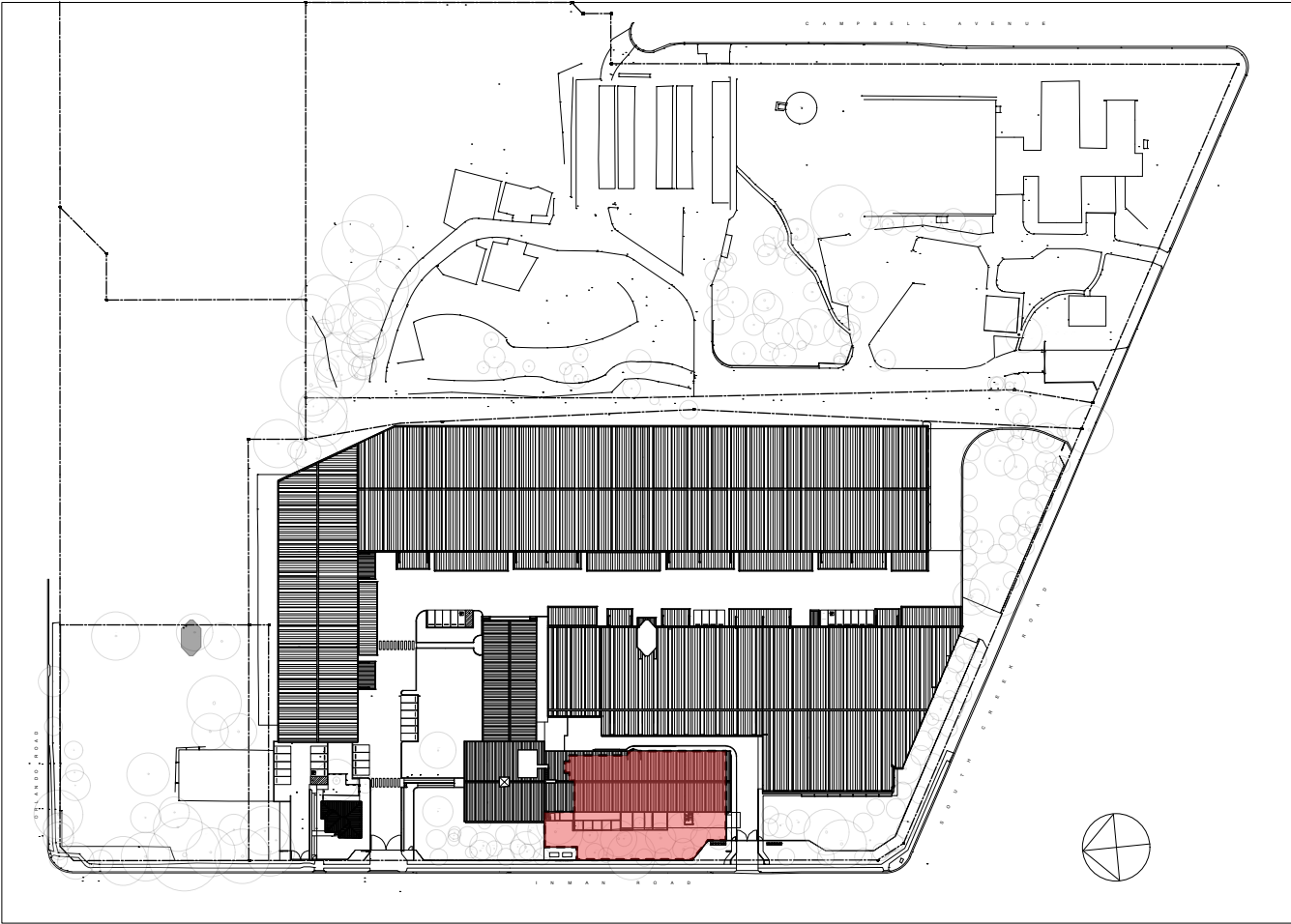


KEY:



SITE LOCATON / KEY PLAN

DRAWING LIST

DA-00	COVER PAGE LOCATION/ KEY PLAN
DA-01	SITE SURVEY PLAN / ROOF PLAN
DA-02	EXISTING TENANCY - BASEMENT FLOOR
DA-03	DEMOLITION PLAN
DA-04	GENERAL ARRANGEMENT PLAN
DA-05	SETOUT / AREA ZONE PLAN
DA-06	REFLECTED CEILING PLAN
DD-07	FLOOR FINISHES PLAN
DA-08	CAR PARKING ALLOCATION PLAN
DA-E1	ELEVATIONS NORTH / SOUTH
DA-E2	ELEVATIONS EAST / WEST
DA-S1	SECTIONS A-A B-B
DA-SE1	SHADED ELEVATIONS - EXTENT OF NEW WORK
DA-REF.2	MATERIALS AND FINSHES & RENDERED
DA-REF.2	ELEVATIONS WEST / SOUTH / EAST
DA-3DV01	ARTIST IMPRESSION V01

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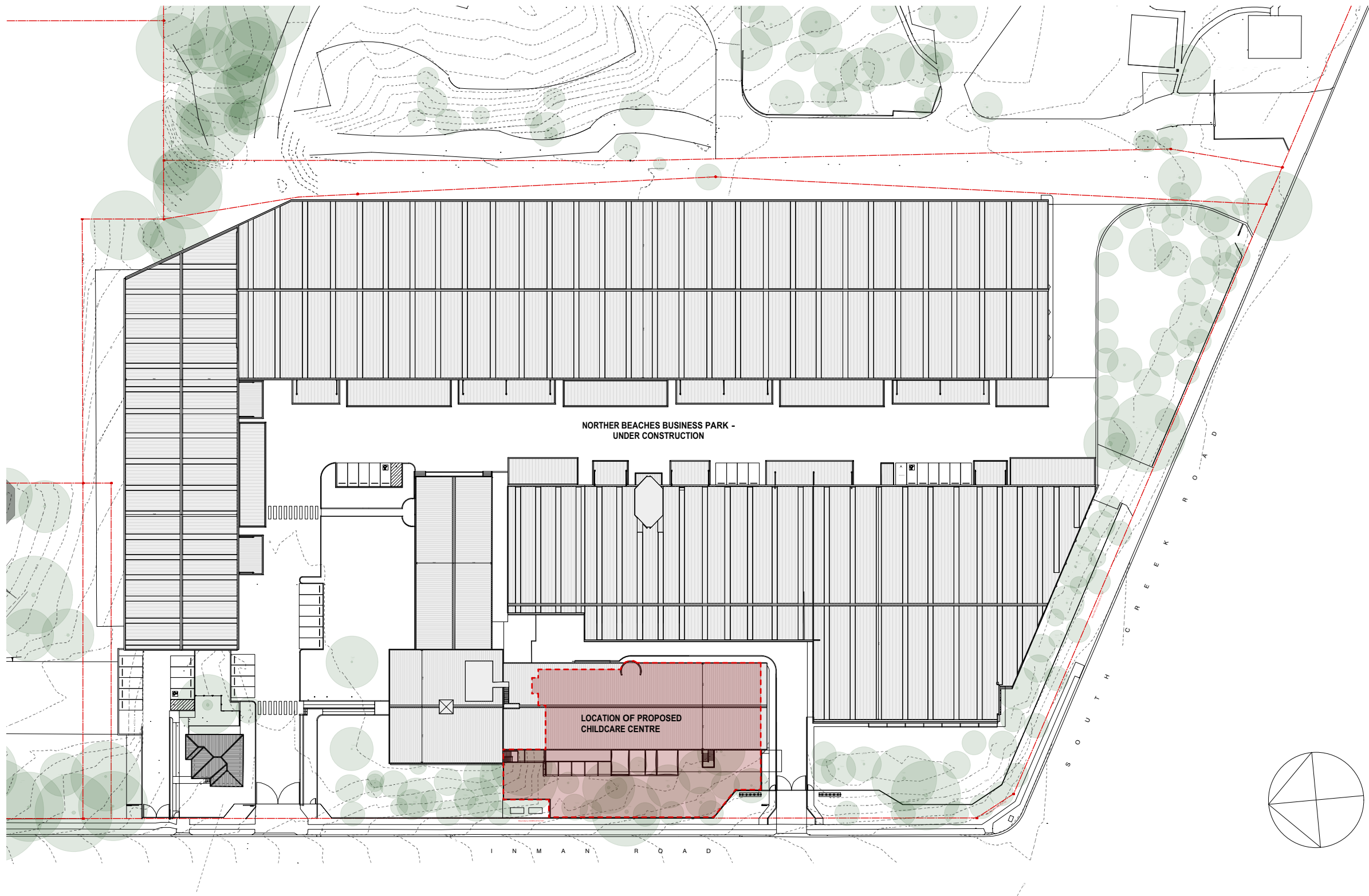
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KEY:

- SITE BOUNDARY
- SITE CONTOUR
- EXISTING TREES & MAIN VEGETATION
- LOCATION OF PROPOSED DEVELOPMENT SITE AREA



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KEY:

- PROPOSED INTERNAL LEASE AREA: 790m²
- EXTENT OF OUTDOOR AREA: 1000m²

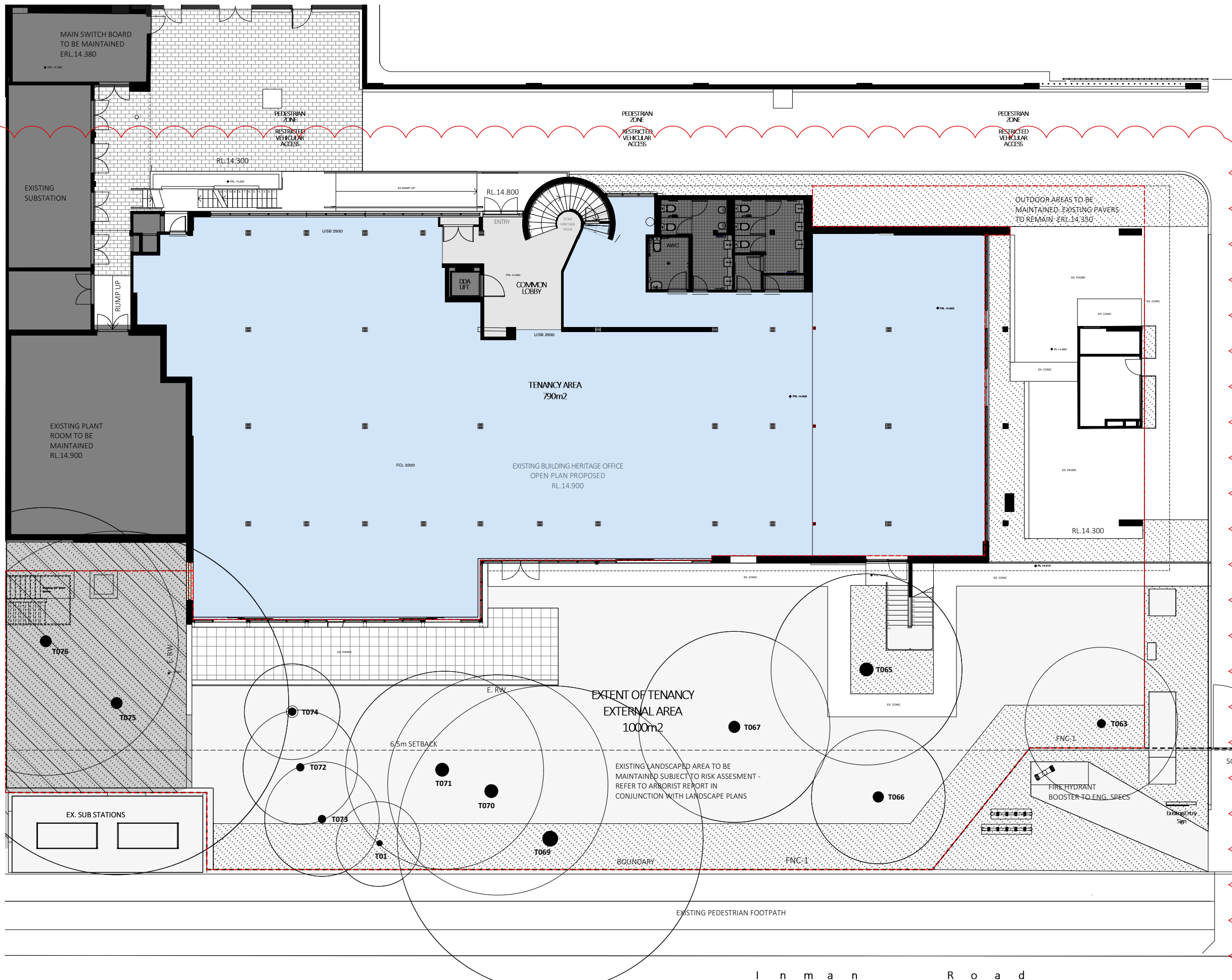
- EXISTING LAWN AREA
- EXISTING SOFT LANDSCAPING AND MULCH
- EXISTING TREES

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KEY:
KEYEXISTING BASE BUILDING WALLS / TO REMAIN
AREA NOT IN SCOPE

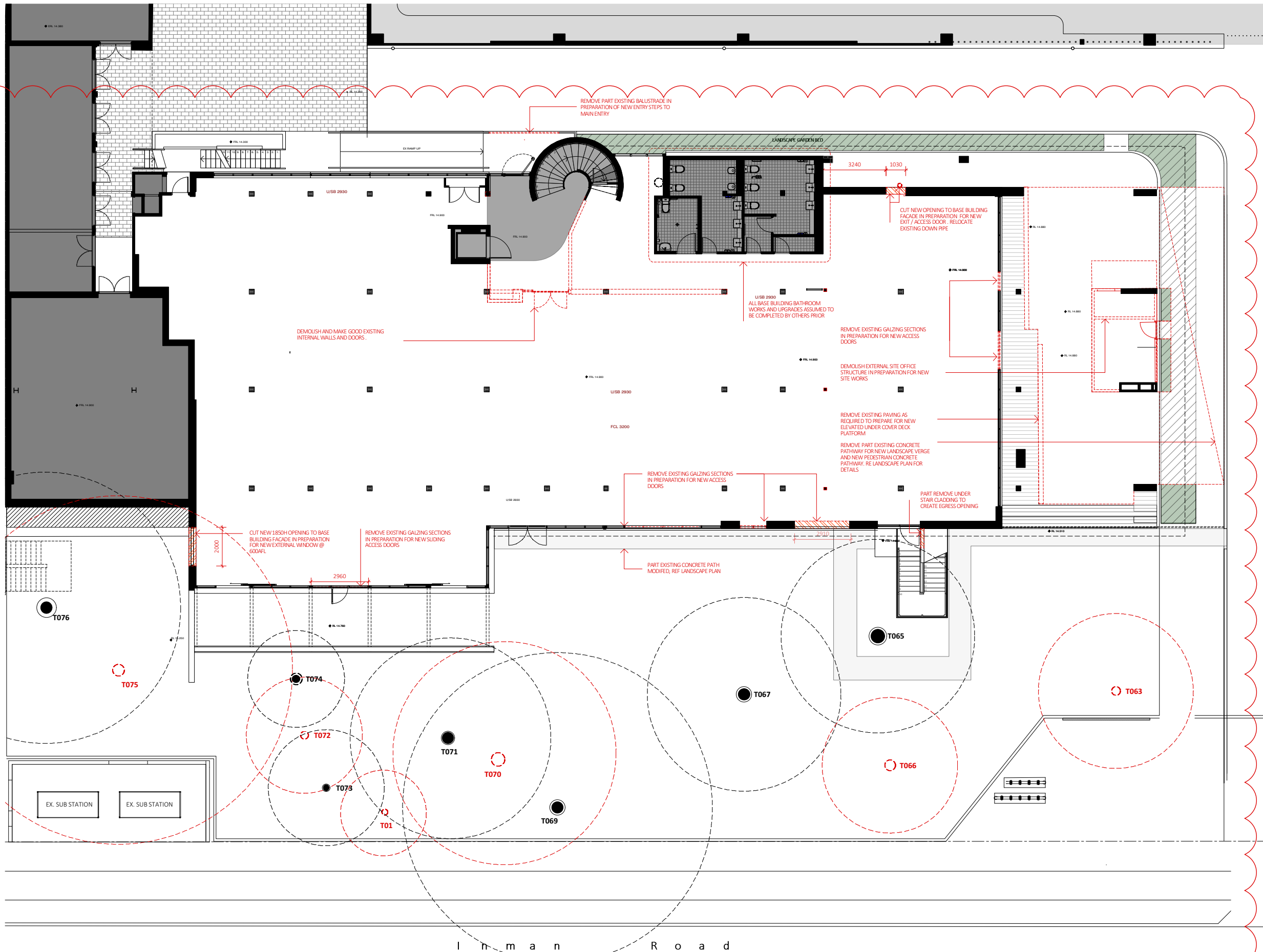
ITEMS TO BE REMOLISHED / REMOVED

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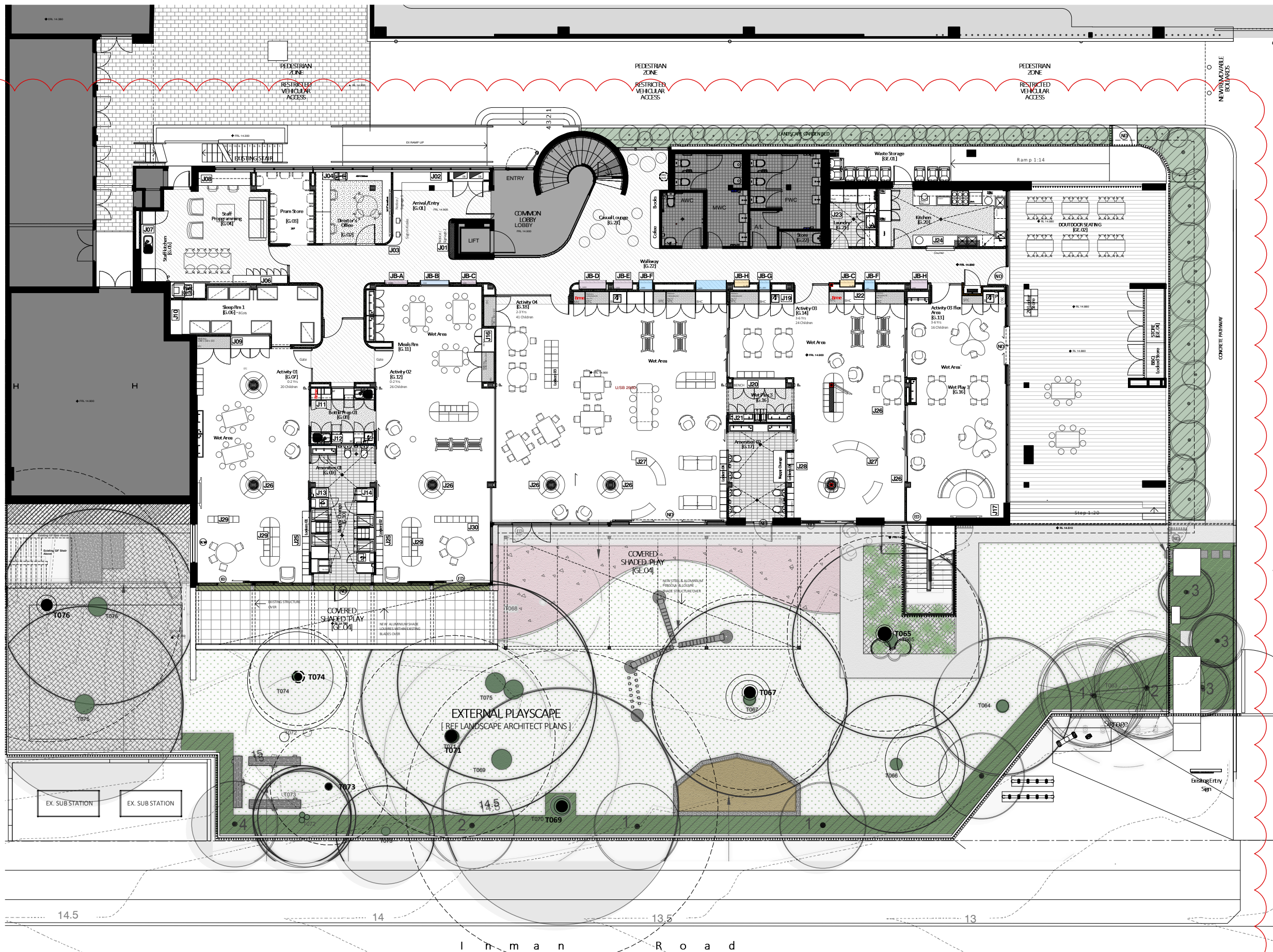
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PROPOSED GENERAL ARRANGEMENT PLAN

	STAFF / COMMON AREA UTILITY AMENITIES
	FOH COMMON AREA / PUBLIC ACCESS CORRIDOR
	SLEEP / BABY COTT ROOMS
	ACTIVITY 1&2 : 0-2 Yrs OLD
	ACTIVITY 3 : 3-6 Yrs OLD
	ACTIVITY 4 : 2-3 Yrs OLD
	OUTDOOR COVERED PLAYSAPCE / HARDCAPE
	OUTDOOR PLASCAPE / LANDSCAPE AREA

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KEY: CEILINGS

- SET PLASTER BOARD CEILING @ BASE BUILD CEILING LEVEL 2700 AFL
- 150mm SET PLASTER BULKHEAD @ 2550AFL
- ACOUSTIC CEILING TILES @ 2700AFL
(BASE BUILDING HEIGHT TBC)
- EXPOSED CEILING TO SLAB ABOVE, PAINT / FINISH OVER SPRAY 1.5M MINIMUM

KEY LIGHTING

- DL-X LED RECESSED DOWNLIGHTS
- CDL-X SURFACE MOUNT LED DOWN LIGHTS
- TL-X LED TROUSER LIGHTING 'BASE BUILDING TYPICAL - WARM WHITE DIMABLE
- PL-X PENDANT DRUM LIGHTS 450DIA / 600DIA / 900DIA / 1200DIA
- FPL-X
- UL1 WALL MOUNTED UP LIGHTING WARM WHITE DIMABLE
- V.LED SURFACE MOUNTED LINEAR LED LIGHTING
- SUSPENDED UP/DOWN LED LIGHTING

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KEY:

- VF-1 HAWOODS FLOATING ENGINEERED TIMBER FLOORING OR EQUAL
Kamdean Blond Oak or / equal
Hawwoods Armado Wide Plank - equal
- C1-5 CARPET TILE PLANKS
InterfaceFLOR
Escarpment / Netteff Collection / Daring
- TF1 WET AREA TILING
NON SUP FLOOR TILES
- RF1-2 WET AREA VINYL FLOORING
FORBO 'Sphera Energetic range'
- RF3-4 RESILIENT FLOORING - VINYL
FORBO 'Sphera Energetic range'
- PT-1 EXTERNAL PAVER TILE
EXTERNAL PAVING AREA -
- TD-1 New timber Decking on new substructure
approx 370AGL
140mm Merbau or similar
- LA LANDSCAPING AREA
For surface finish refer to Landscape architect plans

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


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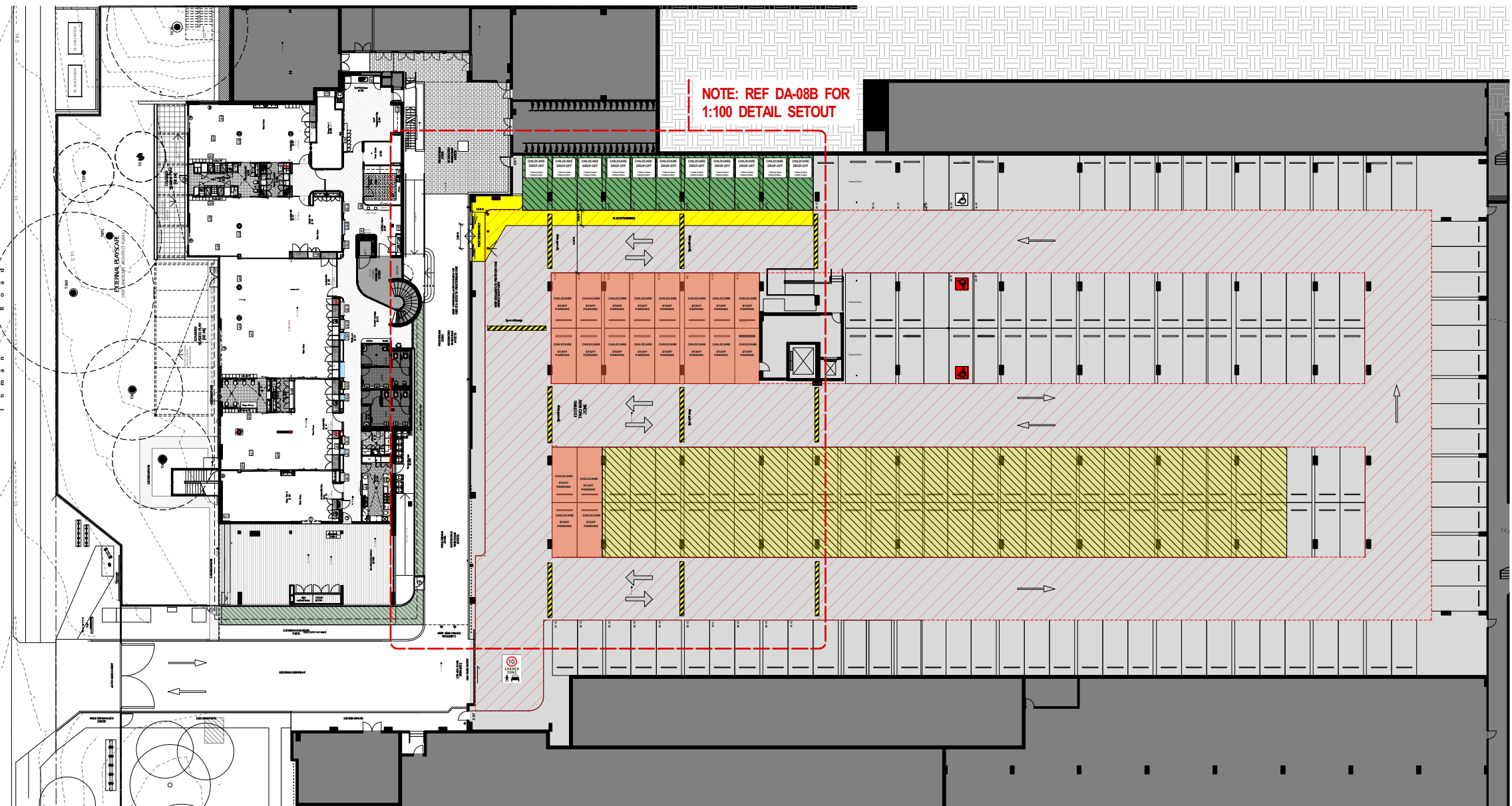
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KEY:

PROPOSED CHILDCARE CENTRE

	ALLOCATED PERMANENT PARKING SPACES	:20
	ALLOCATED SHARED PARKING SPACES CHILDCARE @ DROP-OFF TIMES	:11
	BALANCE OF SHAREA PARKING AREA	:62
	PARKING AREA SHARED ZONE SIGNPOSTED	



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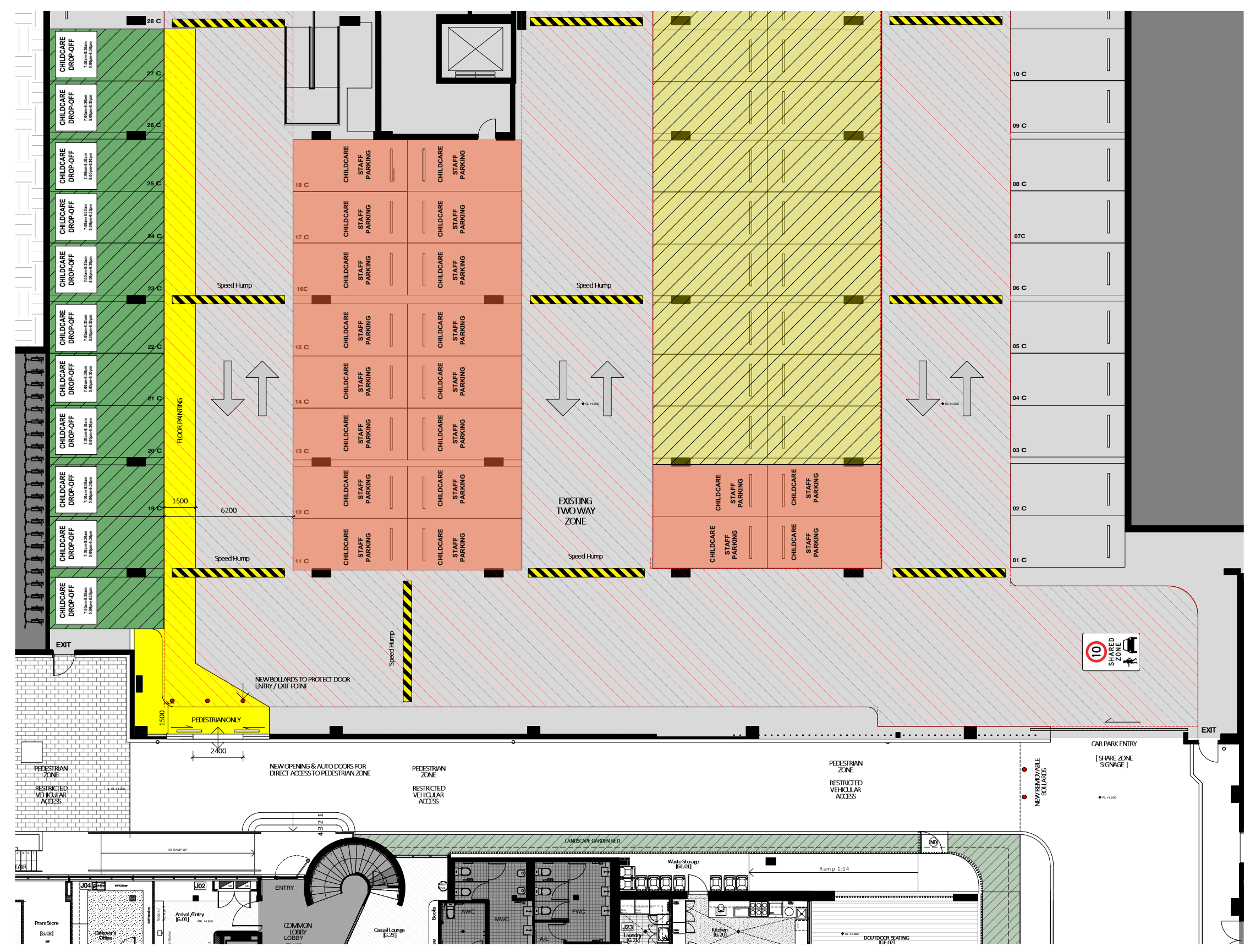
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- BALANCE OF SHAREA PARKING AREA :62
- PARKING AREA SHARED ZONE SIGNPOSTED
- PEDESTRIAN ZONE GROUND PAINTING
- NEW SAFETY BOLLARDS

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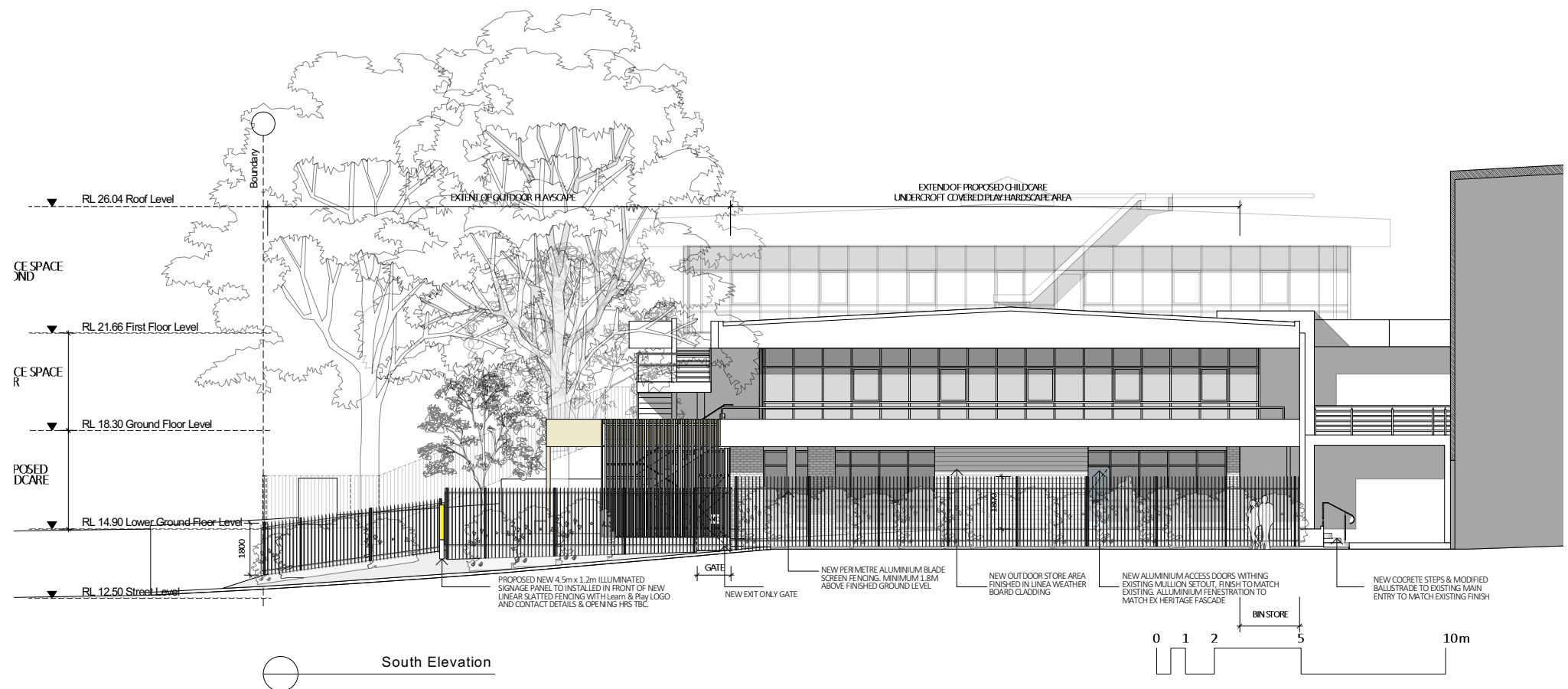
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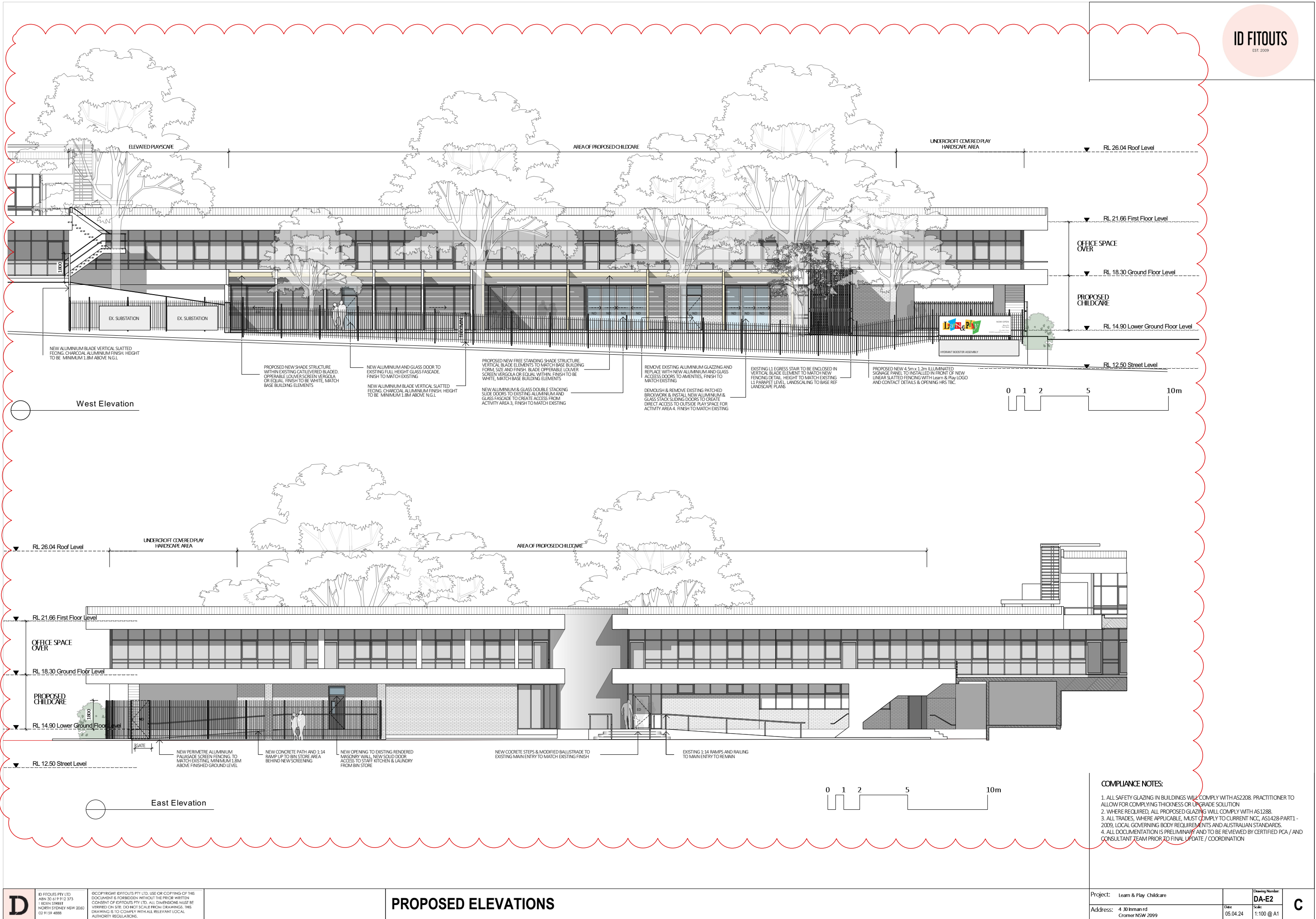


ALLOCATED CAR PARKING PLAN

KEY:



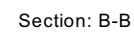
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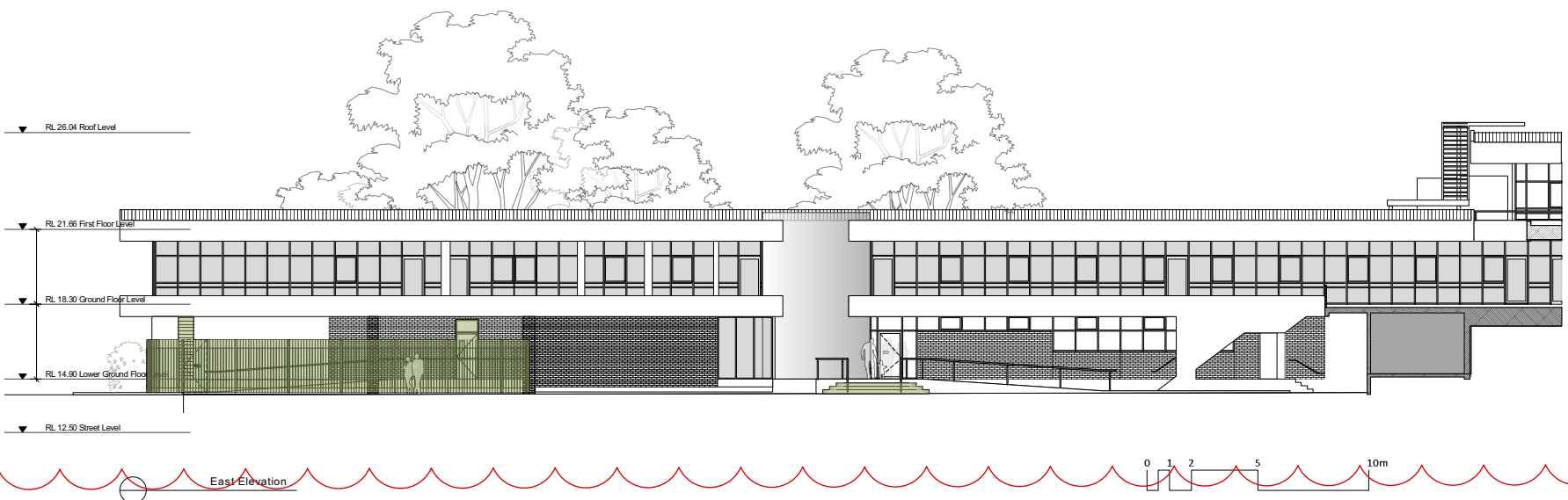
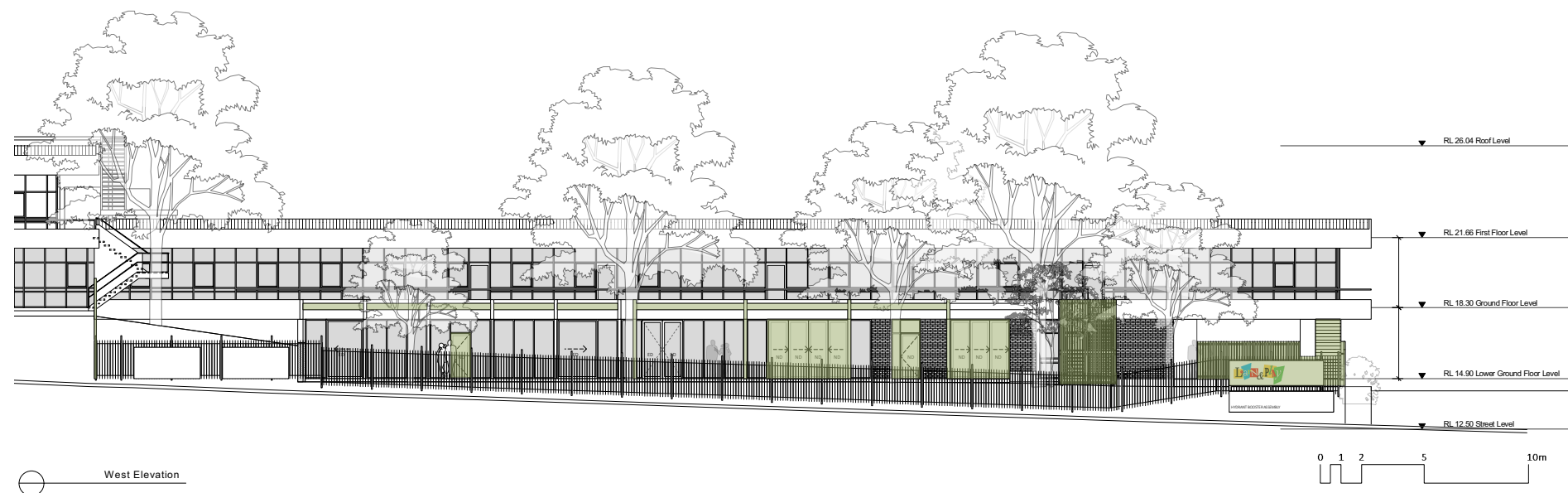
- SHADED AREA DENOTES NEW WORKS
- DENOTE AREAS TO REMAIN AS IS

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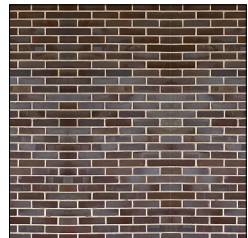
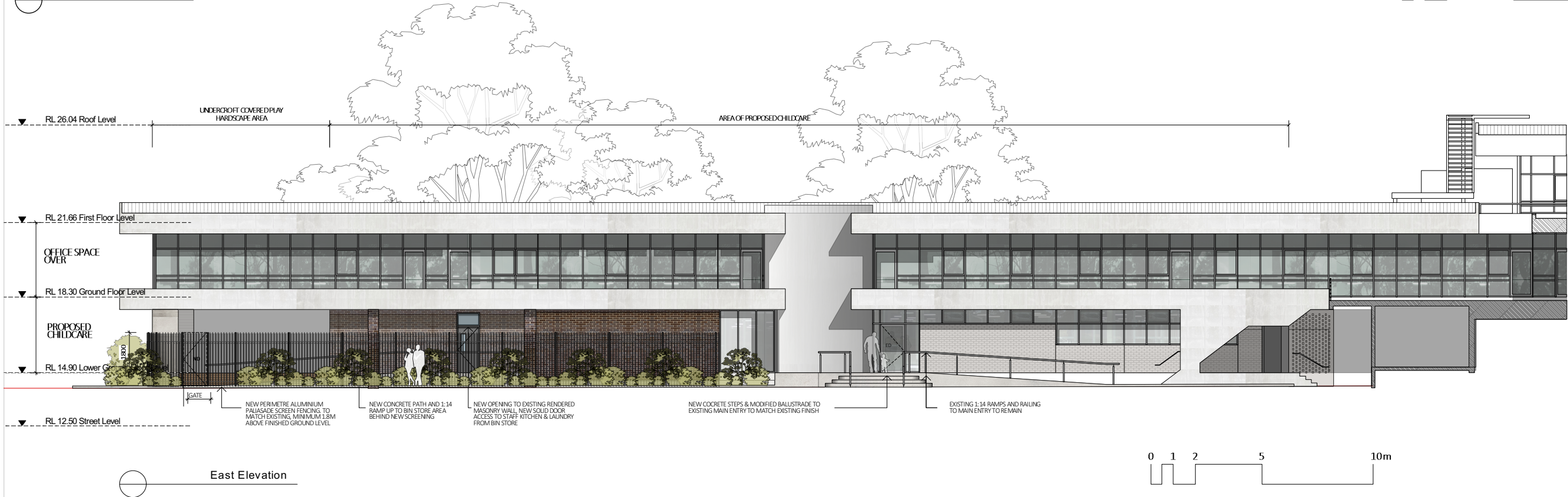
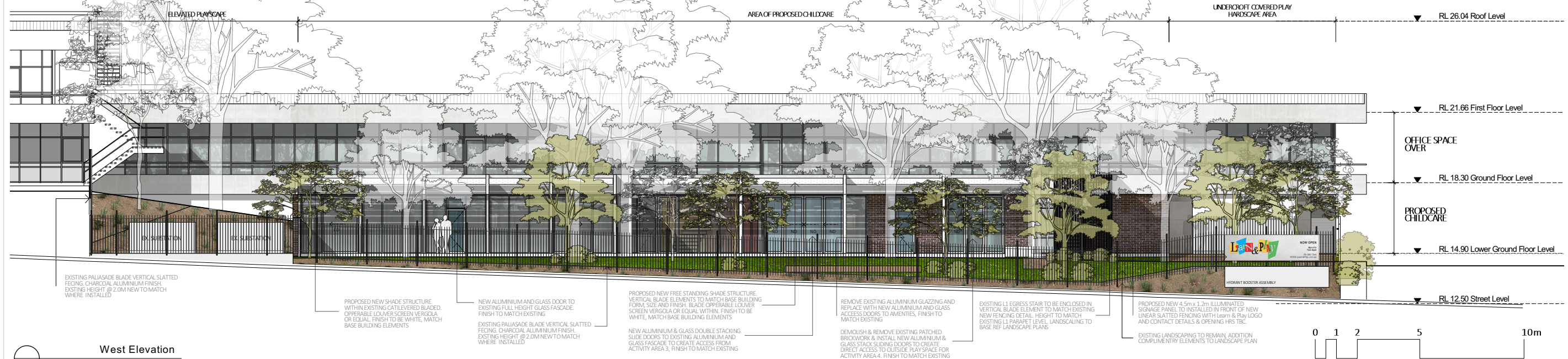
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4. ALL EXISTING STATUTORY SIGNAGE TO REMAIN UNLESS NOTED OTHERWISE. ANY NEW REQUIRED STATUTORY SIGNAGE TO COMPLY WITH GOVERNING BODY REQUIREMENTS
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6. DESIGN DOCUMENTATION TO BE READ IN CONJUNCTION WITH ENGINEERING SERVICES DESIGN PACKAGE & DA CONSENT CONDITIONS
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SHADED ELEVATIONS : EXTENT OF NEW WORKS



MATCH EXISTING BRICK WORK



MATCH EX. WHITE TEXTURED PAINT FINISH



MATCH EX. PALISADE FENCING COLOUR & DETAIL



MATCH EX. ALUMINIUM TREATMENT AND FINISH



COMPLEMENTARY TIMBER & STEEL ELEMENTS IN OUTDOOR CHILD PLAY SPACES



MATCH EXISTING MINIMAL LANDSCAPE TREATMENT & PALLET



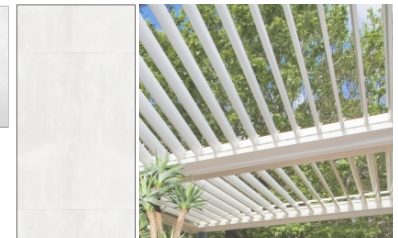
MERBAU LOOK DECKING TO UNDERCROFT AREA



ILLUMINATED SIGNAGE ON WHITE ALLUCABOND PANEL



OPERABLE SHADE STRUCTURE ON MINIMAL FRAME DETAIL, FINISH TO MATCH EXISTING WHITE ELEMENTS



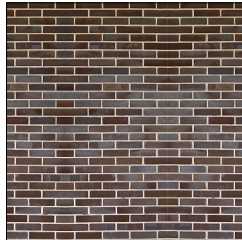
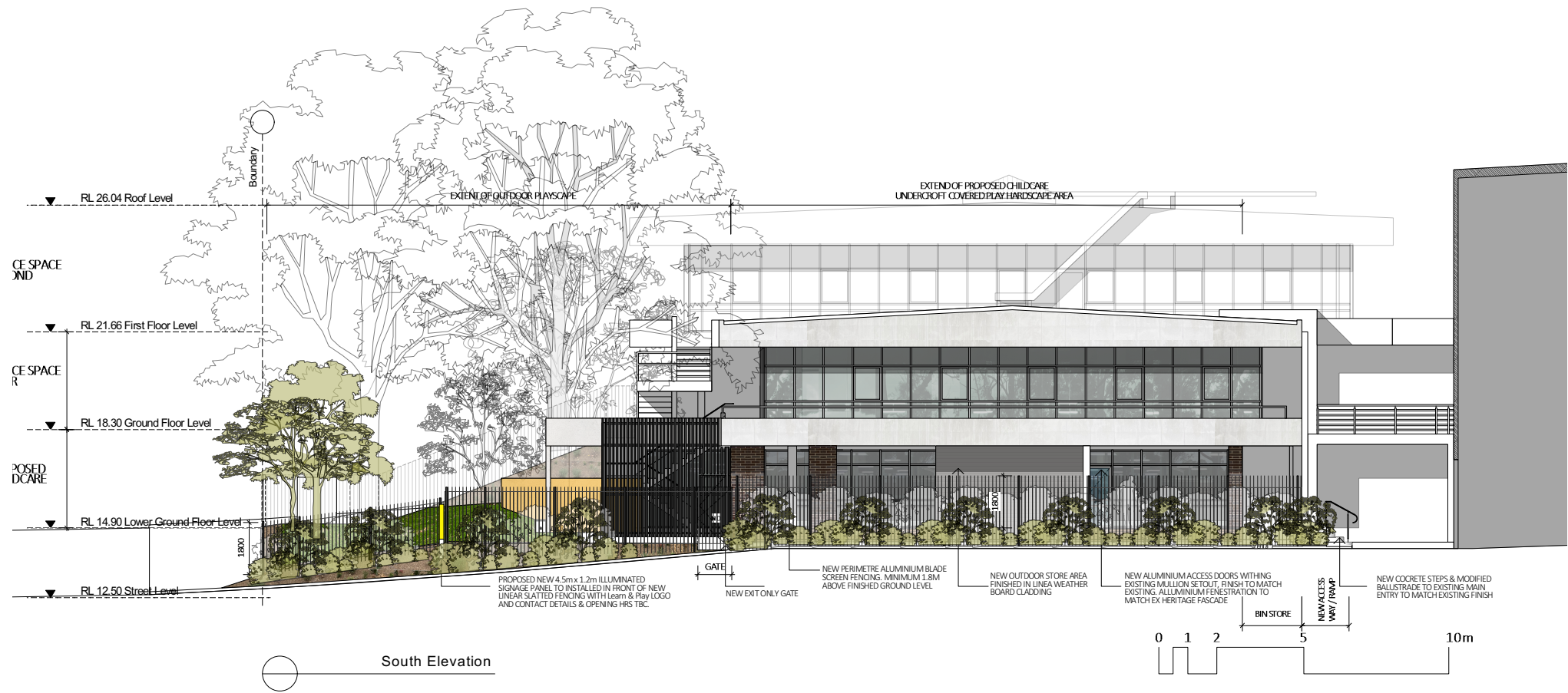
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