde	ow Schedule						
Element ID	Window Code Parameter	Paragon	Height	Width	Reveal Thickness	Square Set 2mm gap	Tiled Reveal 6mm gap	View from Opening Side	Special Note	Glazing	BOTTOM Sash	werslink	Uvalue	SHGC
W101	AAW2050-610		2,050	610	117					DG-LowE+:- Double Glass with LowE PLUS	-	WID-101-012	3.20	0.45
W102	AAW2570-1210		2,570	1,210	117			\bigvee		DG-LowE+:- Double Glass with LowE PLUS		WID-101-012	3.20	0.45
W103	AAW1030-850		1,030	850	117			\bigvee		DG:- Double Glass		WID-101-032	4.00	0.58
W201	AAW860-2650		860	2,650	117			M		DG-LowE+:- Double Glass with LowE PLUS	-	WID-101-012	3.20	0.45
W202	AFW860-850 CNR		860	850	130					DG-LowE+:- Double Glass with LowE PLUS		WID-106-028	2.10	0.54
W203	AAW860-2700 CNR		860	2,700	130					DG-LowE+:- Double Glass with LowE PLUS		WID-101-012	3.20	0.45
W204	AAW455-1570		455	1,570	117			1000 STR2		DG-OBS:- Double Glass Obscure		WID-101-032	4.00	0.58
W205	ASW860-1810		860	1,810	117			*		DG:- Double Glass		WID-102-018	4.00	0.61
W206	AFW860-850 CNR		860	850	117					DG:- Double Glass		WID-106-017	3.10	0.71
W207	AAW860-2410 CNR		860	2,410	117					DG:- Double Glass		WID-101-032	4.00	0.58
W208	AFW860-2050		860	2,050	117					DG:- Double Glass		WID-106-017	3.10	0.71
11														

						D	oor Schedule					
Element ID	DoorCodeParam	Paragon	Height	Width	Reveal Thickness	Square Set 2mm gap	View from Opening Side	Glazing	Special Note	werslink	Uvalue	SHGC
D102	AST2695-3276		2,695	3,276	117		* *	DG-LowE+:- Double Glass with LowE PLUS		WID-111-005	2.90	0.48
D103	AST2695-3244		2,695	3,244	117		ť ť	DG-LowE+:- Double Glass with LowE PLUS		WID-111-005	2.90	0.48
D104	AFD2120-900		2,120	900	117		K	DG:- Double Glass		WID-122-017	3.90	0.51
3												

REV	AMENDMENT	BY	DATE						
01	IDA PLANS	NM	26.03.2025		I OT 2	20 - WII	NDOW	/ DOO	R SCHEDULE
02	IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS, STORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES)	NM	16.04.2025	WARRIEWOOD 2102 (PROPOSED LOTS 13-20)	-01-			, 200	
03	LOT 14 & 15 AMENDED AS PER PCV2 - KITCHEN NIB WALL EXTENSION	SA	04.06.2025	(FNOF03ED L013 13-20)					
<u> </u>		SA		\\//	MODEL	TL-	FACADE	01	
04	LOT 16 - 20 AMENDED AS PER DESIGN REQUEST EMAIL DATED 26.06 - HEEL	NM	27.06.2025		MODEL	12	THORE	01	
	HEIGHT LOWERED + COLLISION DETECTION			SHAWOOD	STOREY	D	ACCOM		GARAGE -
					OTOTIET	5	//000/		
				68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 1800 951 068	CONTRAC	T No: NM10	5722		SHEET DA-33
├──				Sekisui House Services (NSW) Pty Limited COPYRIGHT 2022	MASTER	DESIGN	MASTE	R CHECKED	PAGE: 33
				Sekisui House Services (NSW) Pty Limited ABN: 42119550220. BL: 226045C.	N	M		-	SCALE: 1:1
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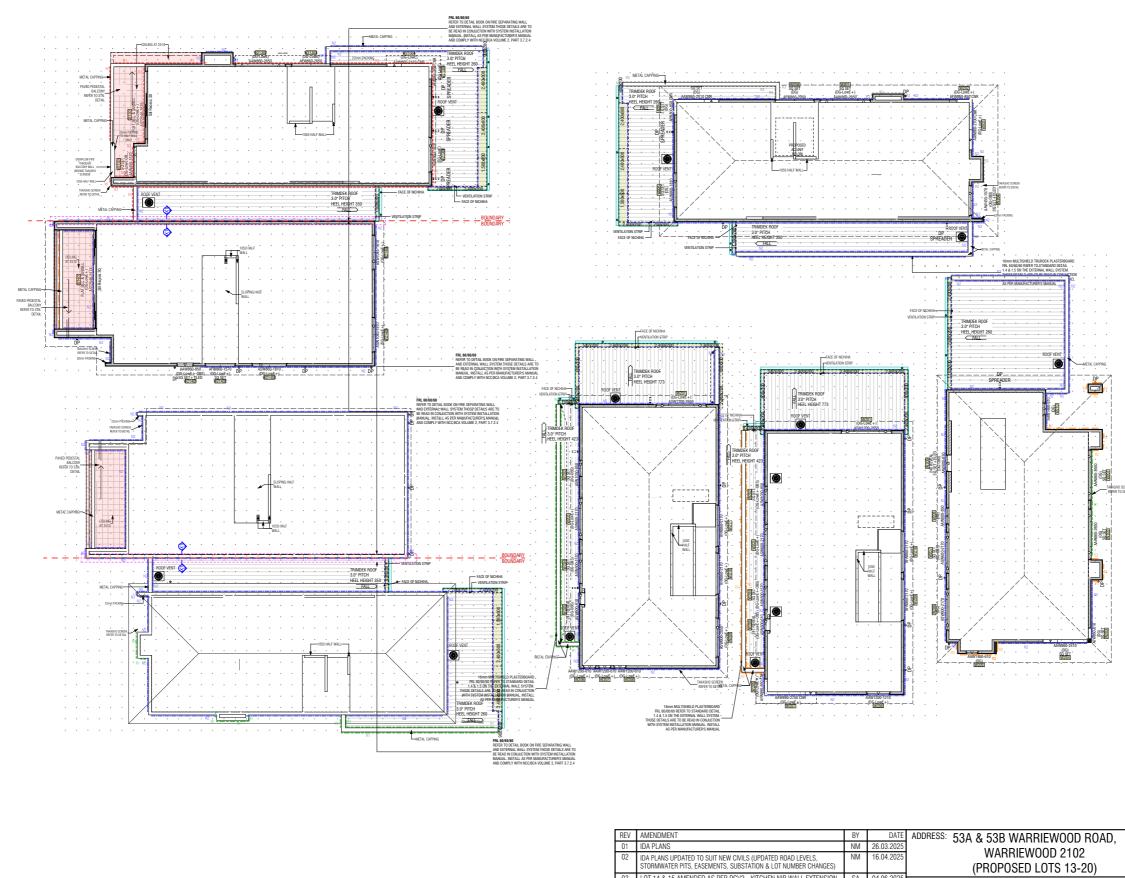
REV 01 02	AMENDMENT IDA PLANS IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS, STORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES)	BY NM NM	DATE 26.03.2025 16.04.2025	ADDRESS: 53A & 53B WARRIEWOOD ROAD, WARRIEWOOD 2102 (PROPOSED LOTS 13-20)	ROOF	PLAN			
03	LOT 14 & 15 AMENDED AS PER PCV2 - KITCHEN NIB WALL EXTENSION LOT 16 - 20 AMENDED AS PER DESIGN REQUEST EMAIL DATED 26.06 - HEEL HEIGHT LOWERED + COLLISION DETECTION	SA NM	04.06.2025 27.06.2025	SHAWOOD	MODEL STOREY	TL - D	FACADE ACCOM	01	GARAGE -
				68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 1800 951 068	CONTRAC MASTER	-	MASTE	R CHECKED	SHEET DA-34 PAGE: 34
				Sekisui House Services (NSW) Pty Limited COPYRIGHT 2022 ABN: 42119550220. BL: 226045C. COPYRIGHT 2022 OR WHOLE FORBIDDEN	N	M		-	SCALE: 1:200
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ALL EAVES ARE RAKED UNLESS OTHERWISE NOTED

LEGEND

<u>N1</u>	STANDARD FUGE
<u>N2</u>	FEATURE FUGE
R1	RENDERED
<u></u> -	RENDER 2
<u> </u>	RENDER 3

ALL EAVES ARE RAKED UNLESS OTHERWISE NOTED



OT 14 & 15 AMENDED AS PER PCV2 - KITCHEN NIB WALL EXTENSION

LOT 16 - 20 AMENDED AS PER DESIGN REQUEST EMAIL DA HEIGHT LOWERED + COLLISION DETECTION

SA 04.06.2

7.06.2

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SН 68 Waterloo Rd Macquarie Park, NSW 2113 Sekisui House Services (NSW) Pty Limited ABN: 42119550220. BL: 226045C.

LEGEND

<u>N1</u> _	STANDARD FUGE
<u>N2</u>	FEATURE FUGE
<u>R1</u>	RENDERED
<u>R2</u>	RENDER 2
<u> </u>	— - RENDER 3

WOOD ROAD, D 2102 TS 13-20)	ROOF	PLAN				
	MODEL	TL -	FACADE	01		
	STOREY	D	ACCOM		G	ARAGE -
Tel: 1800 951 068	CONTRAC	T No:				SHEET DA-35
COPYRIGHT 2022	MASTER	DESIGN	MASTE	R CHECKED	PAGE: 35	
OR WHOLE FORBIDDEN	Nł	M		-		SCALE: 1:200



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ALL EAVES ARE RAKED UNLESS OTHERWISE NOTED

LEGEND

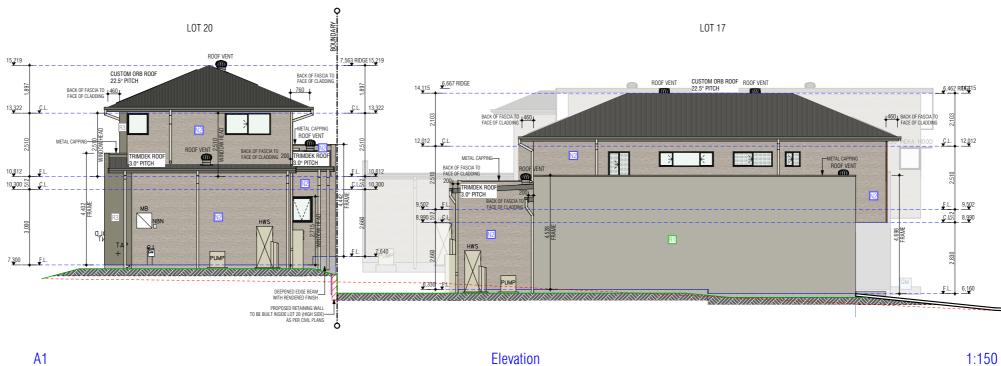
___N1____ - STANDARD FUGE _____ - FEATURE FUGE _____R1_____ - _ - RENDERED . <u>R2</u> . ___ - RENDER 2 <u>R3</u> · __ - RENDER 3

FACADE 01 ACCOM GARAGE -SHEET DA-36 CONTRACT No: 68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 1800 951 068 PAGE: **36** MASTER DESIGN Sekisui House Services (NSW) Pty Limited ABN: 42119550220. BL: 226045C. MASTER CHECKED NŧM SCALE: 1:200

LEGEND - OBSCURE GLASS . N1 - STANDARD FUGE N2 - FEATURE FUGE - RENDERED R2 - RENDER 2 R3 - RENDER 3

ALL COLOURS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO THE EXTERIOR COLOUR SELECTION FOR CORRECT COLOURS





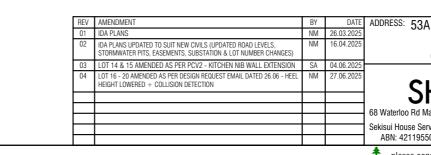
REV 01	AMENDMENT IDA PLANS	BY NM	DATE 26.03.2025	ADDRESS: 53A & 53B WARRIEWOOD ROAD,	FXTF	RNAL E	FI FVA	TIONS	
02	IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS, STORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES)	NM	16.04.2025	WARRIEWOOD 2102 (PROPOSED LOTS 13-20)	=/(1=				
03	LOT 14 & 15 AMENDED AS PER PCV2 - KITCHEN NIB WALL EXTENSION	SA	04.06.2025		MODEL	T I		01	
04	LOT 16 - 20 AMENDED AS PER DESIGN REQUEST EMAIL DATED 26.06 - HEEL	NM	27.06.2025		MODEL	TL -	FACADE	01	
	HEIGHT LOWERED + COLLISION DETECTION			SHAWOOD	STOREY	D	ACCOM		GARAGE -
						-			
				68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 1800 951 068	CONTRAC	T No:			SHEET: DA-37
				· · · ·	MASTER	DESIGN	MACTE	R CHECKED	PAGE: 37
				Sekisui House Services (NSW) Pty Limited ABN: 42119550220. BL: 226045C.	-		IVIAGIL		
				ABN: 42119550220. BL: 2260450. OR WHOLE FORBIDDEN	Nł	M		-	SCALE: 1:150

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Printed Date: 30/06/2025 - Printed by:MirzaN - File Name:W.\c.Shawood\Warriewood\Talia\3. Lot Plans\Lot 13 (Old Lot 14) - TL03 F1\6. CAD File\TL - Lot 13 - 20 (Old Lot 14 - 21).pln

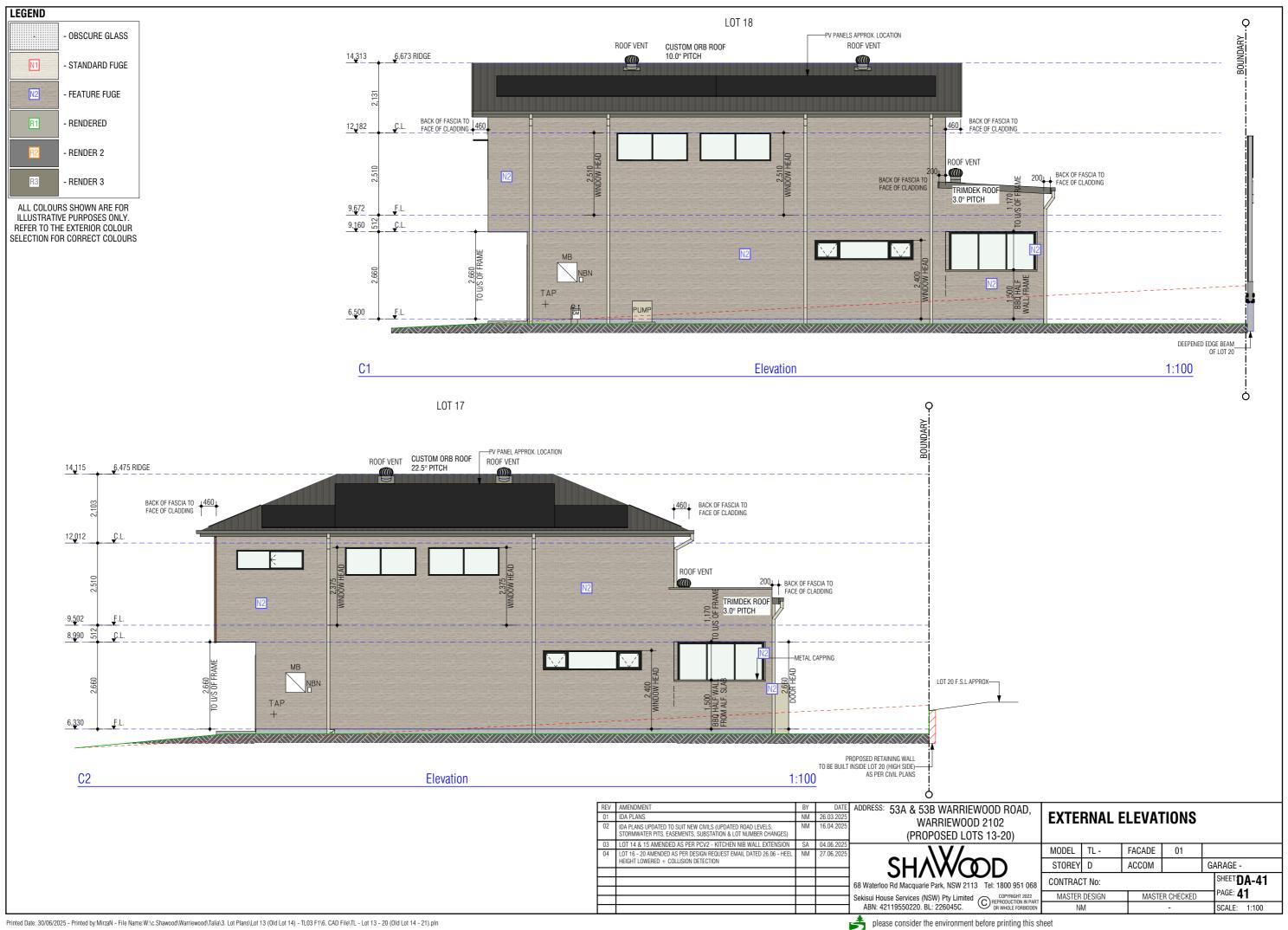


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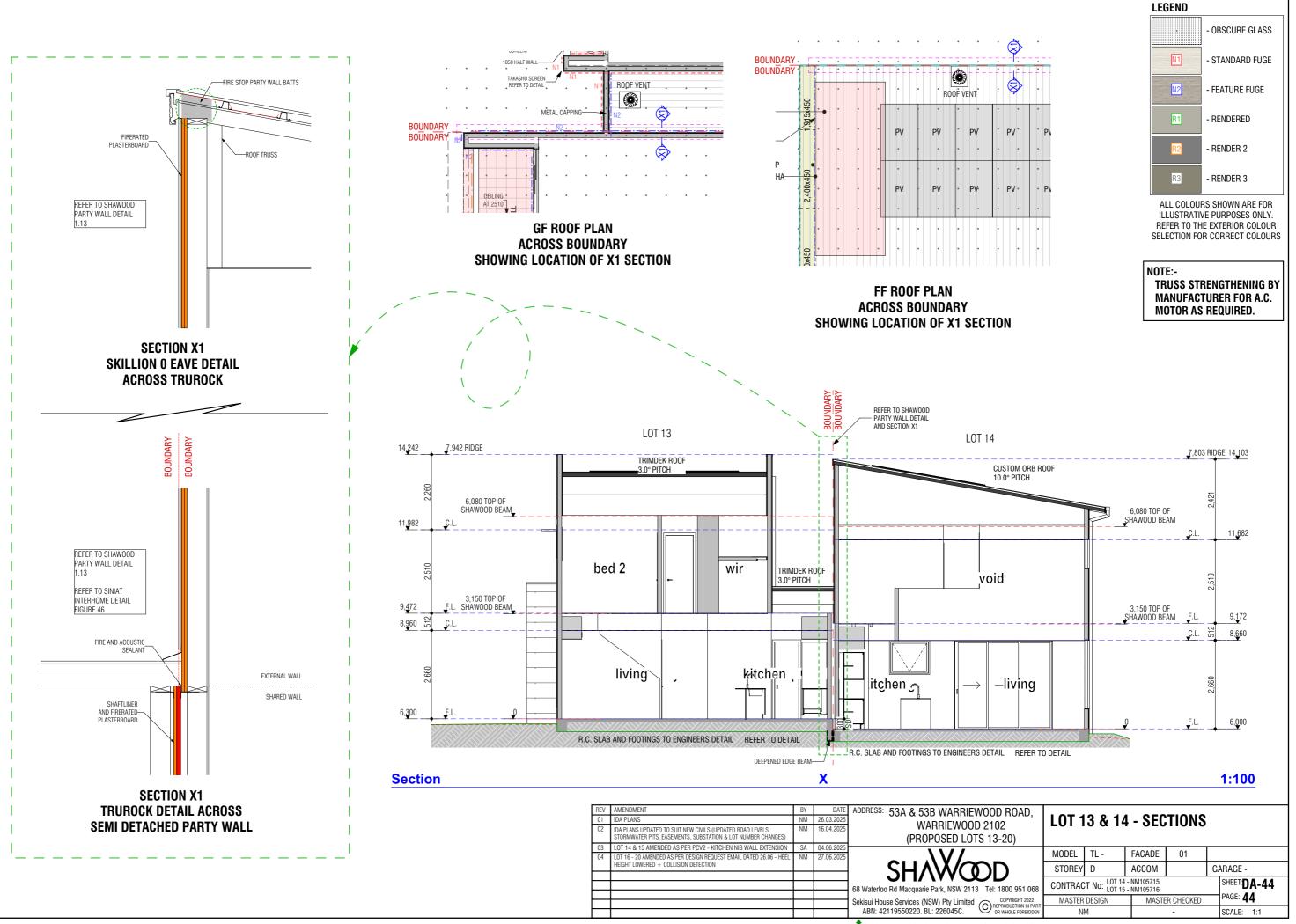




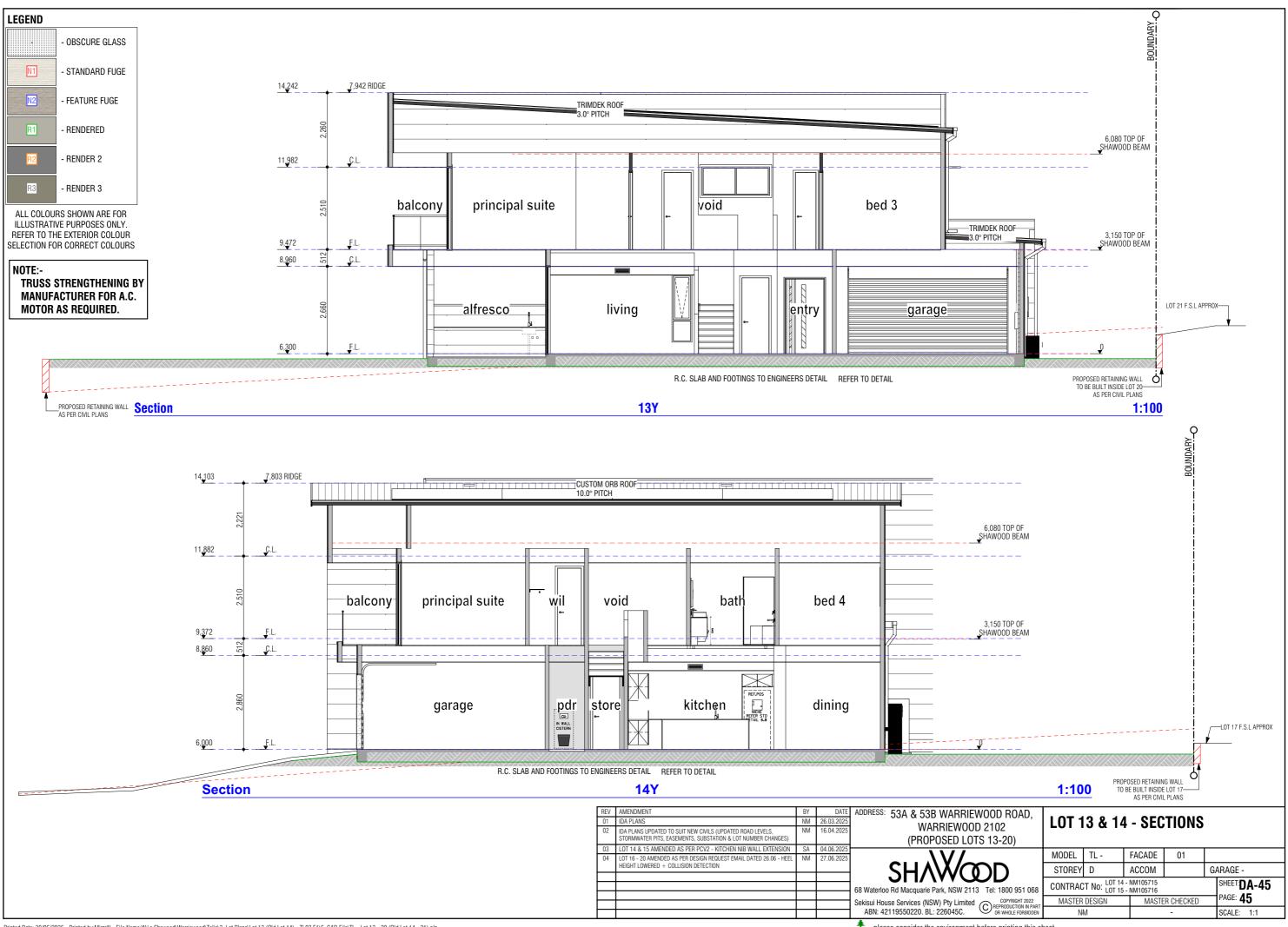
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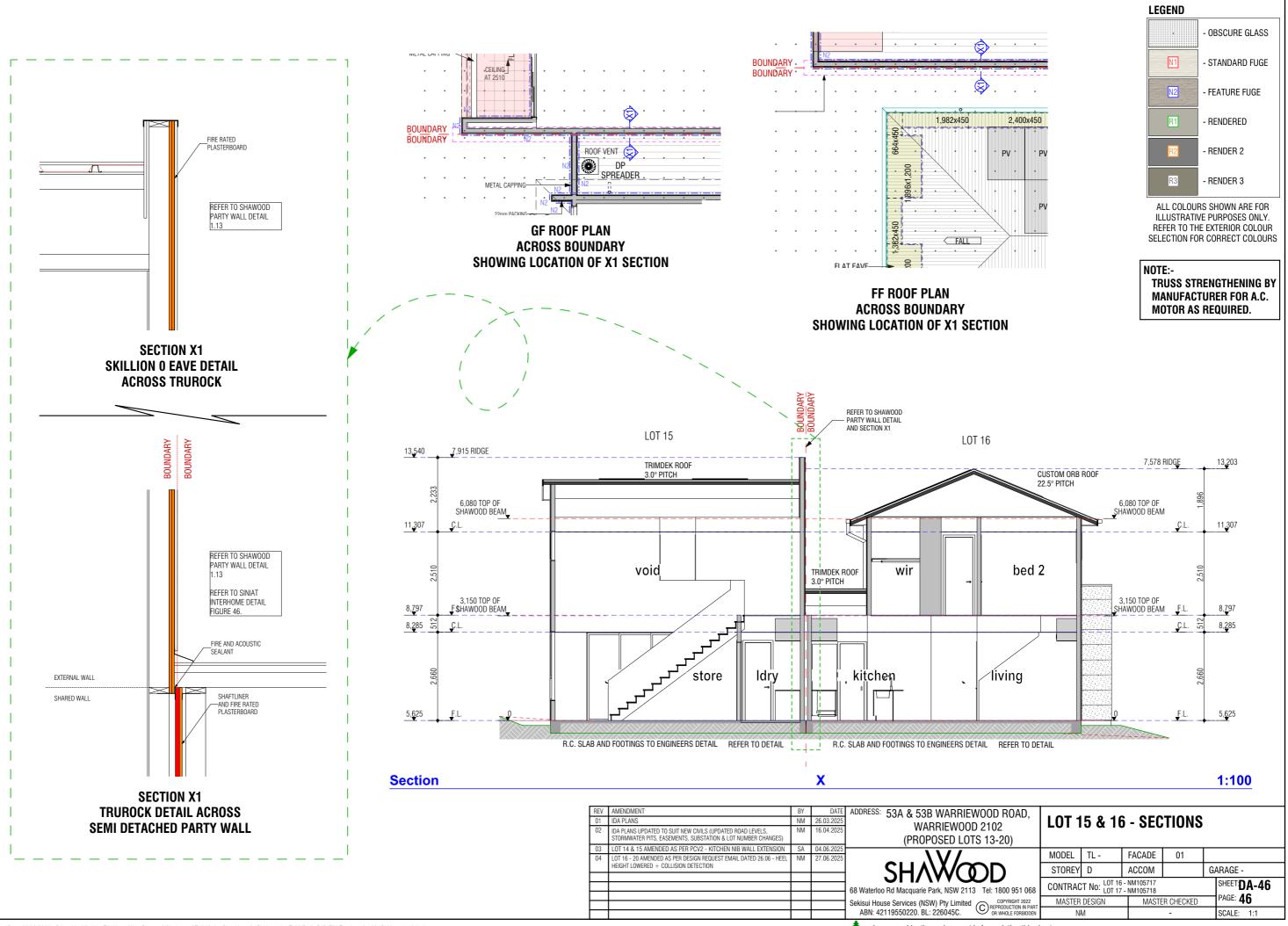
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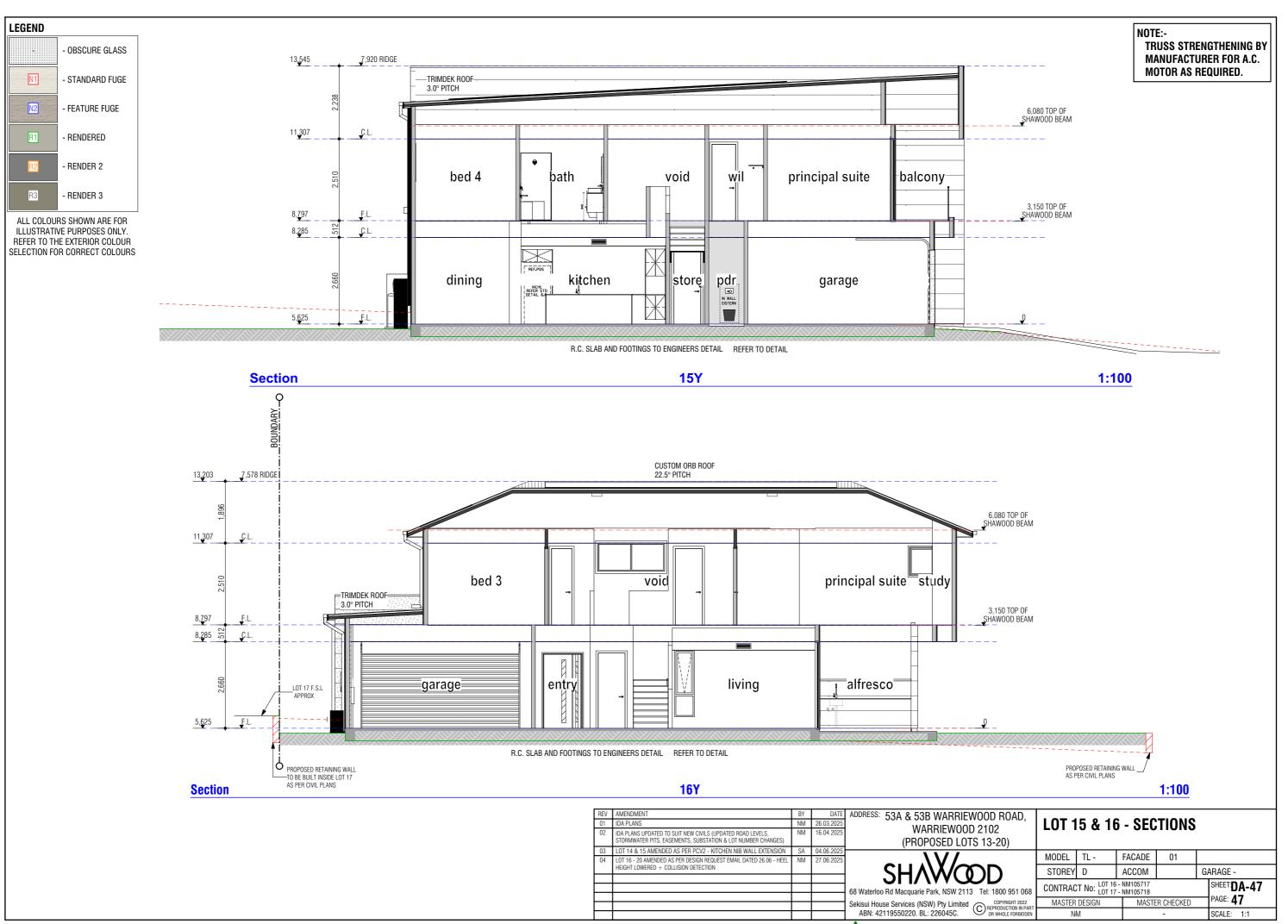
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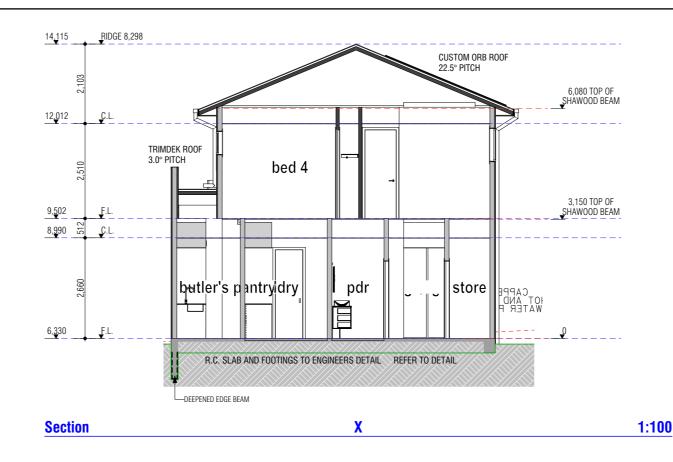


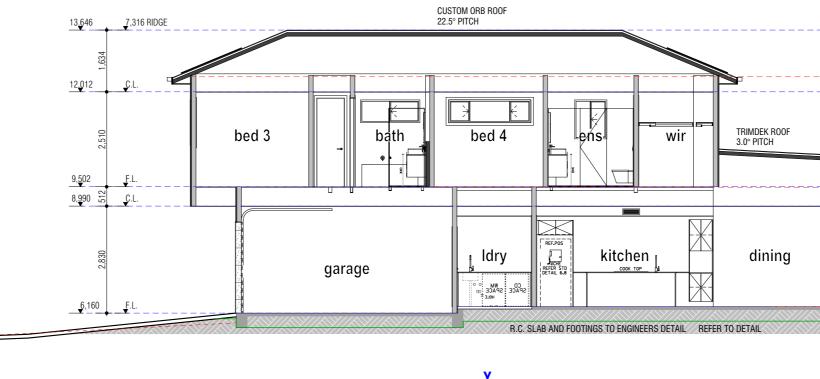
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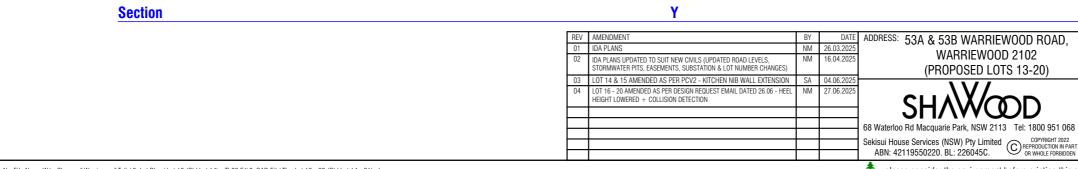


LEGEND OBSCURE GLASS N1 - STANDARD FUGE N2 - FEATURE FUGE R1 - RENDERED R2 - RENDER 2 R3 - RENDER 3

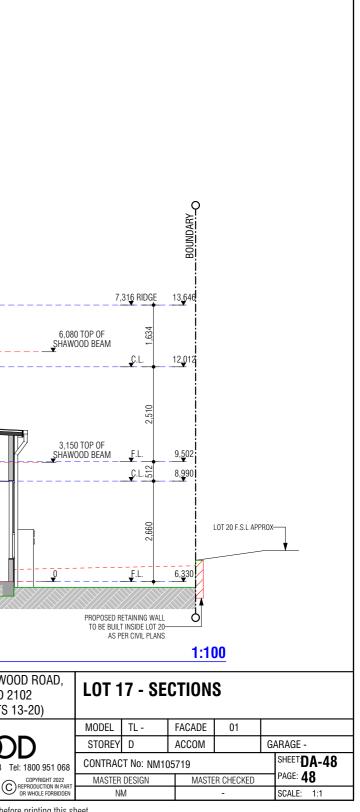
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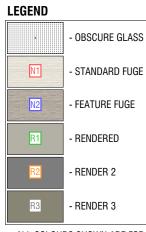




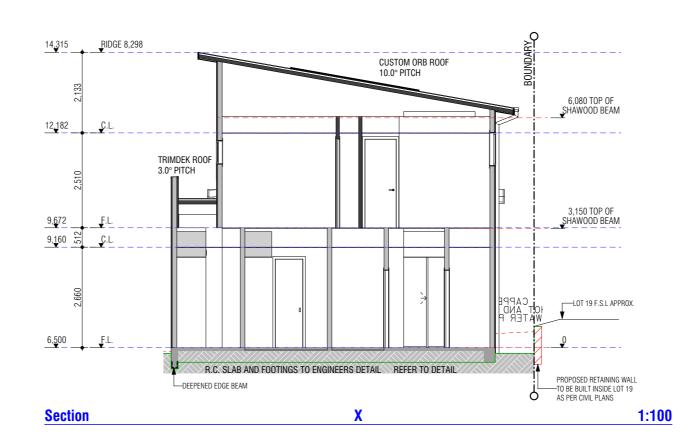


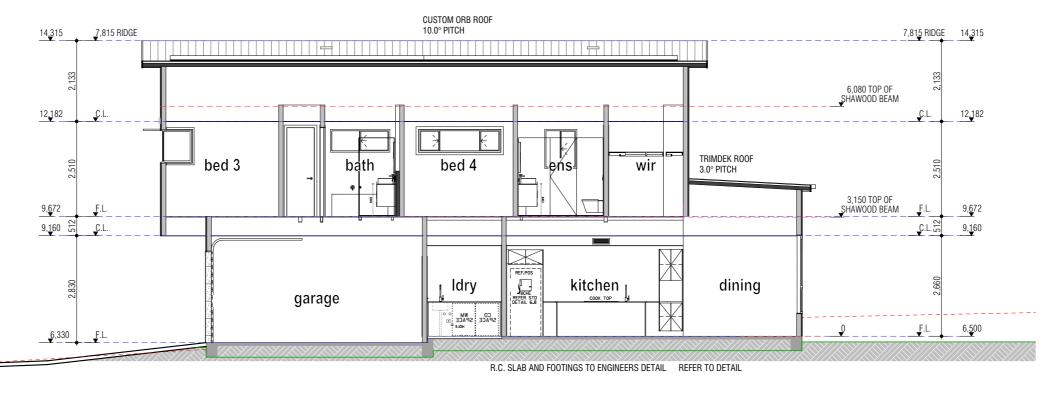






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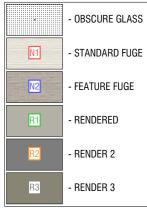
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NOTE:-TRUSS STRENGTHENING BY MANUFACTURER FOR A.C. MOTOR AS REQUIRED.

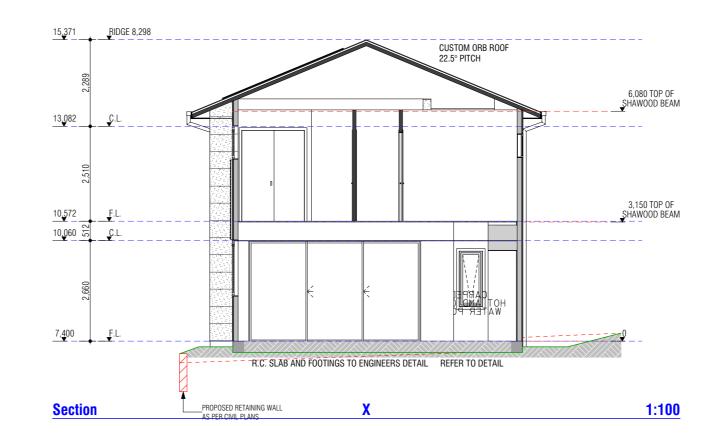
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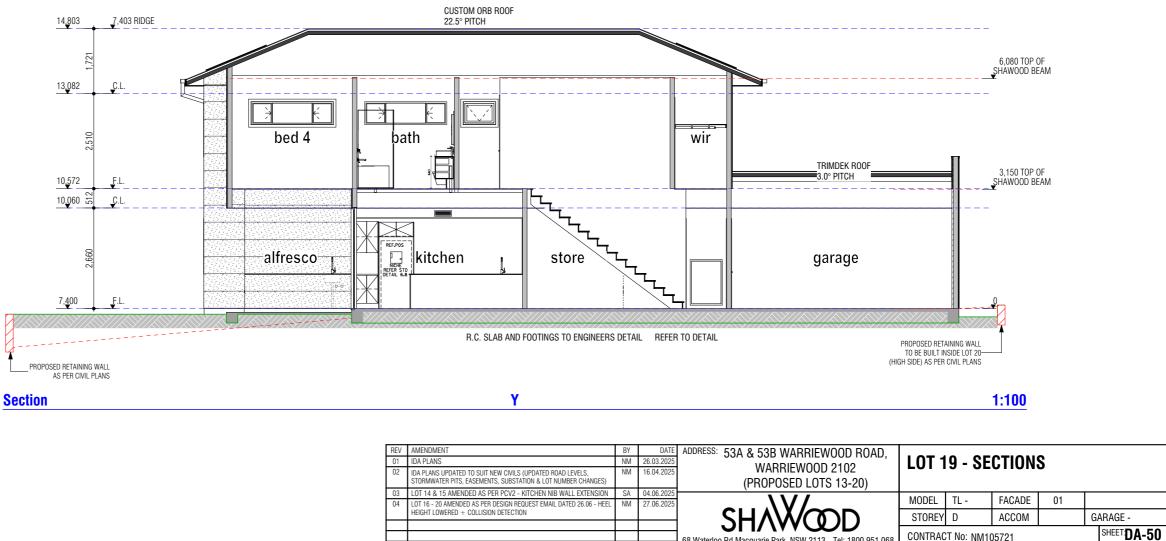
WOOD ROAD, D 2102 IS 13-20)	LOT 1	.OT 18 - SECTIONS					
	MODEL	TL -	FACADE	01			
DD	STOREY	D	ACCOM		G	ARAGE -	
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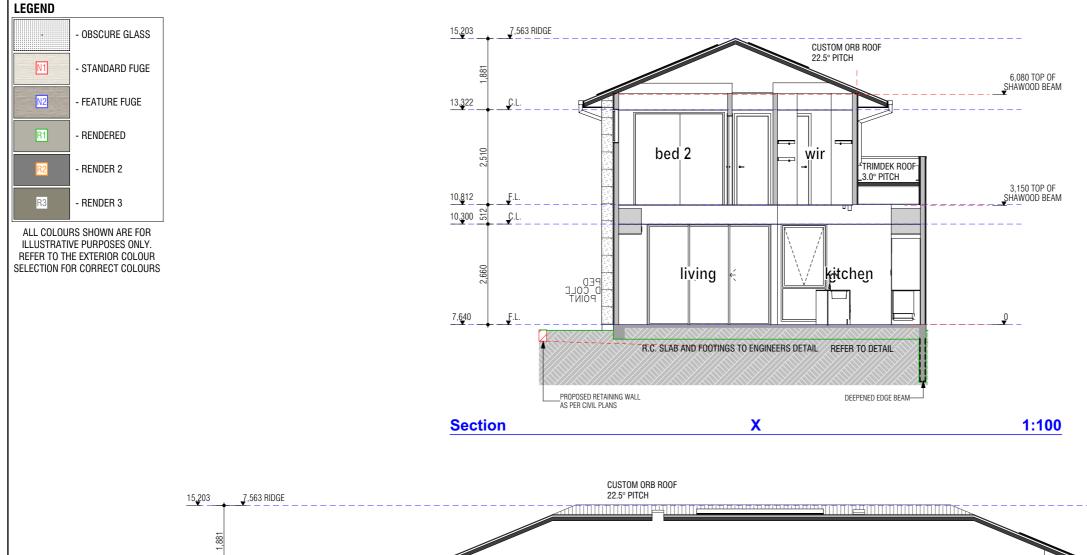
REV	AMENDMENT	BY	DATE	ADDRESS: 53A & 53B WARRIEWOOD ROAD,		
01	IDA PLANS	NM	26.03.2025	,	LOT 1	9 - S
02	IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS,	NM	16.04.2025		-0	
	STORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES)			(PROPOSED LOTS 13-20)		
03	LOT 14 & 15 AMENDED AS PER PCV2 - KITCHEN NIB WALL EXTENSION	SA	04.06.2025		MODEL	TL -
04	LOT 16 - 20 AMENDED AS PER DESIGN REQUEST EMAIL DATED 26.06 - HEEL	NM	27.06.2025		WODLL	12 -
	HEIGHT LOWERED + COLLISION DETECTION			SHAWOOD	STOREY	D
				68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 1800 951 068	CONTRAC	T No: NM
				Sekisui House Services (NSW) Pty Limited Copyright 2022 ABN: 42119550220, BL: 226045C, Copyright 2022	MASTER	DESIGN
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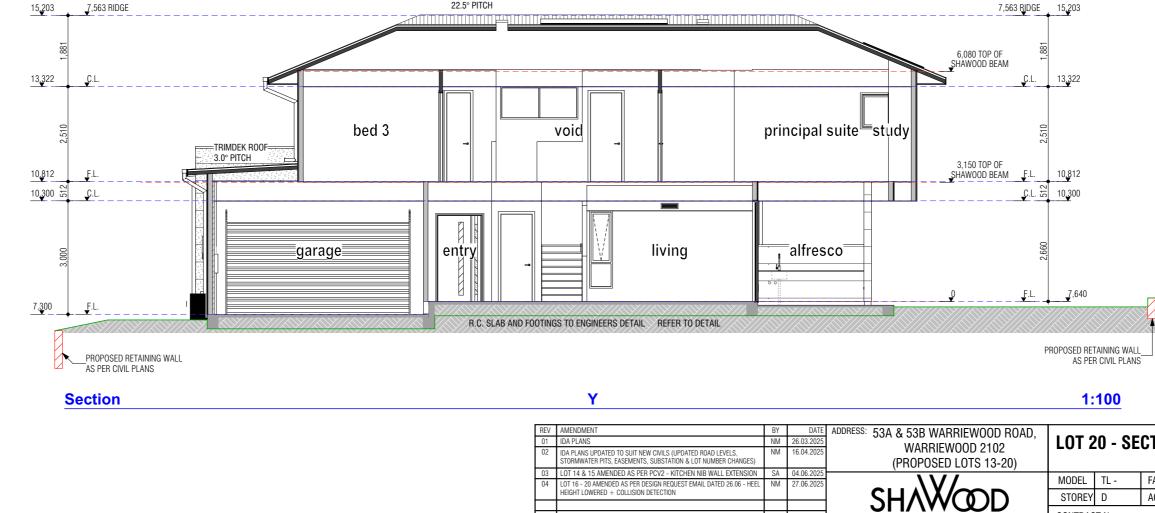
NOTE:-TRUSS STRENGTHENING BY MANUFACTURER FOR A.C. MOTOR AS REQUIRED.

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SCALE: 1:1

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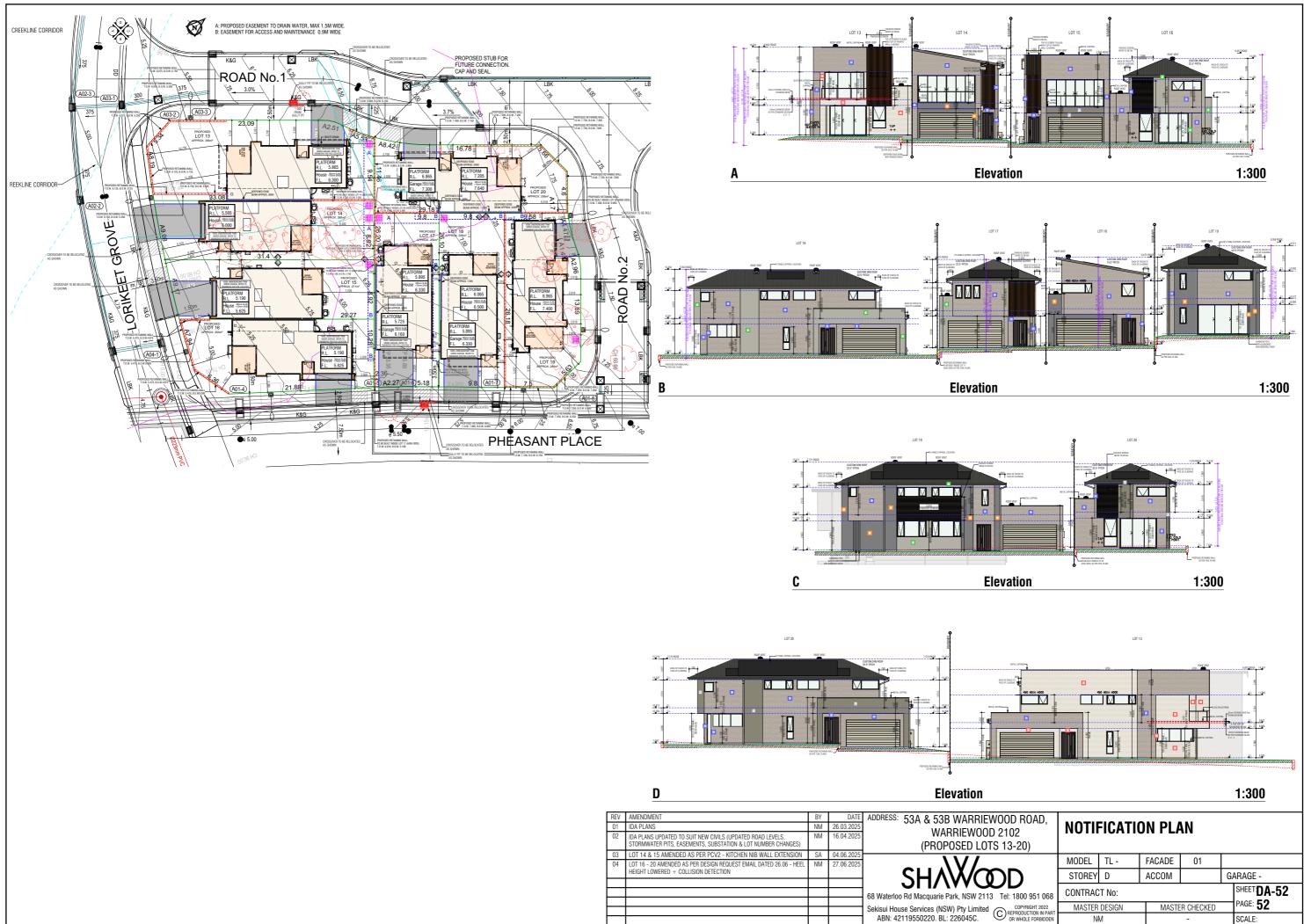


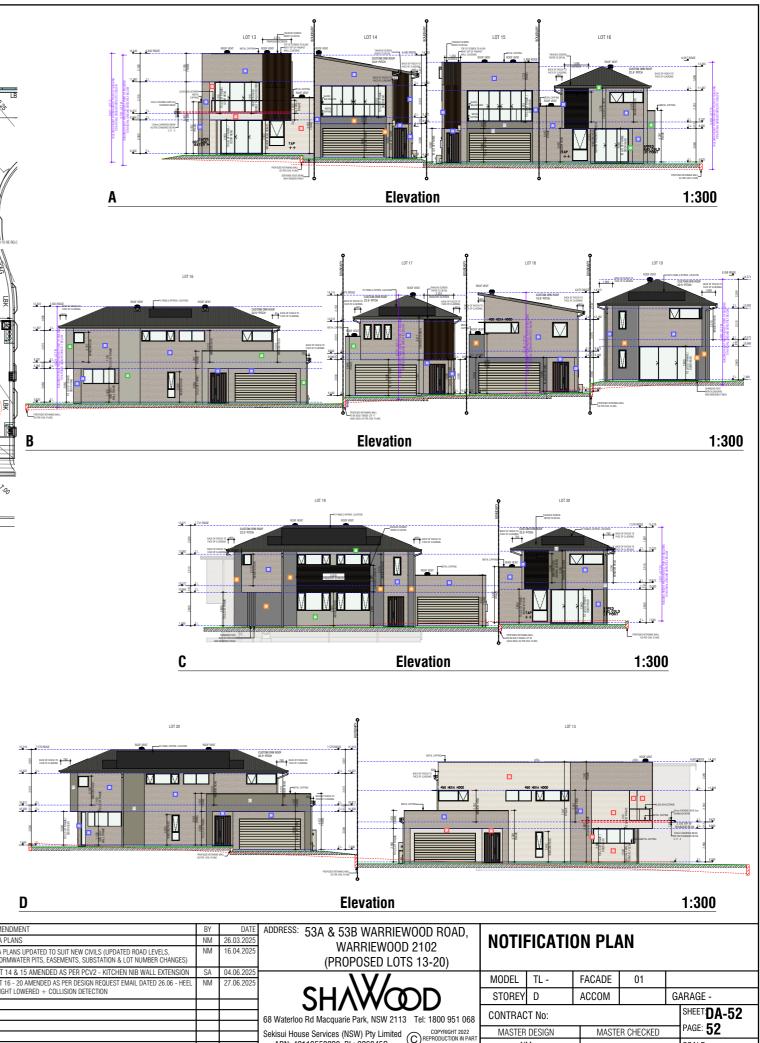


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NOTE:-TRUSS STRENGTHENING BY MANUFACTURER FOR A.C. MOTOR AS REQUIRED.

ADDRESS: 53A & 53B WARRIEWOOD ROAD, WARRIEWOOD 2102 (PROPOSED LOTS 13-20)	LOT 2	20 - SE	CTION	S	
	MODEL	TL -	FACADE	01	
SHAWOOD	STOREY	D	ACCOM		GARAGE -
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				01 IDA PLA 02 IDA PLA STORMW 03 03 LOT 14 04 LOT 16 -
	_			
ADDRESS: 53A & 53B WARRIEWO	DATE	BY	AMENDMENT	REV
	26.03.2025	NM	IDA PLANS	01
WARRIEW00D 2	16.04.2025	NM	IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS,	02
(PROPOSED LOTS			STORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES)	
	04.06.2025	SA	LOT 14 & 15 AMENDED AS PER PCV2 - KITCHEN NIB WALL EXTENSION	03
	27.06.2025	NM	LOT 16 - 20 AMENDED AS PER DESIGN REQUEST EMAIL DATED 26.06 - HEEL HEIGHT LOWERED + COLLISION DETECTION	04
SHAWOO			HEIGHT LOWERED + COLLISION DETECTION	
				<u> </u>
58 Waterloo Rd Macquarie Park, NSW 2113 1				<u> </u>
Sekisui House Services (NSW) Pty Limited 📿				<u> </u>
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