



PITTWATER COUNCIL

CONSTRUCTION CERTIFICATE APPLICATION

Environmental Planning and Assessment Act 1979, Section 109C
EP&A Regulation 2000, Clauses 139 (1) and 148

PO Box 882 Mona Vale NSW 1660

Tel (612) 9970 1111

Fax (612) 9970 7150

Internet www.pittwaterlga.com.au

Email pittwater_council@pittwater.nsw.gov.au

Please tick one

- ☒ New Construction Certificate
☐ Modification of previously issued Construction Certificate

CC 0426111

SITE DETAILS

Unit/Suite	Street No	Street
	1058	BARRENJOEY ROAD
Suburb	Lot No	Deposit /Strata Plan
PALM BEACH	4C	13374

DEVELOPMENT CONSENT

Development Application No	Determination Date
NO 306/11	19/10/11

APPLICANT DETAILS

Name/Company	Contact Person
ANDREW WHITE	ANDREW WHITE
Postal Address	Contact Numbers
1058 BARRENJOEY RD PALM BEACH SYDNEY 2108	Phone (H/B) 9974 5963 Mobile 0405 350 180 Fax —
Signature of Applicant	Date
<i>[Signature]</i>	1/11/11

OWNERS DETAILS

Name	If Company, contact person
ANDREW WHITE	
Postal Address	Contact Numbers
1058 BARRENJOEY RD PALM BEACH	Phone (H/B) 9974 5963 Mobile 0405 350 180 Fax —

As the owner of the land to which this application relates I consent to this application I also give consent for the authorised Council Officer to enter the land to carry out inspections

Signature of Owners

Date

[Signature]
A White

1/11/11
1/11/11

If more than one owner every owner must sign. If the owner is a company the form must be signed by an authorised director and the common seal must be stamped on this application

If the property has been recently purchased written confirmation from the purchaser's Solicitor must be provided
If the contracts have been exchanged for the purchase of the land the current owner is to sign the application

STATISTICAL RETURN FOR AUSTRALIAN BUREAU OF STATISTICS

What is the area of the land?		Area in square metres	820 1 m ²
Gross floor area of existing building?		Area in square metres	154 62 m ²
If no existing building write "NIL"			
What is the existing building or site used for at present?		Main uses	MAIN RESIDENCE
		Other uses	—
Does the site contain a dual occupancy?		<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Gross floor area of proposed building?		Proposed floor area in square metres	60 m ² PLUS 12 m ² DECK
What will the proposed building to be used for?		Main uses	GRANNY FLAT
		Other uses	—
How many dwellings			
Are pre-existing at this property?		Dwellings	ONE
Are proposed to be demolished?		Dwellings	NIL
Are proposed to be constructed?		Dwellings	ONE
How many storeys will building consist of?		Storeys	ONE
What are the main building materials?			
Walls		Roof	
Full Brick	<input type="checkbox"/>	Aluminium	<input checked="" type="checkbox"/>
Brick veneer	<input type="checkbox"/>	Concrete or slate	<input type="checkbox"/>
Concrete, masonry	<input type="checkbox"/>	Tile	<input type="checkbox"/>
Steel	<input type="checkbox"/>	Fibrous cement	<input type="checkbox"/>
Fibrous cement	<input type="checkbox"/>	Steel	<input type="checkbox"/>
Timber/weatherboard	<input checked="" type="checkbox"/>	Other	<input type="checkbox"/>
Cladding-aluminium	<input type="checkbox"/>	Unknown	<input type="checkbox"/>
Curtain glass	<input type="checkbox"/>		
Other	<input type="checkbox"/>		
Unknown	<input type="checkbox"/>		
Floor		Frame	
Concrete	<input type="checkbox"/>	Timber	<input checked="" type="checkbox"/>
Timber	<input checked="" type="checkbox"/>	Steel	<input type="checkbox"/>
Other	<input type="checkbox"/>	Other	<input type="checkbox"/>
Unknown	<input type="checkbox"/>	Unknown	<input type="checkbox"/>

APPLICANTS CHECK LIST

Note This list is intended as a guide to the type of information to be submitted Some items may not be required and Section B of the Conditions of Development Consent for the building works may specify further additional information required with submission of your Construction Certificate Application	
Application Form –	<div><input type="checkbox"/> Owners Consent</div> <div><input type="checkbox"/> Applicant's Signature</div> <div><input type="checkbox"/> Long Service Levy</div> <div><input checked="" type="checkbox"/> Driveway/Street levels Application</div>
Supporting Documentation – (3 copies of each)	<div><input type="checkbox"/> Architectural Plans</div> <div><input type="checkbox"/> Quick Check Plans endorsed by Sydney Water</div> <div><input type="checkbox"/> Construction Specifications for Building Works</div> <div><input type="checkbox"/> Structural Engineer's Plans</div> <div><input type="checkbox"/> Structural/Geotechnical Certificates</div> <div><input type="checkbox"/> Landscape Plans</div> <div><input checked="" type="checkbox"/> Driveway Level Plans</div> <div><input checked="" type="checkbox"/> On-site Stormwater Detention Plans</div> <div><input type="checkbox"/> Drainage Plans on Site Storm Management</div> <div><input checked="" type="checkbox"/> Erosion and Sediment Management Plan</div> <div><input type="checkbox"/> Sydney Water Quick Check Plans</div> <div><input checked="" type="checkbox"/> Subdivision Work Plans</div> <div><input type="checkbox"/> Schedule of External Finishes/Colours</div> <div><input checked="" type="checkbox"/> Fire Safety Measures Schedule</div> <div><input type="checkbox"/> Form No 2 – "Geotechnical Risk Management Policy for Pittwater"</div> <div><input checked="" type="checkbox"/> Details and location of fencing for Swimming Pool to comply with AS 1926-1986 "Fences and Gates for Private Swimming Pools"</div> <div><input type="checkbox"/> Specifications for construction of buildings in Bushfire-prone areas</div> <div><input checked="" type="checkbox"/> Security Deposit / Section 94 contributions</div> <div><input checked="" type="checkbox"/> Building Code of Australia - Alternative solution report that has been peer reviewed by a separate suitably qualified person</div>

VALUE OF PROPOSED DEVELOPMENT

Value of Works	\$ 47800	(including full cost of labour and materials)
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DO YOU NEED TO PAY THE BUILDING INDUSTRY LONG SERVICE LEVY?

<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
<i>Only required if the development involves building works exceeding \$25,000 00</i>	

OFFICE USE ONLY

Fee Type	Cashier's Code	Fee Amount
Construction Certificate Application Fee	TCER	939 20
Modification of Construction Certificate Fee	TCER	
Long Service Levy Fee	QLSL	167 00
Driveway/Street Levels	ESTR	
Sec 94 Contributions		
Bonds/Guarantees		
Other Fees		
TOTAL		1106 20
Date of Receipt	Receipt No	Accepted By
New Application Number issued (not required for modification of CC)		CC ____/____

PRIVACY AND PERSONAL INFORMATION PROTECTION NOTICE

Purpose of collection	To enable Council to assess your proposal
Intended recipients	Council Staff/Consultants and any other relevant government agency that may be required to assess the proposal
Supply	The information is required by legislation
Consequence of Non-provision	Your application may not be accepted not processed or rejected for lack of information
Storage	Pittwater Council will store details of the application and any subsequent decision in a register that can be viewed by the public
Retention period	Hard copies of the application will be destroyed after 7 years and electronic records will be kept indefinitely
Please contact Council if this information you have provided is incorrect or changes	

SPECIFICATIONS FOR CONSTRUCTION OF BUILDING IN BUSHFIRE

PRONE AREAS

Leafless gutters to be installed and guttering to have a flammability index not greater than 5

External wall cladding to be Hardiplank Sarking with a flammability index not greater than 5 is to be installed behind external cladding Windows will be aluminium with bronze mesh

All external timber to be hardwood

Roof sheeting will be custom Orb steel with gaps under corrugations at fascia line and between ridge capping and sheet roofing to be sealed with neoprene seal The roof wall junction will be sealed by the use of fascia and eave lining
The roof shall be fully sarked

The sarking to have a flammability index not greater than 5

Skylights to be non combustable

Sub floor spaces to be lined with non combustable material or fire retardant timber

Water, electricity and gas to comply with section 4 1 3 planning for bushfire protection 2006

SCHEDULE OF EXTERNAL FINISHES / COLOURS

Roofing shall be corrugated custom ORB
“Rivergum”.. to match existing house.

Weatherboards shall be hardiplank , painted
Dulux “Dixieland” to match existing house.



DIRECTORS |

Stewart McGeady Rick Wray Brad Seghers |

Stormwater Design Certificate

Date 1st November 2011 Job No 111039
Client Andy White Engineer RM

Site 1058 Barrenjoey Road, Palm Beach

Northern Beaches Consulting Engineers P/L has designed the Stormwater Management System for the above project (Job No 111039, Dwg No's D01A & D02A)

The design generally complies with Pittwater Council's policy B5 of Pittwater 21 DCP (2008) In our opinion On-Site Detention is not required for this development as the addition has no direct discharge to Councils drainage infrastructure The runoff is to be directed to an absorption trench and is to be inspected prior to backfilling

We trust that this certificate meets with your requirements Please contact the author if further clarification is required

NORTHERN BEACHES CONSULTING ENGINEERS P/L

Rick Wray
BE MIEAust CPEng NPER Director

X:\ENG\NBC2011\111039\SW001.doc



PITTWATER COUNCIL

GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER FORM NO 2 – PART B – To be submitted with detailed design for Construction Certificate

PART B Declaration made by Geotechnical Engineer or Engineering Geologist and/or Coastal Engineer (where applicable) in relation to the incorporation of the Geotechnical issues into the project design

I, TROY CROZIER on behalf of Crozier Geotechnical Consultants
(insert name) (trading or company name)

on this the 26th October 2011
(date)

certify that I am a Geotechnical Engineer or Engineering Geologist and/or Coastal Engineer as defined by the Geotechnical Risk Management Policy for Pittwater 2009 and I am authorised by the above organisation/company to issue this document and to certify that the organisation/company has a current professional indemnity policy of at least \$2million. I also certify that I have reviewed the design plans and structural design plans for the Construction Certificate Stage and that I am satisfied that

Please mark appropriate box

- ☒ the structural design meets the recommendations as set out in the Geotechnical Report or any revision thereto
☐ the structural design has considered the requirements set out in the Geotechnical Report for Excavation and Landfill both for the excavation/construction phase and the final installation in accordance with Clause 3.2 (b)(iv) of the Geotechnical Risk Management Policy

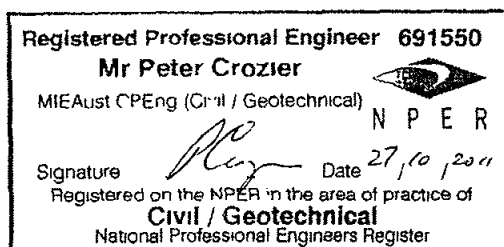
Geotechnical Report Details

Report Title Proposed Works 1058 Barneyway Rd, Palm Beach # 2011-117
Report Date 4th August 2011
Author T Crozier

Documentation which relates to or is relied upon in report preparation

K&S Design - Job No 244/11, Dwg No WD-0
Dated Oct 2011

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified





**Fair
Trading**

Tel 13 32 20
TTY 02 9338 4943
ABN 81 913 830 179
www.fairtrading.nsw.gov.au

Andrew White
1058 Barrenjoey Road
PALM BEACH NSW 2108

HOME BUILDING ACT 1989
OWNER BUILDER PERMIT

Permit 388799P
Receipt 1-1245055554

Issued 05/10/2011
Amount \$154 00

BUILDING SITE

Lot 4C 1058 Barrenjoey Road, Palm Beach, NSW 2108

AUTHORISED BUILDING WORK

60 square metre granny flat Timber frame construction, hardiplank weatherboards, colorbond roof

Authority No DA-306/11
Council Area PITTWATER (S) COUNCIL

Should the property be sold within 6 years of completion of the work it will be necessary to obtain home warranty building insurance from approved insurers if the value of the work was greater than \$12,000 A certificate of insurance must be attached to any contract of sale

You should obtain professional advice from general insurers regarding public liability and property damage cover, etc

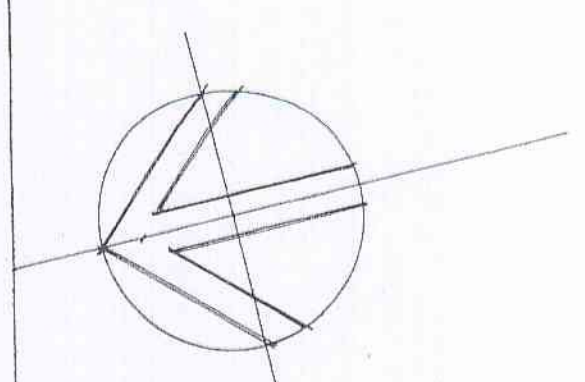
Note This permit is only valid when an official receipt has been imprinted
If payment is made by cheque the permit is conditional on the cheque being
met on presentation *GST amount included in total fee \$0 00



Issuing officer

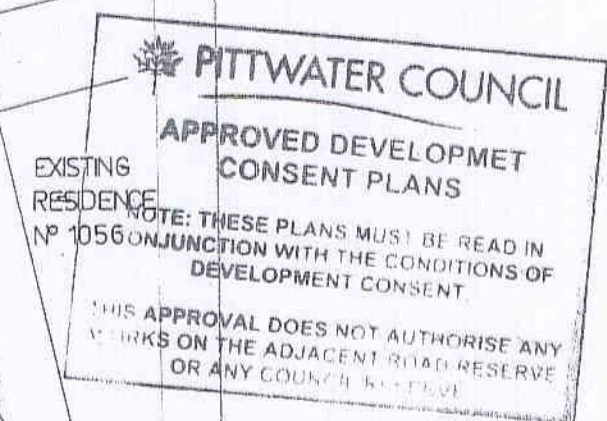
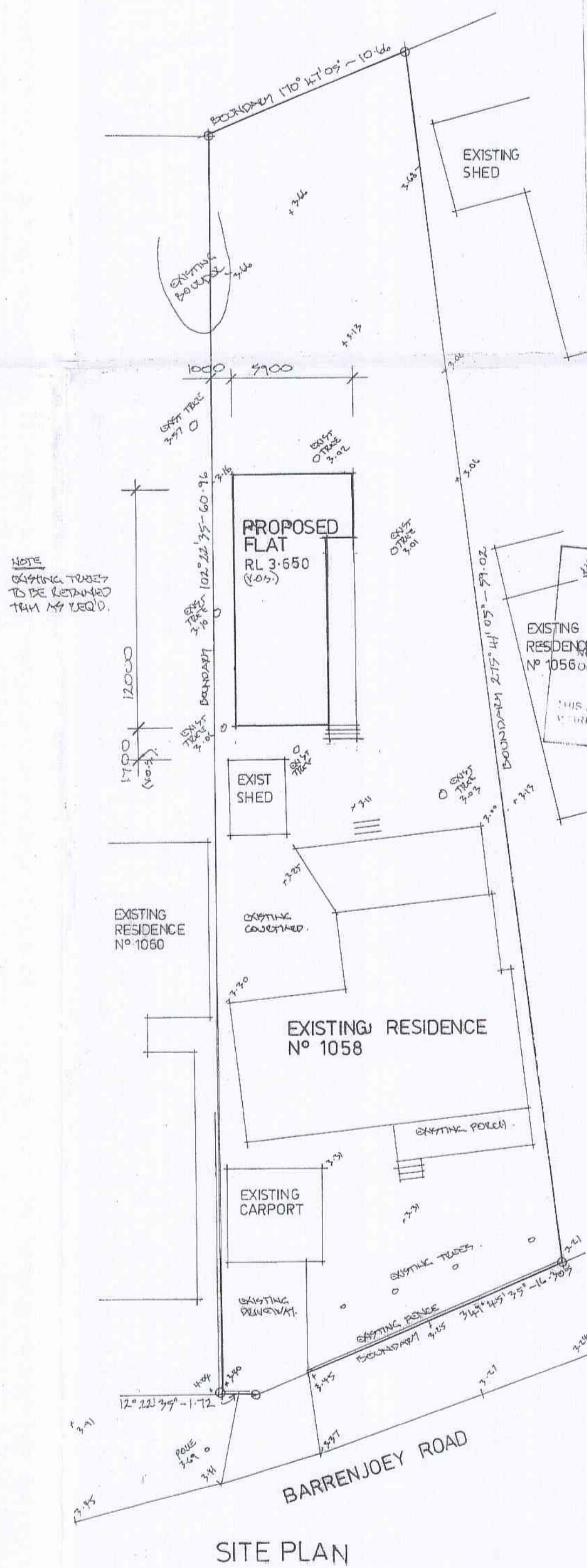
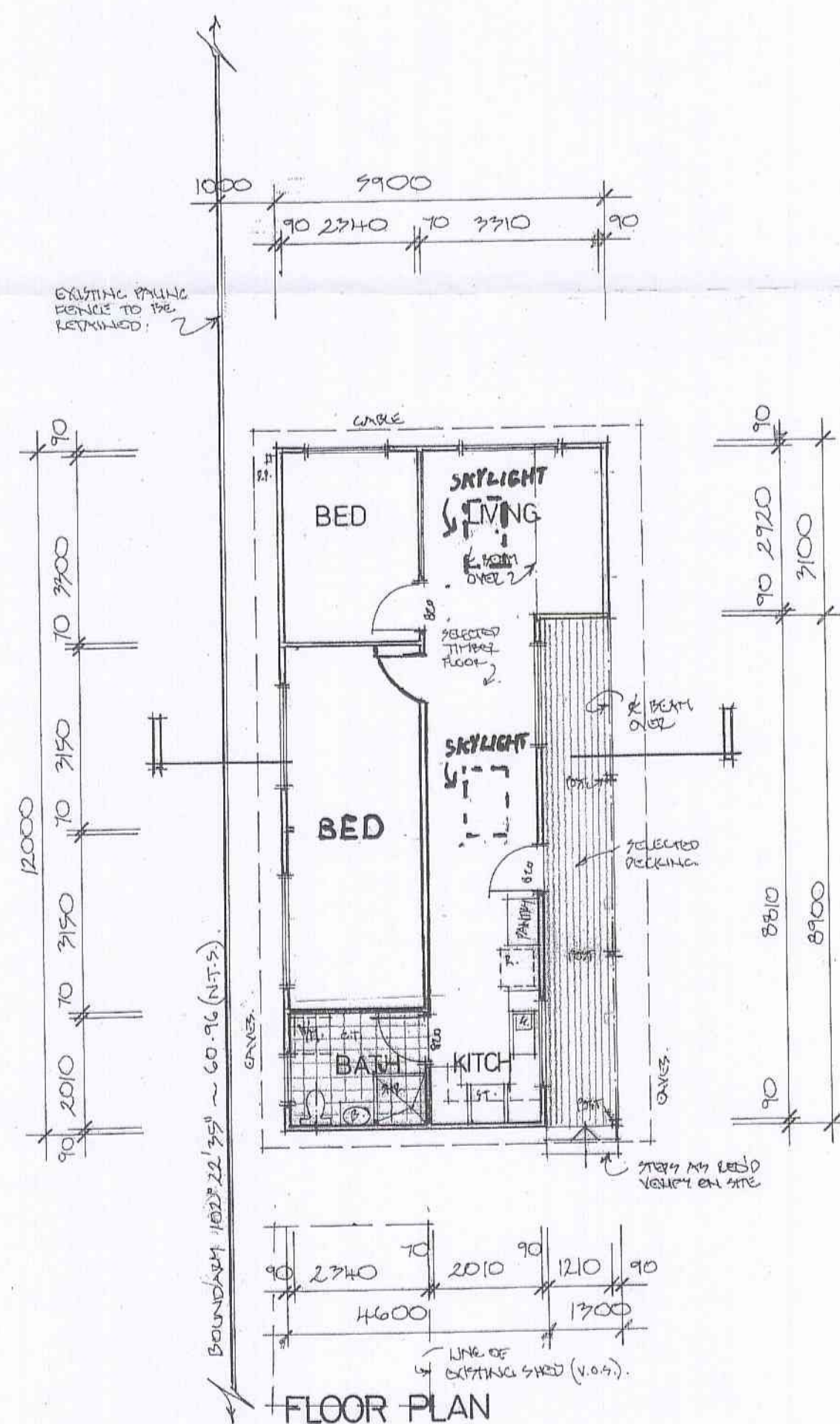
***** END OF PERMIT *****

A division of the Department of **Services, Technology & Administration**



NOTES:

- All work is to be carried out by competent workmen first class workmanship manner, using first quality materials and the best of their respective kinds and quality and is to include for co-ordination of all other trades as required to complete the installation.
- All work is to be done in strict compliance with all Authorities having jurisdiction over the works and/or current Building Code of Australia and its Amendm The requirements of all legally constituted Authoriti Local Government and/or for services and provisio the Builders Licensing Act. Where there is a Stand Association of Australia Code and/or Specification work and/or materials shall be at least equivalent t code and/or specification. All services are to be ex from existing with all required extra equipment and operations to ensure satisfactory completion and compliance of the works. Obtain and fill in all note required by any Authority having jurisdiction over t works.
- Where applicable allow to provide and install an c and/or 'Terminates' or other approved equal instal all in strict accordance with Code.
- All timber framing to be in strict accordance with N Timber Framing Code. Roof framing to be at 600 centres, fixed to plates and/or beams all in strict accordance Code. Skirtings, architraves and general trims to be as s
- Allow to install approved insulation to all walls and areas.
- Flooring as selected.
- New selected aluminium framed windows to manufacturers details.
- Allow for plasterboard wall and ceiling linings into manufacturing's details, provide cornices to match existing.
- Roof sheeting to be as selected and to be laid ov approved aluminium foil sarking and insulation, c manufacturing accessories all in strict accorda manufacturer's details.
- Allow to install downpipes and gutters and fascia
- Allow to install new light fittings and/or general pu outlets as directed.
- Allow to paint all new works.
- Fittings as selected.



NOTES:
All dimensions, locations of service are to be checked and verified on site prior to commencement of construction.

Proposed
New Granny Flat
Existing Residence
1058 Barrenjoey Road,
Palm Beach N.S.W.

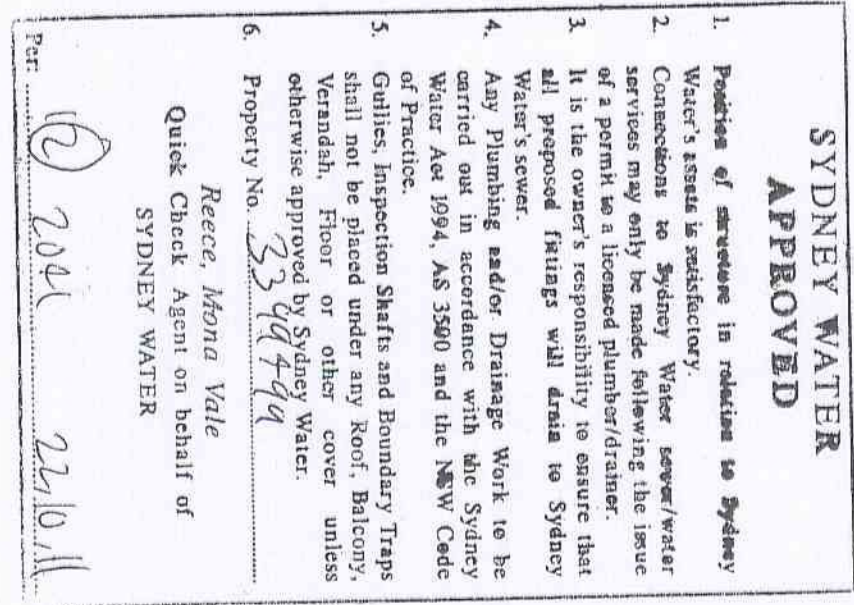
for
Mr. & Mrs. A. White

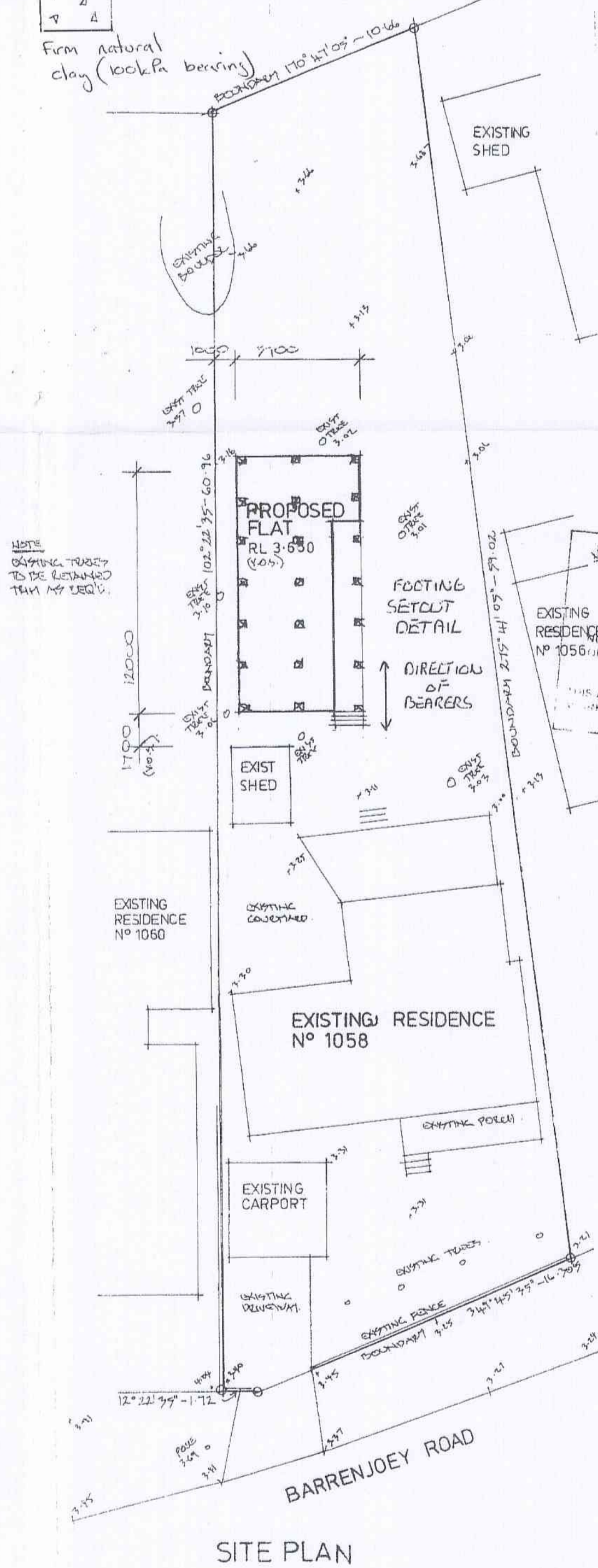
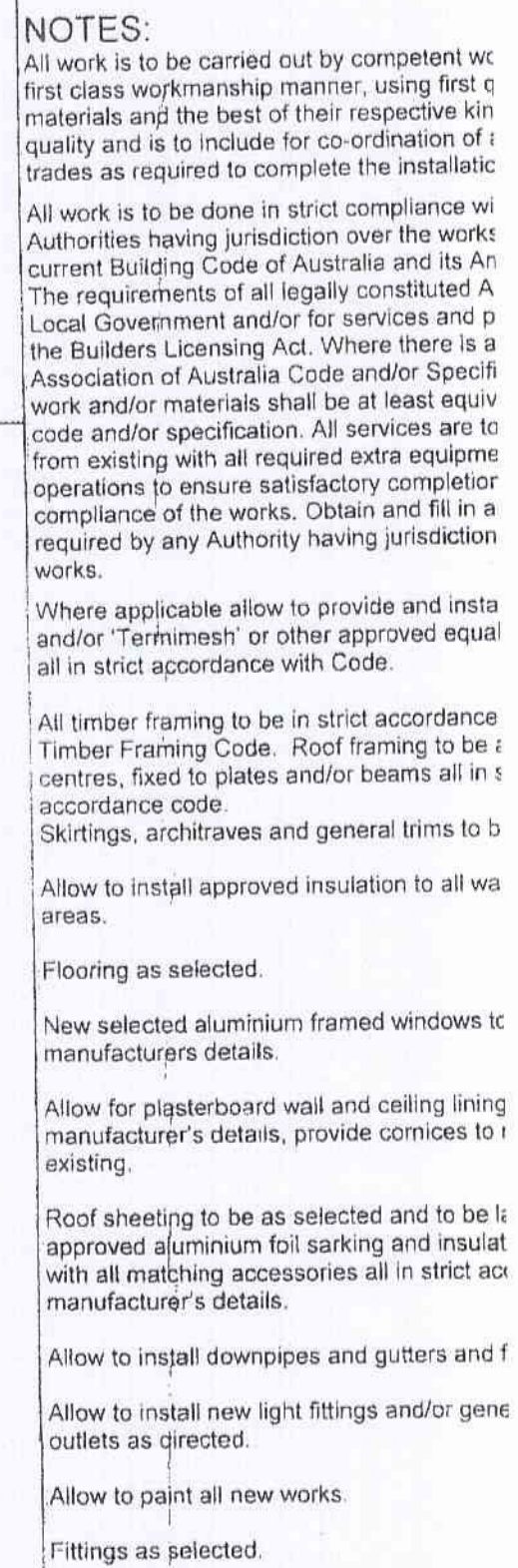
Amended Drawing ~
Plans, Elevations & Sections

K & S DESIGN

S
14 Vantage place,
Thornleigh. N.S.W. 2120
Telephone / Fax: (02) 9484 3559
E-mail : k_sd@bigpond.net.au

Date~ **OCT 2011** Scale~ 1: 100
Job. No. 244/11 Dwg No. WD-0





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All dimensions, locations of serv
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Existing Residence
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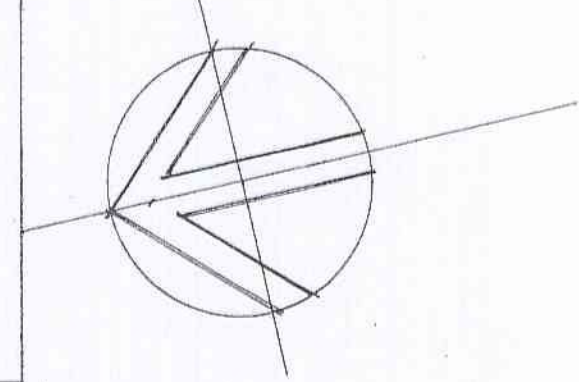
for
Mr. & Mrs. A. Whit

Amended Drawing ~
Plans, Elevations & Section

K & S DESIGN

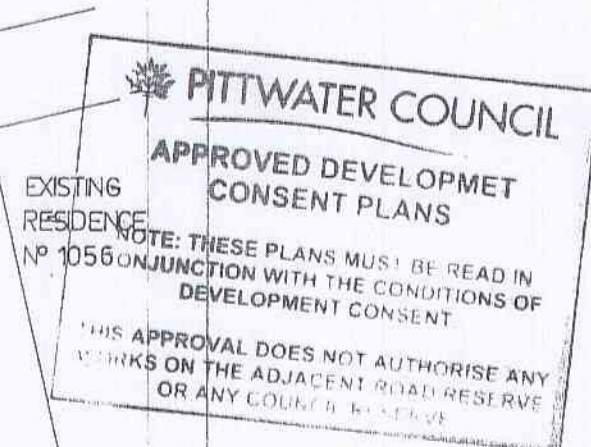
S
14 Vantage place,
Thornleigh. N.S.W. 2120
Telephone / Fax: (02) 9484 355
E-mail : k_sd@bigpond.net.au

Date~ **OCT 2011** Scale~ 1: 100
Job. No. 244/11 Dwg No. WD-1



LANDSCAPE

GARDEN BEDS
LAWN



NOTES:
All dimensions, locations of service are to be checked and verified on site prior to commencement of construction.

Proposed
New Granny Flat
Existing Residence
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Palm Beach N.S.W.

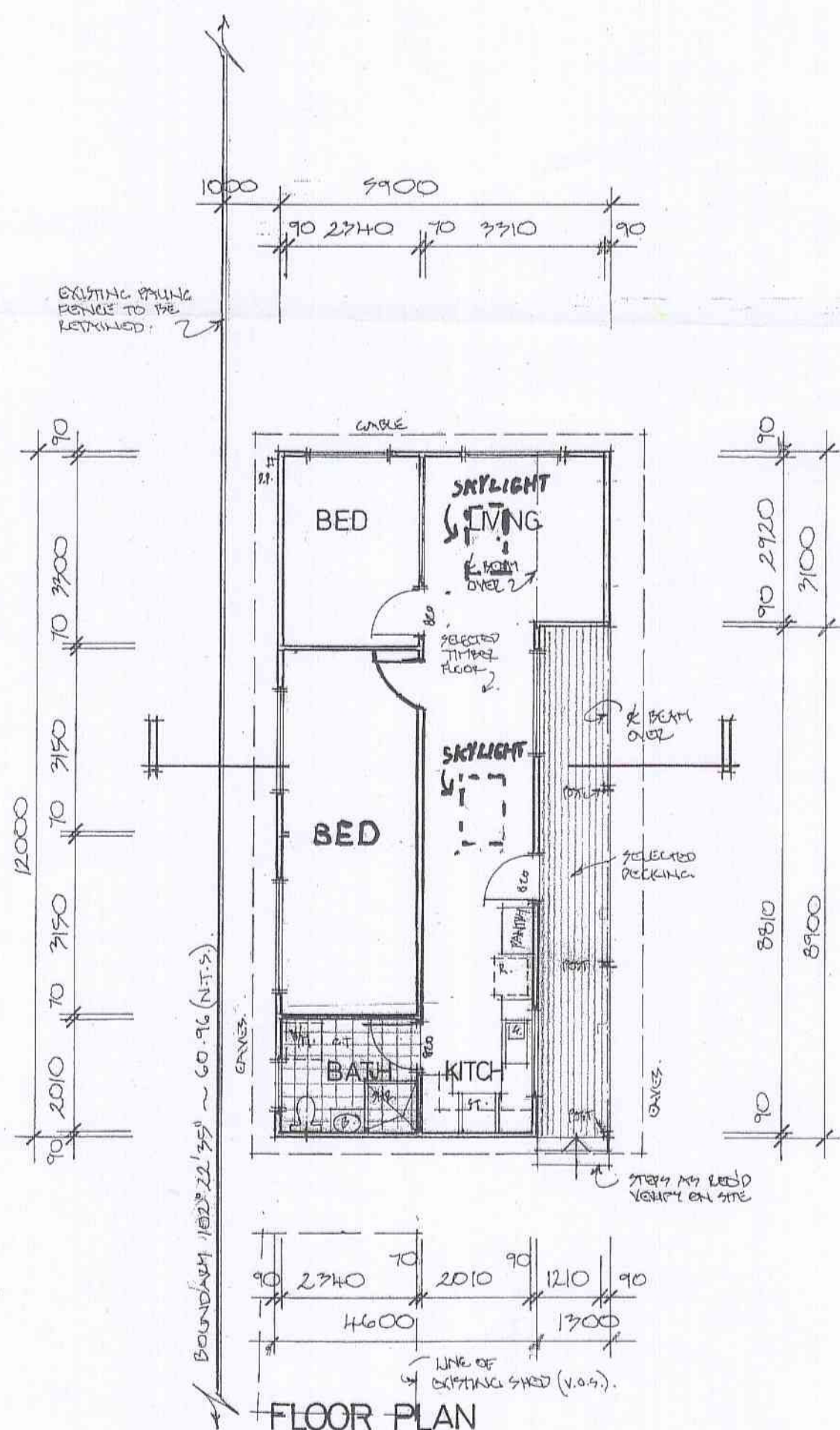
for
Mr. & Mrs. A. White

Amended Drawing ~
Plans, Elevations & Sections

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S
14 Vantage place,
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Telephone / Fax: (02) 9484 3559
E-mail : k_sd@bigpond.net.au

Date~ OCT 2011 Scale~ 1: 100
Job. No. 244/11 Dwg No. WD-0



SITE PLAN

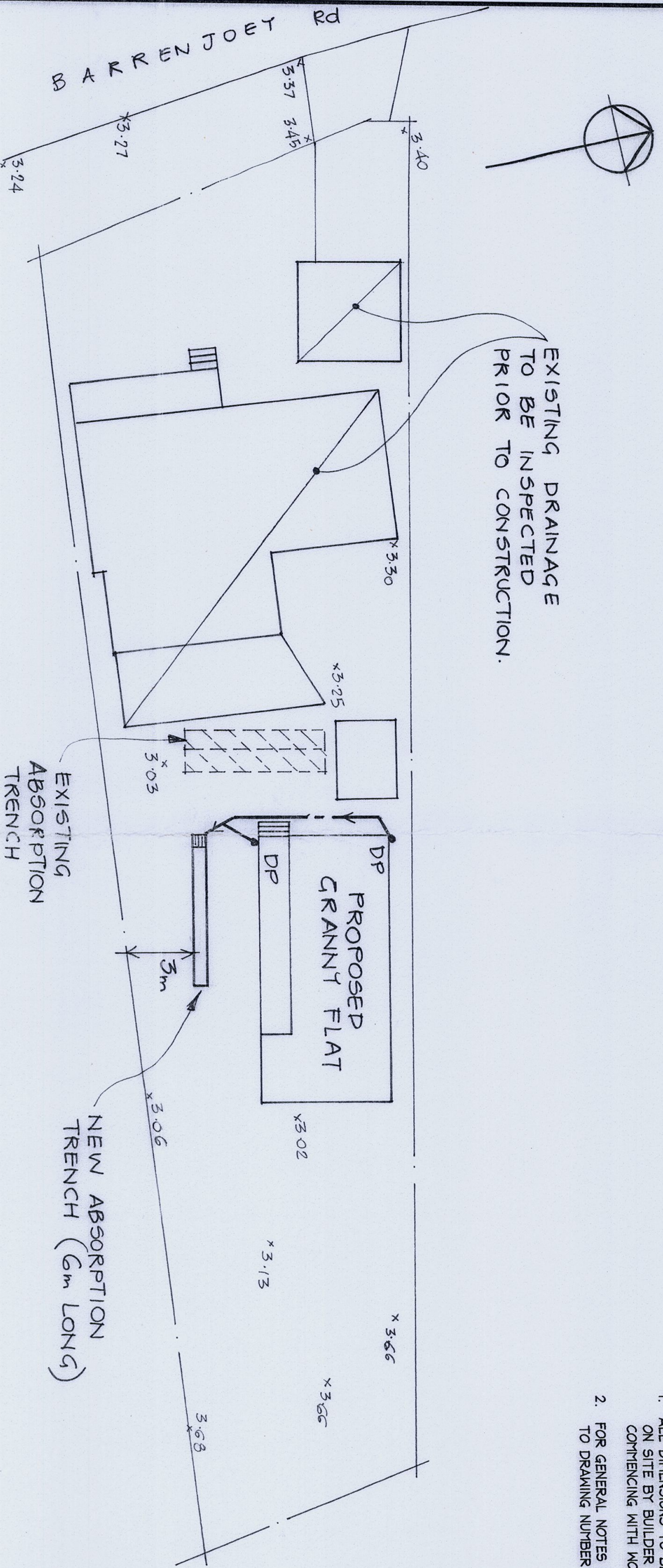
SYDNEY WATER
APPROVED

1. Possibilities of amending in relation to Sydney Water's estate is satisfactory.
2. The proposed Sydney Water Agency/Trust services are satisfactory following the issue of a permit to a licensed plumber/ratener.
3. It is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's Public Sewerage Drainage Work to be carried out in accordance with the Sydney Water Act 1994, AS 3500 and the NSW Code of Practice.
4. Gutters, inspection shafts and boundary Taps are satisfactory.
5. The proposed Sydney Water Agency/Trusts otherwise approved by Sydney Water.

Property No. 33/44744

Peace, Mani Vile
Quick Check
SYDNEY WATER

22/10/11



- NOTES:**
1. ALL DIMENSIONS TO BE VERIFIED ON SITE BY BUILDER BEFORE COMMENCING WITH WORK.
 2. FOR GENERAL NOTES REFER TO DRAWING NUMBER: 501.

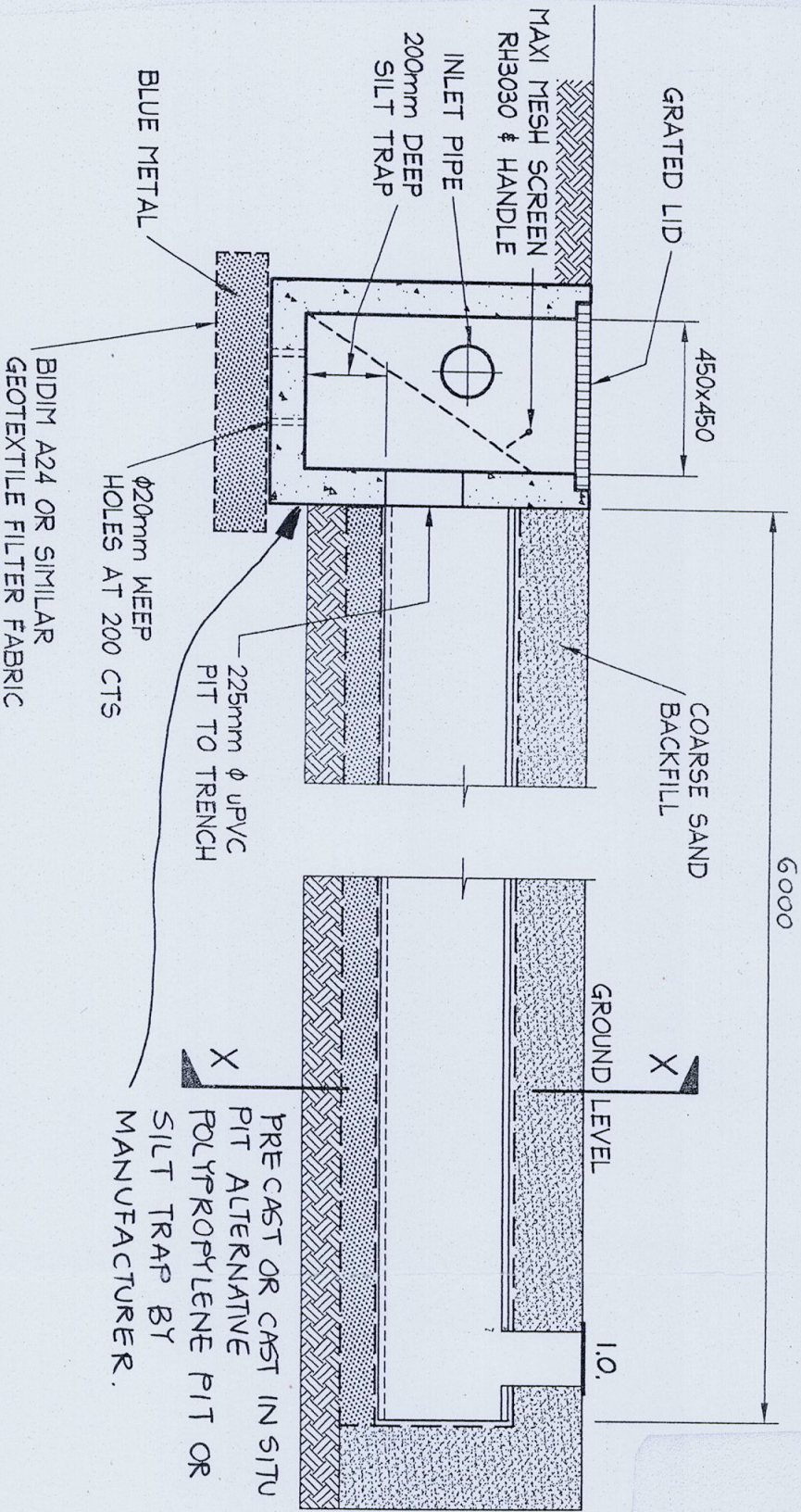
STORMWATER MANAGEMENT PLAN

NOTE: LINES INDICATIVE ONLY & MAY VARY DUE TO CONSTRAINTS

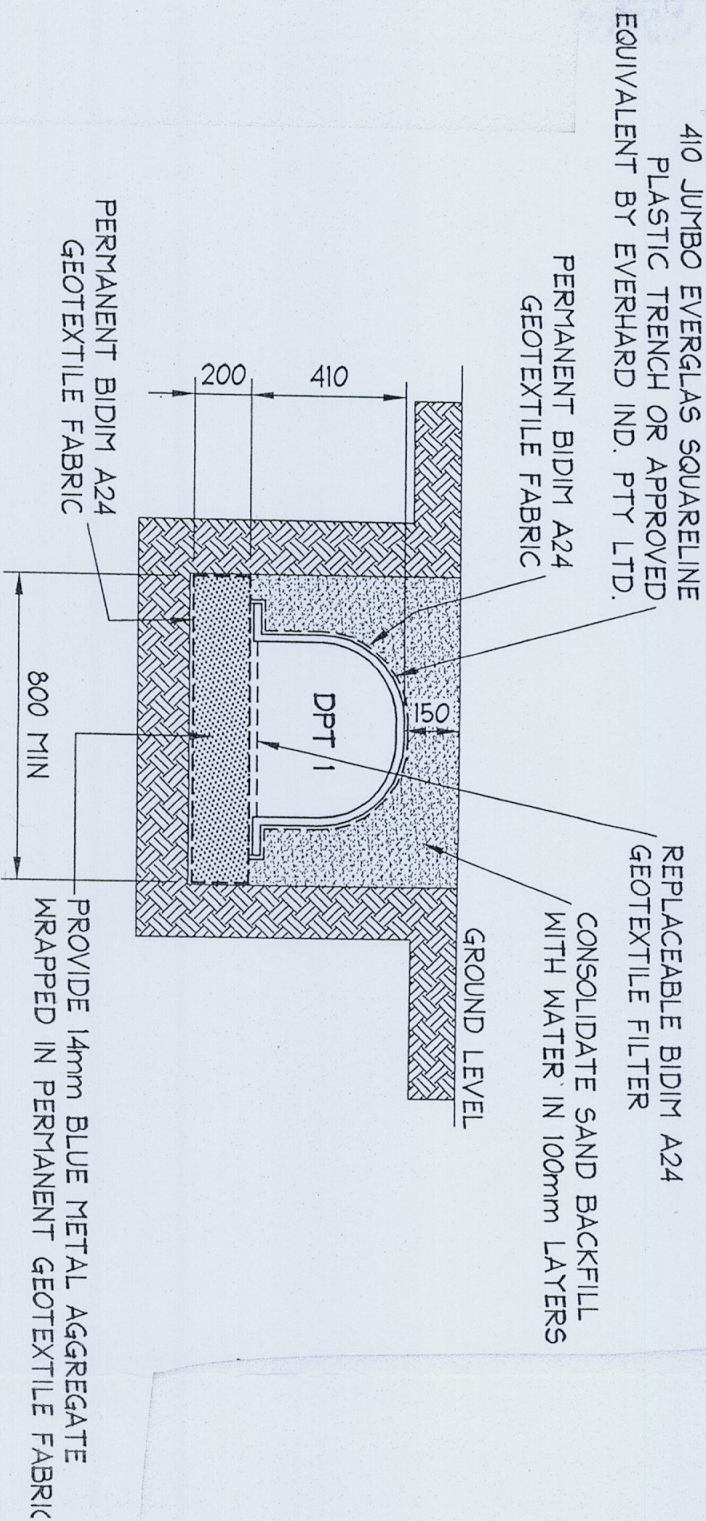
- ON-SITE DETENTION NOT RECOMMENDED
- TRENCH TO BE LAID ON LEVEL GROUND & INSPECTED BY GEOTECHNICAL OR CIVIL ENGINEER PRIOR TO BACKFILLING.

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- NOTES:**
1. ALL DIMENSIONS TO BE VERIFIED ON SITE BY BUILDER BEFORE COMMENCING WITH WORK.
 2. FOR GENERAL NOTES REFER TO DRAWING NUMBER: S01.



ABSORPTION TRENCH LONG SECTION



STORMWATER NOTES:

- 1 - ALL PIPES TO BE 100mm ϕ UNLESS NOTED OTHERWISE.
- 2 - ALL PIPES TO BE uPVC TO AS 1254-2002 UNLESS NOTED OTHERWISE.
- 3 - ALL PIPES TO BE LAYED AT 1 % MINIMUM GRADE UNLESS NOTED OTHERWISE.
- 4 - ALL PIPES SHALL BE LAID ON A 75mm SAND BED, COMPACTED TO 100% S.M.D.D. BELOW PAVEMENTS.
(NO COMPACTION REQUIRED BELOW LANDSCAPING)
- 5 - ALL DOWN PIPES TO BE 100mm ϕ UNLESS NOTED OTHERWISE.
- 6 - DOWN PIPE LOCATIONS ARE INDICATIVE ONLY. LOCATIONS TO BE CONFIRMED WITH ARCHITECT PRIOR TO COMMENCEMENT WITH WORK.
- 7 - PROVIDE CLEANING EYES AT ALL DOWNPIPES.
- 8 - ALL PITS TO BE CAST INSITU OR, IF PRECAST, APPROVED BY ENGINEER. CAST INSITU PITS TO HAVE 150mm THICK CONCRETE WALLS AND BASE. WALLS TO BE REINFORCED WITH 1 N12 TOP TIE UNLESS NOTED OTHERWISE. CAST INSITU PITS GREATER THAN 1000 DEEP TO BE MINIMUM 900x600 AND TO HAVE 150mm THICK CONCRETE WALLS AND BASE. WALLS TO BE REINFORCED WITH N12 AT 300 EACH WAY UNLESS NOTED OTHERWISE.
- 9 - ALL PITS GREATER THAN 1000mm DEEP SHALL HAVE STEP IRONS AS PER COUNCIL STANDARDS.
- 10 - ALL WORK TO BE IN ACCORDANCE WITH LOCAL COUNCIL STANDARDS AND SPECIFICATIONS.
- 11 - PRIOR TO COMMENCING ANY SITE WORKS THE CONTRACTOR SHALL IMPLEMENT EROSION CONTROL MEASURES TO APPROVED SEDIMENT AND EROSION CONTROL PLAN, EPA GUIDELINES AND COUNCIL SPECIFICATIONS. ALL MEASURES TO REMAIN IN PLACE UNTIL COMPLETION AND STABILIZATION OF THE SITE TO COUNCIL SATISFACTION.
- 12 - ALL LEVELS SHOWN ARE TO AHD
- 13 - ENSURE THAT ALL PITS AND STORMWATER PIPES ARE LOCATED CLEAR FROM TREE ROOT SYSTEMS.
- 14 - ALL EXISTING EARTHWARE PIPES TO BE UPGRADED TO uPVC.
- 15 - ALL WORKS TO BE IN ACCORDANCE WITH AS 3500-2003 NATIONAL PLUMBING DRAINAGE CODE PART 3 - STORMWATER DRAINAGE.

Northern Beaches Consulting Engineers Pty Ltd.

IF IN DOUBT ASK

A3

SECTION X-X
NOT TO SCALE

DOCUMENT CERTIFICATION

Date: NOV 11'
Rick G. Mroy
BE(Civil) CEng, MIEAust, NPER
(Director Northern Beaches Consulting Engineers)

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NORTHERN BEACHES Consulting Engineers P/L

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Architect:
K & S DESIGN

Client:
MR & MRS WHITE

Project:
**1058 BARENTOET RD
PALM BEACH**

Drawing Title:
NOTES & DETAILS

Date:
OCT '11

Design:
R.M.

Drawn:
LPC

Checked:
RW

Job No:
111039

Drawing No:
D02

Rev:
A

Date:
31/10/11

Rev:
A

Amendment:
ISSUE FOR C.C.

By:
CR