

DEPOSITED PLAN ADMINISTRATION SHEET		Sheet No. 1 of 3 Sheet(s)
<div>Office Use Only</div> <div>Registered:</div> <div>Title System:</div> <div>Purpose:</div>		<div>Office Use Only *</div> <div>DRAFT</div> <div>*</div>
PLAN OF SUBDIVISION OF LOT 1 IN D.P.		L.G.A.: NORTHERN BEACHES Locality: AVALON BEACH Parish: MANLY COVE County: CUMBERLAND
<div>Survey Certificate</div> <div>I, <u>PAUL BARRY BYRNE</u></div> <div>of <u>63 WATERLOO ST., NARRABEEN 2101</u></div> <div>a surveyor registered under the Surveying and Spatial Information Act 2002, certify that:</div> <div>*(a) The land shown in the plan was surveyed in accordance with the Surveying and Spatial Information Regulation 2017, is accurate and the survey was completed on</div> <div>*(b) The part of the land shown in the plan (*being/*excluding^.....)</div> <div>was surveyed in accordance with the Surveying and Spatial Information Regulation 2017, is accurate and the survey was completed on the part not surveyed was compiled in accordance with that Regulation.</div> <div>*(c) The land shown in this plan was compiled in accordance with the Surveying and Spatial Information Regulation 2017.</div> <div>Datum Line: <u>"X" - "Y"</u></div> <div>Type: *Urban/*Rural</div> <div>The terrain is * Level -Undulating/ *Steep -Mountainous-</div> <div>Signature Dated:</div> <div>Surveyor ID: <u>711</u></div> <div>Surveyor registered under the Surveying and Spatial Information Act 2002</div> <div>* Strike through if inapplicable</div> <div>^ Specify the land actually surveyed or specify any land shown in the plan that is not the subject of the survey.</div>		<div>Crown Lands NSW/ Western Lands Office Approval</div> <div>Iin approving this plan certify (Authorised Officer)</div> <div>that all necessary approvals in regard to the allocation of the land shown herein has been given.</div> <div>Signature:</div> <div>Date:</div> <div>File Number:</div> <div>Office:</div> <div>Subdivision Certificate</div> <div>I</div> <div>* Authorised Person/*General Manager/*Accredited Certifier, certify that the provisions of section 6.15 of the Environmental Planning and Assessment Act 1979 have been satisfied in relation to the proposed subdivision, new road or reserve set out herein.</div> <div>Signature:.....</div> <div>Accreditation Number:</div> <div>Consent Authority:</div> <div>Date of Endorsement:</div> <div>Subdivision Certificate Number:</div> <div>File Number:</div> <div>* Strike through if inapplicable</div>
Plans used in the preparation of survey/compilation. D.P.'s		Statements of intention to dedicate public roads, public reserves and drainage reserves If space is insufficient continue on PLAN FORM 6A
Surveyor's Reference: 10937CP(DRAFT) ISSUE B		Signatures, Seals and Section 88B Statements should appear on PLAN FORM 6A

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DEPOSITED PLAN ADMINISTRATION SHEET		Sheet No. 2 of 3 Sheet(s)
Office Use Only	Office Use Only	
Registered:	<div>DRAFT</div> <div>This sheet is for the provision of the following information as required:<ul style="list-style-type: none">A schedule of lots and addresses - Sec 60(c) SSI Regulation 2017Statements of intention to create and release affecting interests in accordance with Section 88B Conveyancing Act 1919Signatures and seals - see 195D Conveyancing Act 1919Any information which cannot fit in the appropriate panel of sheet 1 of the administration sheets.</div>	
PLAN OF SUBDIVISION OF LOT 1 IN D.P.		
Subdivision Certificate Number:		
Date of Endorsement:		

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PURSUANT TO SECTION 88B OF THE CONVEYANCING ACT, 1919, AS AMENDED,
IT IS INTENDED TO CREATE:

1. RIGHT OF ACCESS 4 WIDE DESIGNATED (D)
2. EASEMENT FOR WASTE COLLECTION 6.5 WIDE DESIGNATED (E)
3. RIGHT OF CARRIAGEWAY VARIABLE WIDTH DESIGNATED (F)
4. EASEMENT FOR SERVICES VARIABLE WIDTH DESIGNATED (F)
5. EASEMENT TO DRAIN WATER 2 WIDE DESIGNATED (G)

IT IS INTENDED TO RELEASE:

1. RIGHT OF CARRIAGEWAY 3.66 WIDE SHOWN IN DP 530864
2. EASEMENT FOR SERVICES VARIABLE WIDTH SHOWN IN DP 858130
3. EASEMENT TO DRAIN WATER 2 WIDE SHOWN IN DP 732590

LOT	SUB-ADDRESS NUMBER	ADDRESS NUMBER	ROAD NAME	ROAD TYPE	LOCALITY NAME
1	–	–	CABARITA	ROAD	AVALON BEACH
2			CABARITA	ROAD	AVALON BEACH
3			CABARITA	ROAD	AVALON BEACH
4			CABARITA	ROAD	AVALON BEACH
5			CABARITA	ROAD	AVALON BEACH
6			CABARITA	ROAD	AVALON BEACH
7			CABARITA	ROAD	AVALON BEACH
8			CABARITA	ROAD	AVALON BEACH
9			CABARITA	ROAD	AVALON BEACH
10			CABARITA	ROAD	AVALON BEACH

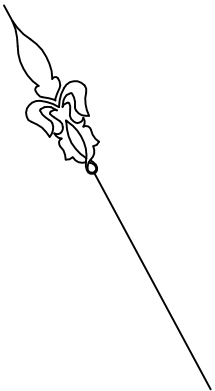
ISSUE B

1. THE POSITION AND DIMENSIONS OF ALL INTERNAL SUBDIVISION BOUNDARIES AND EASEMENTS HAVE BEEN SCALED FROM AN ELECTRONIC COPY OF A PLAN OF PROPOSED SUBDIVISION PREPARED BY MHDP ARCHITECTS DRAWING No.1801 A002A-SUBDIVISION PLAN DATED 4/12/2018 PROVIDED IN PDF AND DWG FORMAT.
2. ALL DIMENSIONS, INTERNAL BOUNDARY AND EASEMENT POSITIONS ARE SUBJECT TO FINAL SURVEY.

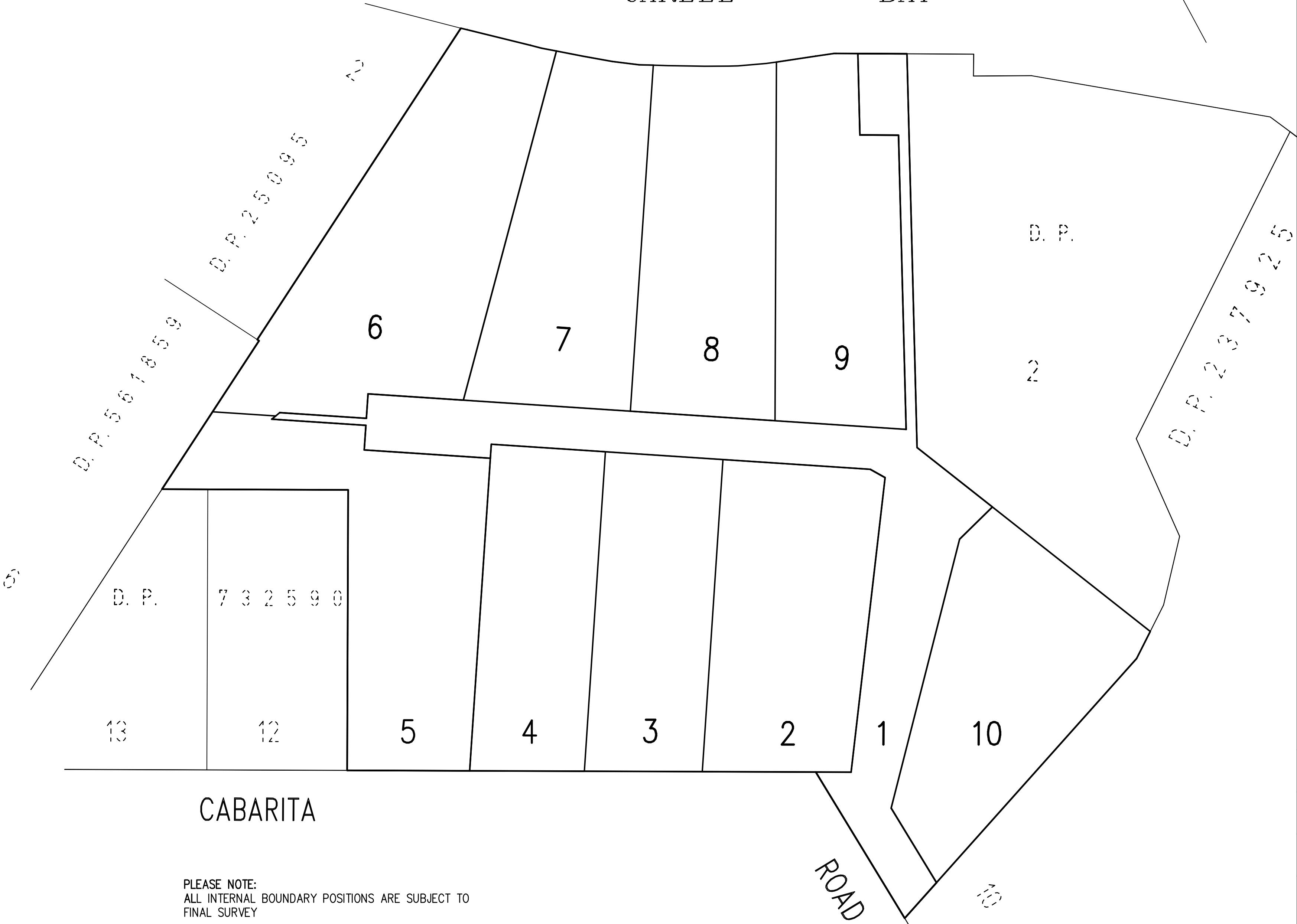
If space is insufficient use additional annexure sheet

LOCATION DIAGRAM

R.R. 1:400



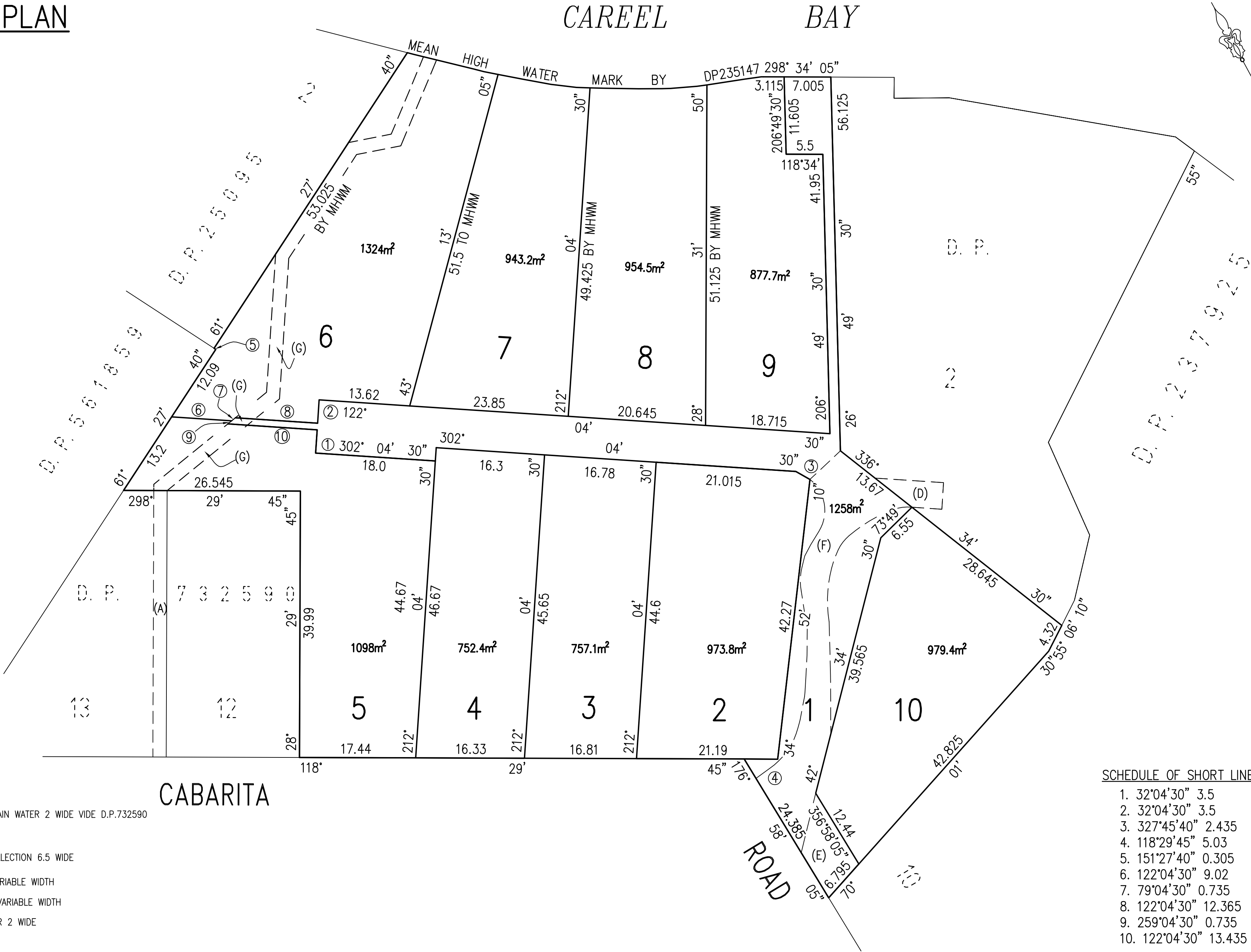
CAREEL BAY



PLEASE NOTE:
ALL INTERNAL BOUNDARY POSITIONS ARE SUBJECT TO
FINAL SURVEY

THIS SHEET IS BEING CONTINUALLY UPDATED TO SHOW THE CURRENT SUBDIVISION PATTERN OF THE SCHEME. FOR DETAILS OF UPDATED AND ADDITIONAL AND REPLACEMENT SHEETS SEE SCHEDULE BELOW		
SCHEDULE OF CHANGES TO THIS SCHEME		
LOT No.	DETAILS	SHEET No.
Subdivision Certificate No:		
Date:		
Surveyor:		
Surveyors Ref:		
Registered		
COMMUNITY/PRECINCT/NEIGHBOURHOOD PLAN		
DRAFT		

DETAIL PLAN



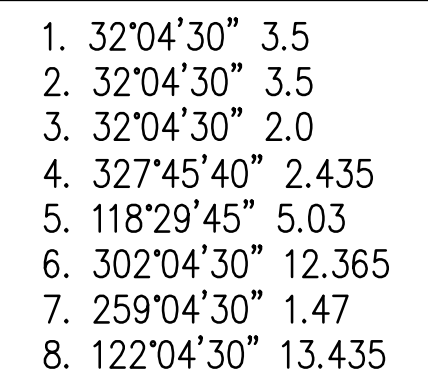
- (A) EXISTING EASEMENT TO DRAIN WATER 2 WIDE VIDE D.P.732590
- (D) RIGHT OF ACCESS 4 WIDE
- (E) EASEMENT FOR WASTE COLLECTION 6.5 WIDE
- (F) RIGHT OF CARRIAGEWAY VARIABLE WIDTH
- (F) EASEMENT FOR SERVICES VARIABLE WIDTH
- (G) EASEMENT TO DRAIN WATER 2 WIDE

PLEASE NOTE:
ALL DIMENSION, INTERNAL BOUNDARY AND EASEMENT
POSITIONS ARE SUBJECT TO FINAL SURVEY

SCHEDULE OF SHORT LINES	
1.	32°04'30" 3.5
2.	32°04'30" 3.5
3.	327°45'40" 2.435
4.	118°29'45" 5.03
5.	151°27'40" 0.305
6.	122°04'30" 9.02
7.	79°04'30" 0.735
8.	122°04'30" 12.365
9.	259°04'30" 0.735
10.	122°04'30" 13.435

Surveyor: PAUL BARRY BYRNE	PLAN OF SUBDIVISION OF LOT 1 IN D.P.	L.G.A. NORTHERN BEACHES	Registered:	D.P. DRAFT
Date of Survey:		Locality: AVALON BEACH		
Surveyor's Reference: 10937CP(DRAFT) ISSUE B		Subdivision No: Lengths are in metres. Reduction Ratio 1:400		

CAREEL
BAY



(E) EASEMENT FOR WASTE COLLECTION 6.5 WIDE
(F) RIGHT OF CARRIAGEWAY VARIABLE WIDTH
(F) EASEMENT FOR SERVICES VARIABLE WIDTH
(G) EASEMENT TO DRAIN WATER 2 WIDE

10	20	30	40	50	60	Table of mm	100	110	120	130	140	150
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