

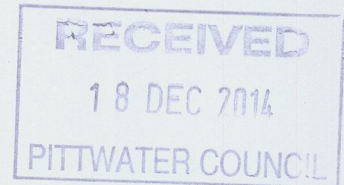


Address: PO Box 32,
West Pennant Hills NSW 2125
Tel: 9484 4222
Fax:
Email: admin@mbcertifications.com.au
ABN: 35129941322

16 December 2014

Our ref.: 141097

The General Manager
Pittwater Council
PO Box 882,
Mona Vale NSW 1660



Dear Sir/Madam,

**Re: 132 Avalon Parade Avalon
Construction Certificate No. 141097**

Development application No.: N0488/09

MB Certifications has issued a Construction Certificate under Part 4A of the Environmental Planning and Assessment Act 1979 for the above premises.

Please find enclosed the following documentation:

- Construction Certificate No. 141097
- Copy of application for Construction Certificate.
- Documentation used to determine the application for the Construction Certificate as detailed in Schedule 1 of the Certificate.
- Cheque for Council's registration fee.

Our client has been advised of the necessity to submit to Council the Notice of Commencement of building works 48 hours prior to the commencement of works.

Should you need to discuss any issues, please do not hesitate to contact the Accredited Building Surveyor Mathew Bodley.

Yours faithfully,

Mathew Bodley
Director
MB Certifications

Rec: 372442

PRNC

\$36-00

18/12/14



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CONSTRUCTION CERTIFICATE 141097

Issued under Part 4A of the Environmental Planning and Assessment Act 1979 Sections 109C and 81A(5)

APPLICANT DETAILS

Applicant: Cecil Ellis
Address: 132 Avalon Parade Avalon NSW 2107
Contact Details: **Phone:** 0434 998 399 **Fax:**

OWNER DETAILS

Name of person having benefit of the development consent: Cecil Ellis & Krithia Edwards
Address: 132 Avalon Parade Avalon NSW 2107
Contact Details: **Phone:** 0434 998 399

RELEVANT CONSENTS

Consent Authority/Local Government Area: Pittwater Council
Development Consent No: N0488/09, **Date issued:** 16/12/2009

PROPOSAL

Address of Development: 132 Avalon Parade Avalon NSW 2107
Lot/DP/Zoning: Lot 2 DP 512940 Zone:
Building Classification: Class 1a
Scope of building works covered by this Notice: Alterations & additions to existing dwelling
Value of Construction Certificate (Incl GST): \$50,000.00
Plans and Specifications approved: Schedule 1
Fire Safety Schedule: N/A
Exclusions:
Critical stage inspections; See attached Notice

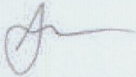
CERTIFYING AUTHORITY

Certifying Authority: Mathew Bodley
Accreditation Body: Building Professionals Board
Registration No. BPB 0037

I certify that work completed in accordance with the documentation accompanying the application for this certificate (with such modifications, if any, verified by me as may be shown on that documentation) will comply with the requirements of the Environmental Planning & Assessment Regulation 2000 as referred to in s.81A(5) of the Environmental Planning & Assessment Act 1979.

The documents listed in Schedule 1 accompanied the application for this certificate.

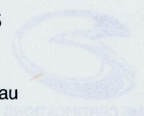
Dated this: 16/12/2014


Mathew Bodley
Director

NB: Prior to the commencement of work S81A (2) (b) and (c) of the Environment Planning and Assessment Act 1979 must be satisfied.



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SCHEDULE 1: APPROVED PLANS AND SPECIFICATIONS

1. Endorsed Architectural plans

PREPARED BY	DOCUMENT	DRAWING NO	REV	DATE
Enviroecture	Architectural Plans	E16, 01 to 08	A	24/03/2009

2. Endorsed Engineering plans

PREPARED BY	DOCUMENT	DRAWING NO	REV	DATE
Northern Beaches Consulting Engineers Pty Ltd	Engineering Plans	100346, S01 to S05		1/04/2010

3. Endorsed Other documents

PREPARED BY	DOCUMENT	DRAWING NO	REV	DATE
	BASIX Certificate	A68104		1/10/2009



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ABN: 35129941322

NOTICE OF APPOINTMENT OF PRINCIPAL CERTIFYING AUTHORITY

Made under Part 4 of the Environmental Planning and Assessment Act 1979 Sections 81A(2)(b1)(i) & 86(1)(a1)(i)

OWNER DETAILS

Name of person having benefit of the development consent: Cecil Ellis & Krithia Edwards
Address: 132 Avalon Parade Avalon NSW 2107
Contact Details: **Phone:** 0434 998 399

RELEVANT CONSENTS

Consent Authority/Local Government Area: Pittwater Council
Development Consent No: N0488/09, , **Date issued:** 16/12/2009
Construction Certificate Number: 141097 **Date issued:** 16/12/2014

PROPOSAL

Address of Development: 132 Avalon Parade Avalon NSW 2107
Scope of building works covered by this Notice: Alterations & additions to existing dwelling

PRINCIPAL CERTIFYING AUTHORITY

Certifying Authority: Mathew Bodley
Accreditation Body: Building Professionals Board
Registration No. BPB 0037

The owner has appointed Mathew Bodley as the Principal Certifying Authority as stated in the Construction Certificate Application lodged with MB Certifications for the building works identified in this Notice.

I, Mathew Bodley, Director of MB Certifications located at PO Box 32, West Pennant Hills NSW 2125 accept the appointment as the Principal Certifying Authority for the building works identified and covered under the relevant Construction Certificate as stated in this Notice.

Dated: 16/12/2014

Mathew Bodley
Principal Certifying Authority



Address: PO Box 32,
West Pennant Hills NSW 2125
Tel: 9484 4222
Fax:
Email: admin@mbcertifications.com.au
ABN: 35129941322

NOTICE TO APPLICANT OF MANDATORY CRITICAL STAGE INSPECTIONS

Made under Part 4 of the Environmental Planning and Assessment Act 1979 Sections 81A(2)(b1)(ii)

OWNER DETAILS

Name of person having benefit of the development consent: Cecil Ellis & Krithia Edwards
Address: 132 Avalon Parade Avalon NSW 2107
Contact Details: Phone: 0434 998 399

RELEVANT CONSENTS

Consent Authority/Local Government Area: Pittwater Council
Development Consent No: N0488/09, , Date issued: 16/12/2009
Construction Certificate Number: 141097 Date issued: 16/12/2014

PROPOSAL

Address of Development: 132 Avalon Parade Avalon NSW 2107
Scope of building works covered by this Notice: Alterations & additions to existing dwelling

CERTIFICATION DETAILS

Principal Certifying Authority: Mathew Bodley
Accreditation Body: Building Professionals Board
Registration No. BPB 0037

Please telephone **02 9484 4222** to book a critical stage inspection. A minimum period of 48 hours is to be provided.

I, **Mathew Bodley, MB Certifications** located at PO Box 32, West Pennant Hills NSW 2125 acting as the principal certifying authority hereby give notice in accordance with Section 81A(2)(b1)(ii) of the Environmental Planning and Assessment Act 1979 to the person having the benefit of the development consent that the mandatory critical stage inspections identified in Schedule 1 & Schedule 2 are to be carried out in respect of the building work.

The applicant, being the person having benefit of the development consent is required under Section 81A(2)(b2)(ii) of the Environmental Planning and Assessment Act 1979 to notify the principal contractor (if not an owner-builder) of the applicable mandatory critical stage inspections specified under this notice.

To allow a principal certifying authority or another certifying authority time to carry out mandatory critical stage inspections, the principal contractor for the building site, or the owner builder, must notify the principal certifying authority at least 48 hours before building work is commenced at the site if a mandatory critical stage inspection is required before the commencement of the work in accordance with Clause 163 of the Environmental Planning & Assessment Regulation 2000.

Failure to request a mandatory critical stage inspections will prohibit the principal certifying authority under with Section 109E(3)(d) of the Environmental Planning and Assessment Act 1979 to issue an occupation certificate.

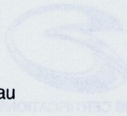
Dated: 16/12/2014

Mathew Bodley
Principal Certifying Authority



MB CERTIFICATIONS

Address: PO Box 32,
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Email: admin@mbcertifications.com.au
ABN: 35129941322



SCHEDULE 1:
MANDATORY CRITICAL STAGE INSPECTIONS

NO	CRITICAL STAGE INSPECTION	INSPECTOR
1.	At commencement of building work	Certifying Authority
2.	After Excavation for, and prior to the placement of any footings	Certifying Authority
3.	Prior to pouring any in-situ reinforced concrete building element	Certifying Authority
4.	Prior to covering of the framework for any floor, wall, roof or other building element	Certifying Authority
5.	Prior to covering waterproofing in any wet areas	Certifying Authority
6.	Prior to covering any stormwater drainage connections	Certifying Authority
7.	After the building work has been completed & prior to any occupation certificate being issued in relation to the building	Principal Certifying Authority



MB CERTIFICATIONS

CONSTRUCTION CERTIFICATE APPLICATION FORM

Applications must be delivered by hand, by post or transmitted electronically to the principal office of the certifying authority. Applications MAY NOT be sent by fax.

Application No.	(Office Use Only)	Date Received
141097		12/11/14

Information for the Applicant

This form may be used to apply for a construction certificate (a "certificate") to carry out building work.

To complete this form, please place a cross in the relevant boxes, fill out the white sections as appropriate and to minimise delay in receiving a decision please attach copies of all documents indicated in the form and checklist are provided. Once completed, this application form should be submitted to a certifying authority for determination.

A construction certificate has no effect if it is issued after the building work to which it relates is physically commenced on the land to which the relevant development consent applies.

Property / Development Details		
Lot/s No.	DP/SP No.	Section/Volume/Folio.
2	512940	
Unit/Shop/Street No.	Street Name	
132	Avalon Parade	
Suburb	Postcode	
Avalon Beach	2107	
Zone	Site Area	
	880 m ²	
BCA Classification		
The Estimated Cost of Development is the contract price, or if there is no contract a genuine and accurate estimate, for all labour and material costs associated with all demolition and construction required for the development, including the cost of construction of any building and the preparation of a building for the purpose for which it is to be used (such as the costs of installing plant, fittings, fixtures and equipment inc. GST) and is to be not less than that shown on the development application form.		
Estimated Cost of Development		
\$ 150 000		
Description of Development		
Alterations / additions.		
Development Consent No.		Date of Approval
N0488/09		16/12/2009
Name of Consent Authority		
Pittwater Council.		
Name of Applicant for development consent		
Alterations / additions KEDWARDS and C. ELLIS		
A complete copy of the development consent is to be provided, including the following:		
• approved plans endorsed by the consent authority • conditions of development consent • other documents referenced by the development consent that are relevant to this application.		

MB Certifications Pty Ltd
PO Box 32 West Pennant Hills NSW 2125
Phone: (02) 9980 1156
ABN 32 129 941 322

This application may only be made by a person who is eligible to appoint a Principal Certifying Authority, i.e. the owner or the person having the benefit of the Development Consent – **the builder may not make this application** unless the builder is the owner of the land.

Applicant's Details	
☒ Mr ☐ Ms ☐ Mrs ☐ Dr ☐ Other (Please specify)	
First Name	Family Name
Cecil	Ellis
Association to the project ☒ Owner ☐ Tennant ☐ Architect ☐ Other (Please specify)	
Company (If Applicable)	ABN (If Applicable)
—	—
Postal Address (All correspondence shall be forwarded to this address)	
PO Box 23	
Avalon Beach NSW 2107	
Phone	Fax
0434 99 8399	—
Mobile	Email
0434 99 8399	cecil@naturenavigation.com
APPLICANT DECLARATION: I apply for consent to carry out the works described in this application. I declare that all the information provided is true and correct. I acknowledge that, if incomplete, this application may be delayed or refused or additional information may be requested.	
Signature	Date
Cecil Ellis	12/11/14

Billing Details	
(If left blank it is taken to be the same as the applicant)	
Billing Name:	ABN:
Cecil Ellis	—
Billing Address:	
—	

Principle Contractor / Owner Builder's Details	
Home Owner's Warranty Insurance / Owner Builder permit to be attached if applicable – not required for commercial development	
Builder Name:	
Mick John Construction	
Licence No / Permit No.:	Contact Phone No.:
258902c	0416 231 470
Fax No.:	Email:
—	mick.johns@iinet.net.au

Information	
Is the development or the land upon which the development is to be carried out is subject to a planning agreement as referred to in section 93F EP&A Act?	☐ Yes ☒ No
If yes, provide a copy of the planning agreement.	
Does the application relate ONLY to a fire link conversion?	☐ Yes ☒ No
If yes, provide a document that describes the design, construction and mode of operation, of the new fire alarm communication link.	
Does the development involve subdivision work?	☐ Yes ☒ No
If yes, an appropriate accredited certifier will be required for this portion of the work.	

Information (cont.)

Does the development involve building work ? (including work in relation to a dwelling house or a building or structure that is ancillary to a dwelling-house). If 'Yes' the following is to be provided: ☒ Yes ☒ No 12/11/17

- (1) A detailed description of the development by completing the information required for the Australian Bureau of Statistics.
- (2) Appropriate building work plans and specifications, which are to include:
- (a) detailed plans, drawn to a suitable scale and consisting of a block plan and a general plan, that show:
 - (i) a plan of each floor section, and
 - (ii) a plan of each elevation of the building, and
 - (iii) the levels of the lowest floor and of any yard or unbuilt on area belonging to that floor and the levels of the adjacent ground, and
 - (iv) the height, design, construction and provision for fire safety and fire resistance (if any),
 - (b) specifications for the development:
 - (i) that describe the construction and materials of which the building is to be built and the method of drainage, sewerage and water supply, and
 - (ii) that state whether the materials to be used are new or second-hand and (in the case of second-hand materials) give particulars of the materials to be used,
 - (c) a statement as to how the performance requirements of the Building Code of Australia are to be complied with (if an alternative solution, to meet the performance requirements, is to be used),
 - (d) a description of any accredited building product or system sought to be relied on for the purposes of section 79C(4) of the *Environmental Planning and Assessment Act 1979* (EP&A Act)*
 - (e) copies of any compliance certificate to be relied on,
 - (f) if the development involves building work to alter, expand or rebuild an existing building, a scaled plan of the existing building
 - (g) if a BASIX certificate has been obtained for the development, such other matters as the BASIX certificate requires to be included in the plans and specifications.

* S.79C(4) EP&A Act provides that a consent authority must not refuse to grant consent to development on the ground that any building product or system relating to the development does not comply with a requirement of the Building Code of Australia if the building product or system is accredited in respect of that requirement in accordance with the EP&A regulation 2000.

Does the development involve building work ? (other than work in relation to a dwelling house or a building or structure that is ancillary to a dwelling-house or work that relates only to fire link conversion). If 'Yes' the following is to be provided: ☐ Yes ☒ No

- (a) a list of any existing fire safety measures provided in relation to the land or any existing building on the land, and
- (b) a list of the proposed fire safety measures to be provided in relation to the land and any building on the land as a consequence of the building work.

Does the development involve building work in respect of which an alternative solution under the Building Code of Australia (BCA) in respect of fire safety requirement ? ☐ Yes ☒ No

If yes, provide either or both of the following from a "fire safety engineer" (i.e. a private accredited certifier holding Category C10 accreditation):

- (a) a compliance certificate (as referred to in s.109C(1)(a)(v) EP&A Act) that certifies that the alternative solution complies with the relevant performance requirements of the BCA.
- (b) a written report that includes a statement that the alternative solution complies with the relevant performance requirements of the BCA.

Does the application relate to a residential flat development for which the development application was required under Clause 50(1A) of the EP&A Regulation to be accompanied by a design verification from a qualified designer ? If yes, provide: ☐ Yes ☒ No

A statement from a qualified designer which verifies that the plans and specifications achieve or improve the design quality of the development for which development consent was granted, having regard to the design quality principles set out in Part 2 of *State Environmental Planning Policy No. 65: Design Quality of Residential Flat Development* (SEPP 65).

Note: If the development application was also required to be accompanied by a BASIX certificate with respect to any building, the statement need not verify the design quality principles set out in SEPP 65 to the extent to which they aim to

- reduce consumption of mains-supplied potable water, or reduce emissions of greenhouse gases, in the building or in the use of the land that it is built on, or
- improve the thermal performance of the building.

Has the Fire Commissioner granted an exemption under clause 188 EP&A Regulation from compliance with any specified Category 3 fire safety provision ? If yes, provide: ☐ Yes ☒ No

A copy of the exemption together with any conditions imposed.

Is any long service levy payable under s.34 of the Building and Construction Industry Long Service Payments Act, 1986 ? If yes, provide: ☐ Yes ☒ No

A copy of a receipt for any long service payment levy that has been made (or, where such a levy is payable by instalments, a receipt for the first instalment of the levy).

Does the application involve a BASIX affected development, or a BASIX optional development for which a BASIX certificate has been submitted ? If 'Yes' provide: ☒ Yes ☐ No

- (a) the BASIX certificate(s) for the development (being a certificate(s) that has been issued no earlier than 3 months before the date of the Application being made, and
- (b) such other documents as the BASIX certificate(s) for the development requires to accompany the Application.

Information (cont.)

BASIX (the Building and Sustainability Index) ensures homes are built to be more energy and water efficient. BASIX uses an online program to assess a building's design and compares it against energy and water reduction targets. The design must meet these targets before a BASIX certificate can be printed. Any changes made to a building's design after a BASIX certificate has been issued requires another BASIX assessment and new BASIX certificate. **"BASIX affected buildings"** contain one or more dwellings (but do not include hotels or motels).

A BASIX certificate **MUST** be obtained for every **"BASIX affected development"**, which are any of the following (other than development that is **"BASIX excluded development"**):

- (a) development that involves the erection (but not the relocation) of a BASIX affected building
- (b) development that involves a change of building use by which a building becomes a BASIX affected building
- (c) development that involves the alteration, enlargement or extension of a BASIX affected building, where the estimated construction cost of the development is \$50,000 or more
- (d) development for the purpose of a swimming pool or spa, or combination of swimming pools and spas, that services or service only one dwelling and that has a capacity, or combined capacity, of 40,000 litres or more.

"BASIX excluded development" is

- (a) development for the purpose of a garage, storeroom, car port, gazebo, verandah or awning
- (b) alterations, enlargements or extensions to a building listed on the State Heritage Register under the Heritage Act 1977
- (c) alterations, enlargements or extensions that result in a space that cannot be fully enclosed (for example, a veranda that is open or enclosed by screens, mesh or other materials that permit the free and uncontrolled flow of air), other than a space can be fully enclosed but for a vent needed for the safe operation of a gas appliance
- (d) alterations, enlargements or extensions that the Director-General has declared, by order published in the Gazette, to be BASIX excluded development.

A BASIX Certificate **MAY** be obtained for certain developments by an Applicant even though there is no obligation to do so. This is called **"BASIX optional development"**. **"BASIX optional development"** means any of the following development that is not BASIX excluded development:

- (a) development that involves the alteration, enlargement or extension of a BASIX affected building, where the estimate of the construction cost of the development is less than \$50,000
- (b) development for the purpose of a swimming pool or spa, or combination of swimming pools and spas, that services or service only one dwelling and that has a capacity, or combined capacity, of less than 40,000 litres.

If the proposed development involves the alteration, enlargement or extension of a BASIX affected building that contains more than one dwelling, a separate BASIX certificate is required for each dwelling concerned. Further information about BASIX and to obtain a BASIX Certificate, go to <http://www.basix.nsw.gov.au>.

PCA SERVICE AGREEMENT

Engagement

The engagement or the appointment of the PCA will not commence until the proposed PCA has accepted and notified their acceptance of the appointment to the Owner or Authorised Representative and the Local Council. The proposed PCA or MB Certifications Pty Ltd will not accept any responsibility for any damages, losses or delays suffered by the Applicant as a result of omissions or errors contained within this form or failure of the Applicant to comply with all items contained in this form.

Scope

The scope of works covered under this appointment is restricted to those building works as described in the "Details of Development" within this form.

Terms and Conditions

1. All information provided by the Applicant on this form will be taken to be accurate and correct. The PCA does not accept any responsibility for any intentional or unintentional error or omission made by the Applicant on this form.
2. Where building works have commenced prior to the acceptance of appointment of PCA without the knowledge of the intended PCA the appointment shall be invalid and acceptance of the appointment will be withdrawn.
3. The Applicant is obliged to keep the PCA informed of any changes to the details of Principal Contractor (builder) and any relevant insurances required by the builder. Failure to meet this obligation will result in the Applicant indemnifying the PCA against any losses or suffering as a result of non compliance with the legislative requirements.
4. The Applicant is responsible for ensuring that a copy of Home Warranty Insurance or Owner Builder Permit is submitted to the PCA prior to the commencement of building works. The acceptance of the appointment will not occur until this requirement has been met.
5. It is the responsibility of the Applicant to ensure that critical stage inspections are booked in with our office, or make arrangements for your builder to do this on your behalf no later than 3pm on the prior business day via fax, post or email.
6. It is the responsibility of the Applicant/Owner to ensure that any Section 94 or Section 94A contributions applicable to the project in accordance with the Council's Policy, has been paid to Council.

7. The PCA will not accept responsibility for any damages or costs associated for the inability to issue an Occupation Certificate due to, but not limited to, the following:- non-compliance with a development consent condition, unsatisfactory final inspection, non compliance with BASIX commitments, missed critical stage inspections, non compliance with approved building plans or failure to pay the required inspection or Occupation Certificate fees.

Fees

Failure to pay the prescribed fee will generally result in a refusal to accept the appointment of PCA. Should an appointment be accepted and payment not honoured, the Applicant will be ultimately liable for unpaid fees, regardless of whether the fee was paid directly to a third party, and any associated debt recovery costs plus interest incurred from the time of the appointment. It is noted that the PCA and/or MB Certifications Pty Ltd may suspend its services provided to the appointer or the builder, where fees have not been paid, within the provisions of the Building and Construction Industry Security of Payment Act 1999.

DECLARATION BY APPLICANT/S

I/We the aforementioned persons as described as the Applicant hereby declared the following that:

1. I/We "have the benefit of the Development Consent or Complying Development Certificate" within the meaning and under EP&A Act 1979 for the proposed works as indicated on this form.
2. I/We, to the best of my/our knowledge, have completed all details in this form in a correct and accurate manner and hereby indemnify the appointed PCA and MB Certifications Pty Ltd against any damage, losses or suffering as a result of incorrect information provided.
3. I/We hereby consent to the Builder as shown within this form to apply and obtain on my/our behalf a Construction Certificate, Complying Development Certificate, Occupation Certificate/s or any other "Part 4A Certificate" within the meaning of the EP&A Act 1979.
4. I/We have read, understood and hereby accept the terms and conditions outlined within the PCA Service Agreement on this form.
5. I/We understand that the Appointment of the PCA is not taken to be have been accepted until a copy of the acceptance has been signed by the proposed PCA and released to the Applicant and Council, effective from the date of the acceptance.
6. I/We understand that the Commencement of Building Work cannot be any earlier than two (2) business days after the appointment of PCA has been accepted and therefore declare that no building works will commence until after such date.
7. I/We authorise the right of entry for any certifying authority arranged by MB Certifications Pty Ltd to carry out inspections, surveys, take measurements or photographs required by the PCA under this agreement.
8. I/We authorise the transfer of PCA to another employee of MB Certifications Pty Ltd if the original PCA ceases employment with MB Certifications Pty Ltd for any reason or becomes unable to fulfill their duties as the PCA at no cost to MB Certifications Pty Ltd.
9. I/We understand the appointment of PCA will not be accepted until documentation of required insurances or owner builder permit is submitted to MB Certifications Pty Ltd, in accordance with the Home Building Act 1989.
10. I/We understand that it is my/our responsibility to ensure that sufficient notice is given to MB Certifications Pty Ltd, in writing, to carry out critical stage inspections or make arrangements with your builder to carry out this function on your behalf as a condition of your Building Contract.
11. I/We declare that I/we will notify the PCA at the earliest possible instance of any changes of the appointment of the builder and ensure any mandatory insurances required by the incoming builder in accordance with Home Building Act 1989 are in place.

OWNERS DECLARATION

I/We, the aforementioned person/s or authorised representative of a legal entity as described as the Applicant in the application form hereby declare the following:

1. I/We, to the best of my/our knowledge, have completed all details in the Application Form in a correct and accurate manner and hereby indemnify MB Certifications Pty Ltd against any damages, losses or suffering as a result of incorrect information provided under that section.
2. I/We have obtained consent from the owner/s of the property to apply and obtain a Construction or Complying Development Certificate. Such written consent is provided with this application.
3. I/We have read, understood and hereby accept the terms and conditions outlined in this form.
4. I understand that the Application for a Construction or Complying Development Certificate is not complete until all required documentation has been received by MB Certifications Pty Ltd.

5. I understand that the Application for and acquisition of a Construction or Complying Development Certificate does not authorise Commencement of Building Work.

Owners Consent

(If there are more than two owners please attach additional copies of this page)

Owner 1

Owner 2

Name

Cecil Ellis.

Postal Address

PO Box 23.
Avalon Beach NSW 2107.

Phone

0434 998399.

Email

cecil@naturenavigation.com.

Name

Krithia Edwards.

Postal Address

PO Box 23
Avalon Beach NSW 2107.

Phone

0439 461 379

Email

Krithia@downthebeach.com.

OWNER STATEMENT: As the owner(s) of the above property, I/we consent to the certifying authority, or an accredited certifier, council or consent authority, to enter the subject property at any reasonable time for the purpose of carrying out an inspection in connection with the assessment of this application. I/we undertake to take all necessary steps make access available to the property to enable the inspection to be carried out.

Owner 1

Owner 2

Signature

Cecil Ellis.

Signature

Krithia Edwards.

Date

12/11/14.

Date

12/11/14

STRATA TITLE AND COMMUNITY TITLE – If the property is a unit under strata title or a lot in a community title, in addition to the owner’s signature the common seal of the Owners Corporation must be stamped on this form and signed by the chairman of the Owners Corporation or the appointed managing agent.

Strata Seal

Please note that all owners of the property must provide written consent. If you are signing on the owner’s behalf as the owner’s legal representative, please attached documentary evidence as to the nature of your legal authority, e.g. Power of Attorney, Company Director, Executor, Trustee.

Documents accompanying this application shall be as prescribed by the Environmental Planning & Assessment Act, 1979, as amended, and Schedule 1 of the Environmental Planning & Assessment Regulation 2000, as amended.

INFORMATION REQUIRED FOR THE AUSTRALIAN BUREAU OF STATISTICS

Please complete this table indicating the types of building materials to be used in association with this application

All New Buildings

- Number of storeys (including underground storeys)
- Gross floor area of the new building
- Gross site area

Residential Buildings Only

- Number of existing dwellings on site
- Number of existing dwellings to be demolished
- Number of new dwellings to be constructed

	3
	1
	0

- Will the new building(s) be attached to any existing building ? Yes ☐ No ☒
- Will the new building(s) be attached to any other new building ? Yes ☐ No ☒
- Does the site contain a dual occupancy?
(NB dual occupancy = two dwellings on the same site) Yes ☐ No ☒

Materials – Residential Buildings

Walls	Code	Roof	Code	Floor	Code	Frame	Code
☒ Brick (double)	11	☒ Tiles	10	☒ Concrete/slate	20	☒ Timber	40
☐ Brick(veneer)	12	☐ Concrete / slate	20	☒ Timber	40	☐ Steel	60
☐ Concrete/stone	20	☐ Fibre cement	30	☐ Other	80	☐ Aluminium	70
☒ Fibre cement	30	☒ Steel	60	☐ Not specified	90	☐ Other	80
☒ Timber	40	☐ Aluminium	70			☐ Not specified	90
☐ Curtain glass	50	☐ Other	80				
☐ Steel	60	☐ Not specified	90				
☐ Aluminium	70						
☐ Other	80						
☐ Not specified	90						



MB CERTIFICATIONS

APPOINTMENT OF PRINCIPAL CERTIFYING AUTHORITY

Environmental Planning & Assessment Act, 1979 – S81A(2) or 86(1)

Application No.	(Office Use Only)	Date of Issue

Property / Development Details		
Lot/s No.	DP/SP No.	Section/Volume/Folio
Unit/Shop/Street No.	Street Name	
Suburb	Postcode	
Development Consent	Date of Approval	Issued By
Description of Development		

Details of Person Appointing the PCA		
Name:		
Cecil Ellis.		
Postal Address:		
PO Box 23 Avoca Beach NSW 2107.		
Phone	Fax	Email
0434 998399	—	cecil@naturenavigation.com
Signature	Date	
Cecil Ellis	12/11/14	

PCA Details (Please place a tick in the relevant box – 1 only)	
☒	Mathew Bodley – BPB0037 MB Certifications Pty Ltd PO Box 32, West Pennant Hills NSW 1715 Email: mat@mbcertifications.com.au Phone: (02) 9980 1156

Consent to Appointment (Office Use Only)	
I consent to being appointed as the PCA for the development.	
☒	Mathew Bodley – BPB0037
Signature	Date

MB Certifications Pty Ltd
PO Box 32 West Pennant Hills NSW 2125
Phone: (02) 9980 1156
ABN 32 129 941 322



Home Warranty Insurance Fund

calliden
group

NSWIREHWI/190375-Builder

10/12/2014

Mick Johns Constructions Pty Ltd trading as The Trustee for Johns Family Trust
116 Central Road
AVALON NSW 2107

Calliden Insurance Ltd
ABN 47 004 125 268 AFS Licence 234438
Level 9, 11-33 Exhibition Street
MELBOURNE VIC 3000
Phone: (03) 9637 1300 FAX: 1300 662 215

Certificate of Insurance

RESIDENTIAL BUILDING WORK BY CONTRACTORS

A contract of insurance complying with sections 92 and 96A of the Home Building Act 1989 has been issued by **Calliden Insurance Limited** (ABN 47 004 125 268) (AFSL 234438) as agent for and on behalf of the NSW Self Insurance Corporation (SICorp) (ABN 97 369 689 650) who is responsible for management of the Home Warranty Insurance Fund.

In respect of: Structural Alterations/Additions

At: 132 Avalon Parade
 AVALON NSW 2107

Carried out by: Mick Johns Constructions Pty Ltd trading as The Trustee for Johns Family Trust

Licence Number: 258902C

ABN: 84 523 017 251

For: Cecil Ellis and Krithia Edwards

In the amount of: \$30,000.00

Subject to the Act and the Home Building Regulation 2004 and the conditions of the insurance contract, cover will be provided to:

- a beneficiary described in the contract and successors in title to the beneficiary,
- OR
- the immediate successor in title to the contractor or developer who did the work and subsequent successors in title.

Authorisation: Signed by Calliden Insurance Ltd (ABN 47 004 125 268) (AFSL 234438) as agent for and on behalf of the NSW Self Insurance Corporation (SICorp) (ABN 97 369 689 650)

Issued on the 9th day of December, 2014.

NOTICE: To download a copy of your insurance policy wording visit <http://www.policywording.com.au>.

Levy Online Payment Receipt

Building and Construction



KRITHIA EDWARDS AND CECIL ELLIS
132 AVALON PDE
AVALON BEACH NSW 2107

Application Details:

Applicant Name:	KRITHIA EDWARDS AND CECIL ELLIS
Levy Number:	5080419
Application Type:	DA
Application Number:	D0488/09
Approving Authority:	PITTWATER COUNCIL

Work Details:

Site Address:	132 AVALON PDE AVALON BEACH NSW 2107
Value of work:	\$50,000
Levy Due:	\$175.00

Payment Details:

LSC Receipt Number:	184090
Payment Date:	13/11/2014 12:36:28 PM
Bank Payment Reference:	774034232
Levy Paid:	\$175.00
Credit card surcharge:	\$0.70
Total Payment Received:	\$175.70

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A68104

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 29/9/2006 published by Department of Planning. This document is available at www.basix.nsw.gov.au

Director-General
Date of issue: Thursday, 01, October 2009



NSW GOVERNMENT
Department of Planning

Description of project

Project address	
Project name	Copy of E16
Street address	132 Avalon Parade Avalon 2107
Local Government Area	Pittwater Council
Plan type and number	Deposited Plan 512940
Lot number	2
Section number	0
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

This plan/document forms
part of the approved
Certificate as issued by
Mathew Bodley 0037

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Hot water			
The applicant must install the following hot water system in the development: solar (gas-boosted) system that is eligible to create Renewable Energy Certificates under the (Commonwealth) Renewable Energy (Electricity) Regulations 2001 (incorporating Amendment Regulations 2005 (No. 2)).	✓	✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.			
Construction	Additional insulation required (R-value)	Other specifications	
suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)		✓
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		

Glazing requirements				Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door. The following requirements must also be satisfied in relation to each window and glazed door: Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35. Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm. Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.				✓	✓	✓
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)Distance (m)		Shading device	Frame and glass type
W2	N	1.28	12	4	eave/verandah/pergola/balcony	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W3	W	1.08	0	0	eave/verandah/pergola/balcony	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type			
			Height (m)	Distance (m)					
W4	W	1.08	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)			
W10	N	3.1	0	0	awning (adjustable) >=900 mm	timber or uPVC, clear/air gap/clear, (U-value: 3.67, SHGC: 0.59)			
W15	N	2.15	0	0	awning (adjustable) >=900 mm	timber or uPVC, clear/air gap/clear, (U-value: 3.67, SHGC: 0.59)			
W16	S	0.63	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)			
D10	N	6.4	0	0	awning (adjustable) >=900 mm	timber or uPVC, clear/air gap/clear, (U-value: 3.67, SHGC: 0.59)			

Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

ALTERATIONS & ADDITIONS

at: 132 AVALON PDE, AVALON

for: Cecil Ellis & Krithia Edwards

Architect: ENVIROTECTURE

Prepared By:



NORTHERN BEACHES
Consulting Engineers P/L.

A.C.N. 076 121 616 A.B.N. 24 076 121 616

Suite 207, 30 FISHER ROAD

DEE WHY N.S.W. 2099

Ph: (02) 9984 7000 Fax: (02) 9984 7444

e-mail : nb@nbconsulting.com.au

web page : www.nbconsulting.com.au

DRAWING SCHEDULE:

501 - GENERAL NOTES

504 - GROUND FLOOR BRACING DETAILS

502 - FOOTING PLAN AND DETAILS
505 - ROOF FRAMING PLAN AND DETAILS

503 - GROUND FLOOR FRAMING PLAN & DETAILS

This plan/document forms
part of the approved
Certificate as issued by
Mathew Bodley 0037

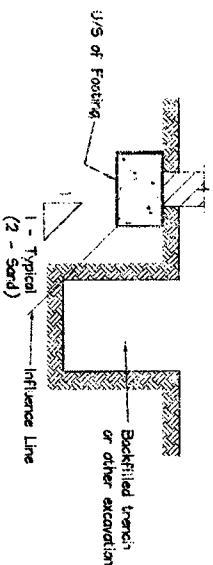
 Northern Beaches Consulting Engineers Pty Ltd.

100346

REV. - - -

GENERAL NOTES:

- G1. The drawings are to be read together with all Architects drawings and specifications.
- G2. Dimensions shall not be obtained by scaling from the drawings. All setting out dimensions shall be verified and discrepancies shall be referred to the Engineer prior to commencement of work.
- G3. Core is required during construction so that structural elements are not over stressed and that the works and excavations required therefore are kept stable at all times.
- G4. Design materials and workmanship are to be in accordance with current S.A. standards and statutory authority regulations except where varied by these documents.
- G5. Design live loads are in accordance with AS 1170.1
- G6. Builder to ensure stability of existing structures in the vicinity of excavation works.
- FOOTINGS**
- F1. FOUNDATION STRATA IS ASSUMED FOR DESIGN PURPOSES IN ACCORDANCE WITH AS 2870-1996, RESIDENTIAL SLAB AND FOOTINGS-CONSTRUCTION. SEE FOOTNOTE. CLASSIFICATION TO BE VERIFIED BY A GEOTECHNICAL ENGINEER COMMISSIONED BY THE CLIENT FOR CERTIFICATION OF FOUNDATIONS.
- F2. Footings to be constructed and back filled as soon as possible following excavation to avoid softening by rain or drying out by exposure.
- F3. Footings must bear into undisturbed natural ground clear of organic material. Refer to details.
- F4. If rock or variable bearing strata is encountered during excavation of the footings all footings/piers are to be extended to similar material of greater bearing capacity.
- F5. The Engineer is to be contacted at that time for approval or review.
- F6. Footings to be cast in approved material having an allowable capacity as follows:
- Sand Foundations:
- S41. Required bearing capacity 100 kPa.
- S42. Trenches must be cleared of all debris and hard compacted prior to placement of reinforcement.
- Clay Foundations:
- C11. Required bearing capacity 150 kPa.
- C12. Trenches must be cleared of all debris. Soft spots must be cut out and filled as per compacted fill notes, prior to placement of reinforcement.
- Shale Foundations:
- S41. Required bearing capacity 400 kPa.
- S42. Excavation for footings into shale must be cast or capped with strong concrete on the same day as excavation.
- Sandstone Foundations:
- S51. Required bearing capacity 600 kPa.
- S52. Scarpe weathered surface to remove cleaved sandstone under footings. Refer adjacent for assumed Design bearing strata.
- F6. Future development of neighboring properties may affect ground water conditions on this site. Consequently, reactivity in subsurface beneath footings may be locally altered therefore putting footing at risk of differential settlement. We recommend that, particularly in clay subgrades, agricultural drainage is installed to the upstream perimeter of the building at a distance from the building which is outside the zone of influence of the footing. The affected drain must be installed below the fluctuating seasonal 77th which should be identified by geotechnical investigation.
- F7. UNLESS OTHERWISE APPROVED, Excavations near new or existing footings shall not be within the footing influence line.



CONCRETE

- C1. All workmanship and materials shall be in accordance with AS 3600.
- C2. Concrete quality shall be as follows and shall be verified by tests.
- C3. All concrete unless otherwise noted shall have a slump of 80mm at point of placement, a max. aggregate size of 20 mm.
- No water shall be added to the mix prior to or during placement of concrete. Strength as specified on plans.
- C4. Clear concrete cover to reinforcement shall be as follows unless otherwise shown:-

ELEMENT	INTERIOR	EXTERIOR	EXTERIOR CAST AGAINST GROUND
FOOTINGS	-	-	50
COLUMNS/PEDESTALS	30 UNO	REFER TO PLAN	-
SLABS/WALLS	25	REFER TO PLAN	40 ON MEMBRANE
BEAMS	25 UNO	REFER TO PLAN	50
BLOCKWORK	55 FROM APPROPRIATE FACE		

- C5. Sizes of concrete elements do not include thickness of applied finishes.
- C6. All Construction Joints locations shall be approved by the Structural Engineer.
- C7. Beam depths are written first and include slab thickness, if any.
- C8. No holes or chases other than those shown on the structural drawings shall be made in concrete elements without the prior approval of the engineer.
- C9. Shrinkage reducing admixtures such as 'Eliplast' or approved equivalent, if specified, must be added to mix prior to pour.
- C10. Water reducing agents, if specified, must be added to mix prior to pour. No extra water is to be added to increase slump.
- C11. Where vertical slab/beam surfaces are formed against a masonry (or other) wall, provide 10 mm styrene separation material.
- C12. Water must be added to concrete mix prior to placement of concrete.
- C13. Above covers may have to be adjusted if fire rating is a requirement.

REINFORCEMENT

- R1. All reinforcement specified is Grade D500 unless noted otherwise.
- R2. Reinforcement is represented diagrammatically it is not necessarily shown in true proportion.
- R3. Top reinforcement is to be continuous over supports.
- R4. Bottom reinforcement to be lapped at supports.
- R4. Welding of reinforcement shall not be permitted unless shown on the structural drawings.
- R5. Pipes or conduits shall not be placed within the zone of concrete cover to the reinforcement without the approval of the engineer.
- R6. All reinforcing bars and fabric shall comply with AS 4671-2001.
- R7. Reinforcement symbols:
- N - Grade 500N deformed bar (D500) Normal Ductility.
- R - Grade 250N plain round bar (R250) Normal Ductility.
- SL - Grade 500L welded deformed ribbed mesh (D500) Square Low Ductility.
- RL - Grade 500L welded deformed ribbed mesh (D500) Rectangular Low Ductility.
- The number immediately following these symbols is the number of millimeters in the bar diameter.
- Example:
- 8 N12-250, denotes 8, Grade 500N deformed bars, 12 mm diameter at 250 cts.
- R8. Fabric reinforcement to be lapped 1 complete square + 25 mm unless noted otherwise.
- R9. All reinforcement shall be firmly supported on bar chairs spaced at a maximum of 750 centres both ways under rod and fabric reinforcement. Reinforcement shall be tied at alternate intersections.

FORMWORK

- F11. Formwork must be cleaned of all debris prior to casting of concrete.
- F12. Minimum stripping times for form work shall be as recommended in AS 3610 - 1990 or as directed by the engineer.
- F13. The finished concrete shall be a dense homogeneous mass, completely filling the form work, thoroughly embedding the reinforcement and free of store pockets. All concrete elements including slabs on ground and footings shall be compacted with mechanical vibrators.
- F14. Curing of all concrete is to be achieved by keeping surfaces continuously wet for a period of 3 days, followed by prevention of loss of moisture for seven days followed by a gradual drying out. Approved sprayed on curing compounds may be used where no floor finishes are proposed. Polythene sheeting or wet hessian may be used if protected from wind and traffic.

BRICKWORK

- B1. Brickwork is to be constructed to AS 3700.
- B12. Two layers of approved grouted metal based slip material shall be used over all load bearing walls that support concrete slabs and placed on smooth brickwork or trowelled mortar finish. Non load-bearing walls shall have 10 mm compressible material and ties to the slab soffit.

- BR3. No brickwork shall be constructed on suspended slabs until all propping has been removed from the underside of the slab and the concrete has the specified 28 day cylinder strength verified by tests.
- BR4. Control joints to be placed at a maximum of 8m centres or in accordance with AS 3700.
- BR5. Exposure grade bricks to be used below damp proof course.
- BR6. Vertical control joint material where specified on plan between slabs and brick walls shall be: 10 mm Spandex External UNO. Bituminous fibreboard internal UNO.
- BR7. Provide stainless steel wall ties below DPC to AS 3700. Provide galvanized wall ties above DPC to AS 3700 & Local Council Specifications.
- BR8. Dry Pressed Bricks should always be used for brick retaining walls. In addition we recommend that dry pressed bricks be used for all types of construction where possible. Dry pressed bricks grow only half as much as extruded bricks. Extruded bricks are difficult to fix to and excessive brick growth leads to cracking in walls and render.

BLOCKWORK

- B1. Concrete blocks shall have a minimum compressive strength of 15 MPa and conform to AS 1500.
- B2. Masonry to be constructed to AS 3700.
- B2. Where cores of hollow blocks are to be filled, properly compacted 20MPa concrete with 10 mm aggregate and 250 mm slump shall be used. Clean out openings must be utilized for all cores.
- B3. Location of actual starters is critical to suit block cores, allow 55 mm cover from the outside face of blockwork. All reinforcement lap lengths to conform to AS 3600.
- B4. Control joints to be placed at a maximum of 8 m centres or in accordance with AS 3700.
- B5. Vertical control joint material where specified on plan between slabs and brick walls shall be: 10 mm Spandex External UNO. Bituminous fibreboard internal UNO.
- B6. Retaining walls or any reinforced and concrete core filled block walls to be of Double 'U' Block Construction.
- B17. No blockwork shall be constructed on suspended slabs until all propping has been removed from the underside of the slab and the concrete has the specified 28 day cylinder strength verified by tests.
- B18. Unless approved by the Structural Engineer.
- B18. Max. pour height for unrestrained blockwork is 2000.

STEEL

- S1. All Structural steelwork to be Grade 300 or greater.
- S2. Design, fabrication and erection to be in accordance with AS 4100.
- S3. Materials and workmanship shall comply with AS 1250 - 1981, SAA Steel Structures Code and the specification for Structural Steel.
- S3. Rolled steel sections including steel plates shall comply with AS 3678 - 1990.
- S4. Cold formed steel sections shall be Grade 450 Zinc coated in accordance with AS 1538-1989.
- S5. Welded and seamless steel hollow sections shall comply with AS 1163. Grade 350.
- S6. Bolt Designation:
- 4.6S - Commercial bolts Grade 4.6, snug tightened.
- 8.8S - High Strength structural bolts Grade 8.8, snug tightened.
- 8.8TB - High Strength structural bolts Grade 8.8, fully tightened to AS 1511 and acting as a Bearing Joint.
- 8.8TF - High Strength structural bolts Grade 8.8, fully tensioned to AS 1511 and acting as a Bearing Joint.
- Unless noted otherwise, all bolts will be 8.8S.
- S7. Unless shown otherwise, minimum connection shall be 2m6 bolts, 10 thick gusset plates, 6mm continuous fillet welds.
- S8. Load indicating washers shall be used in all fully tensioned joints. (8.8TF & 8.8TB).
- S9. All welding shall be carried out in accordance with AS 1554 SAA Structural Steel Welding Code.
- S10. Unless noted otherwise all welds shall be category SP using E10X Electrodes.
- S11. All butt welds shall be complete penetration butt welds category SP.
- S12. Fabrication and erection tolerances for Structural Steelwork shall be in accordance with AS 4100.
- S13. Parlin bolts shall be M12 - 4.6S galvanised.
- S14. Steel work shall have one of the following grades of corrosion protection:-
- INTERNAL
- a. Thoroughly cleaned wire brushing, followed by two coats of zinc phosphate primer equivalent to Dulux Luxopline applied by hand using brushes to achieve a total dry film thickness of 70 microns.

ASSUMED FOUNDATION CLASSIFICATION FOR DESIGN PURPOSES - 1st ASSUMED BEARING STRATA FOR DESIGN PURPOSES - CLAY, ISO kPa. CONTRACTOR TO OBTAIN GEOTECHNICAL CONSULTANT TO VERIFY FOUNDATION CLASSIFICATION

EXTERNAL ELEMENTS, & ELEMENTS WITHIN EITHER SKIN OF EXTERNAL CAVITY WALLS GREATER THAN 2 km FROM SEA WATER.

- a. Preparation Blast clean to a minimum standard Class 2.5 in accordance with AS 1627 Part 4. Primer 2-pack epoxy phosphate at dft. 75 microns (Dulux Duramax P4). Barrier Coat 2-pack epoxy micaceous iron oxide, dft. 100 microns (Dulux Duramax GFE). Thickness 125 microns. Application of a high build polyurethane (Dulux Weathermax HBR) thickness 100 microns.
- b. Where the galvane (Hot Dip Galvanized) coating is compromised by welding, bolting or damage, two pack zinc rich epoxy primer (Dulux Zincate 202) is to be applied after wire brushing affected area (use 3 coats minimum) or Hot Metal Spray in accordance with AS 4680.
- c. Hot dipped galvanized to AS 4680.
- PAINTING OVER HOT DIP GALVANISED STEEL:
- Degrease and preparation with blast. Application of a general purpose epoxy (Dulux Duramax GFE) thickness 125 microns. Application of a high build polyurethane (Dulux Weathermax HBR) thickness 100 microns.
- EXTERNAL ELEMENTS, & ELEMENTS WITHIN EITHER SKIN OF EXTERNAL CAVITY WALLS LESS THAN 2 km FROM SEA WATER:
- d. Preparation blast clean to minimum Class 2.5
- e. Application of a two pack zinc rich epoxy primer (Dulux Zincate 402) thickness 75 microns. Application of a general purpose epoxy (Dulux Duramax GFE) thickness 125 microns. Application of a high build polyurethane (Dulux Weathermax HBR) thickness 100 microns.
- f. Workshop drawings shall be prepared and two copies submitted to the engineer for review prior to fabrication commencement.

TIMBER

- T1. All workmanship and materials to be in accordance with AS 1684, AS 1720 and as 3954. All soft wood to be Grade F7 unless noted otherwise. All hardwood to be minimum Grade F14 unless otherwise noted. Exposed timber to be CCA treated (to AS 1604) redried after full impregnation, or durability class 1, 2 or 3.
- T2. ALL SOFTWOOD TIMBER FRAMING TO HAVE A MINIMUM TREATMENT PROTECTION OF 42 OR T2 TREATED FOR TERMITE PROTECTION UNLESS NOTED OTHERWISE.
- T3. All joists deeper than 150 to have blocking over support beams and at a maximum 3000 centres.
- T4. All joists deeper than 150 to have blocking over support beams and at a maximum 3000 centres.
- T5. Roof trusses to be designed by the manufacturer to the relevant standards. Pile camber to be an amount equal to dead load deflection u.n.o.
- T6. All holes for bolts to be exact size. Washers to be used under all heads and nuts and to be at least 2.5 times the bolt diameter. Bolts to be M16 grade 4.6 unless noted otherwise.
- T7. Treat all exposed cut ends with Resol by Protim to manufacturers specification to achieve required Hazard Level Exposure Classification.
- T8. Bottoms for T & G to be Kiln Dried to 12 %, 38mm minimum. deep treated pine or as recommended by supplier. Flooring to be installed no sooner than 28 days after slab pour.
- T9. Hot dip galvanized nails/screws to be used with all timber connections.
- T10. Continuous nailing must not be used for any timber connections.
- T11. All exposed CCA treated pine to have an application of penetrating sealer to reduce moisture content in service.
- T12. All Stud walls to be 90x45 F7 Kiln Dried.
- T12 Treated at 450 Cts and noggings to AS 1684.

COMPACTED FILL

- C1. Only to be used with approval by Engineer & to be certified by a geotechnical Engineer.
- C2. Clear organic material, topsoil and any uncontrolled existing fill under proposed slabs/footings.
- C3. Filling shall be granular material compacted in not more than 200 mm layers to a minimum dry density ratio (AS 1299/E2, 1982) of 98 percent standard maximum dry density.
- C4. During clearing and excavation for slabs and footings out cut soft spots and fill as above.
- INSPECTIONS BY ENGINEER**
- 48 HOURS NOTICE IS REQUIRED BEFORE ANY SITE INSPECTION
1. Bearing strata of all footings prior to concrete pour by Geotechnical Engineer.
2. Any reinforcement prior to concrete pour.
3. Timber and Steel framing prior to cladding or lining.
4. Steel linings after installation.
5. CONTACT YOUR PCA (Principal Certifying Authority) AS TO REQUIREMENTS FOR MANDATORY CRITICAL STAGE INSPECTIONS IN ACCORDANCE WITH REVISED EPA ACT REGULATIONS EFFECTIVE JULY 1, 2004.
6. Inspection by Geotechnical Engineer over 15m of vertical cut through Sandstone bed rock to permit identification of defects and remedial measures initiated.

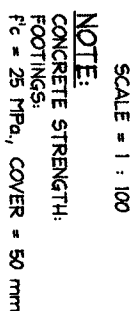
This plan/document forms part of the approved certificate as issued by Mathew Bodley 0037

Northern Beaches Consulting Engineers Pty Ltd.

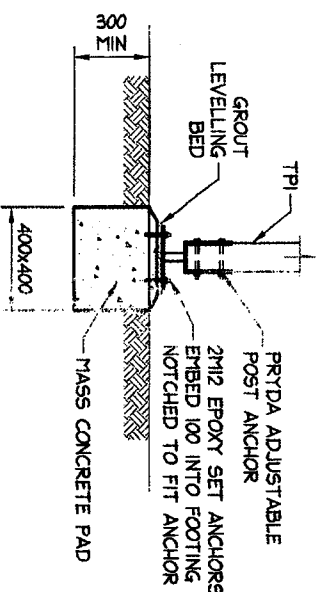
DOCUMENT CERTIFICATION		NORTHERN BEACHES Consulting Engineers P/L		Project: ALTERATIONS & ADDITIONS AT: 132 AVALON PDE, AVALON	
Client:	Architect:	Author:	Checked:	Job No:	Drawing No:
May 10				100346	501
Signature	Signature	Signature	Signature		
Rev:	Amendment:				

DOCUMENT CERTIFICATION		NORTHERN BEACHES Consulting Engineers P/L		Project: ALTERATIONS & ADDITIONS AT: 132 AVALON PDE, AVALON	
Client:	Architect:	Author:	Checked:	Job No:	Drawing No:
May 10				100346	501
Signature	Signature	Signature	Signature		
Rev:	Amendment:				

1. ALL DIMENSIONS TO BE VERIFIED ON SITE BY BUILDER BEFORE COMMENCING WITH WORK.
2. FOR GENERAL NOTES REFER TO DRAWING NUMBER: SOI.



PFI - 400x400x300D DEEP PAD FOOTING IN CLAY
TPI - 140x140 F7 KD, H3 TREATED - TIMBER POST



TYPE 'PFI' PAD FOOTING

SCALE = 1 : 20

This plan/document forms
part of the approved
Certificate as issued by
Mathew Bodley 0037

IF IN DOUBT ASK

NB Northern Beaches Consulting Engineers Pty Ltd.

- NOTES:**

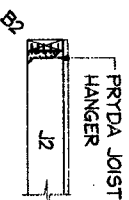
1. REPOINT EXISTING WALLS EACH SIDE OF NEW AND EXISTING, EXCEPT WHERE SUPPORTING NEW BEAMS WITH CENTRIC PORTLAND CEMENT MORTAR COVERING MINIMUM 4 B.C. BELOW BEAM. ENGINEER TO CONFORM EXISTING DURING DEMOLITION WORKS ONCE INSPECTED.
2. ORGANIC TERTITE TREATMENT TO BE CARRIED OUT TO PERIMETER OF ENTIRE BUILDING AND SUB-FLOOR AREAS. ANNUAL INSPECTIONS AND TREATMENT AS REQUIRED SHALL BE THE RESPONSIBILITY OF THE PROPRIETOR.
3. WALL FRAMING SHALL BE IN ACCORDANCE WITH AS 1684 TIMBER FRAMING CODE AND NEW TIMBER FRAMING MANUAL. 90x65 F7 KILN DRIED T2 TREATED STUDS AT 450 CTS.
4. BRACE WALLS AND ROOF IN ACCORDANCE WITH AS 1684 TIMBER FRAMING CODE AND NEW TIMBER FRAMING MANUAL.
5. THE DOWNS TO ROOF RATTERS, PURLINS, BEAMS AND LINTELS SHALL BE IN ACCORDANCE WITH AS 1684 TIMBER FRAMING CODE AND AS 1702 WIND LOADING CODE.
6. TRIM FLOOR/ROOF OPENINGS WITH EQUIVALENT JOIST/RATTFER/PURLINS SIZES UNLESS NOTED OTHERWISE.
7. TIMBER FRAMED DECK HAS BEEN DESIGNED FOR DECKING BOARDS OVER ONLY.
8. ALL EXTERNAL/EXPOSED STEELWORK INCLUDING THOSE WITHIN CAVITY WALLS TO BE HOT DIP GALVANIZED. REFER DRAWING. NO. 501 STEEL SECTION FOR DETAILS. INTERNAL BEAMS WHICH BEAR ON CAVITY WALLS MUST BE PAINTED WITH ZINCALCODE 304 WHERE EXPOSED TO CAVITY AND BRICKWORK.
9. EXTERNAL/EXPOSED HARDWOOD MEMBERS TO BE DURABILITY CLASS 2 OR BETTER (AS 1604) THEN STAINED OR PAINTED.
10. ENGINEER TO INSPECT AND CERTIFY ALL FRAMING AND BRACING PRIOR TO SHEETING.

MEMBER SCHEDULE:

TPI - 160x40 FT KD, HS TREATED - TIMBER POST
BRI, BE3 - 260x45 FT KD, HS TREATED - BEARER
BR2, 2 x 240x45 FT KD, EACH SIDE OF POST, NAIL & GLUE LAMINATED
BI-S2 - 160x70 FT KD, HS TREATED - BEAMS
D1 - 400x65 FT KD, HS TREATED - JOISTS AT 480 CTS
D2 - 400x65 FT KD, HS TREATED - JOISTS AT 480 CTS
D1J - DOUBLE JOISTS (J1)
D2J - DOUBLE JOISTS (J2)
TBS - TENSIONED ROD BRACING

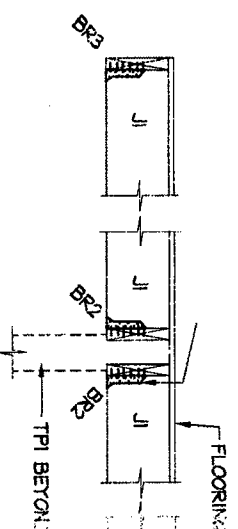
NOTE:

1. MGP 12 MAY BE SUBSTITUTED FOR F7 SOFTWOOD OR LESS. MGP MUST NOT BE USED AS A SUBSTITUTE WHERE HARDWOOD IS SPECIFIED.
2. ALL TIMBER SHALL BE KILN DRIED, DO NOT USE GREEN TIMBER.
3. ALL SOFTWOOD TIMBER FRAMING TO HAVE A MINIMUM TREATMENT PROTECTION OF H2 OR T2 TREATED FOR TERMITES PROTECTION U.N.O

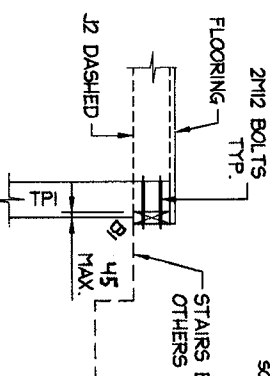


TYPICAL JOIST-BEAM

SCALE = 1 : 20

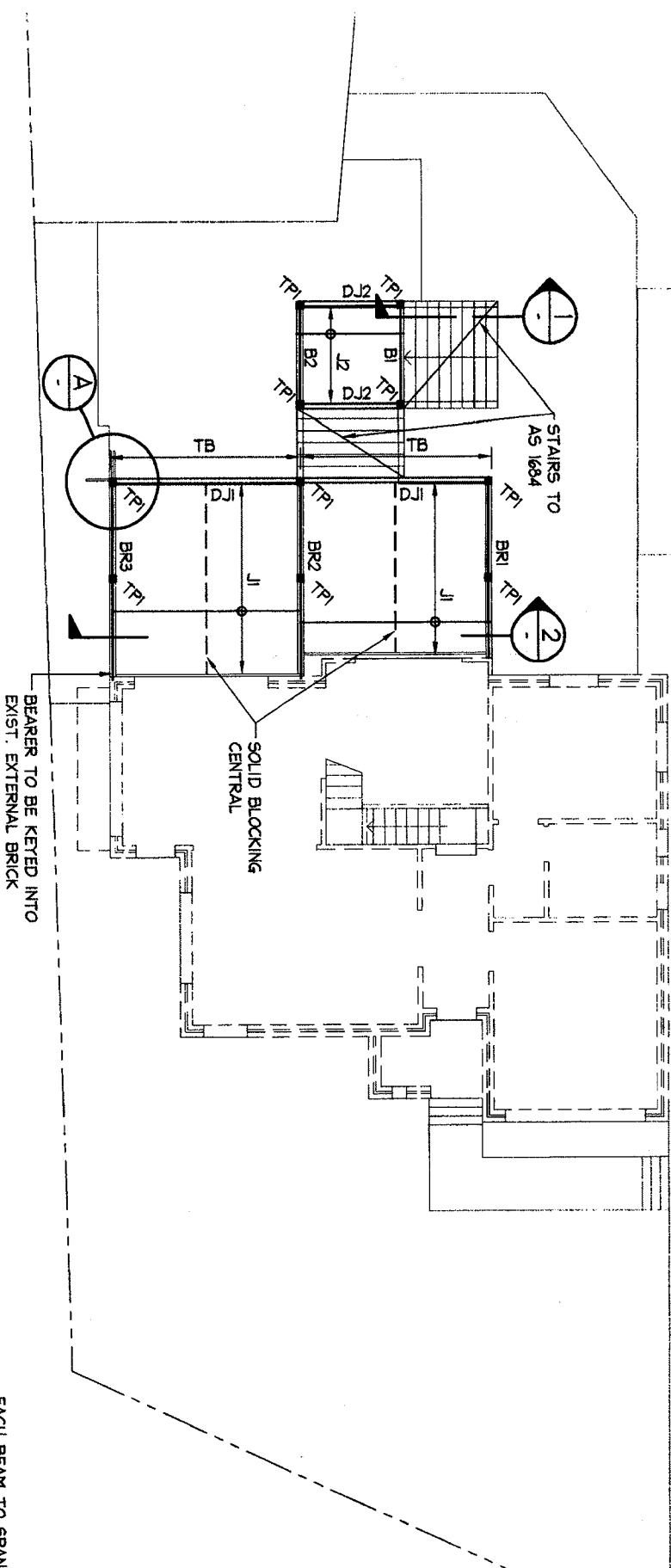


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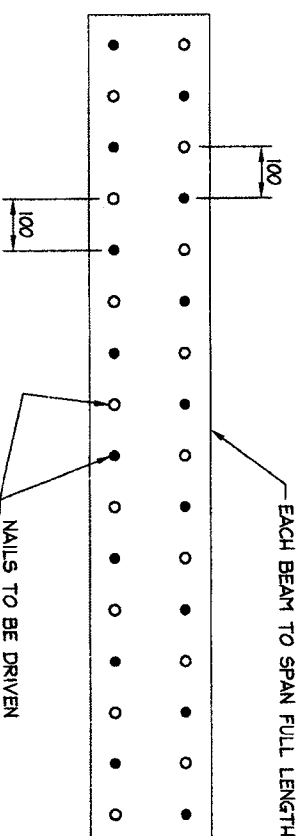


GROUND FLOOR FRAMING PLAN

SCALE = 1 : 100



— BEARER TO BE KEYED INTO
EXIST. EXTERNAL BRICK



BEAM ELEVATION

**— NAILS TO BE DRIVEN
ON ALTERNATE SIDES**



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BEAM SECTION

TYPICAL GLUE AND NAIL LAMINATED MEMBER DETAILS

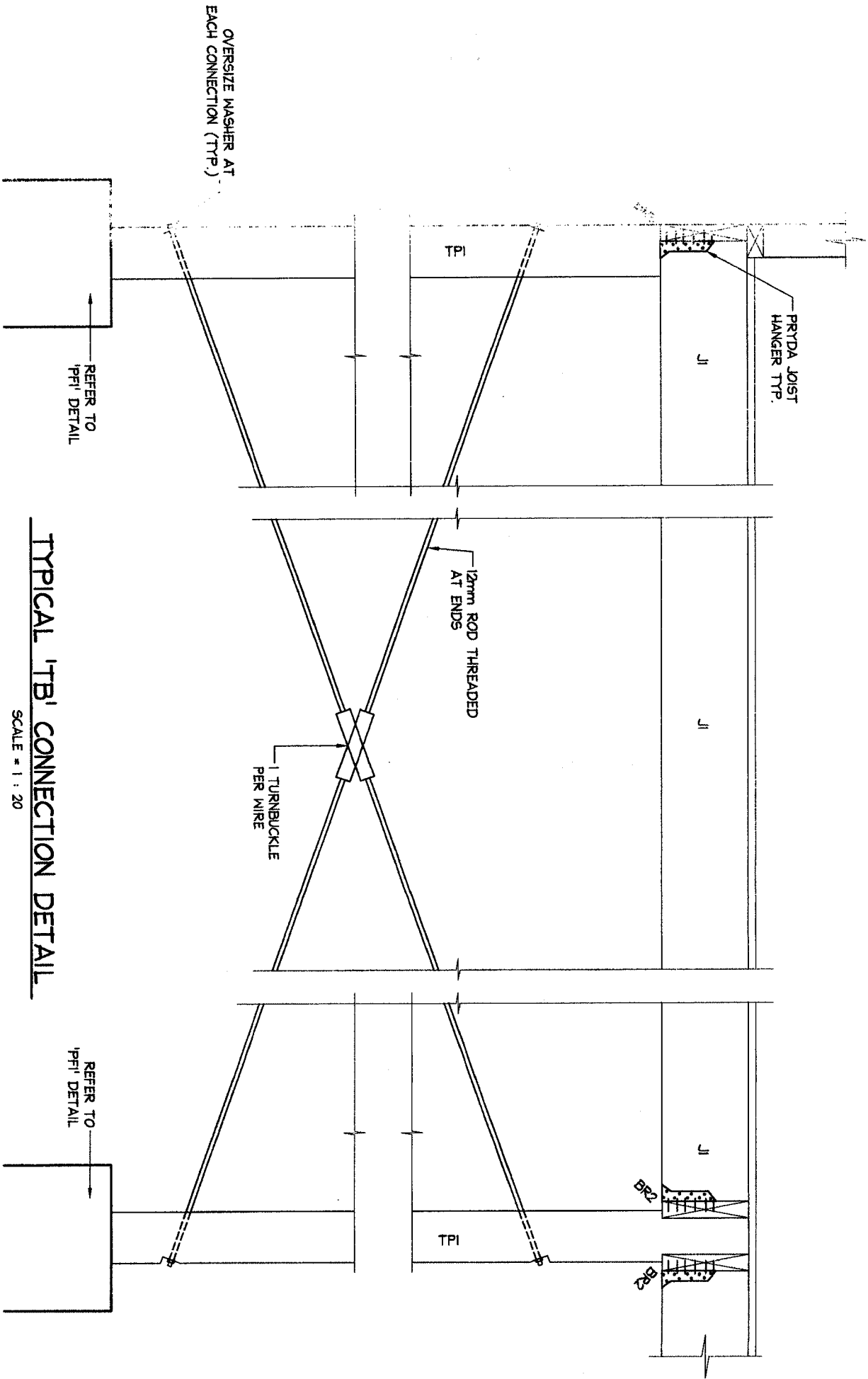
SCALE # 1 : 10

A2		SCALE = 1:20	
DOCUMENT CERTIFICATION Date: <i>May 10</i> 2010 <i>R. Wynn</i> Rick G. Wynn 3E(Civil) CREATINGEASYS, NPER Director Northern Beaches Consulting Engineers The copyright of this drawing remains with Northern Beaches Consulting Engineers Pty Ltd.		NORTHERN BEACHES Consulting Engineers P/L A.C.N 078 121 816 A.B.N. 24 076 121 816 Suite 207, 30 FISHER ROAD DE WYH NSW 2089 P.O. (02) 9894 7000 Fax: (02) 9894 7444 e-mail: rfg@nbeconline.com.au web page: www.nbeconsulting.com.au	
Architect: ENVIROTECTURE KRITHIA EDWARDS		Project: ALTERATIONS & ADDITIONS AT: 132 AVALON PDE, AVALON	
Drawing Title: GROUND FLOOR FRAMING PLAN & DETAILS		Date: APR '10	Draught: STABB
Job No.: 100346		Drawing No.: 503	Checked: <i>R. Wynn</i>
Rev.: -			

- NOTES:**

1. ALL DIMENSIONS TO BE VERIFIED ON SITE BY BUILDER BEFORE COMMENCING WITH WORK.
2. FOR GENERAL NOTES REFER TO DRAWING NUMBER: S01.

- NOTES:**
1. ALL DIMENSIONS TO BE VERIFIED ON SITE BY BUILDER BEFORE COMMENCING WITH WORK.
 2. FOR GENERAL NOTES REFER TO DRAWING NUMBER: 501.



SCALE = 1 : 20

TYPICAL 'TB' CONNECTION DETAIL

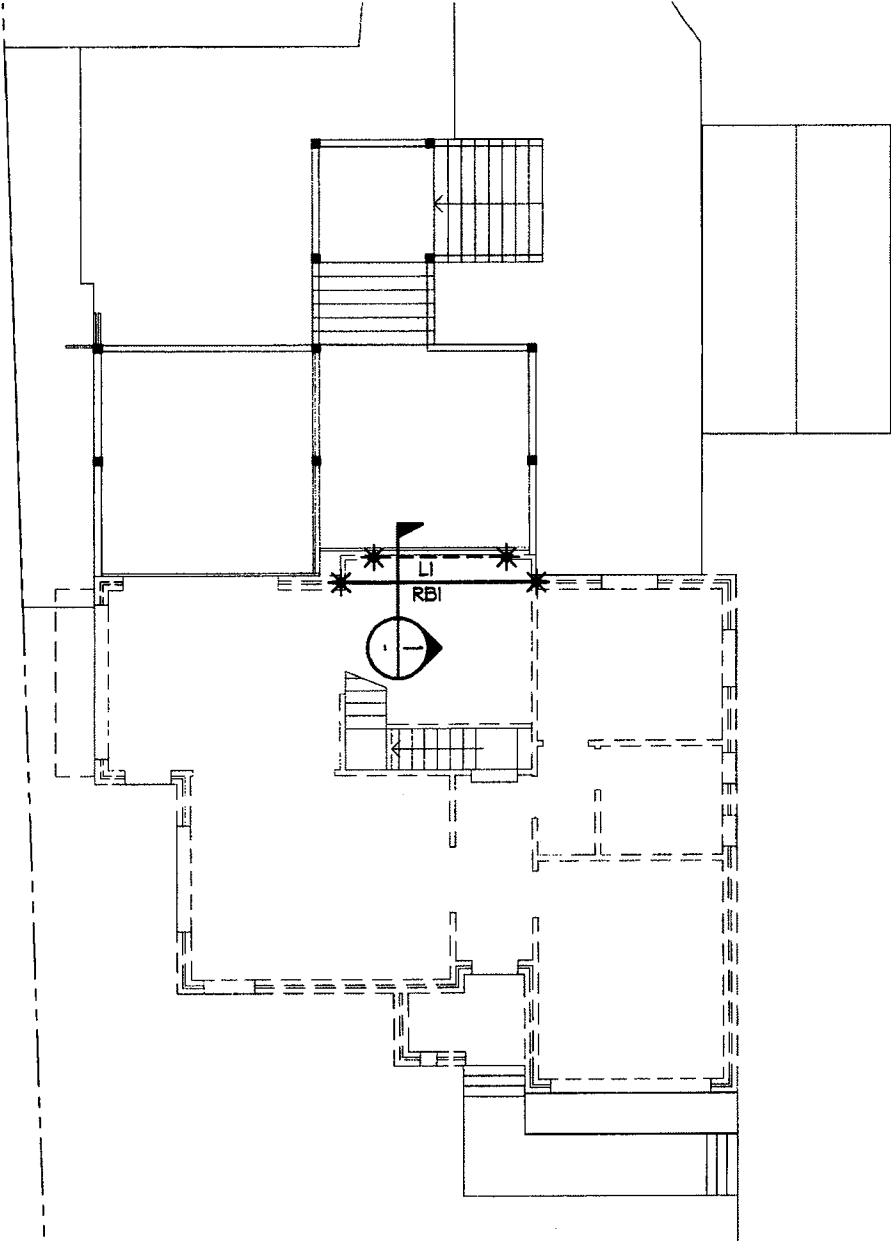
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A2		DOCUMENT CERTIFICATION		NORTHERN BEACHES Consulting Engineers P/L		Architect: ENVIROTECHTURE		Project: ALTERATIONS & ADDITIONS AT: 132 AVALON PDE, AVALON		Date: APR '10		Design: STIABB		Drawn: RYAN		Checked: <i>AK</i>	
Date:		Rick G. Wray (Director Northern Beaches Consulting Engineers P/L)		A.C.N. 008 121 616 A.B.N. 24 008 121 616		Client: KRITHIA EDWARDS		Drawing Title: GROUND FLOOR BRACING DETAILS		Job No: 100346						Rev: -	
Rev:		Amendment:		Sole 20/ 30 FISHER ROAD DEE WHY N.S.W. 2099													
By:		The copyright of the drawing remains with Northern Beaches Consulting Engineers P/L		P.O. 002 9984 7000 Fax: (02) 9984 7444													
				e-mail: nbe@northernbeaches.com.au													
				web page: www.nbeconsulting.com.au													

N Northern Beaches Consulting Engineers Pty Ltd.

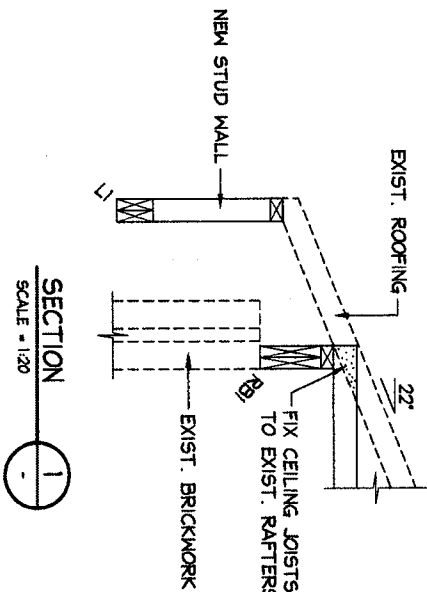
- NOTES:**
1. ALL DIMENSIONS TO BE VERIFIED ON SITE BY BUILDER BEFORE COMMENCING WITH WORK.
 2. FOR GENERAL NOTES REFER TO DRAWING NUMBER: S01.



ROOF FRAMING PLAN

SCALE = 1 : 100

MEMBER SCHEDULE:
L1 - 2 x 190x45 F7 KD - LINTEL
RBI - 2 x 240x45 HTSPAN LVL - ROOF BEAM



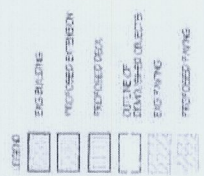
SECTION 1
SCALE = 1:20

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IF IN DOUBT ASK

N Northern Beaches Consulting Engineers Pty Ltd.

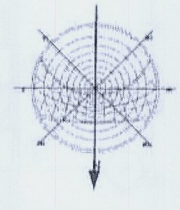
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Date: 1 MAY 10		Rick G. Wray 35(Civil) CPEng, HIRAWA, NFER (Director Northern Beaches Consulting Engineers)		A.C.N. 095 121 616 A.B.N. 24 076 121 616 Suite 207, 30 FISHER ROAD DEE WYTH N.S.W. 2099 Ph: (02) 9994 7000 Fax: (02) 9994 7444 e-mail: rs@nbcconsulting.com.au web page: www.nbcconsulting.com.au		Client: KRITHIA EDWARDS		Drawing Title: ROOF FRAMING PLAN & DETAILS		Job No: 100346		Drawing No: S05		Rev: -	
Rev:		Amendment:													



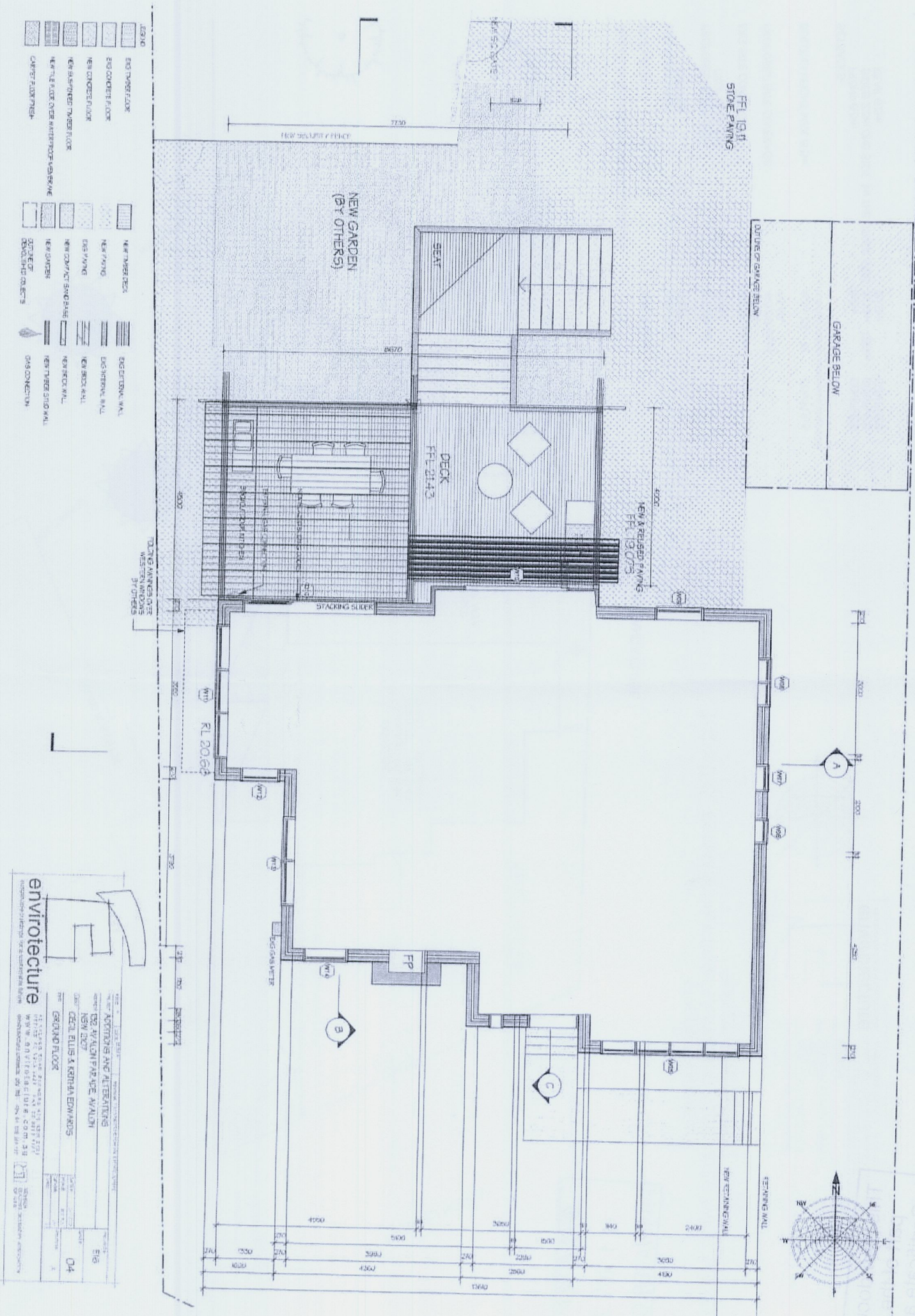
SITE MEASUREMENTS
DOM SOUTH AND ASSOCIATES PAPER SURVEY
SURVEY NUMBER: 98-97

[illegible]

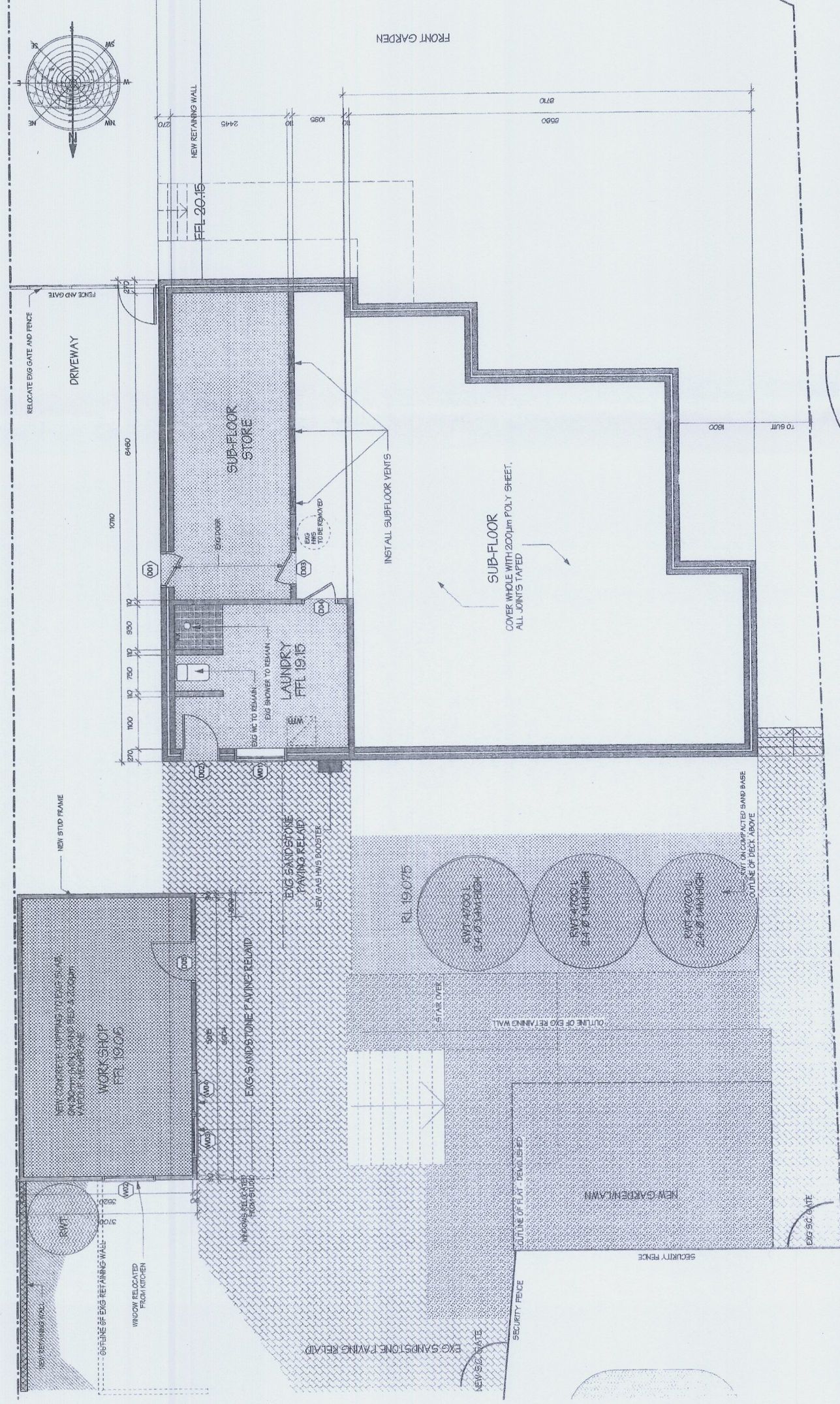
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DESIGN GUIDELINE COMPLIANCE CHECKLIST	
SITE AREA	886.5 sq.m
EXG FLOOR AREA	193.19 m ²
EXG FSR	0.22:1
PROPOSED FLOOR AREA	176.03 m ²
PROPOSED FSR	0.20:1
EXG SITE COVERAGE	430.6 sq.m
	48.6%
PROPOSED SITE COVERAGE	413.89 sq.m
	46.6%
BUILDING HEIGHT	MAX. 8.5m
SETBACKS:	
FRONT	8.5m
SIDES	2.5m
ONE SIDE	1m
THE OTHER SIDE	
REAR	6.5m
COMPLIES	8.7m
COMPLIES	3.03m - 126m
COMPLIES	25.5m
COMPLIES	



Condition #13B
Driveway gate to
be im^{max} from natural
ground.



CAUTION!
This drawing is to be read **ONLY** in conjunction with
BASIX Certificate number: A48104

NOTE: If this number does not match the number
on the certificate, then this drawing is invalid for the
purpose of the application.

PITTSBURGH COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

envirotechture

sustainable buildings for a sustainable future

MEMBER OF THE ENVIRONMENTAL ASSOCIATION OF NEW ZEALAND

NAME / FIRM: **ENVIROTECHTURE**

ADDRESS: **82 MAYALON GRADE, AVALON NEW 2007**

CLEARF: **CECIL ELLIS & KRITHIA EDWARDS**

OWN: **ENVIROTECHTURE**

PROJECT # **E16**

DATE: **2006/11**

DATE: **11-02-07**

SCALE: **300/1 AS**

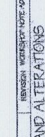
PROJECT: **NEWBORN**

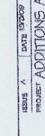
NO: **03**

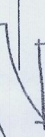
CLASS: **A**

PROPOSED SUBPOOR AND OUTBUILDING

18 SALANG ROAD, ELVENEHURST NEW 2011







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Certificate as issued by
Mathew Bodley 0037

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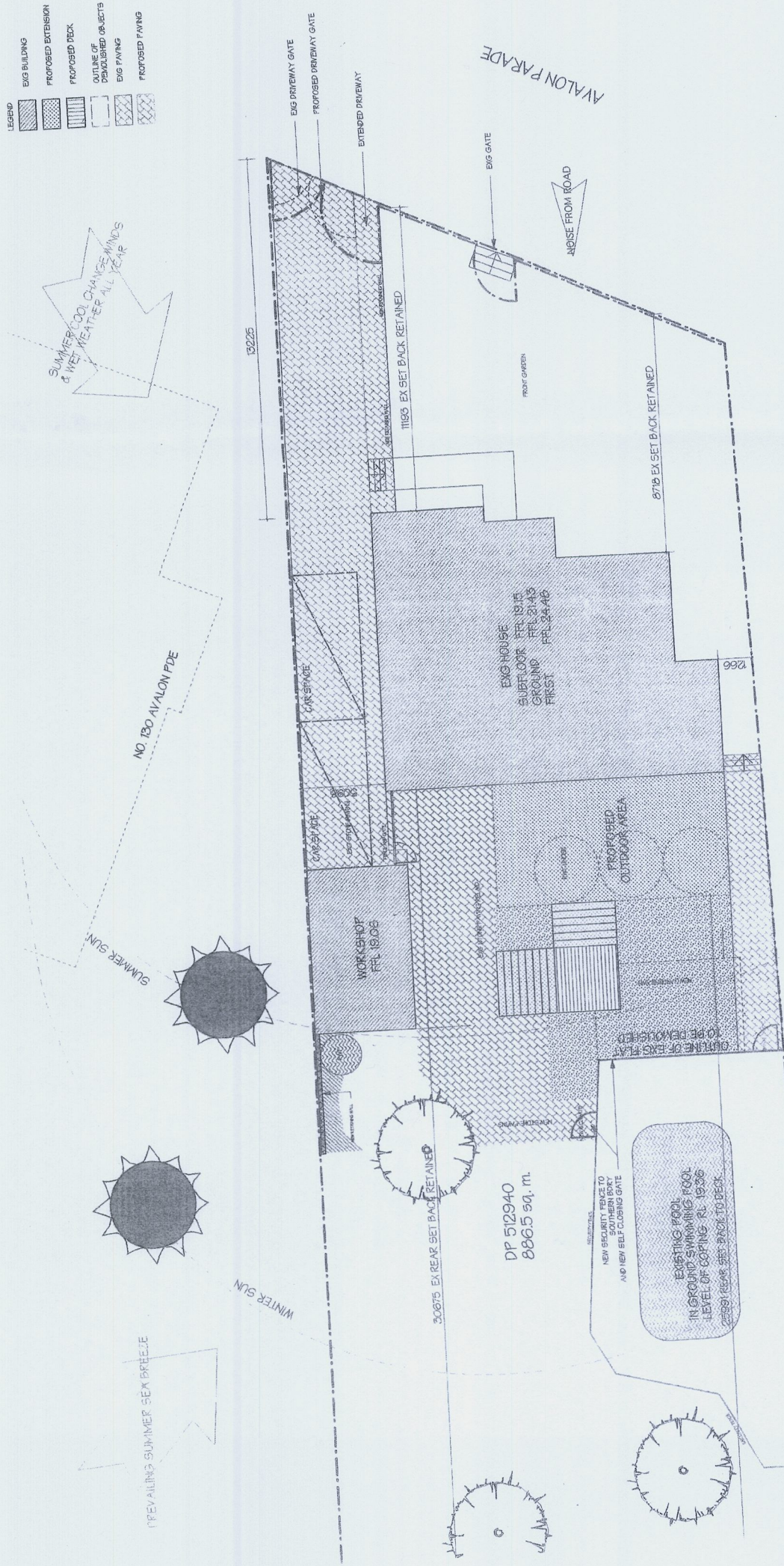
PITTSWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPER'S CONSENT



CAUTION!
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- LEGEND
- EXIST BUILDING
 - PROPOSED EXTENSION
 - PROPOSED DECK
 - OUTLINE OF EXISTING OBJECTS
 - EXIST PAVING
 - PROPOSED PAVING



PITWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

SITE MEASUREMENTS
ESTIMATE ONLY FROM SOUTH AND ASSOCIATES PAPER SURVEY
NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT

PROJECT	ADDITIONS AND ALTERATIONS	PROJECT #	E16
ADDRESS	330 AVALON PARADE, AVALON	DATE	2017
CLIENT	CECIL ELLIS & KRITHA EDWARDS	SCALE	1:500
DRAWN	ENVIROTECHTURE	DATE	2017
CHECKED	ENVIROTECHTURE	DATE	2017
APPROVED	ENVIROTECHTURE	DATE	2017

envirotechture
sustainable buildings for a sustainable future

14 AVALON ROAD, AVALON, NSW 2107
OFFICE: 02 9511 5111
MOBILE: 04 1234 5678
EMAIL: info@envirotechture.com.au
WWW: www.envirotechture.com.au

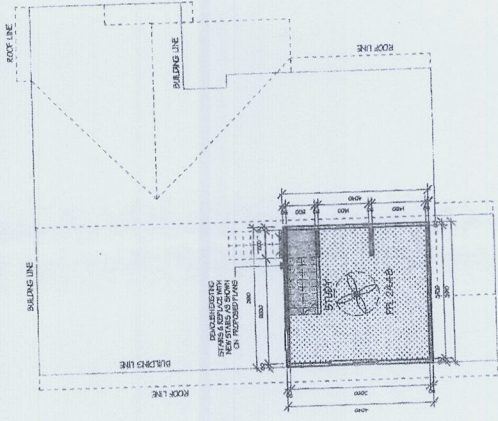
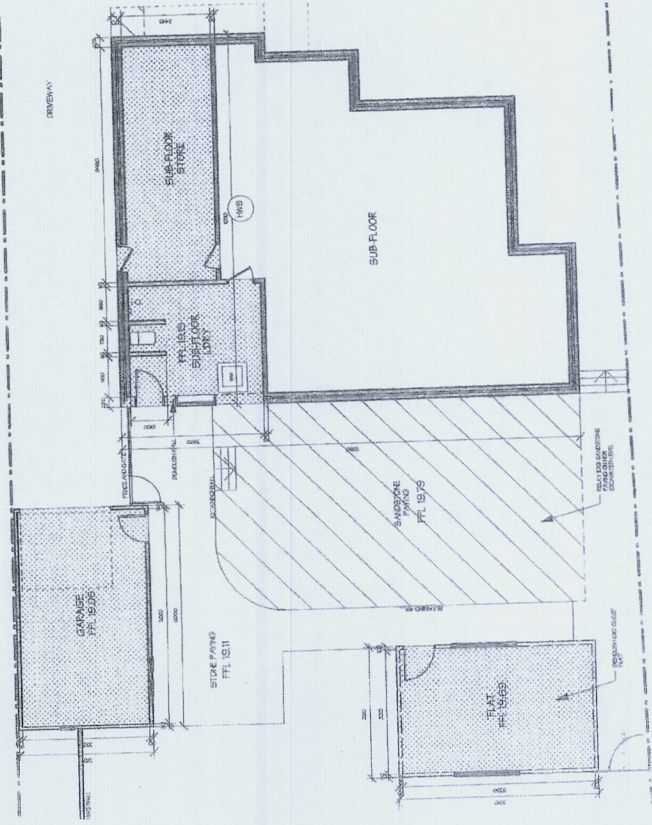
KATRANDA CLOSE

OCCASIONAL HOT DRY
SUMMER WINDS

DESIGN GUIDELINE COMPLIANCE CHECKLIST:

SITE AREA	886.5 sq.m	
EXG FLOOR AREA	193.18 m2	
EXG FSR	0.22:1	
PROPOSED FLOOR AREA	176.03 m2	
PROPOSED FSR	0.20:1	
EXG SITE COVERAGE	430.6 sq.m	
PROPOSED SITE COVERAGE	40.6%	
BUILDING HEIGHT MAX. 8.5m	46.6%	
SETBACKS:	8.3m GL - RL	COMPLIES
FRONT 6.5m	PROPOSAL DOES NOT EXCEED EXG BUILDING HEIGHT	COMPLIES
SIDES 2.5m ONE SIDE 1m THE OTHER SIDE		COMPLIES
REAR 6.5m		COMPLIES

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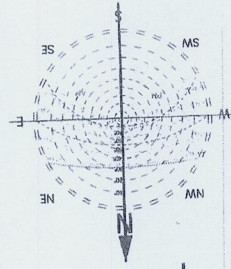
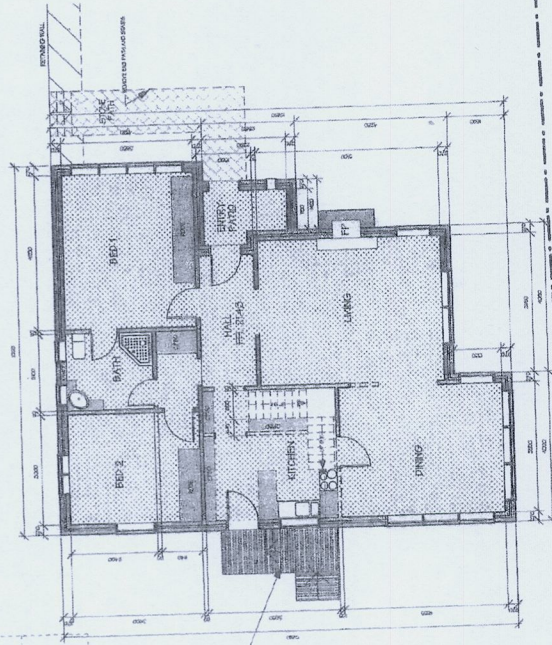
CAUTION!

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the certificate, then this drawing is invalid for the
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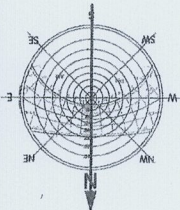
PITTSBURGH COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

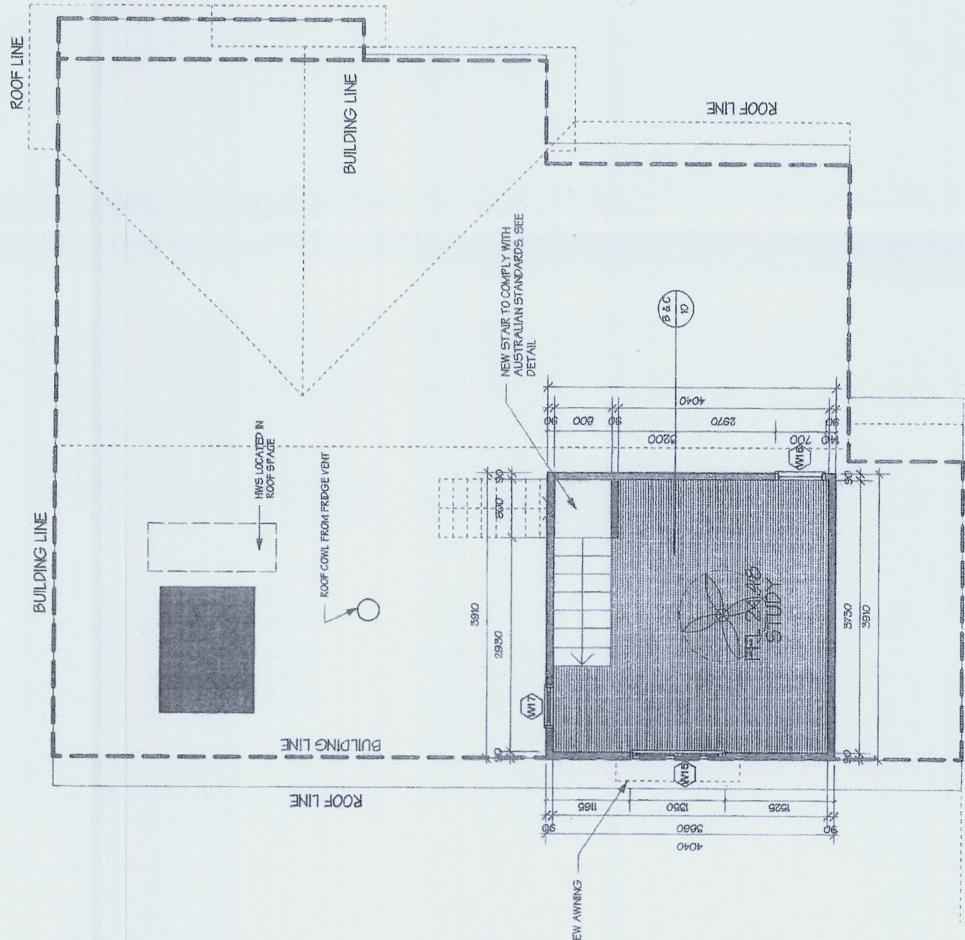


		15 VALAND ROAD, BLANDFORD, DT11 9AB WWW.ENVIROSTRUCTURE.COM.UK enquiries@envirostructure.co.uk	
COLL.	DATE	REVISION	
PROJECT: ADDITIONS AND ALTERATIONS ADDRESS: 132 AVONLON PARADE, AVONLON COUNTY: NEW ZEALAND CLIENT: CECIL ELLIS & KRITHIA EDWARDS DRAW: EXISTING FLOOR PLANS			
DATE: 05/02/03 DRAWN: JAC CHECK: JAC		DATE: 02 DRAWN: JAC CHECK: JAC	
PROJECT: E16		DRAWN: JAC CHECK: JAC	

EXISTING GROUND FLOOR



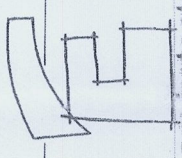
CAUTION!
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BASIX Certificate number: A68104
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APPROVED DEVELOPMENT CONSENT PLANS

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DEVELOPMENT CONSENT

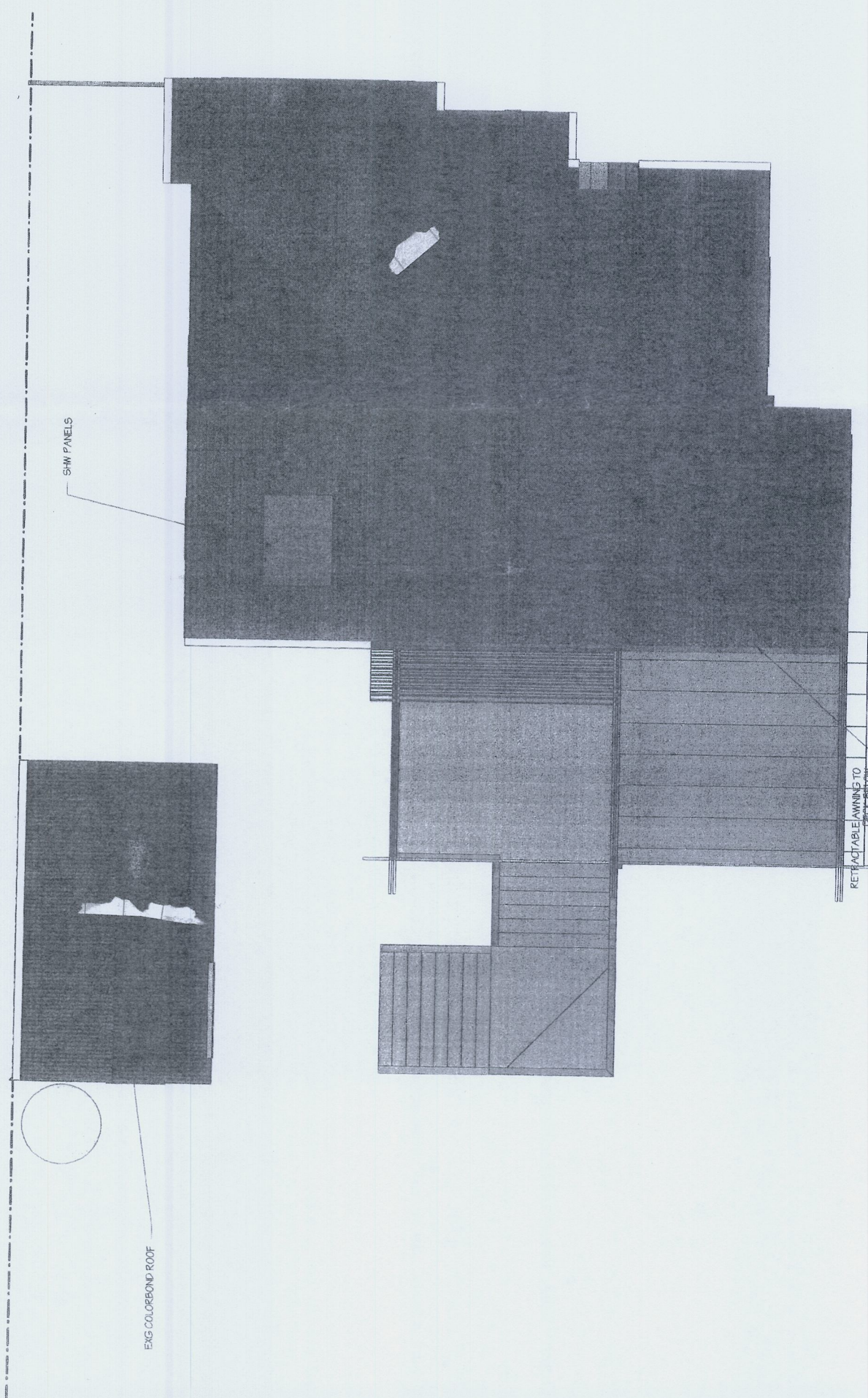
LEGEND	
	EXIST TIMBER FLOOR
	EXIST CONCRETE FLOOR
	NEW CONCRETE FLOOR
	NEW SUSPENDED TIMBER FLOOR
	NEW TILE FLOOR OVER WATERPROOF MEMBRANE
	CARPET FLOOR FINISH
	NEW TIMBER DECK
	NEW PAVING
	EXIST PAVING
	NEW COMPACT SAND BASE
	NEW GARDEN
	OUTLINE OF DEMOLISHED OBJECTS
	EXIST EXTERNAL WALL
	EXIST INTERNAL WALL
	NEW BRICK WALL
	NEW BRICK WALL
	NEW TIMBER STUD WALL
	GALE BRICK WALLS TO BE STABILIZED



sustainable buildings for a sustainable future

ISSUE A	DATE 05/05/2023	PROJECT WALL RESOLUTION CODE	PROJECT #
PROJECT ADDITIONS AND ALTERATIONS		E16	
322 AVOLON PARADE, AVOLON		SUBS	
NEW 2/07		05	
CECIL ELLIS & KRITHA EDWARDS		OWNER	
FIRST FLOOR		SECTION	
322 AVOLON PARADE, AVOLON, NSW 2107		A	
WWW.ENVIROARCHITECTURE.COM.AU		MEMBER ASSOCIATION	
enviroarchitecture		OF NEW	

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LEGEND

- EXG TILE ROOF
- EXG COLORBOND ROOF
- EXG GUTTERS

envirotecture

sustainable buildings for a sustainable future

48 HALLANG ROAD, ELANDRA, NT 5015
WWW.ENVIROTECTURE.COM.AU
TEL: 08 8311 0111
FAX: 08 8311 0111
PO BOX 277, ELANDRA, NT 5015

PROJECT: ADDITIONS AND ALTERATIONS
ADDRESS: 132 AVALON FRADE, AVALON
NSW 2107
CLIENT: CECIL ELLIS & KRITHA EDWARDS
DATE: 24/02/20
SCALE: 1:100
DRAWN: [Signature]
CHECKED: [Signature]
DATE: 24/02/20

PROJECT: E6
DATE: 24/02/20
SCALE: 1:100
DRAWN: [Signature]
CHECKED: [Signature]
DATE: 24/02/20

MEMBER
BUILDING
INDUSTRY
ASSOCIATION
OF NSW

PITTSWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

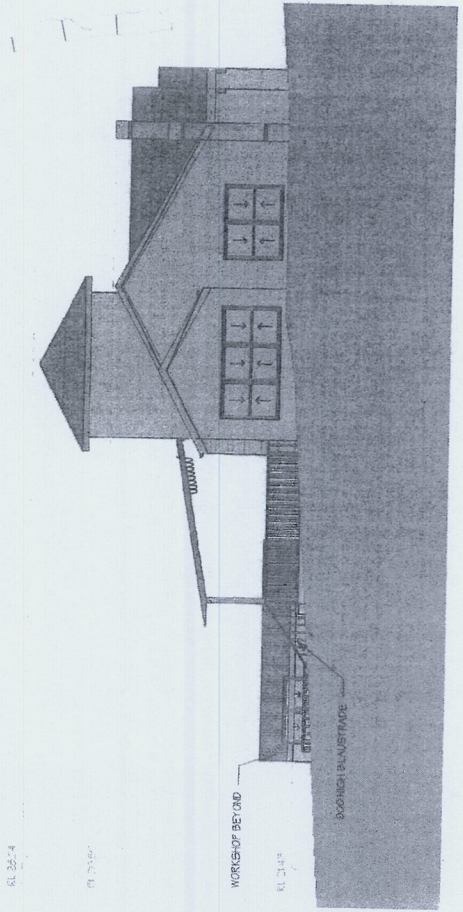
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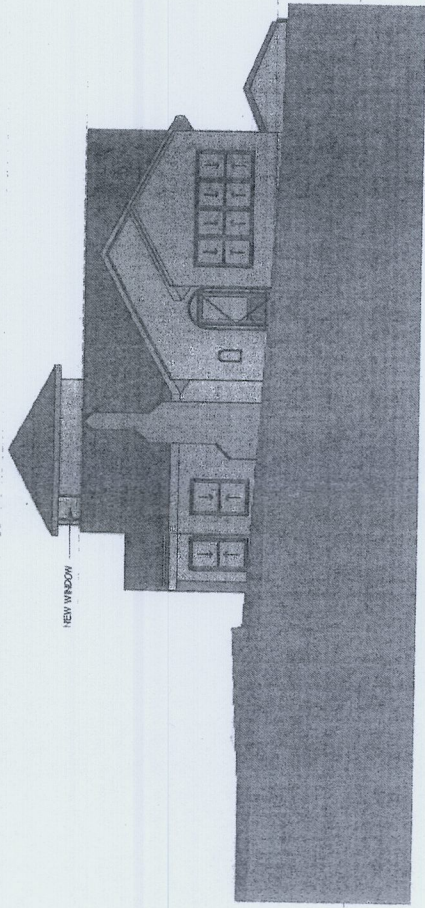
CAUTION!

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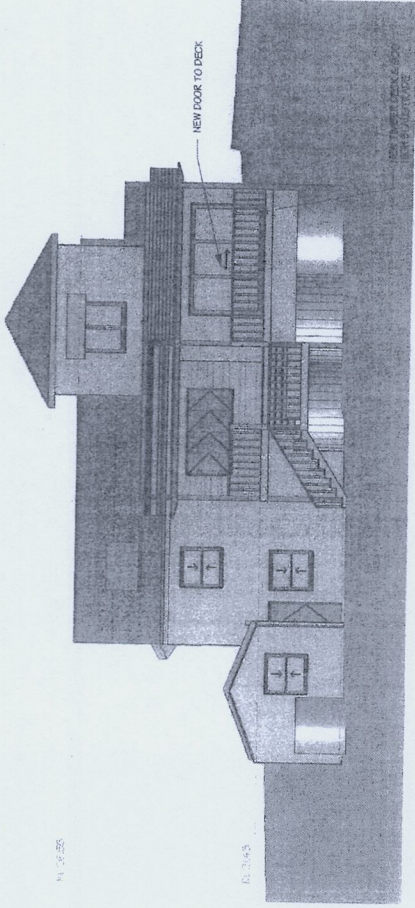
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the certificate, then this drawing is invalid for the
purpose of the application.



WEST ELEVATION



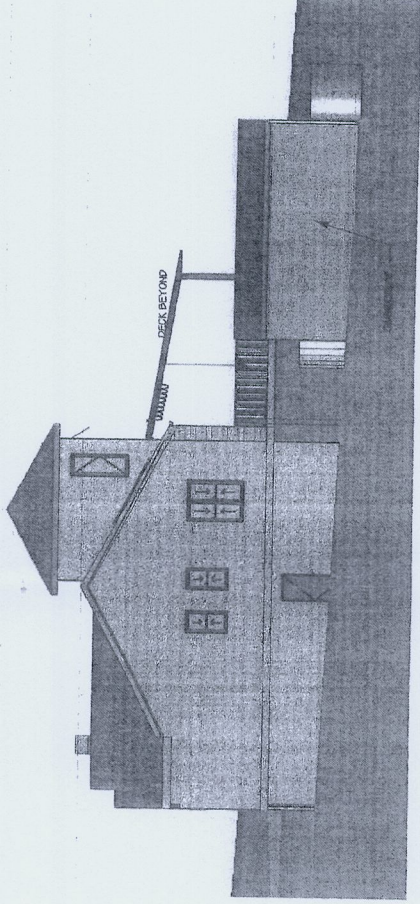
SOUTH ELEVATION



NORTH ELEVATION

- LEGEND
- EXIST BUILDING
 - EXIST FLE ROOF
 - NEW EXTENSION
 - NEW COLORBOND ROOF

EAST ELEVATION

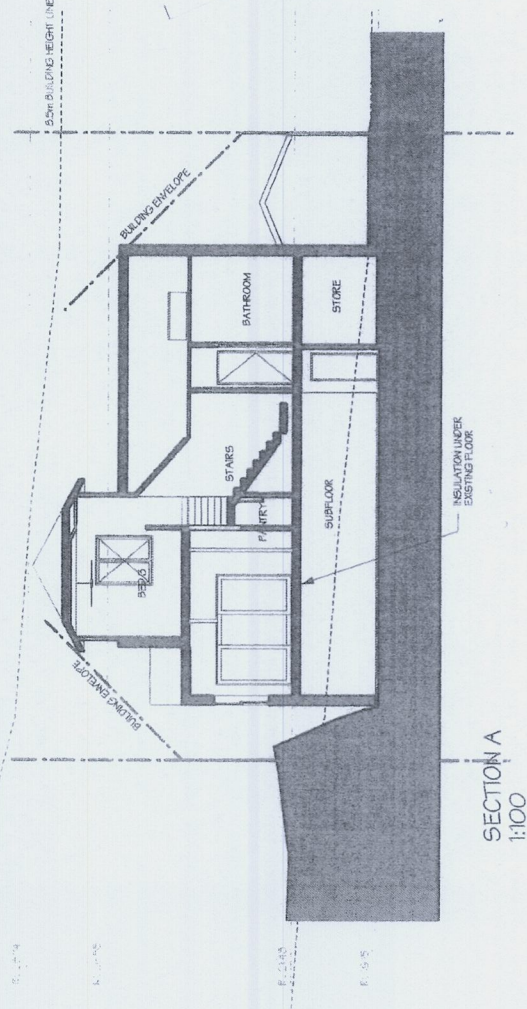


PITTWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

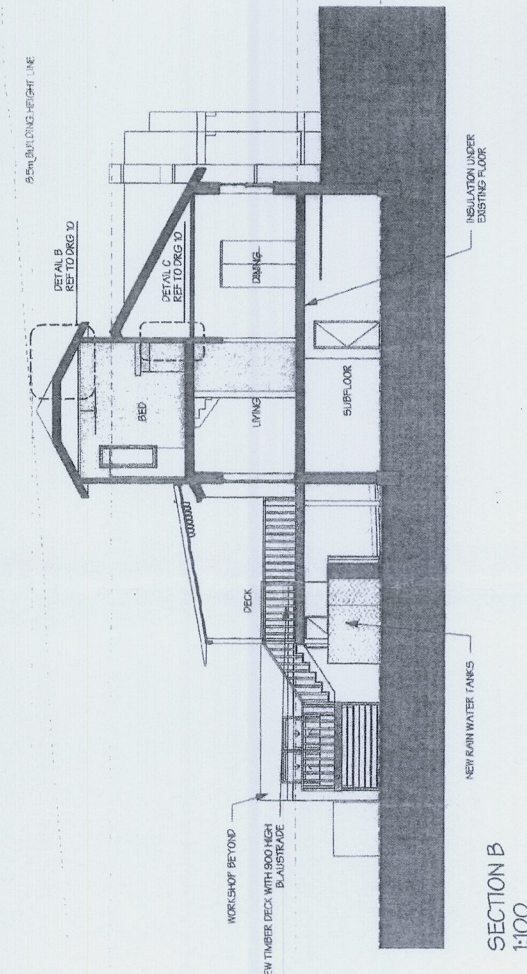
NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT

envirotecure	18 KALLINGS ROAD, SANDHILL, VIC 3048 OFFICE 03 9413 3837 FAX 31 4914 4181 WWW.ENVIROTECURE.COM.AU	PROJECT 2 ADDITIONS AND ALTERATIONS 182 AVAALON PARADE, AVAALON NSW 2071	DATE 12/02/2013	SCALE 1:500	REGION VIC	PROJECT 2 E/C
envirotecure	18 KALLINGS ROAD, SANDHILL, VIC 3048 OFFICE 03 9413 3837 FAX 31 4914 4181 WWW.ENVIROTECURE.COM.AU	CLIENT CECIL ELLIS & KRITHIA EDWARDS	DATE 12/02/2013	SCALE 1:500	REGION VIC	PROJECT 2 E/C
envirotecure	18 KALLINGS ROAD, SANDHILL, VIC 3048 OFFICE 03 9413 3837 FAX 31 4914 4181 WWW.ENVIROTECURE.COM.AU	PROJECT 2 ADDITIONS AND ALTERATIONS 182 AVAALON PARADE, AVAALON NSW 2071	DATE 12/02/2013	SCALE 1:500	REGION VIC	PROJECT 2 E/C

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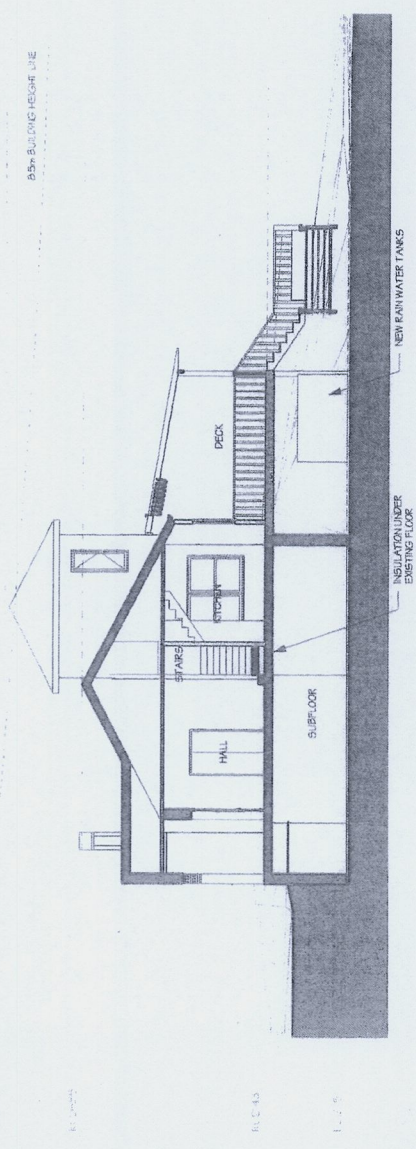


SECTION A
1:100



SECTION B
1:100

Glazing requirements					Show on DA Plans	Show on CDDPC Plans & Specs	Certifier Check
Window ID	Orientation	Area of glass frame (m ²)	Overshading Height (m)	Distance (m)	Shading device	Frame and glass type	
W08	W	1.08	0	0	leaves/verandah/pergola/balcony >=450 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC 0.66)	
W07	N	3.1	0	0	awning (adjustable) >=900 mm	timber or uPVC, clear/au gap/clear, (U-value: 5.67, SHGC 0.59)	
W15	N	2.15	0	0	awning (adjustable) >=900 mm	timber or uPVC, clear/au gap/clear, (U-value: 5.67, SHGC 0.59)	
W16	S	0.63	0	0	leaves/verandah/pergola/balcony >=450 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC 0.66)	
D10	N	6.4	0	0	awning (adjustable) >=900 mm	timber or uPVC, clear/au gap/clear, (U-value: 5.67, SHGC 0.59)	



SECTION C
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LEGEND

- NEW CEILING
- NEW WALLS (INTERNAL)
- NEW FLOOR

Glazing requirements					Show on DA Plans	Show on CDDPC Plans & Specs	Certifier Check
Windows and glazed doors The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door. The following requirements must also be satisfied in relation to each window and glazed door: Each window or glazed door with standard aluminium or timber frames and single clear or tinted glass may either match the description, or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Each window or glazed door with improved frames, or polycarbonate glazing, or laminated glass glazing, or laminated glass glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35. Pergolas with fixed louvers must have louvers parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between louvers must not be more than 50 mm. Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the Overshadowing Column in the table below.							
Window ID	Orientation	Area of glass frame (m ²)	Overshading Height (m)	Distance (m)	Shading device	Frame and glass type	
W01	N	1.28	12	4	leaves/verandah/pergola/balcony >=450 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC 0.66)	
W02	N	1.28	12	4	leaves/verandah/pergola/balcony >=450 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC 0.66)	
W03	W	1.08	0	0	leaves/verandah/pergola/balcony >=450 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC 0.66)	

This plan/document forms
part of the approved
Certificate as issued by
Mathew Bodley 0037

NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT

PITTWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

envirostructure

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PROJECT ADDITIONS AND ALTERATIONS
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envirostructure provides a sustainable future

CAUTION!
This drawing is to be read ONLY in conjunction with
BASIX Certificate number: A68104
NOTE: If this number does not match the number on
the certificate, then this drawing is invalid for the
purpose of the application.