

19/05/2023

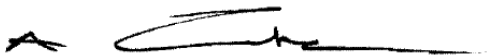
Dear Sir/Madam,

RE: Proposed Development at
Lot 9, 6 Orchard Road,
WARRIEWOOD, NSW

It is our professional opinion that a retaining wall along the boundary is needed to support the suspended driveway, this is due the slope of the natural ground. The retaining wall will not affect the minimum landscaping required.

Please refer to the Appendix A for the location of the proposed retaining wall and Appendix B the complete architectural plans prepared by PTI Architecture for your reference.

Signed,



ANDREW CUTUK
DIRECTOR/SENIOR ENGINEER
BE (Civil) MIEAust 1224698
CPEng NER (Civil & Structural)
Professional Engineer PRE0000467

APPENDIX A:

Plan and section of proposed retaining wall



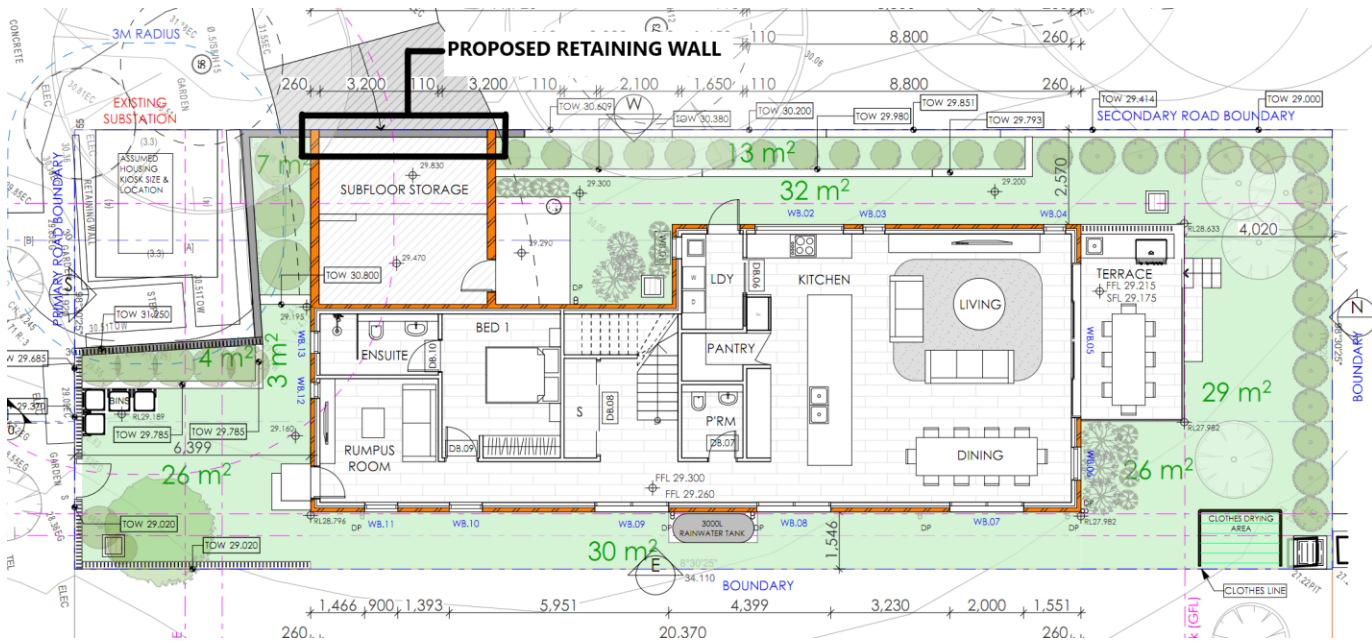


Figure 1: Ground Floor Plan (Source: PTI, Project No.: P563, Dwg No.: 06, Revision 7)

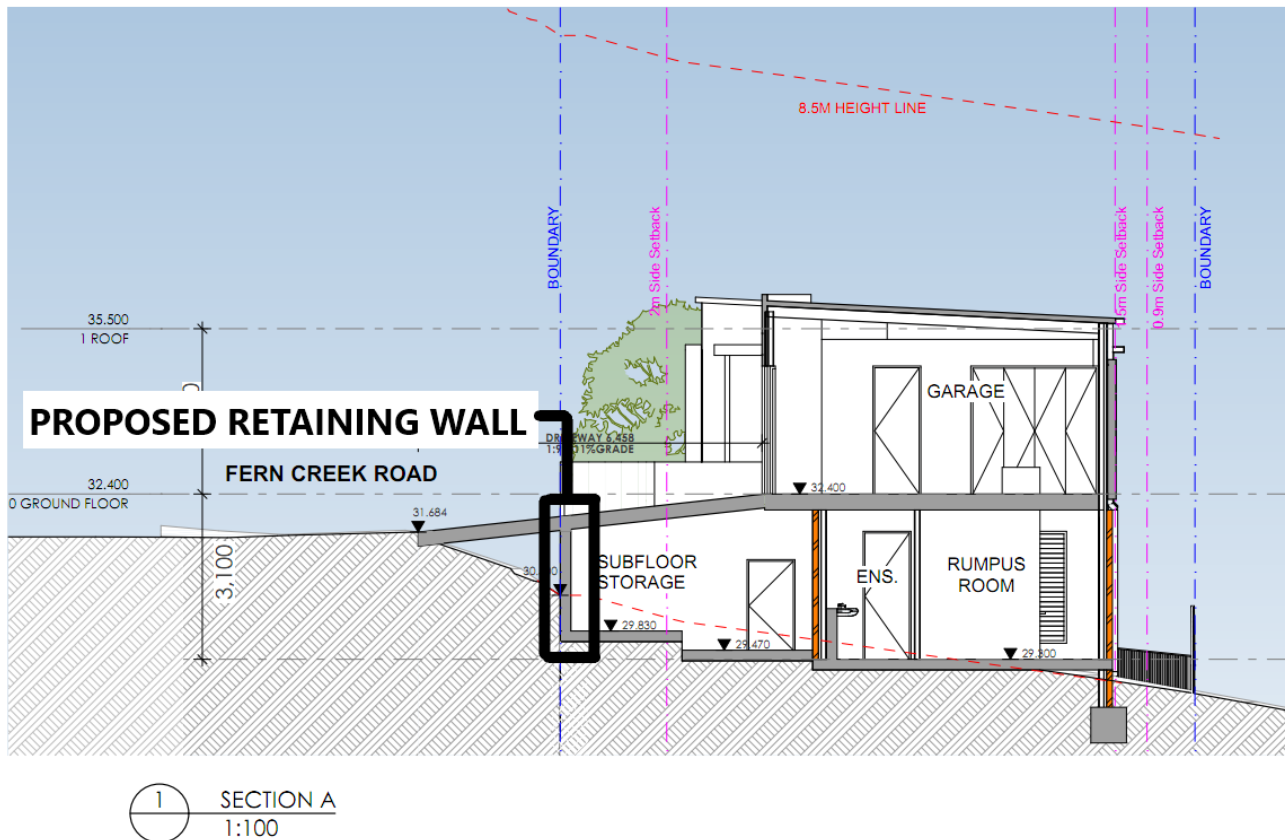


Figure 2: Section A (Source: PTI, Project No.: P563, dwg no.: 06, revision 7)

APPENDIX B:

Architectural Plans



DRAWING LIST	
00	LOT 9- COVER SHEET
01	LOT 9- BASIX NOTES
02	LOT 9- LOCATION PLAN
03	LOT 9- SITE ANALYSIS
04	LOT 9- SITE PLAN
05	LOT 9- CUT AND FILL PLAN
06	LOT 9- GROUND FLOOR
07	LOT 9- FIRST FLOOR PLAN
08	LOT 9- ROOF PLAN
09	LOT 9- SECTION A
10	LOT 9- SECTION B
11	LOT 9- SOUTH & WEST ELEVATIONS
12	LOT 9- NORTH & EAST ELEVATIONS
13	LOT 9- WASTE MANAGEMENT PL...
14	LOT 9- PERSPECTIVES
15	LOT 9- EXTERNAL FINISHES
16	LOT 9- SHADOW DIAGRAMS
17	LOT 9- AREA CALCULATIONS
18	LOT 9- WINDOWS SCHEDULE
19	LOT 9- NOTIFICATION PLAN



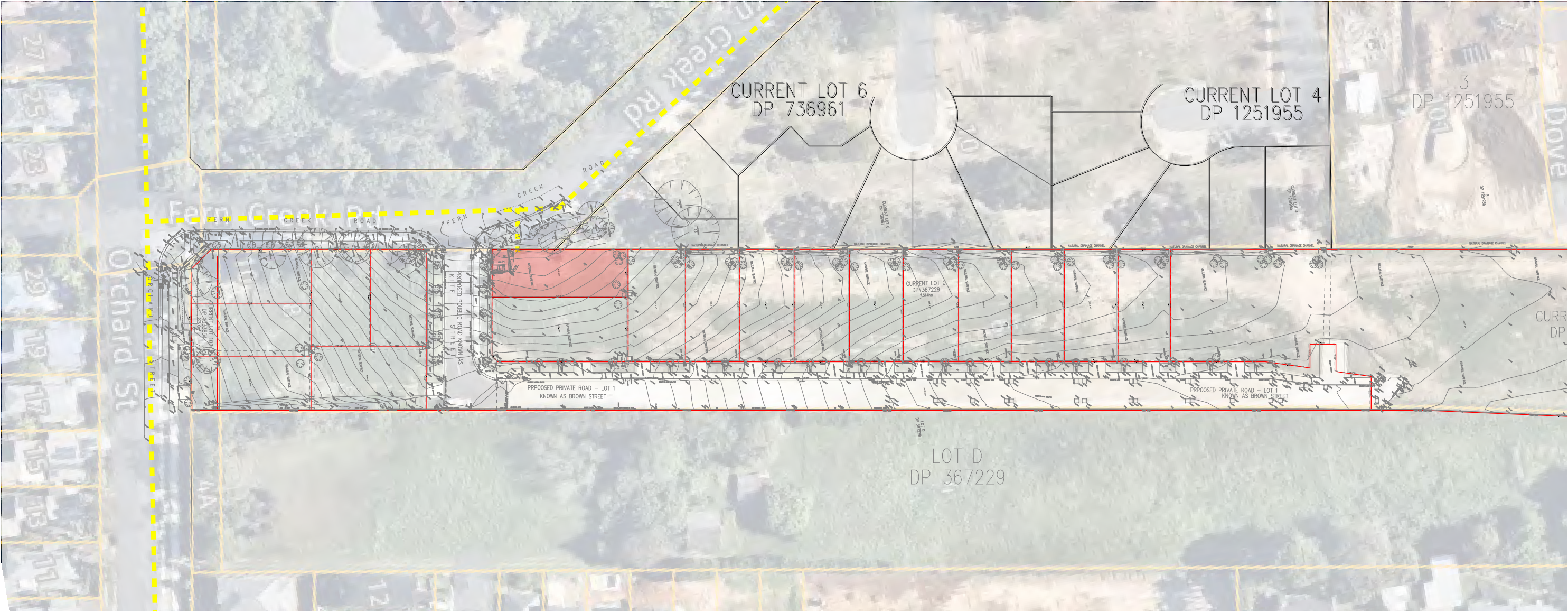
DEVELOPMENT APPLICATION
LOT 9-6 ORCHARD ROAD,
WARRIEWOOD
WARRIEWOOD HOUSING

SEPTEMBER 2022

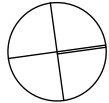
BASIX COMMITMENTS SUMMERY NOTES (TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE)				
WATER		No hot water reticulation required		
Fixtures	All shower heads	All toilets	All kitchen taps	All bathrooms taps
Rating	4 Star(>4.5 But<=6L/Min)	4 star	5 star	5 star
Alternate water source				
Rain Water Tank	Type	Size	Roof area connected	Connections
	Individual RWT	3000L	100 m2	Outdoor tap only
Swimming pool		...		
	Volume	Heated	Cover	Shaded
...	...	...	...	...
ENERGY				
Hot water	Type		Rating	
	Individual, gas instantaneous		5 star	
Mech. Ventilation	System		Operation Control	
Bath	Indiv. fan, ducted to facade or roof		Manual Switch On/Off	
L'dry	Indiv. fan, ducted to facade or roof		Manual Switch On/Off	
Kitchen	Indiv. fan, ducted to facade or roof		Manual Switch On/Off	
Cooling System	Type		Living areas	Bed rooms
	1 Phase Air conditioning: Day / Night Zoned		3 star (average zone)	3 star (average zone)
Heating System	Type		Living areas	Bed rooms
	1 Phase Air conditioning: Day / Night Zoned		3 star (average zone)	3 star (average zone)
Artificial Lighting	Primary type of artificial lighting is fluorescent or light emitting diode (LED)			
	No. of Bed rms & study	No. of Living	Each Kitchen, Bath / Toilet	L'dry & Hallway
	All	All	Yes	Yes
Others	Indoor private Cloth Line		Not Required	
	Outdoor or sheltered Cloth Line		Yes	
	Well ventilated Fridge space		No	
	Kitchen Cook top / Oven		Gas Cook top + Electric Oven	
THERMAL				
	External Wall Insulation: R2.06 (BV Walls); R2.0 (framed walls)			
	Ceiling Insulation: R3.45			
	Roof type / colour :Metal roof flat ceiling / pitched roof, raked ceiling / pitced or skillion roof, Medium Colour (SA 0.475 - 0.7) + SS Foil (R1.3)			
	ALM-002-01 A: Aluminium B SG Clear U=6.7 SHGC =0.70			
	Skylight: Aluminimum, moulded plastic single clear SG Clear U=6.7 SHGC =0.70			
	All External doors & windows to be weather sealed			
	Eaves / shading as per drawings			

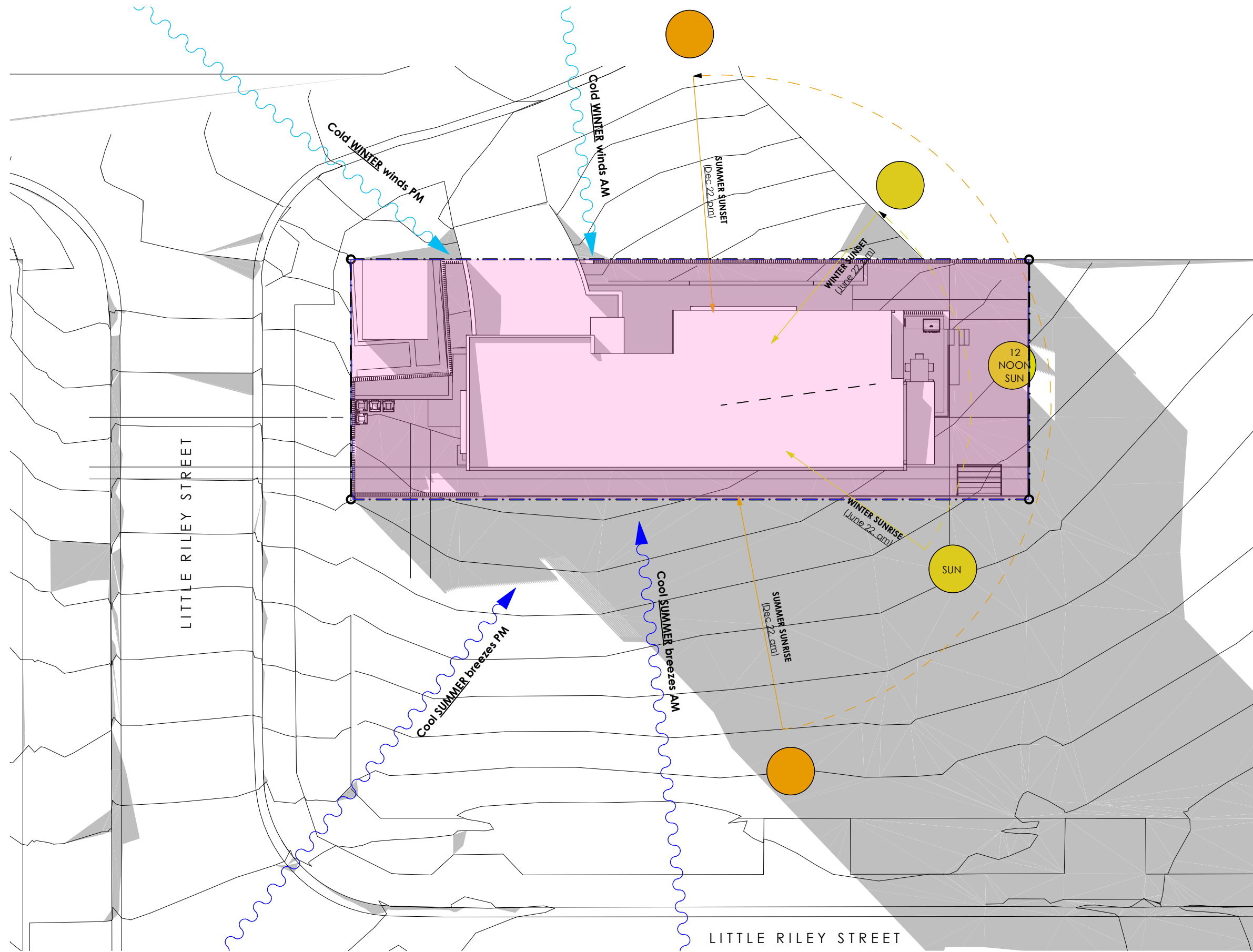
1

BASIX COMMITMENTS



1 LOCATION PLAN
1:1000





1 SITE ANALYSIS PLAN
1:200

REV	DESCRIPTION
P1	-
P7	ISSUE FOR DA

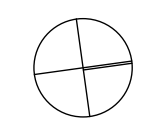
BY	DATE
-	-
TC	15.09.30

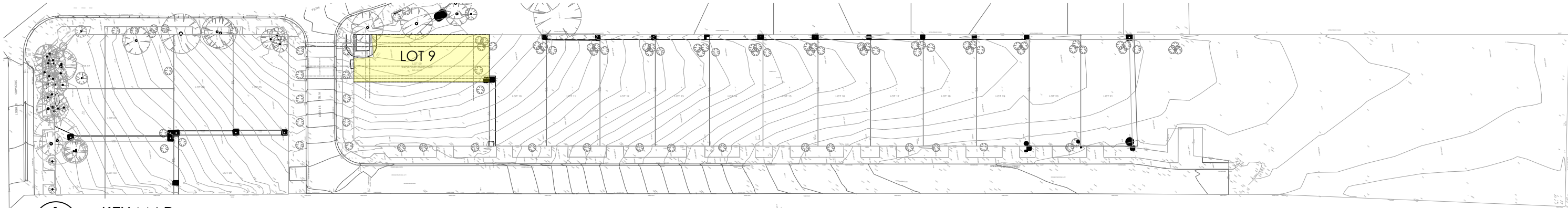
CLIENT:
SKYCORP AUSTRALIA

PROJECT TITLE:
6 ORCHARD ROAD, WARRIEWOOD

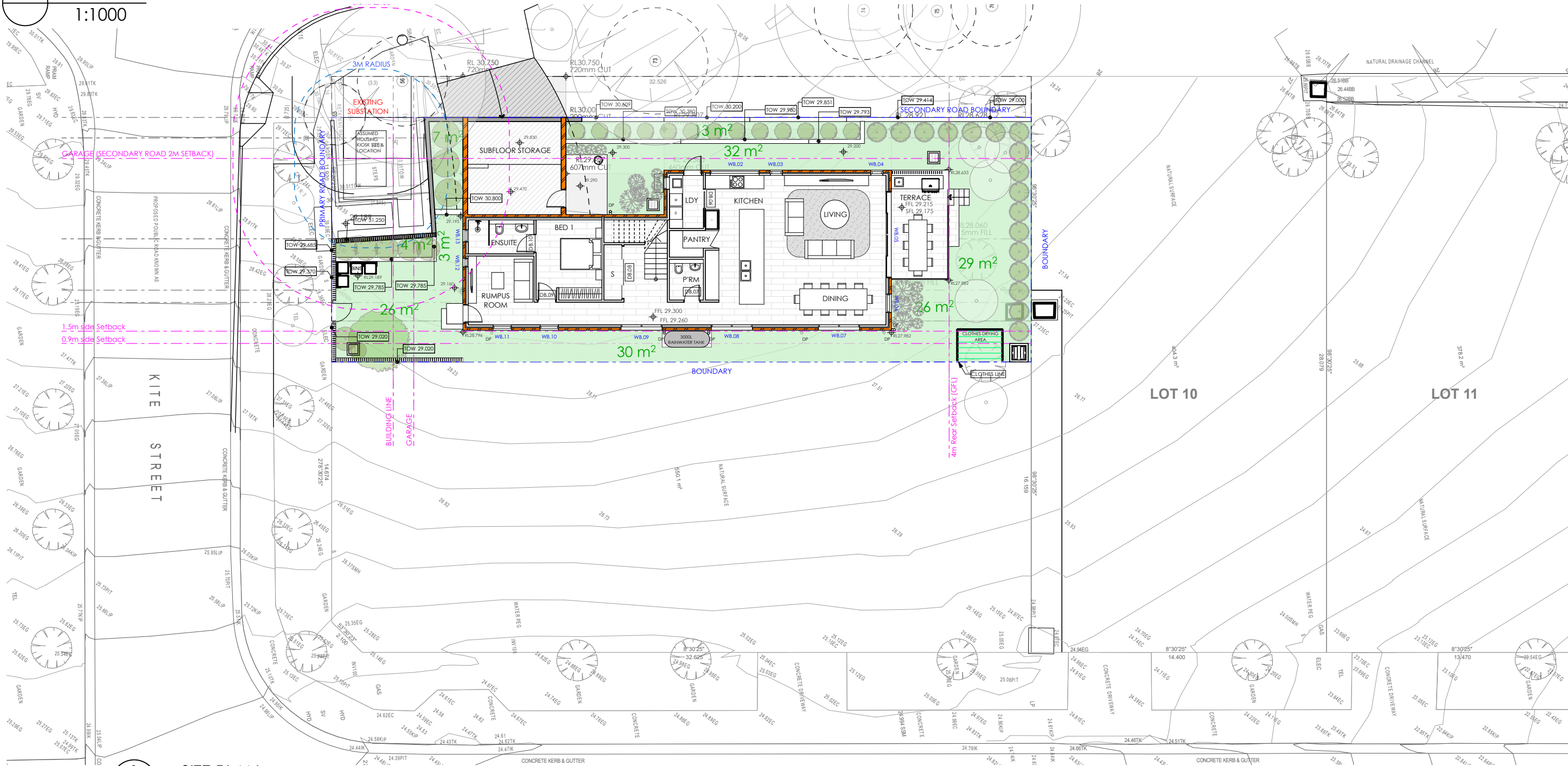
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LOT 9- SITE ANALYSIS

NORTH POINT:
DRAWN BY: CR
CHECKED BY: PI
SCALE:
PROJECT No: P563

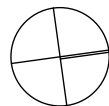


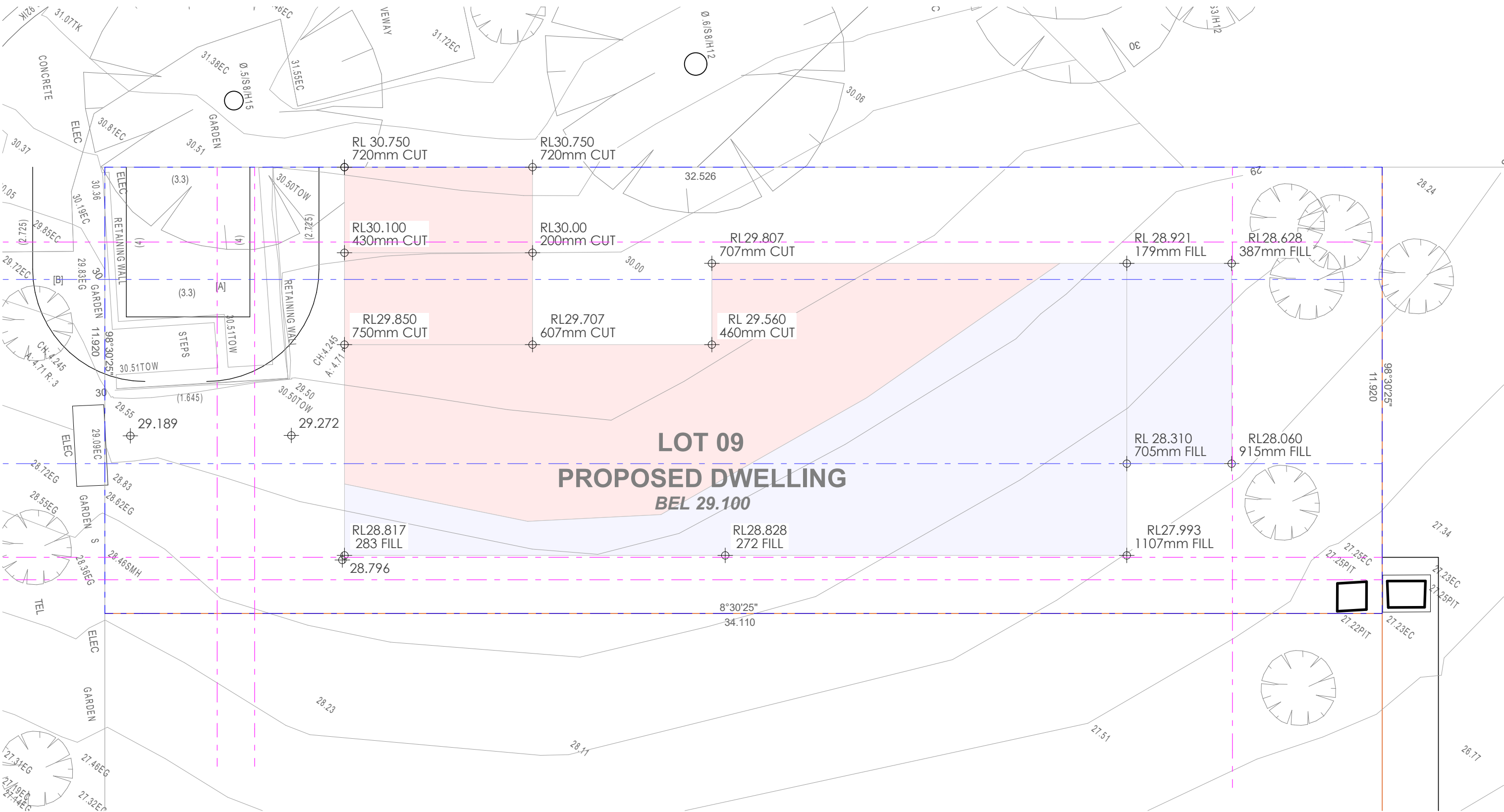


1 KEY MAP
1:1000



1 SITE PLAN
1:200





1 CUT AND FILL PLAN
1:100

LEGEND

CUT

FILL



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+61 2 9283 0860 | www.ptiarchitecture.com.au
Nominated Registered Architect: Peter Israel (reg no 5064)
ABN 90 050 071 022

REV	DESCRIPTION
P1	-
P7	ISSUE FOR DA

BY	DATE
TC	15.09.30

CLIENT:
SKYCORP AUSTRALIA

PROJECT TITLE:
6 ORCHARD ROAD, WARRIEWOOD

DRAWING TITLE:
LOT 9- CUT AND FILL PLAN

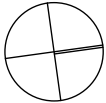
NORTH POINT:

DRAWN BY: CR

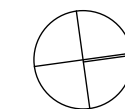
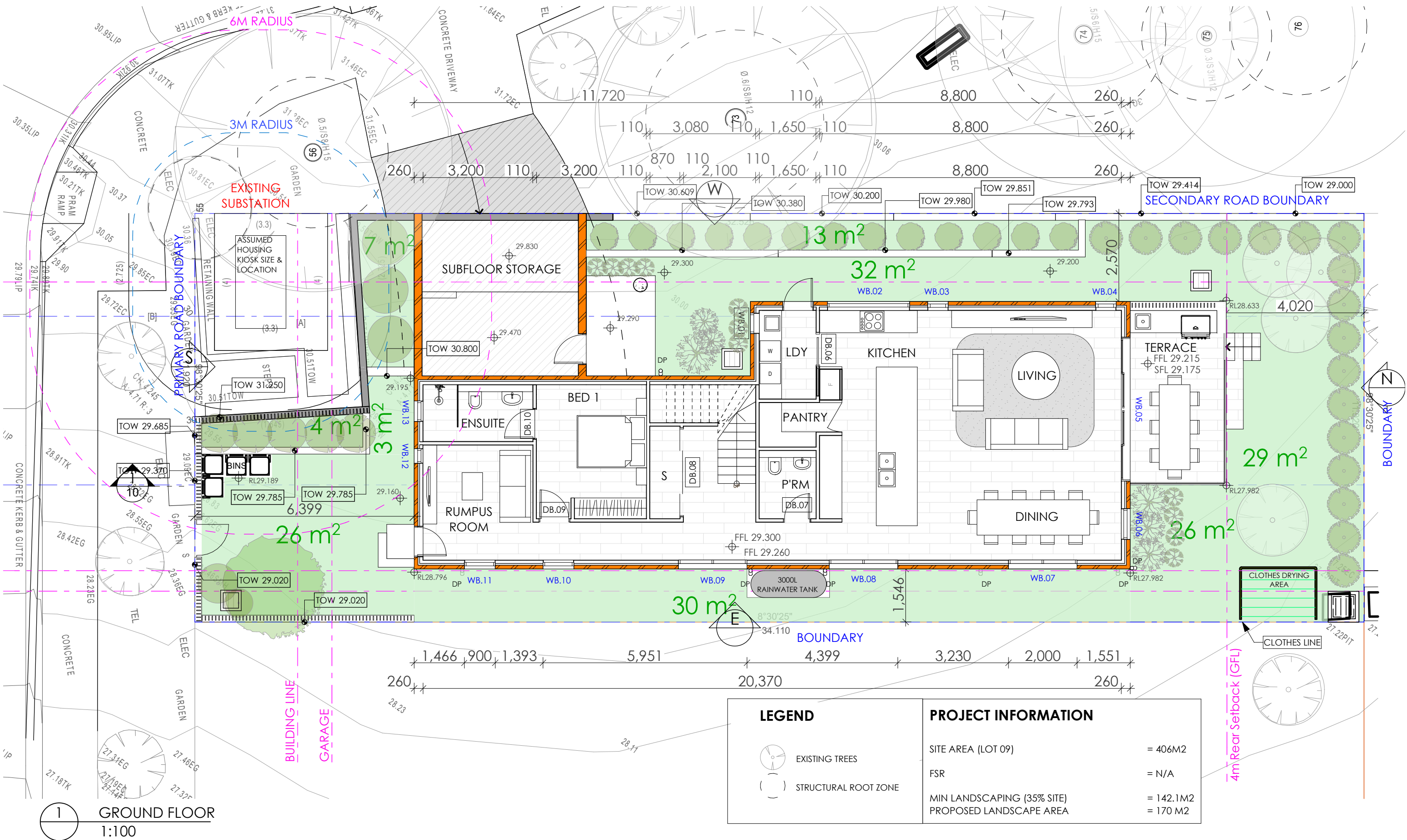
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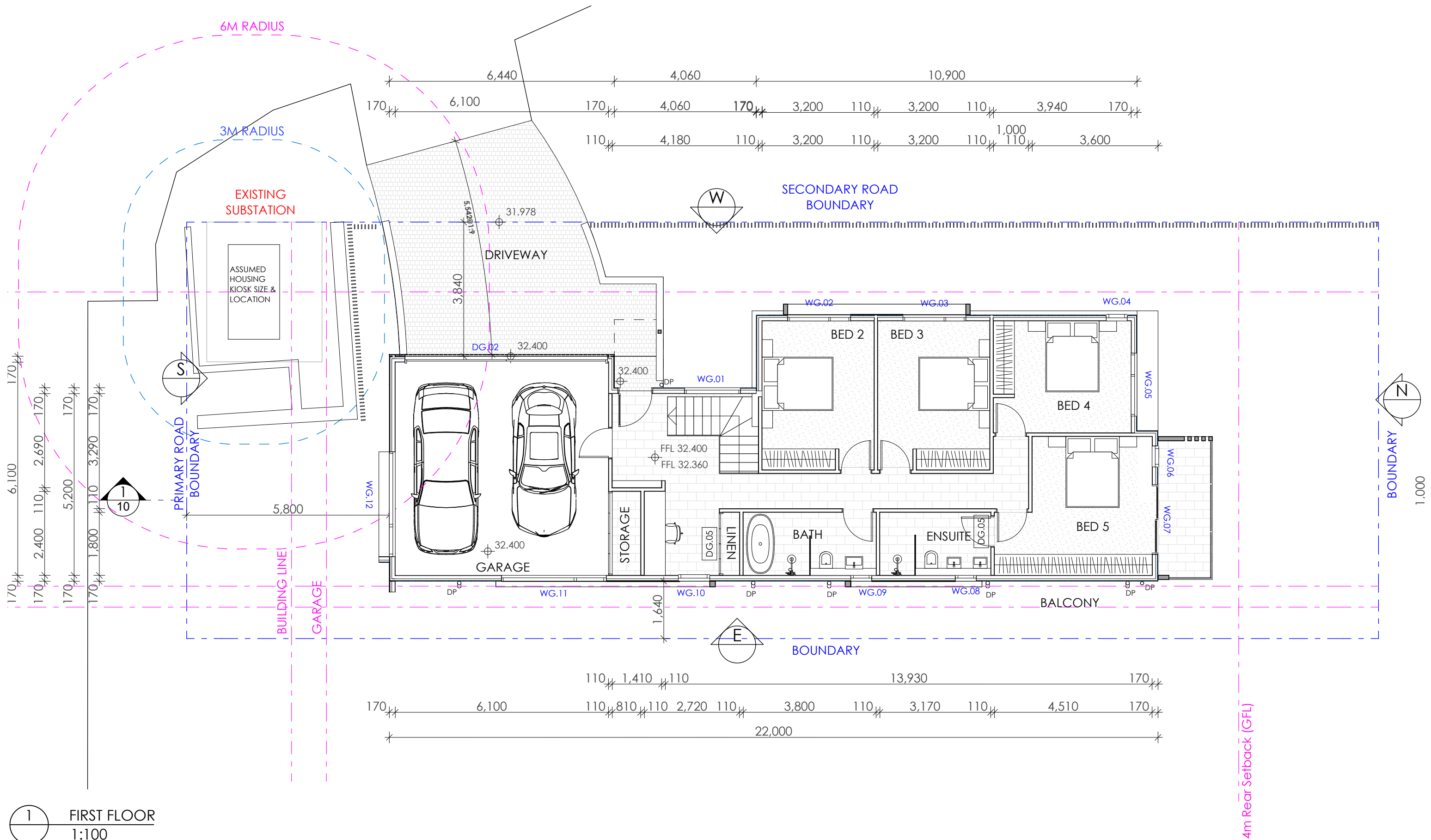
SCALE:

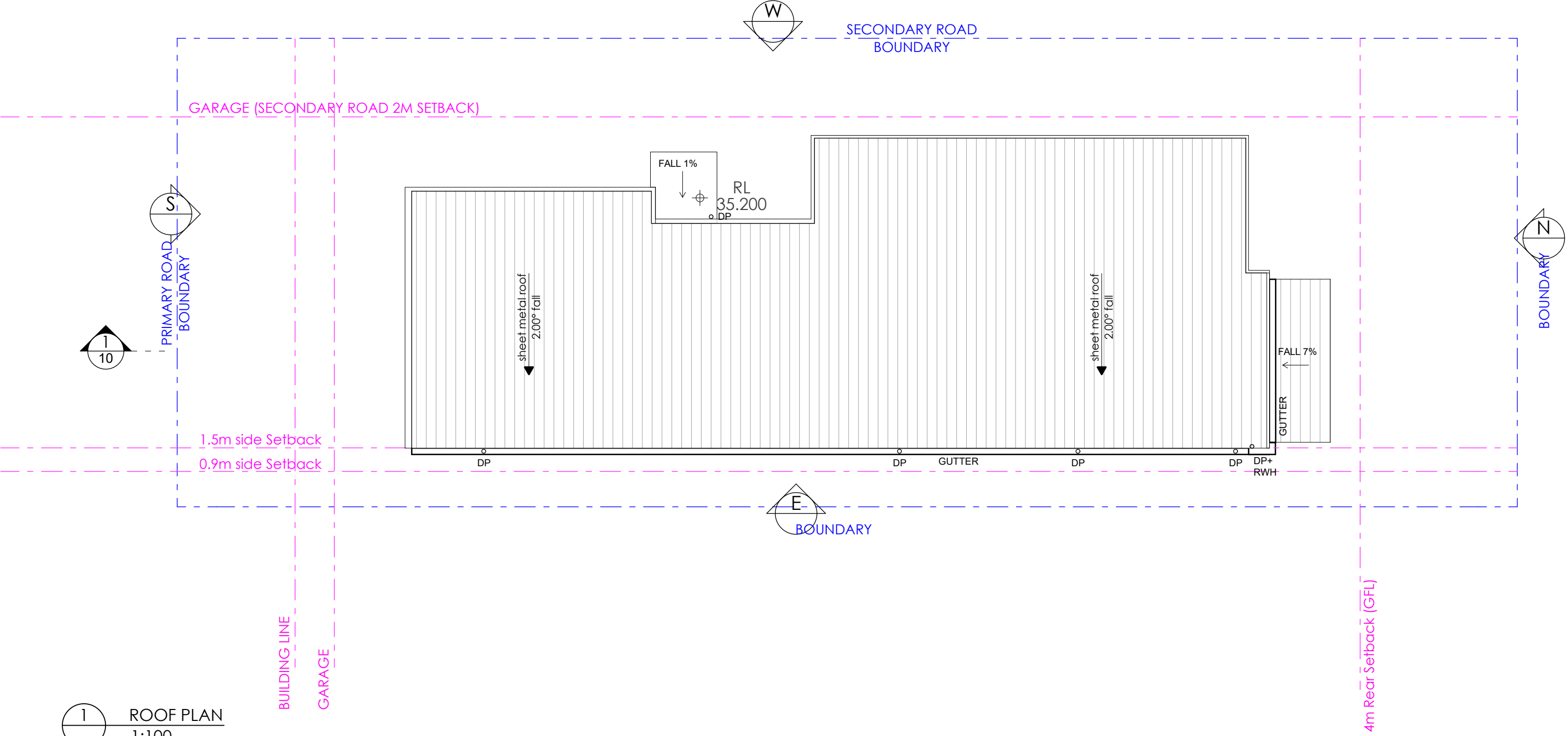
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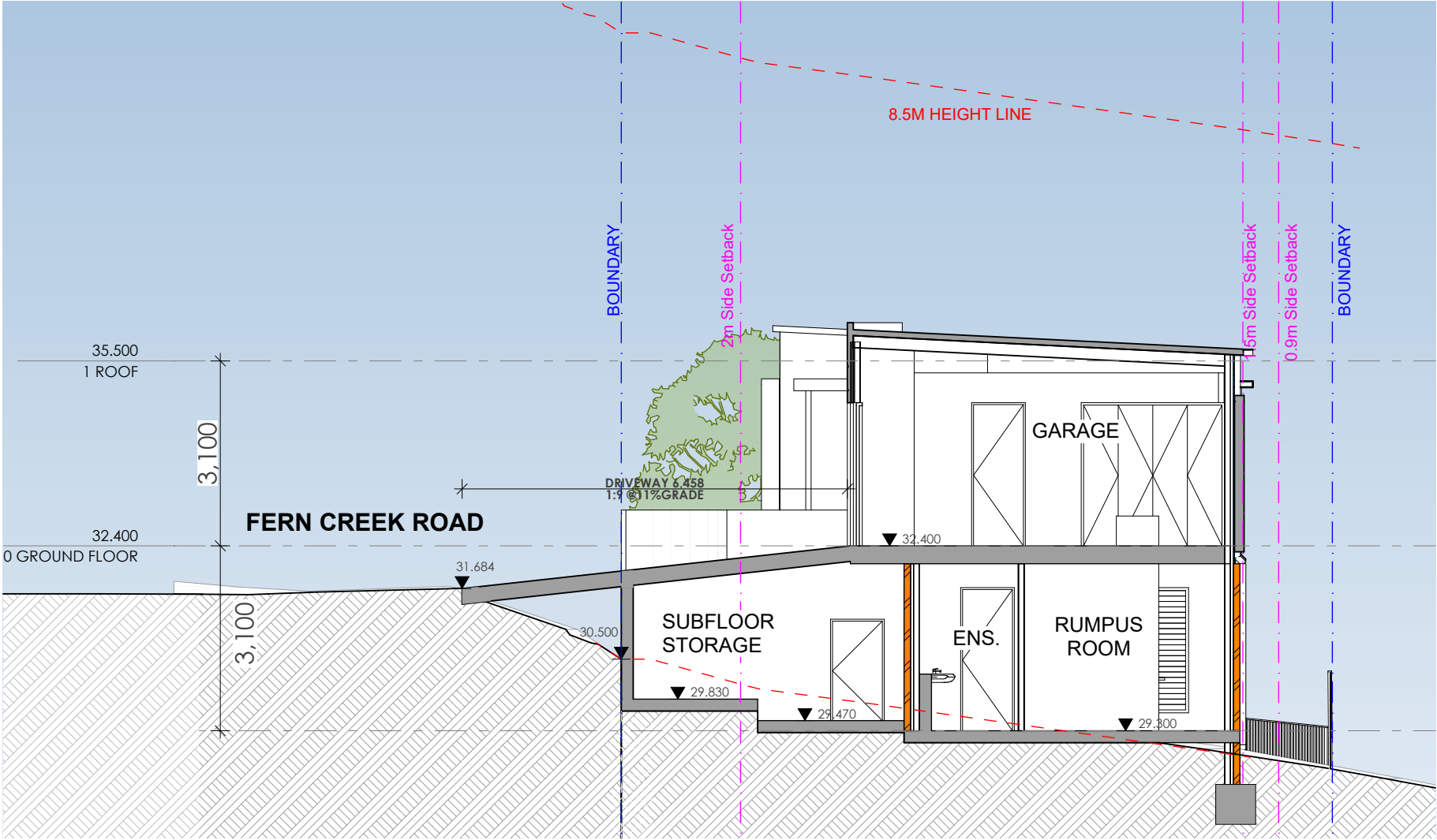
DA 05 P7
stage. dwg no. revision



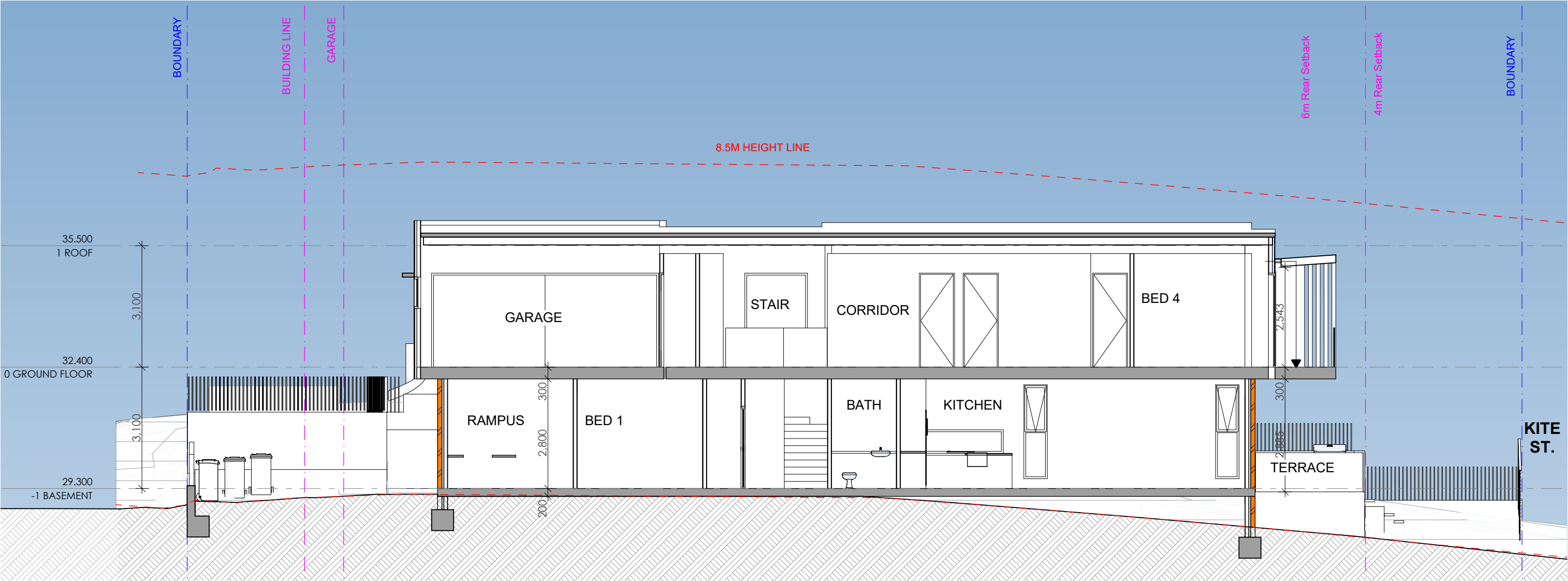




1 ROOF PLAN
1:100

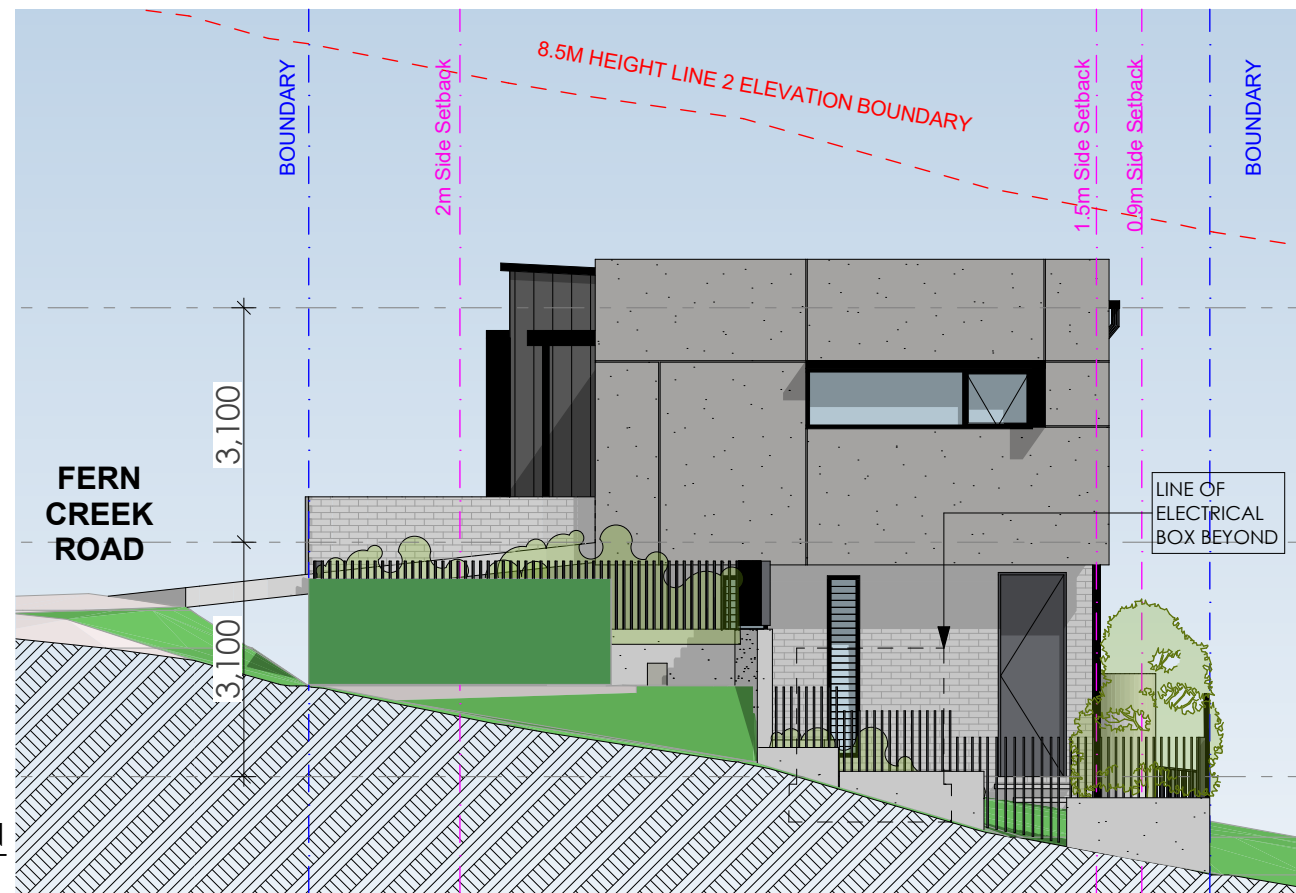


1 SECTION A
1:100



1 SECTION B
1:100

1 SOUTH ELEVATION
1:100



2 WEST ELEVATION
1:100

REV	DESCRIPTION
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P7	ISSUE FOR DA

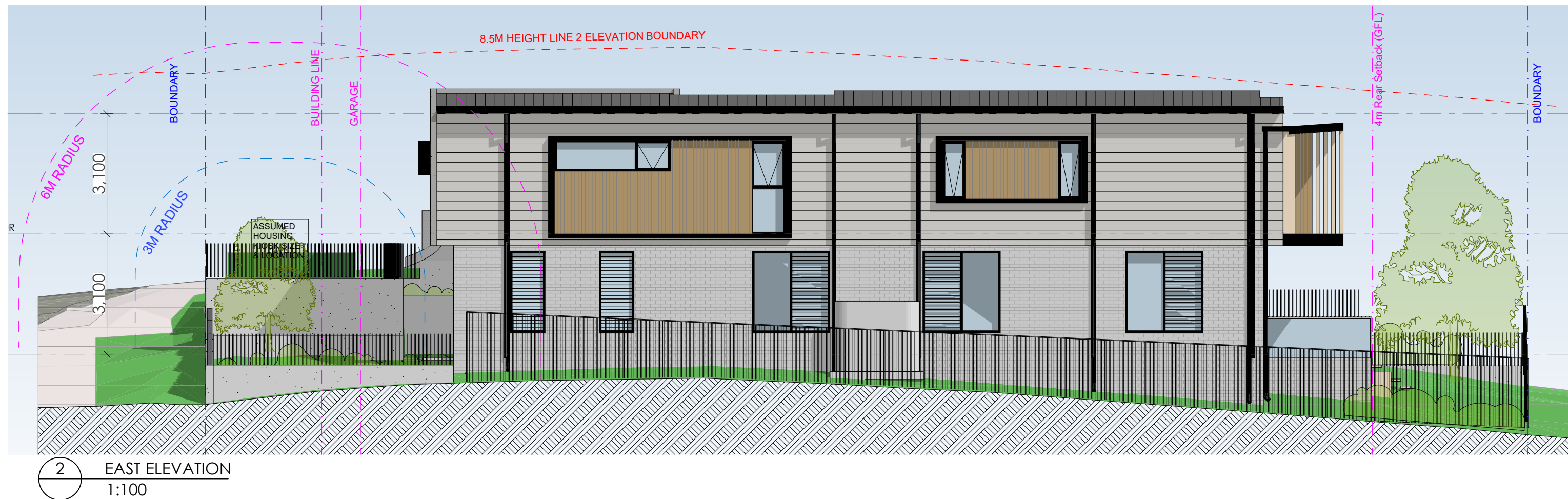
BY	DATE
-	-
TC	15.09.30

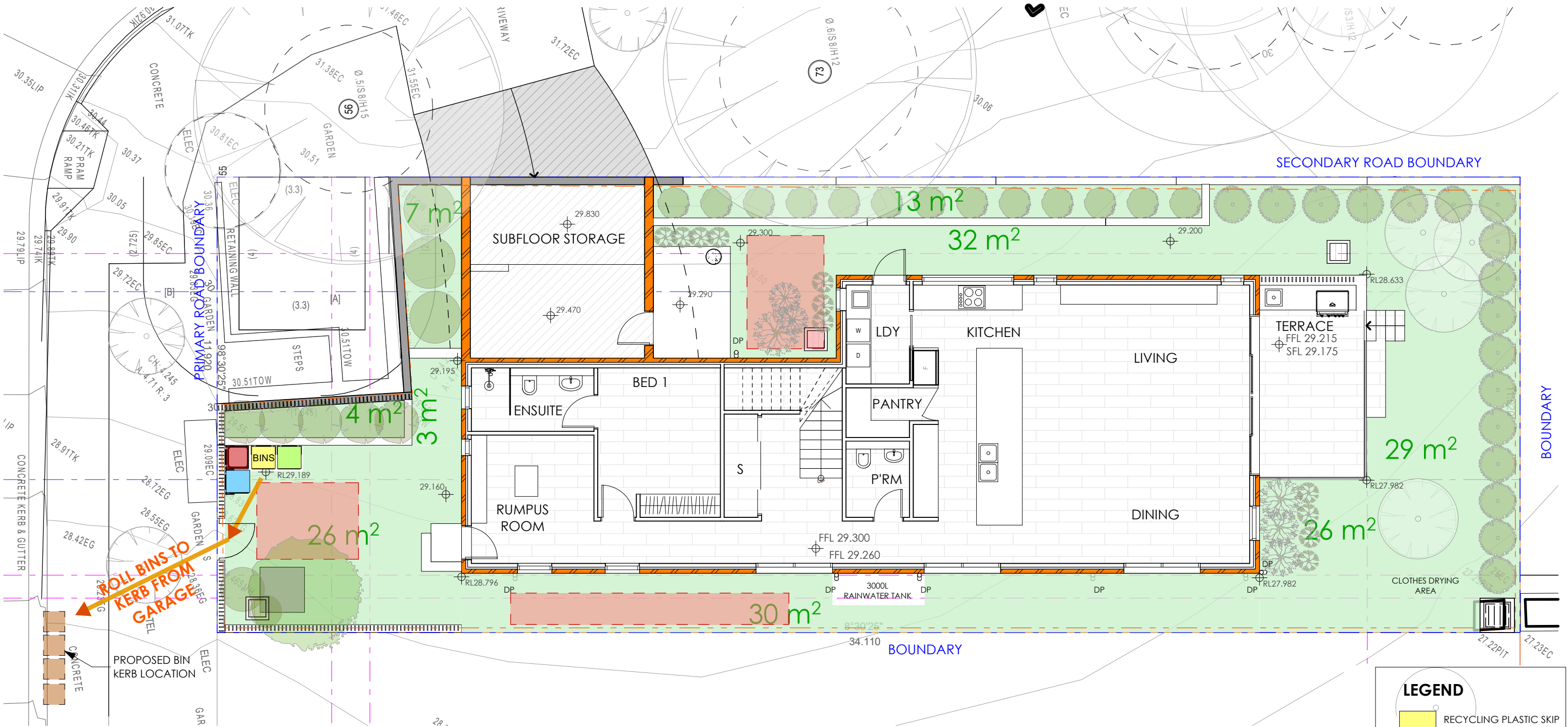
CLIENT:
SKYCORP AUSTRALIA

PROJECT TITLE:
6 ORCHARD ROAD, WARRIWOOD

DRAWING TITLE:
LOT 9- SOUTH & WEST ELEVATIONS

NORTH POINT:	DRAWN BY:	CR
	CHECKED BY:	PI
	SCALE:	1:200
	PROJECT NO:	P563







1 PRIMARY ROAD



2 REAR PERSPECTIVE



3 SECONDARY ROAD

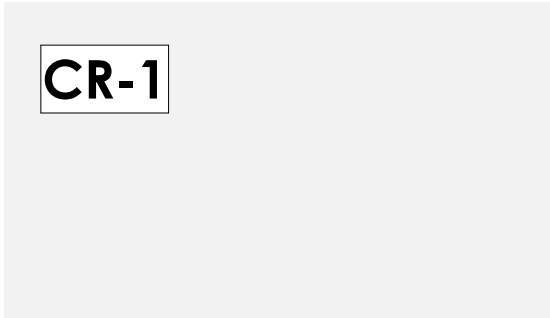
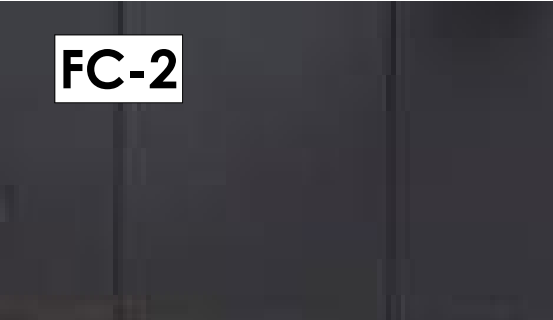


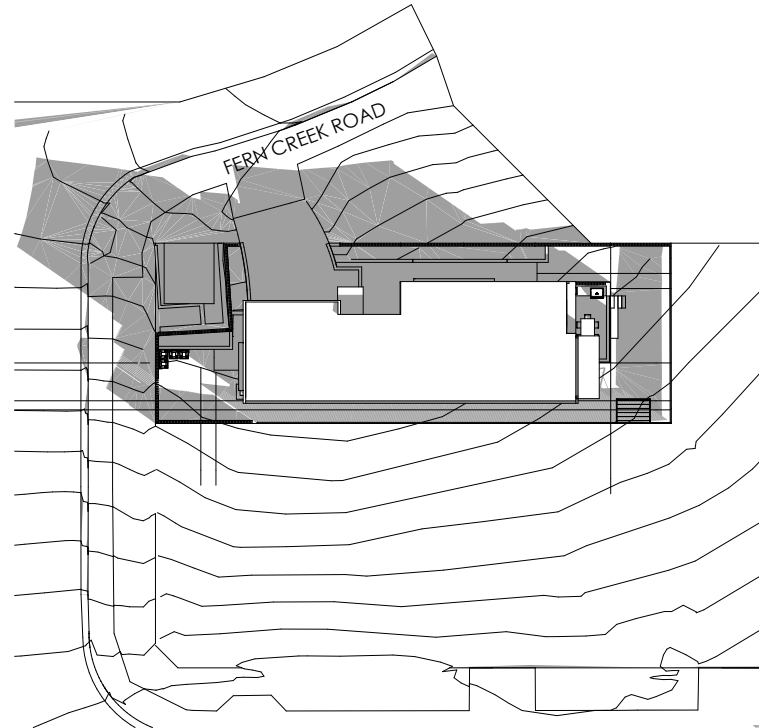
4 SECONDARY ROAD 2



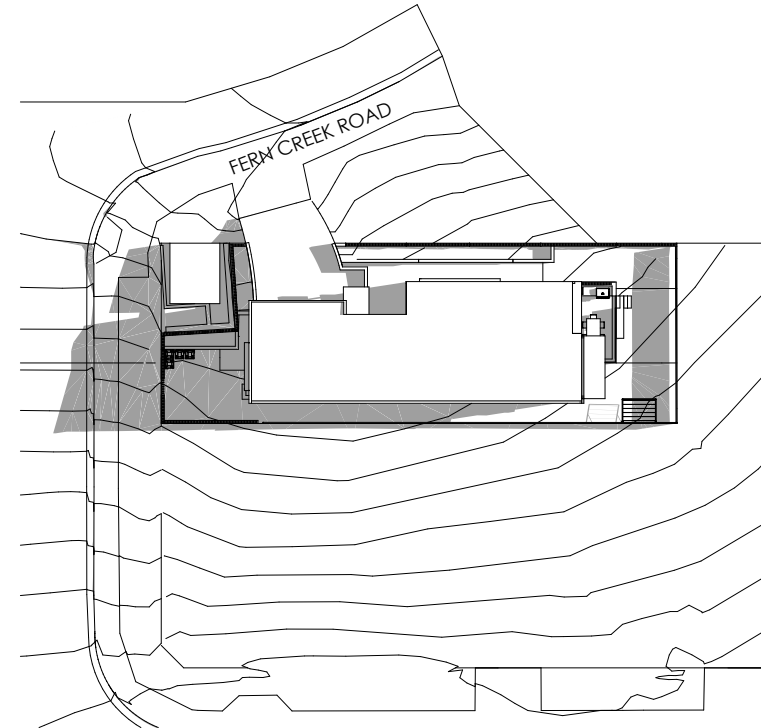
FINISHES KEY - ELEVATIONS

- FB-1** FACE BRICK TYPE 1 - AUSTRAL BRICKS 'MITRO-LA PALOMA' OR SIMILIAR
- FC-1** FIBER CEMENT PANEL TYPE 1 - JAMES HARDIE AXON CLADDING 133 PROFILE - PAINTED DULUX WAYWARD GREY OR SIMILAR
- FC-2** FIBER CEMENT PANEL TYPE 2 - JAMES HARDIE AXON CLADDING 400 PROFILE - PAINTED DULUX MONUMENT OR SIMILAR
- TW-1** TIMBER LOOK ALUMINIUM CLADDING / POST DECOWOOD - NATURAL SPOTTED GUM OR SIMILAR
- M-1** METAL ROOF TYPE 1 - LYSAGHT KLIP-LOK 700 HI-STRENGTH MOMUMENT COLOUR OR SIMILAR
- M-2** METAL FENCE - POWDERCOAT ALUMINIUM COLOUR - MONUMENT OR SIMILAR
- BAL-1** BALUSTRADE TYPE 1 - FRAMELESS GLASS
- CR-1** CEMENT RENDER TYPE 1 - PAINT FINISH - DULUX 'LEXICON QUARTER B11' OR SIMILIAR
- ST- 1** RANDOM STONE CLADDING SANDSTONE LOOK OR SIMILAR

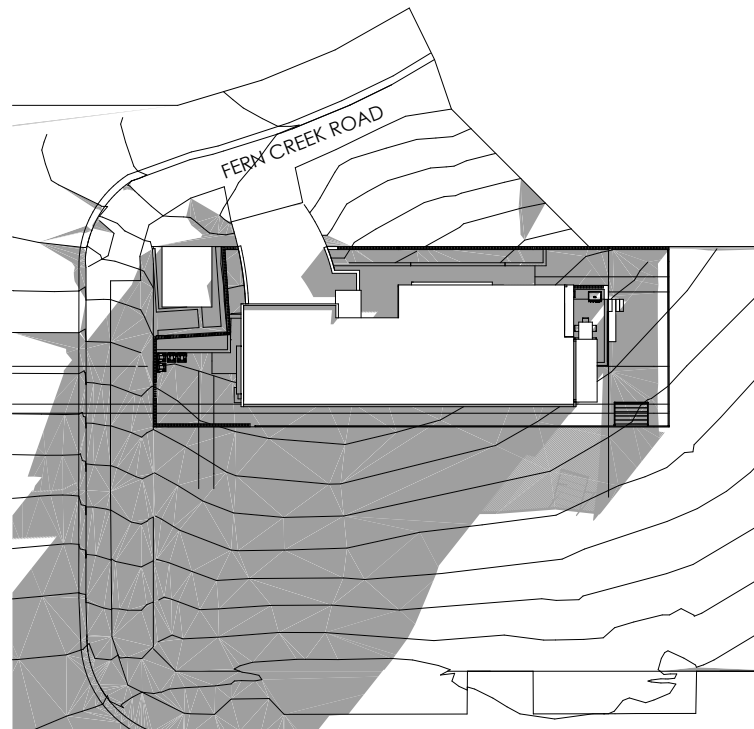




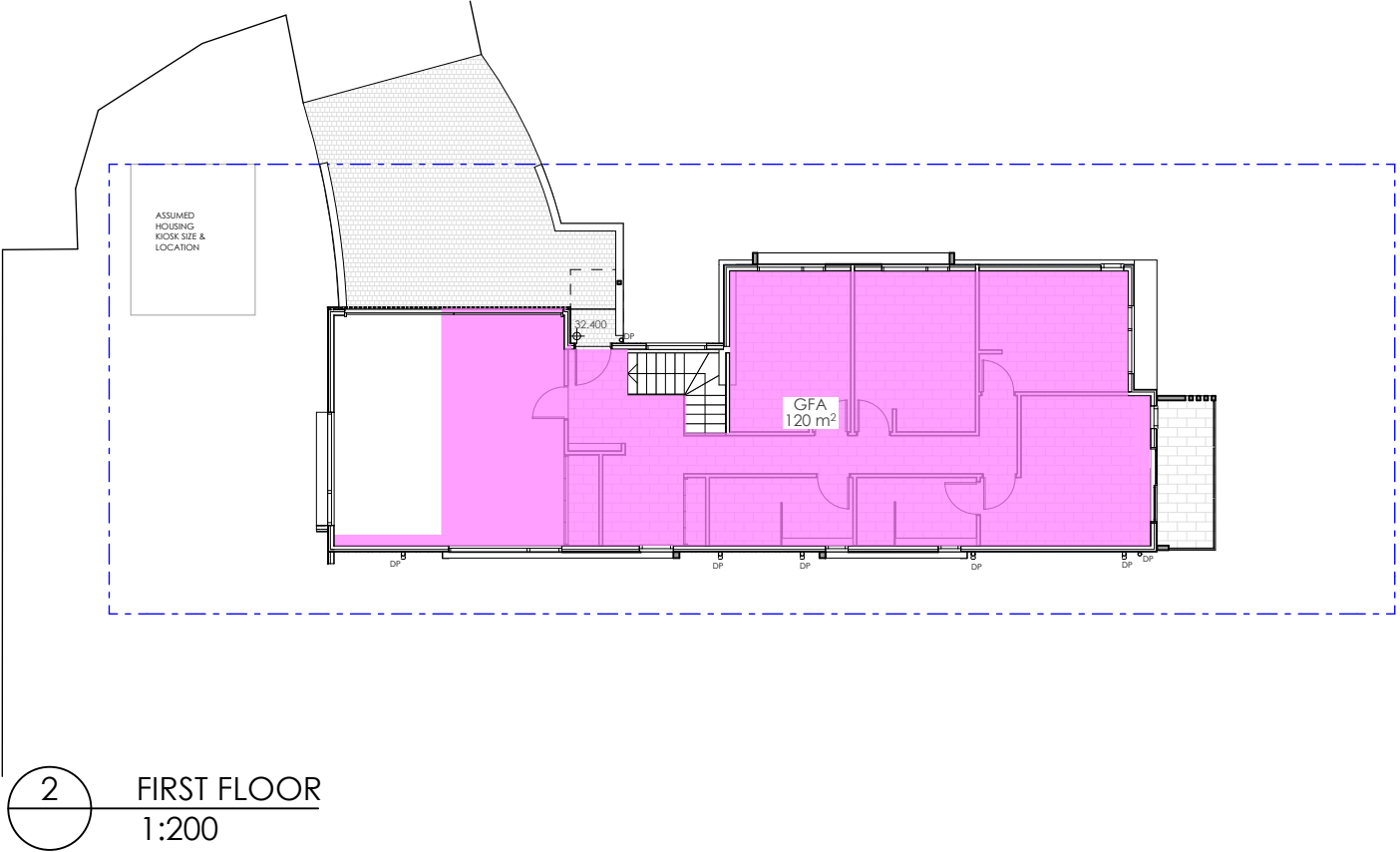
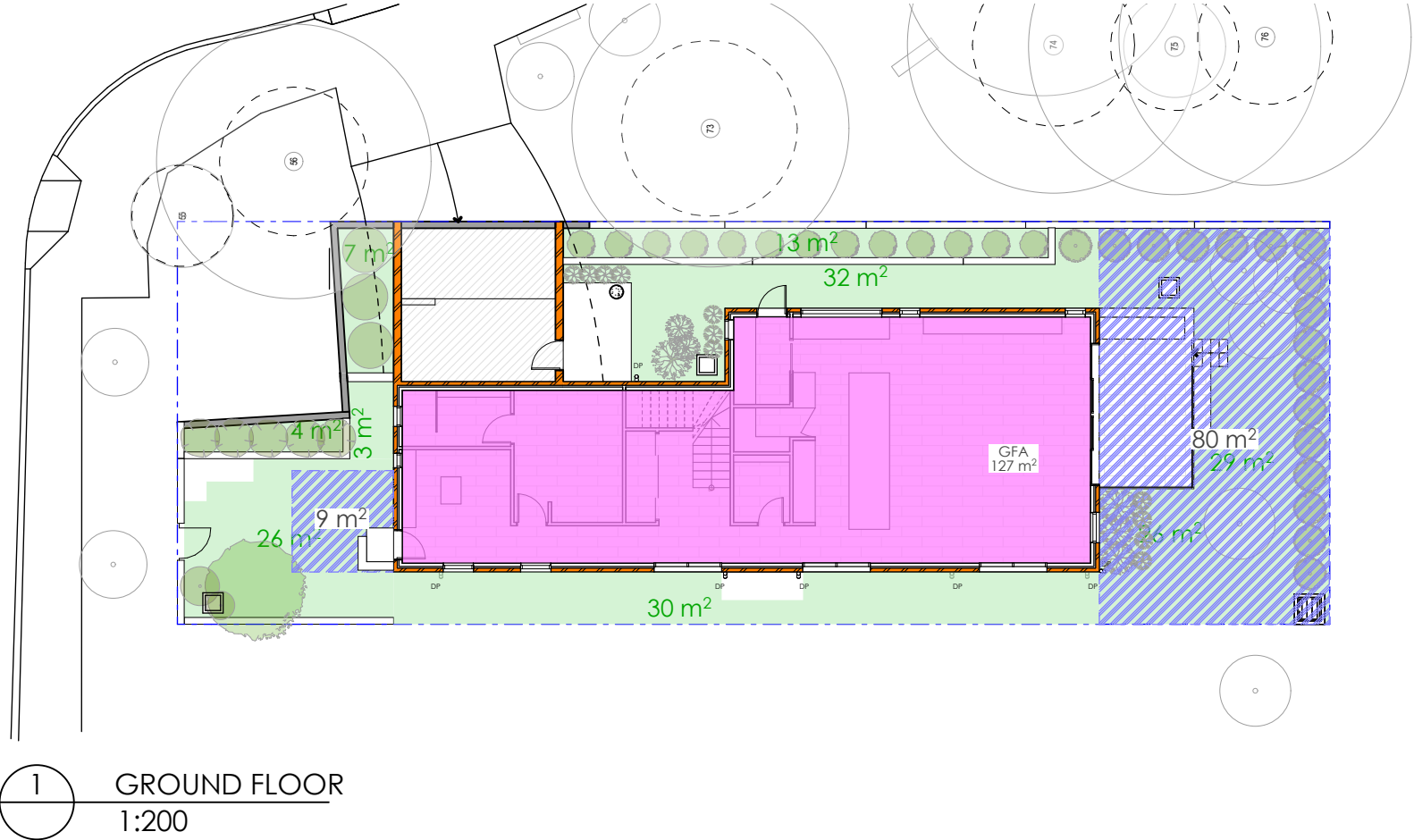
1 SHADOW DIAGRAM JUNE 21 9AM
1:500



2 SHADOW DIAGRAM JUNE 21 12PM
1:500



3 SHADOW DIAGRAM JUNE 21 3PM
1:500



GFA & FSR LEGEND

GROSS FLOOR AREA

GROUND FLOOR	127 M ²
FIRST FLOOR	120 M ²

LANDSCAPE AREA

GROUND FLOOR	170 M ²
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TOTAL GROSS FLOOR AREA

- ALLOWED : N/A
- PROPOSED: 247 M²

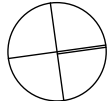


LANDSCAPING AREA

-ALLOWED : 142.1M²
-PROPOSED: 170 M²



PRIVATE OPEN SPACE
(MIN3X3M)





1 WINDOWS SCHEDULE
1:100