

THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2020/0949

Legend

- Existing right-of-way concrete strip driveway
- Existing structures to be demolished

Garage/studio structure removed  
from DA

Existing structure to remain

Existing shed to remain

Make good existing concrete slab  
(2 x trees to be removed. Refer to  
accompanying Arborist Report)

Existing carport structure to remain

Proposed pool. Refer to Landscape Plan  
for details

Location of construction waste, recycling  
and materials storage. Refer to waste  
management plan

⊗ Proposed Site and Roof Plan Scale 1:200

Replace existing rainwater tank

Dashed line indicates extent of existing deck to be replaced

Dashed line indicates extent of existing paved courtyard to  
be replaced with decking

Proposed first floor addition. Metal roof sheeting as indicated

B MODIFIED DEVELOPMENT APPLICATION 13.11.20  
A ISSUED FOR DEVELOPMENT APPLICATION 10.08.20  
P1 PRELIMINARY DA ISSUE 06.05.20

AMENDMENTS

**LAURACOOK**  
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**RYAN-MUSACCHIO RESIDENCE**  
15 BURRENDONG PLACE, AVALON

DEVELOPMENT APPLICATION ISSUE

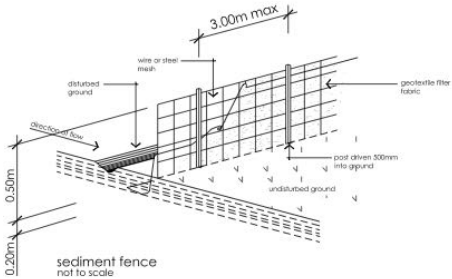
SITE AND ROOF PLAN  
SCALE 1:200 @ A3

DRAWN  
LC

**DA.02(B)**

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other relevant codes, and with Manufacturers' recommendations and instructions.

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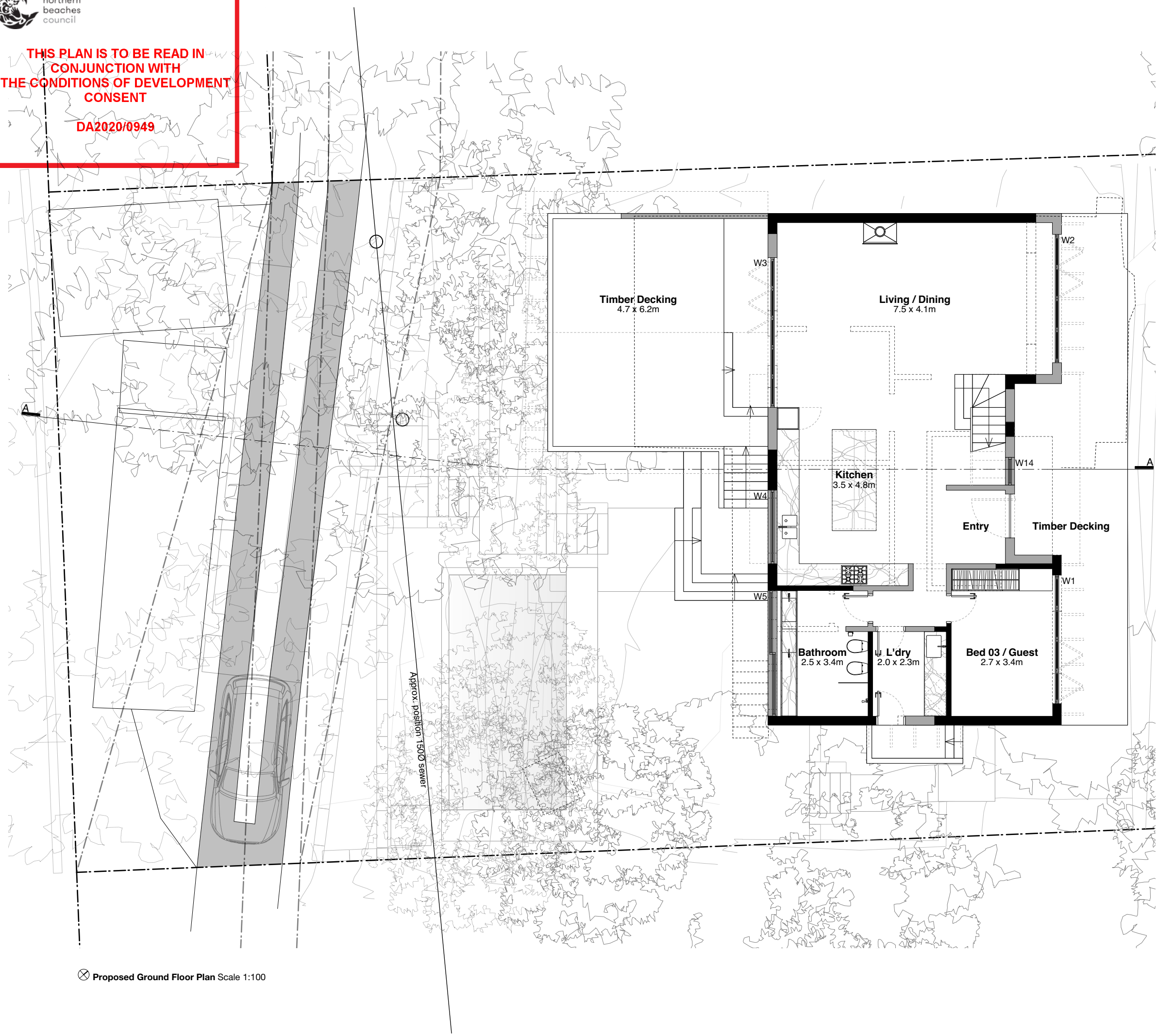
sediment control details

1. all erosion and sedimentation control measures, including revegetation and storage of soil and topsoil shall be implemented to the standards of the soil conservation of NSW.
2. all drainage works shall be constructed and stabilized as early as possible during development.
3. sediment traps shall be constructed around all inlet pits consisting of 300mm wide x 300mm deep trench.
4. all sediment basins and traps shall be cleaned when the structures are a maximum of 60% full of soil materials, including the maintenance period.
5. all disturbed areas shall be revegetated as soon as the relevant works are completed.
6. soil and topsoil stockpiles shall be located away from drainage lines and areas where water may concentrate.
7. filter shall be constructed by stretching a filter fabric (propex or approved equivalent between post at 2.0m centres. fabric shall be buried 150mm along its lower edge.



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⊗ Proposed Ground Floor Plan Scale 1:100

#### Legend

- Existing walls to be retained
- Existing walls to be demolished
- Proposed walls

#### Basix Requirements (certificate number A381829)

Proposed hot water system to be gas instantaneous

A minimum of 40% of new or altered lighting fittings to be fitted with fluorescent, compact fluorescent, or light-emitting (LED) lamps

All new or altered taps and showerheads to have a flow rate no greater than 9litres per minute or a 3 star water rating

All new or altered toilets to have a flow rate no greater than 4litres per average flush or a minimum 3 star water rating

All new suspended floors with enclosed subfloor to have a minimum R-value of R0.60 (or R1.30 including construction)

All external framed walls to have a minimum R-value of R1.30 (or R1.70 including construction)

All new raked/pitched ceilings to have a minimum R-value of R2.26

All new roofs to be constructed with foil/sarking and to be light in colour with a solar absorptance of <0.475

All new windows, glazed doors and shading devices to be installed in accordance with the specifications listed in the table below

Window	Shading Device	Frame and Glass Type
W1/2/7/10/11	eave/pergola ≥600mm	timber or uPVC, single pyrolytic low-e, (or U-value: 3.99, SHGC: 0.4)
W3/8/12/13	eave/pergola ≥600mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W4	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W5	external louvre/ blind (adjustable)	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W6	eave/pergola ≥450mm	timber or uPVC, single clear, (or U-value: 5.67, SHGC: 0.49)
W9/14	eave/pergola ≥900mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W10/11	eave/pergola ≥600mm	timber or uPVC, toned/air gap/clear (or U-value: 3.64, SHGC: 0.42)

Skylight	Shading Device	Frame and Glass Type
S1/2/3/4	no shading	timber, low-e internal/argon fill/clear external, (or U value: 2.5, SHGC: 0.456)

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GROUND FLOOR PLAN  
SCALE 1:100 @ A3

DRAWN  
LC

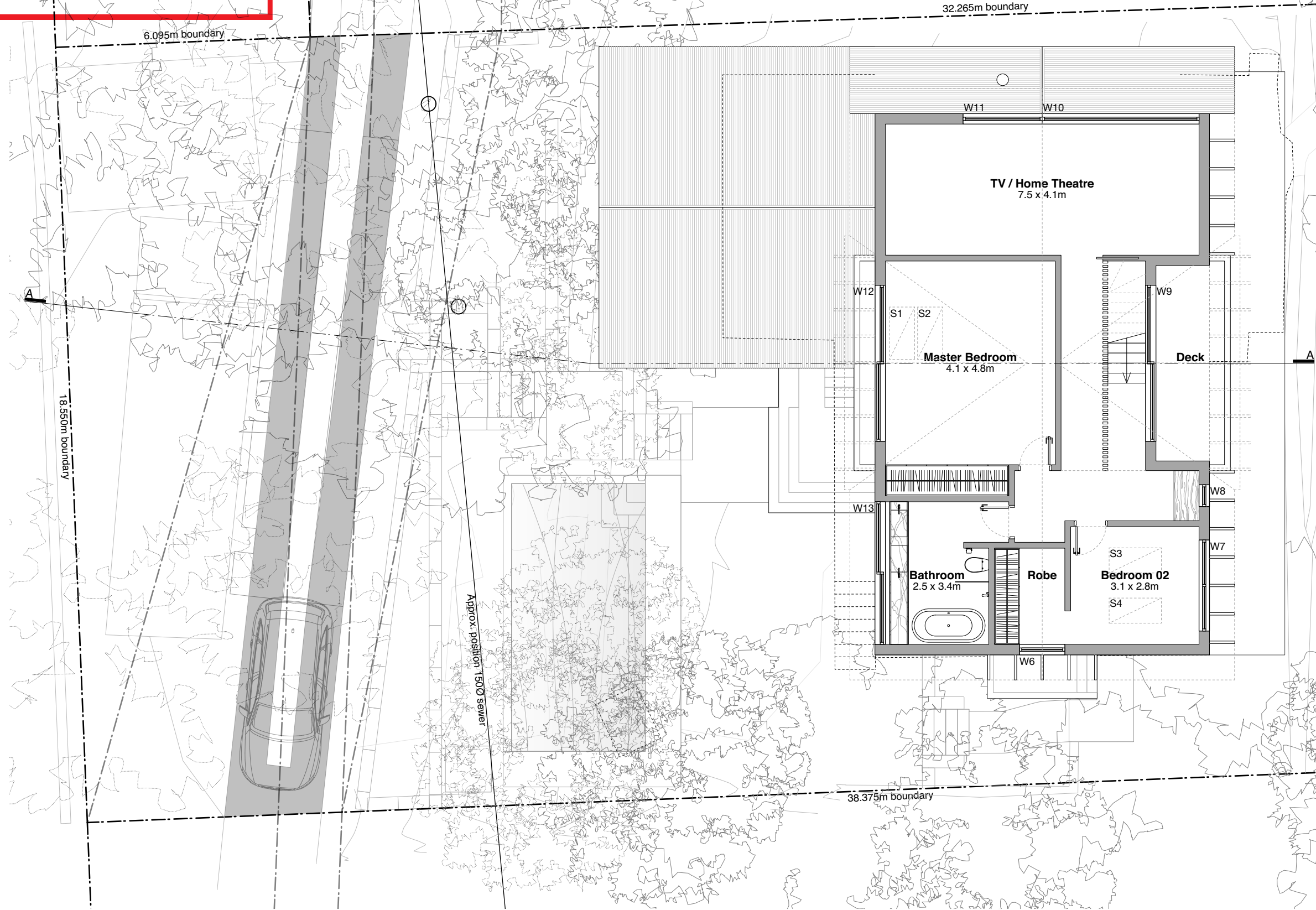
**DA.03(B)**

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FIRST FLOOR PLAN  
SCALE 1:100 @ A3

DRAWN  
LC

**DA.04(B)**

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⊗ Proposed First Floor Plan Scale 1:100



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ELEVATION  
SCALE 1:100 @ A3

DRAWN  
LC

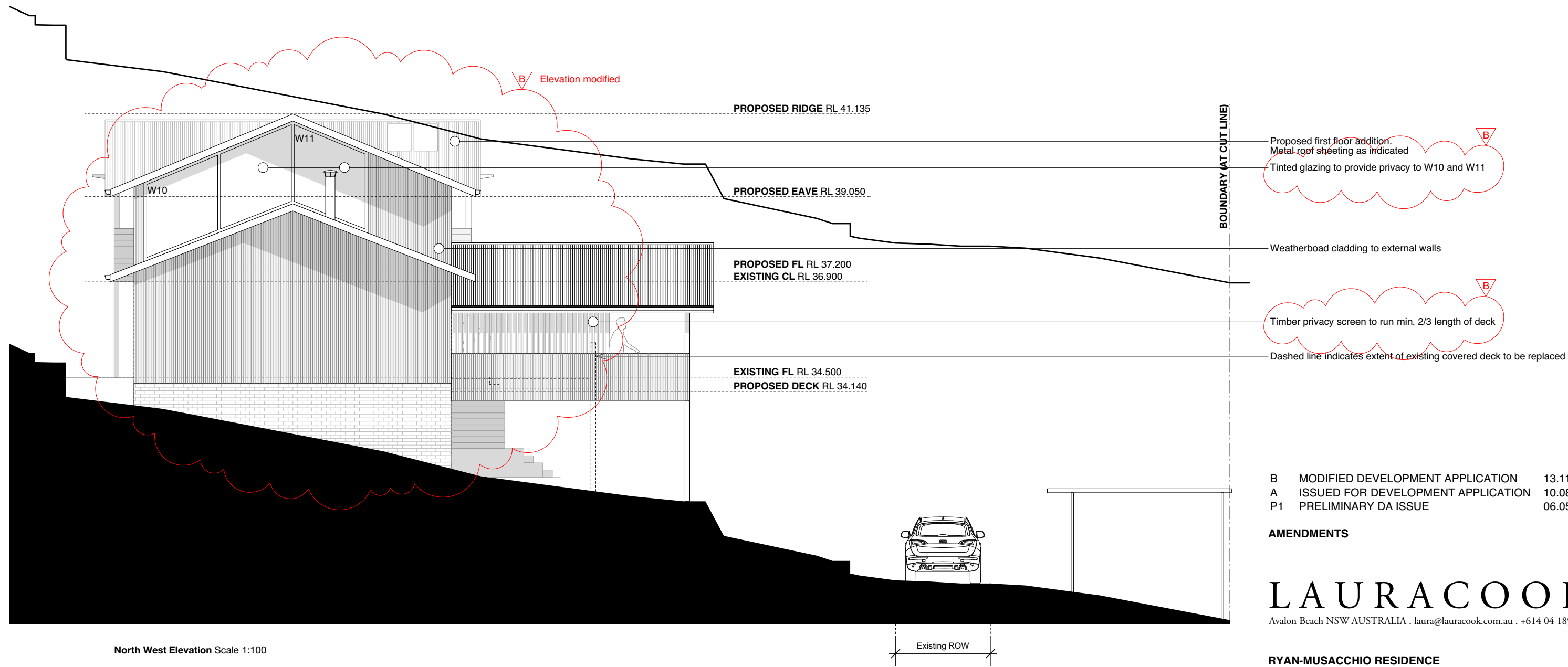
DA.05(B)

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North West Elevation Scale 1:100

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ELEVATION  
SCALE 1:100 @ A3

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**DA.06(B)**

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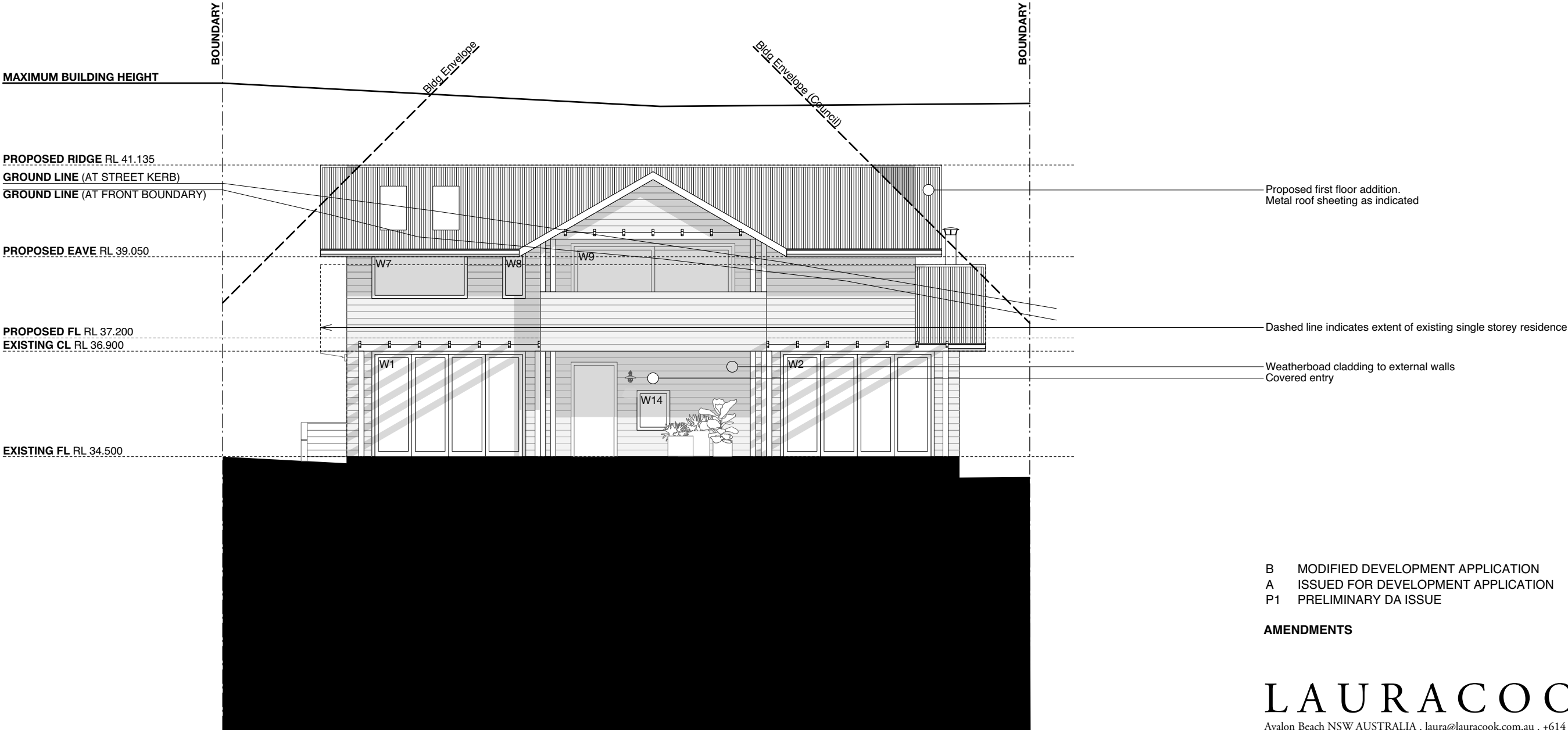
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Legend

Extent of proposal encroaching on building envelope



North East (front) Elevation Scale 1:100

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ELEVATION SCALE 1:100 @ A3 DRAWN LC **DA.07(B)**

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South West (rear) Elevation Scale 1:100

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ELEVATION  
SCALE 1:100 @ A3

DRAWN  
LC

DA.08(B)

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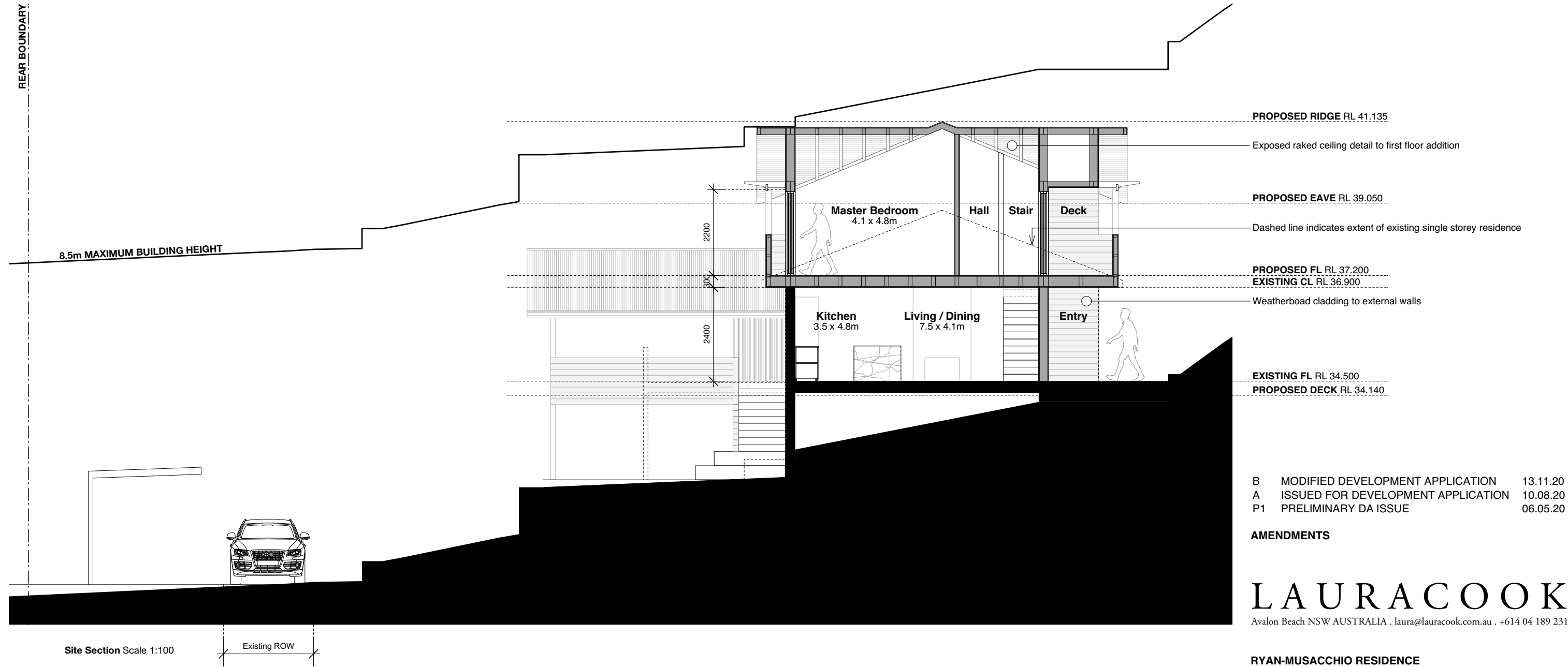
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Legend

- Existing structure to be retained
- Existing structure to be demolished
- Proposed structure



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SECTION  
SCALE 1:100 @ A3

DRAWN  
LC

DA.11(B)

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
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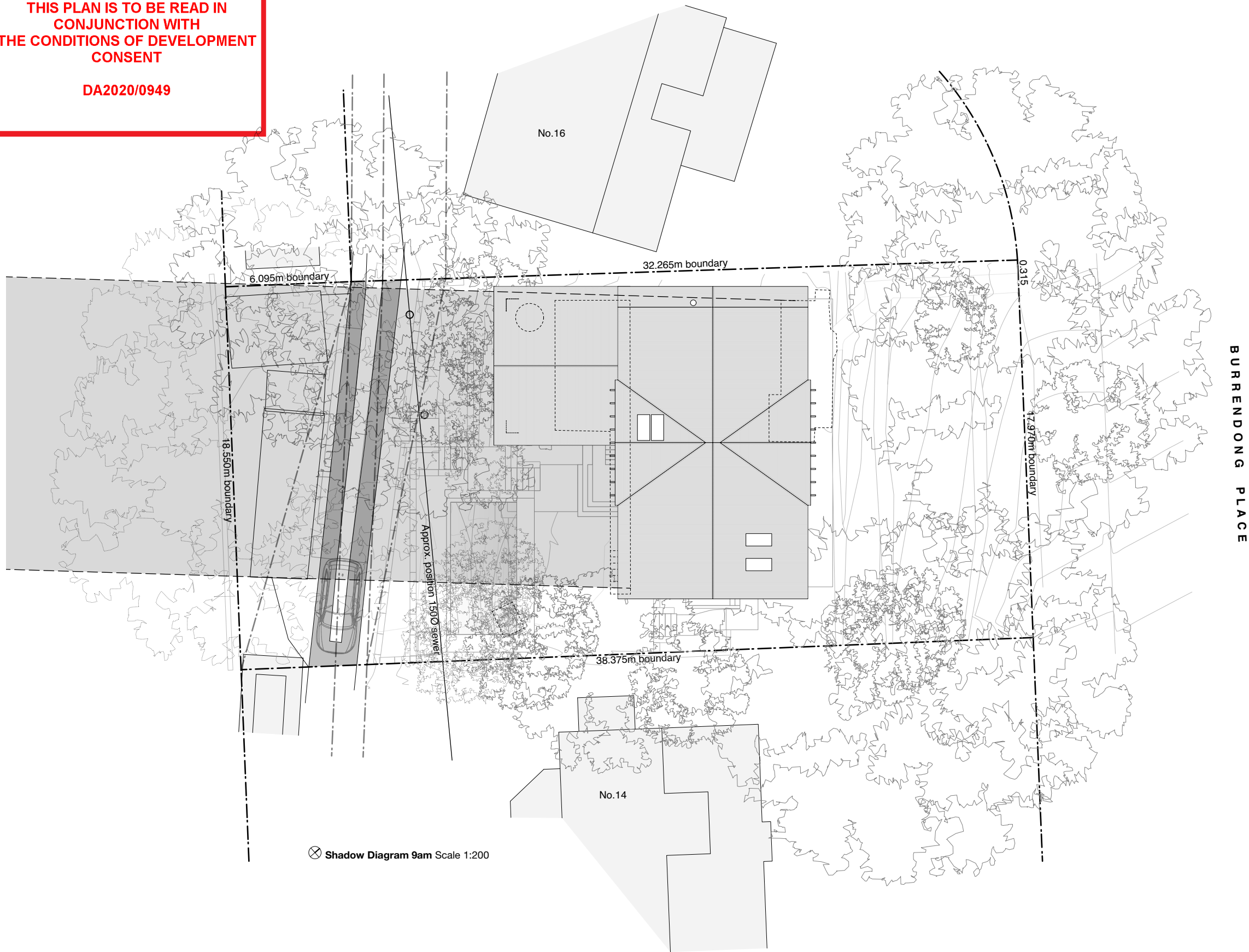
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Legend

 Existing shadow at 9.00am on 21st June

 Proposed shadow at 9.00am on 21st June



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SHADOW DIAGRAM  
SCALE 1:200 @ A3

DRAWN  
LC

**DA.12(B)**

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⊗ Shadow Diagram 12noon Scale 1:200

#### Legend

Existing shadow at 12noon on 21st June

Proposed shadow at 12noon on 21st June

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SHADOW DIAGRAM  
SCALE 1:200 @ A3

DRAWN  
LC

**DA.13(B)**

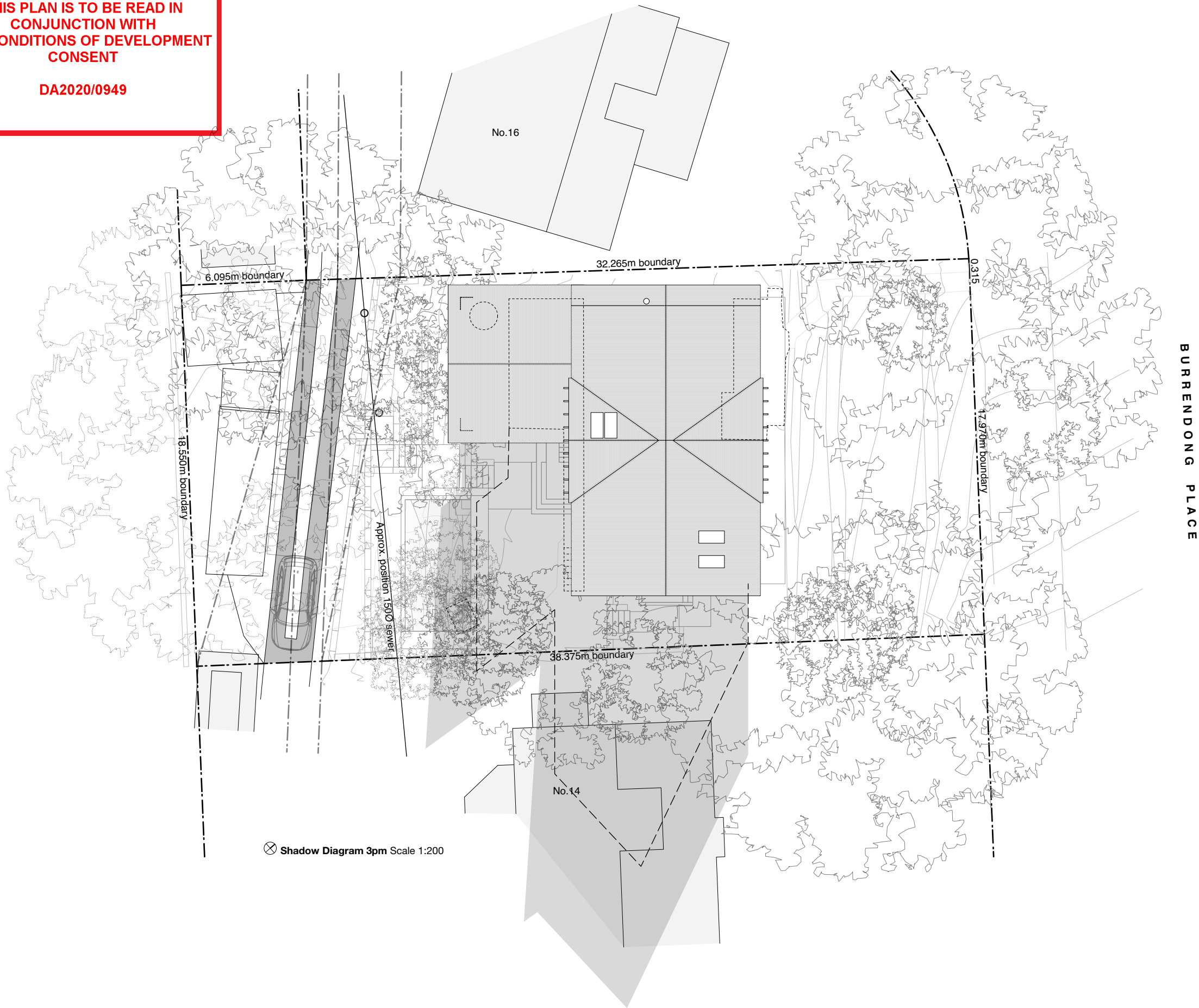
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



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#### Legend

-  Existing shadow at 3.00pm on 21st June
-  Proposed shadow at 3.00pm on 21st June

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SHADOW DIAGRAM  
SCALE 1:200 @ A3

DRAWN  
LC

**DA.14(B)**

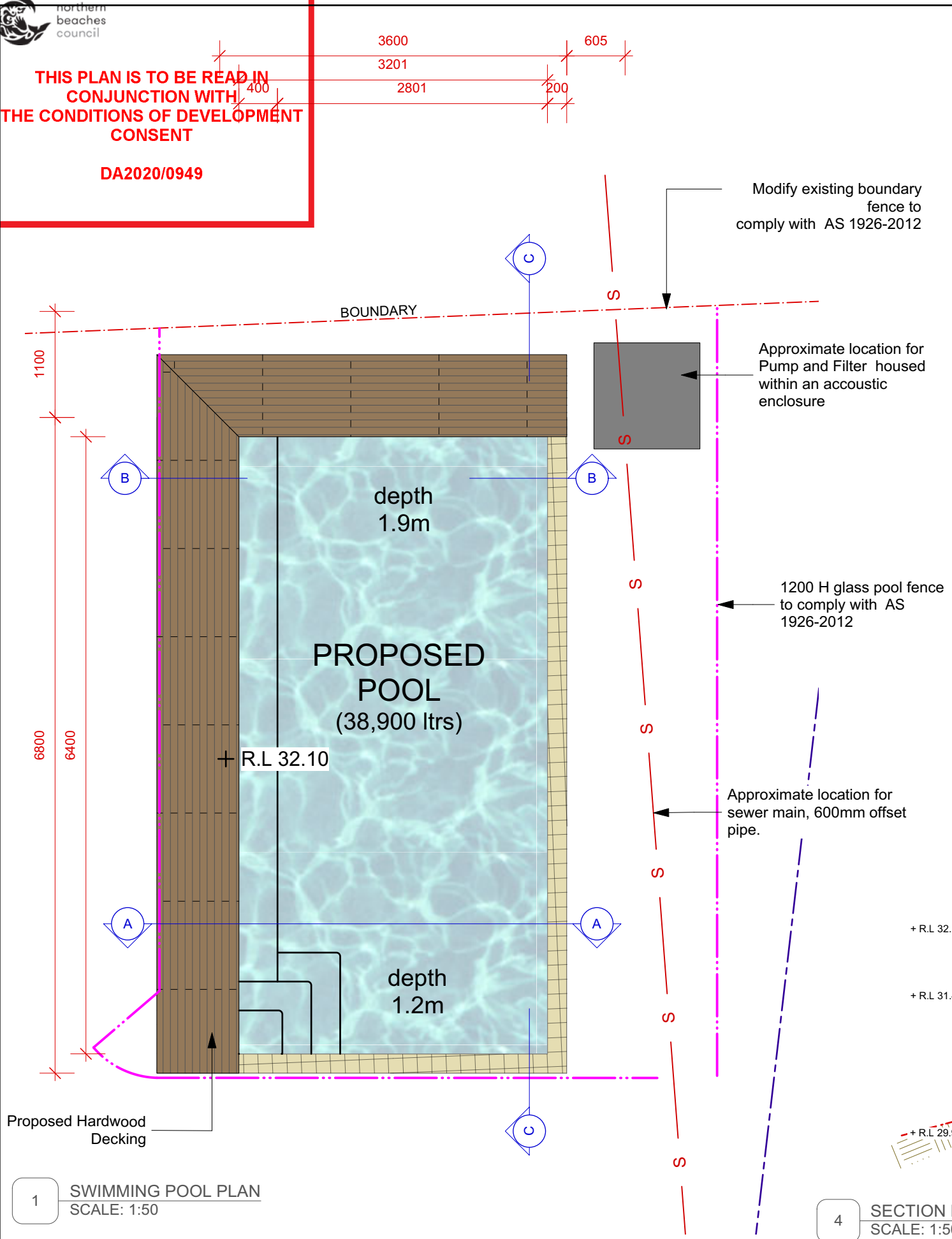
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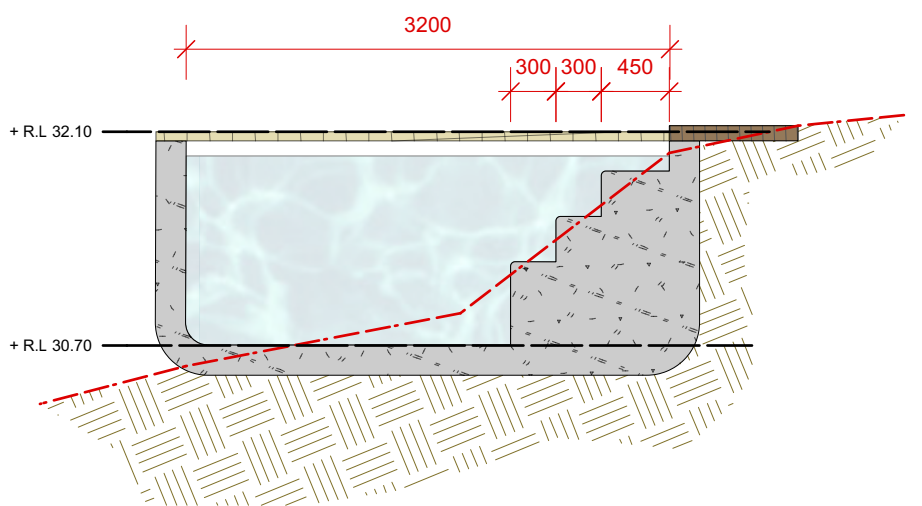


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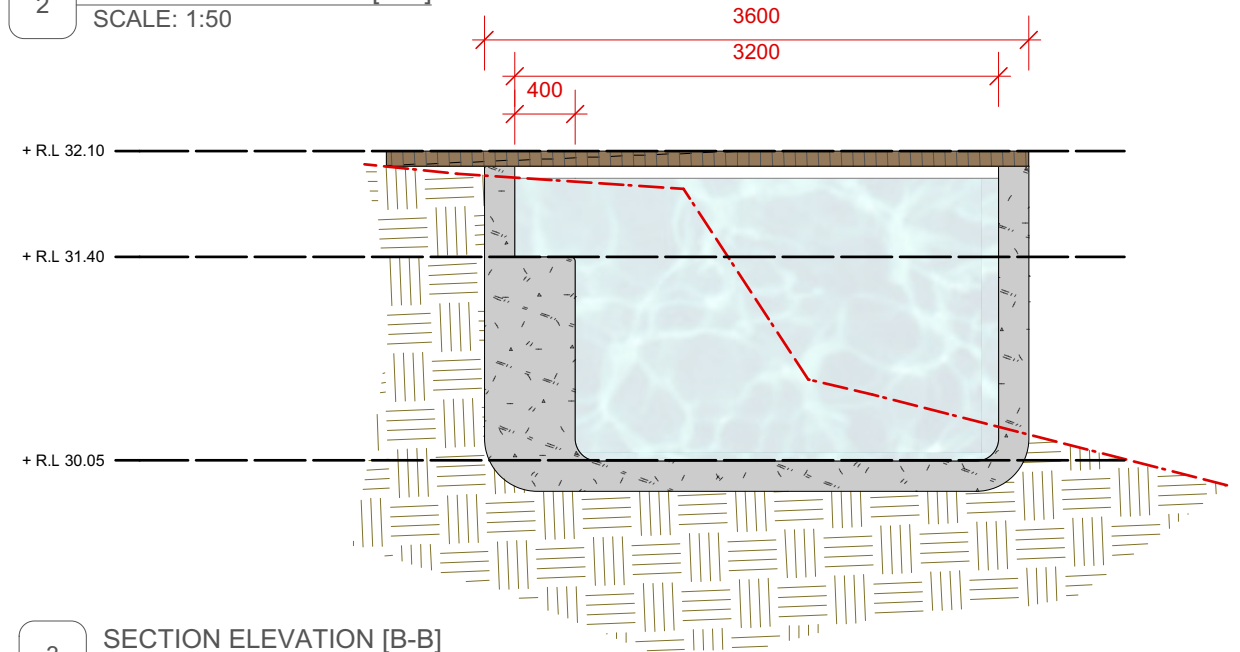
**DA2020/0949**



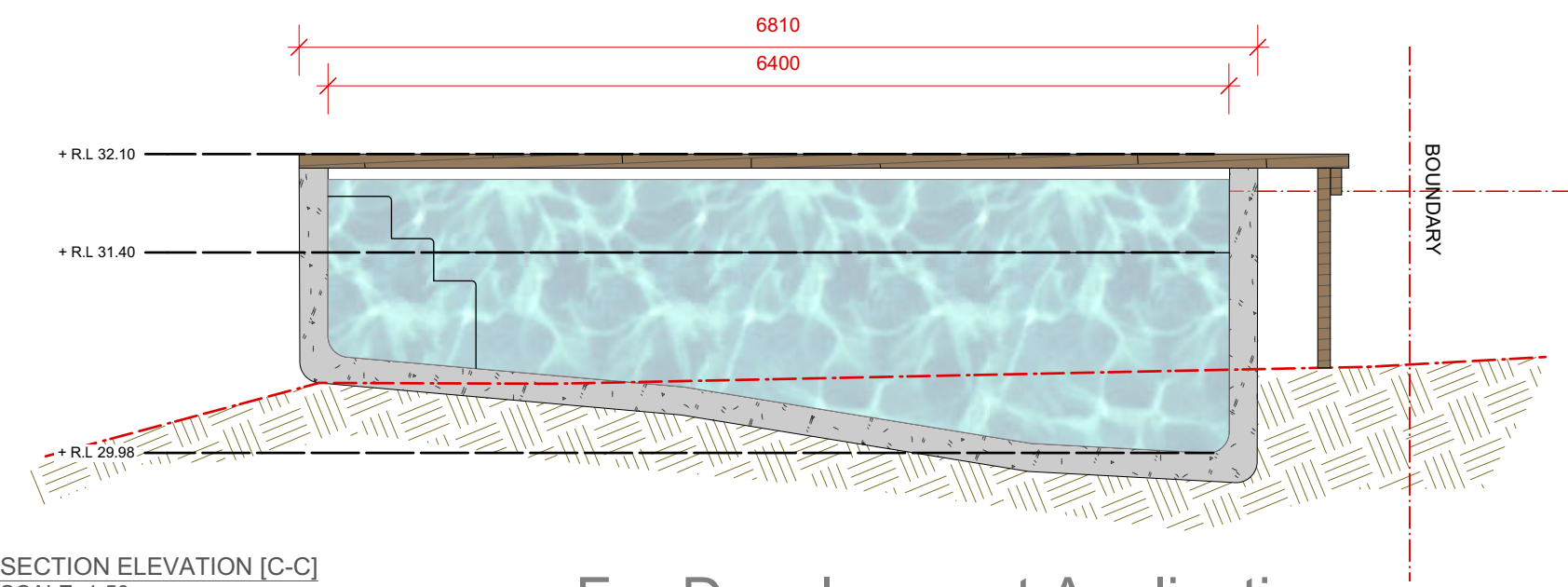
1 SWIMMING POOL PLAN  
SCALE: 1:50



2 SECTION ELEVATION [A-A]  
SCALE: 1:50



3 SECTION ELEVATION [B-B]  
SCALE: 1:50



4 SECTION ELEVATION [C-C]  
SCALE: 1:50

For Development Application

- DESIGN NOTES:**
1. The Waste water from swimming pool to be plumbed into sewer gully.
  2. The proposed development will be completed in accordance with the requirements of volume 2 of the national construction code series- Building code of Australia (NCCS-BCA)
  3. The proposed development will be constructed as per the design and specification of a suitably qualified structural engineer.
  4. Pool safety fencing to meet the requirements of the Swimming pools Act 1992. and AS 1926-2012
  5. The recirculation system and skimmer box will meet the requirements of both parts 3.9.3 of (NCCS-BSA) and AS 1926.3-2010

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