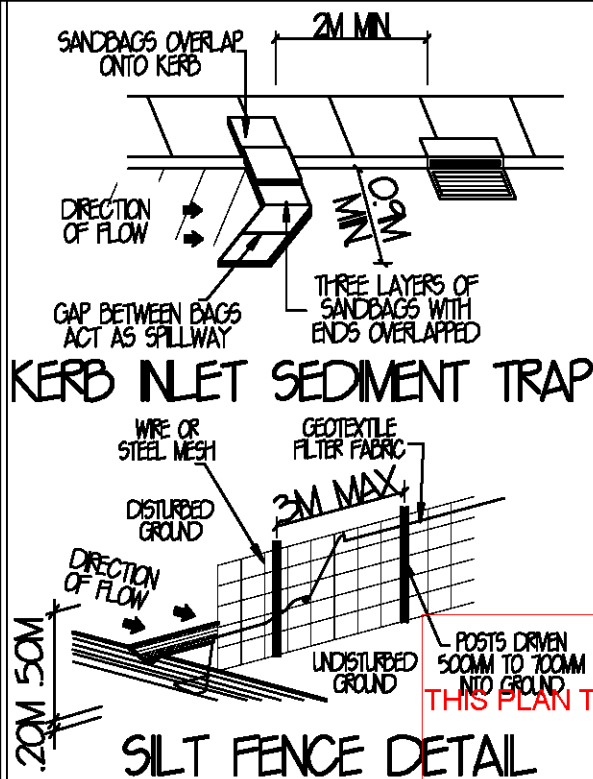




SEDIMENT CONTROL NOTES

ALL EROSION AND SEDIMENTATION CONTROL MEASUREMENTS, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.

ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AROUND AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.

SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300MM WIDE X 300MM DEEP TRENCH.

ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF MATERIALS, INCLUDING THE MAINTENANCE PERIOD.

ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.

FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT) BETWEEN POST AT 2M CENTRES. FABRIC SHALL BE BURIED 150MM ALONG ITS LOWER EDGE.

- GENERAL NOTES**
- STORMWATER TO DISCHARGE INTO DESIGNATED DISCHARGE POINT TO PCA REQUIREMENTS
 - SEWER TO LOCAL AUTHORITIES REQUIREMENTS.
 - ALL GROUND LINES ARE TO BE VERIFIED ON-SITE BY THE BUILDER.
 - FINAL LOCATION OF BUILDINGS TO BE VERIFIED ON-SITE BY A REGISTERED SURVEYOR.
 - WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALING. ANY PLAN DISCREPANCIES TO BE REFERRED BACK TO A&N DESIGN BEFORE PROCEEDING.
 - SITE CLASSIFICATION M
 - CUT AND FILL HOUSE PLATFORM APPROXIMATELY TO RL127-8 GARAGE TO RL127-8 OUTBUILDING TO RL128-2
 - HOUSE FLOOR LEVEL RL128-11 AND OUTBUILDING FLOOR LEVEL RL128-51 300MM ABOVE PLATFORM LEVEL. GARAGE FLOOR LEVEL APPROX. RL128-024, 224MM ABOVE PLATFORM LEVEL.
 - TOTAL ROOF AREA = 214.7 M²
OUTBUILDING ROOF AREA = 109.7 M²

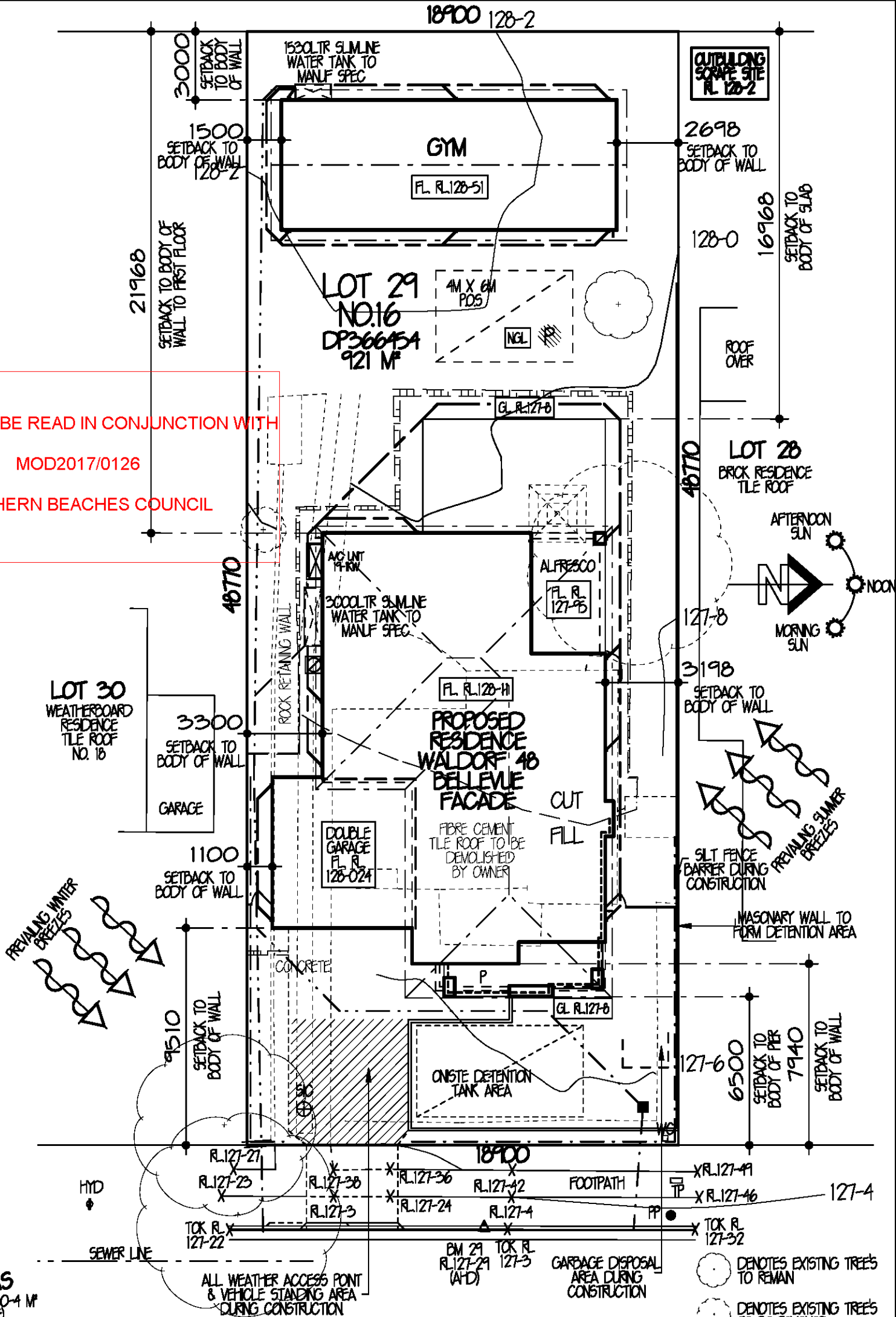
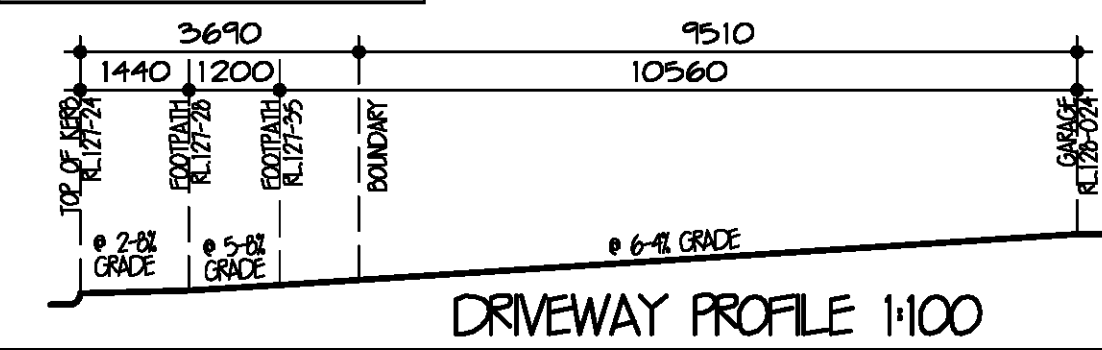
SITE DATA	
SITE AREA = 921 M ²	
PRIVATE OPEN SPACE REQUIRED = 60 M ²	
PROVIDED = 279.1 M ²	
LANDSCAPED AREA REQUIRED = 40% OR 368.4 M ²	
PROVIDED = 53.4% OR 491.5 M ²	
FLOOR AREAS	
GROUND FLOOR AREA = 180.4 M ² (EXCLUDING GARAGE)	
GARAGE FLOOR AREA = 41.1 M ²	
PORCH FLOOR AREA = 12.7 M ²	
ALFRESCO FLOOR AREA = 57.1 M ²	
FIRST FLOOR AREA = 199.0 M ²	
BALCONY FLOOR AREA = 13.0 M ²	
TOTAL FLOOR AREA = 503.3 M ² OR 54.2 SQS	
OUTBUILDING	
GROUND FLOOR = 83.8 M ²	

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70 where you want to live

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FOR **MR J & MRS K ROSS**
AT **LOT 29, 16 MELWOOD AVENUE FORSTVILLE**
TYPE **WALDORF 48 (PRESTIGE SERIES)** JOB NO. **0017822**
FACADE **BELLEVUE** HAND **LH**
MASTER **A16204** DWG NO. **A21173** PAGE NO. **1 OF 13**

REFER TO HYDRAULIC ENGINEERS PLANS FOR FULL DETAILS INCLUDING FINISHED GROUND LEVELS - SITE PLAN TO BE CROSSED REFERENCED WITH HYDRAULICS PLANS - ANY DISCREPANCIES ARE TO BE VERIFIED BEFORE PROCEEDING



SITE ANALYSIS KEY

- OVERLOOKING
- VIEWS
- NOISE SOURCE
- PRIVATE OPEN SPACE

MELWOOD AVENUE

SITE ANALYSIS & SITE PLAN 1:200 (DRAINAGE PLAN)

○ DENOTES EXISTING TREES TO REMAIN

○ DENOTES EXISTING TREES TO BE REMOVED

--- DENOTES RETAINING WALL BY OWNER

- - - DENOTES SILT FENCE BARRIER

--- DENOTES DROPPED EDGE BEAM

||||| DENOTES LINE OF BATTER TO CUT OR FILL

○ DENOTES STORMWATER TO BE DIRECTED INTO RAINWATER TANK FINAL LOCATION TO BE VERIFIED ON SITE BY THE BUILDER

○ DENOTES STORMWATER TO BE DIRECTED AS PER HYDRAULIC ENGS PLANS

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C	24-4-14	AMENDMENTS	DB
D	3-3-15	AMENDMENTS + BASIC	AD
E	30-6-15	HYD/BASIC/AMENDMENT	DB
F	10-3-16	FP AS PER CONTRASSED	AT
G	12-4-17	AMENDMENTS	HS

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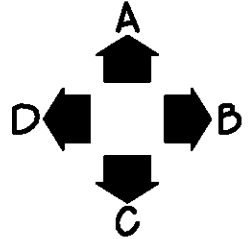
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NOTE:
DENOTES ARTICULATION JOINT IN BRICK WORK FINAL LOCATION TO BE VERIFIED ON SITE BY THE BUILDER IN ACCORDANCE WITH CLAUSE 3-3-1-8 OF THE BCA

NOTE:
STEEL & HAW TIMBER POSTS TO ENDS DETAILS TO SUPPORT STEEL BEAMS OVER TO BE LOCATED WITHIN TIMBER STUD WALL FRAMES.
REFER TO STRUCTURAL ENGINEERS PLANS FOR POST TYPE & LOCATIONS.



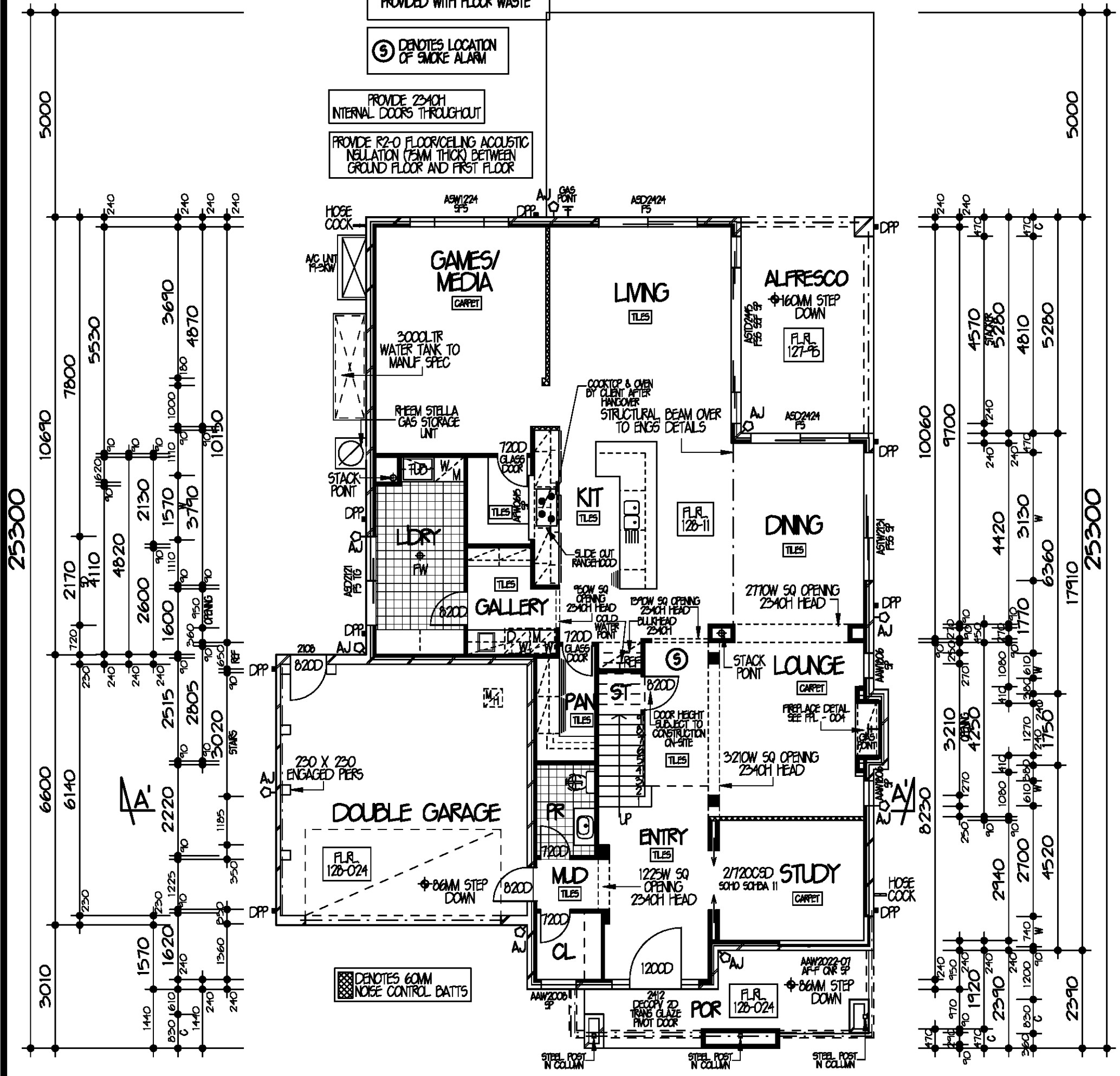
DENOTES EXHAUST FAN OVER CONNECTED TO LIGHT SWITCH DUCTED TO EXTERNAL WALL

ALL WET AREAS TO BE PROVIDED WITH FLOOR WASTE

5 DENOTES LOCATION OF SMOKE ALARM

PROVIDE 2340H INTERNAL DOORS THROUGHOUT

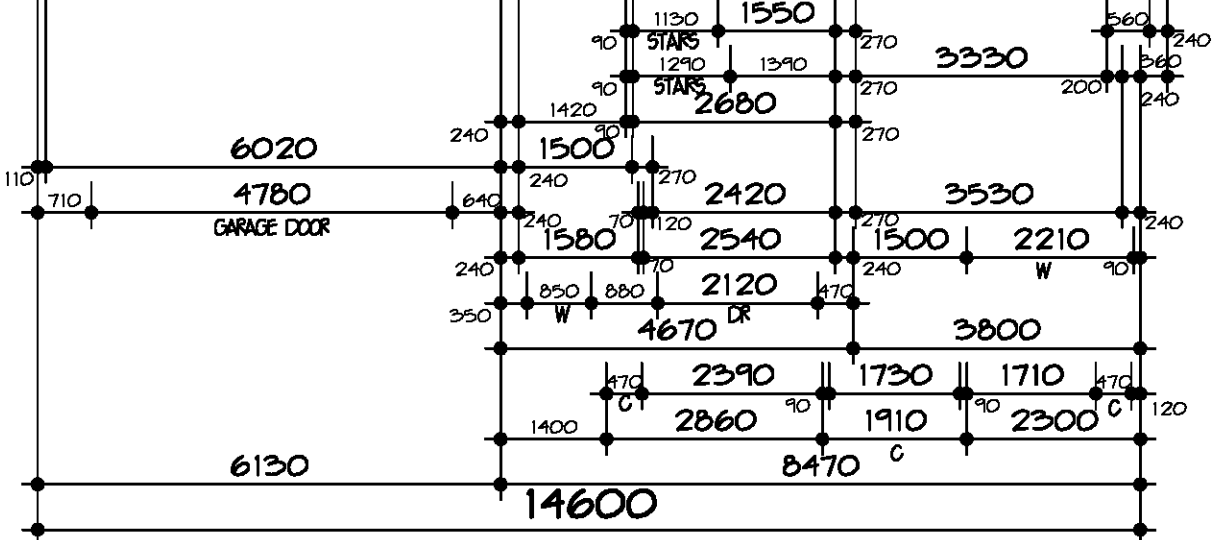
PROVIDE R2-0 FLOOR/CEILING ACOUSTIC NEULATION (75MM THICK) BETWEEN GROUND FLOOR AND FIRST FLOOR



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FOR MR J & MRS K ROSS
LOT 21, 16 MELWOOD AVENUE
FORSTVILLE
AT WALDORF 48 (PRESTIGE SERIES)
JOB NO. 0017822
FACADE BELLEVUE
HAND LH
MASTER A16204
DWG NO. A21173
PAGE NO. 2 OF 13



GROUND FLOOR PLAN 1:100

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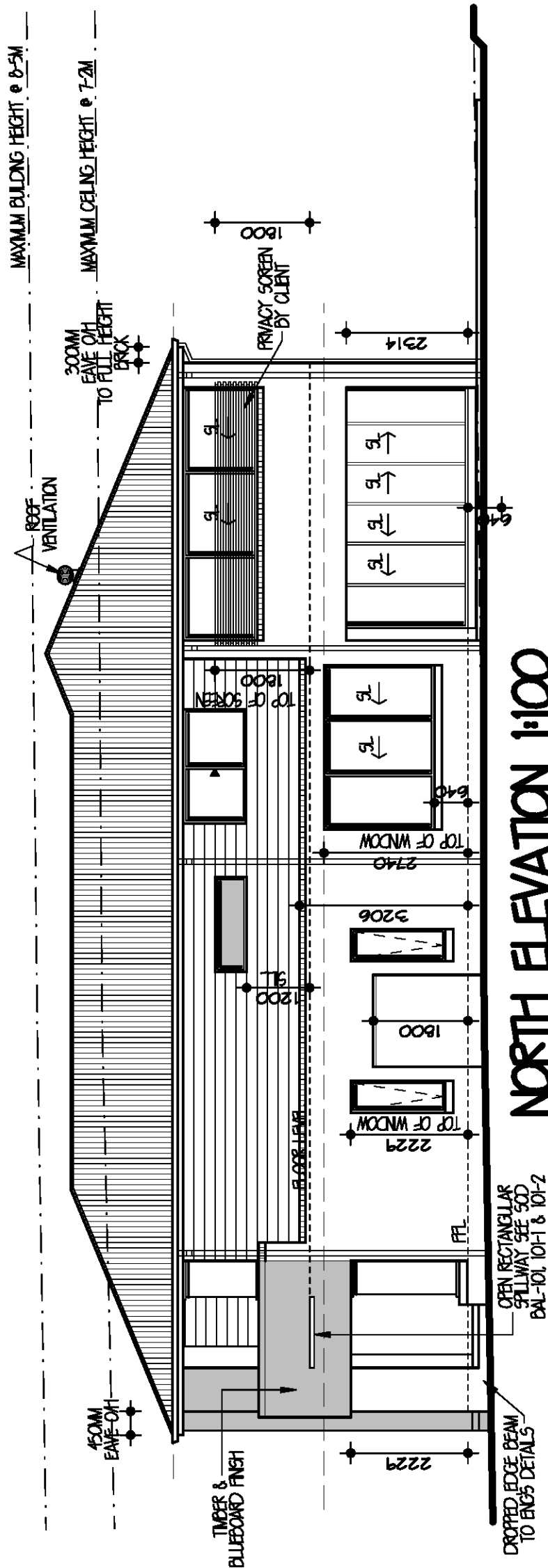
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D	3-3-15	AMENDMENTS + BASIC	AD
E	30-6-15	HYD/BASIS/AMENDMENT	DB
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G	12-4-17	AMENDMENTS	HS

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EAST ELEVATION 1:100



NORTH ELEVATION 1:100

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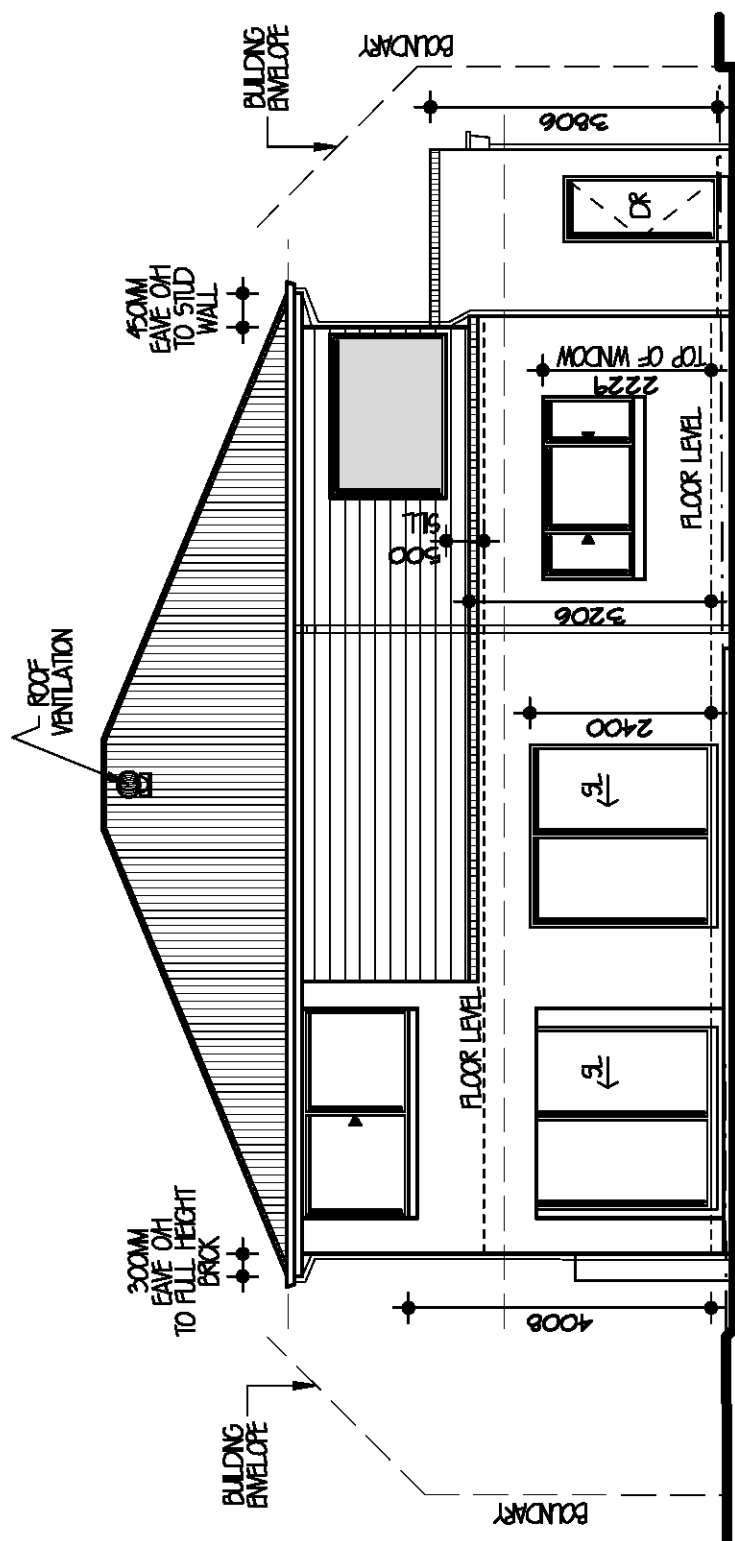
FOR **MR J & MRS K ROSS**
AT **LOT 29, 16 MELWOOD AVENUE FORSTVILLE**
TYPE **WALDORF 48 (PRESTIGE SERIES)** JOB NO. **0017822**
FACADE **BELLEVUE** HAND **LH**
MASTER **A16204** DWG NO. **A21173** PAGE NO. **5 OF 13**

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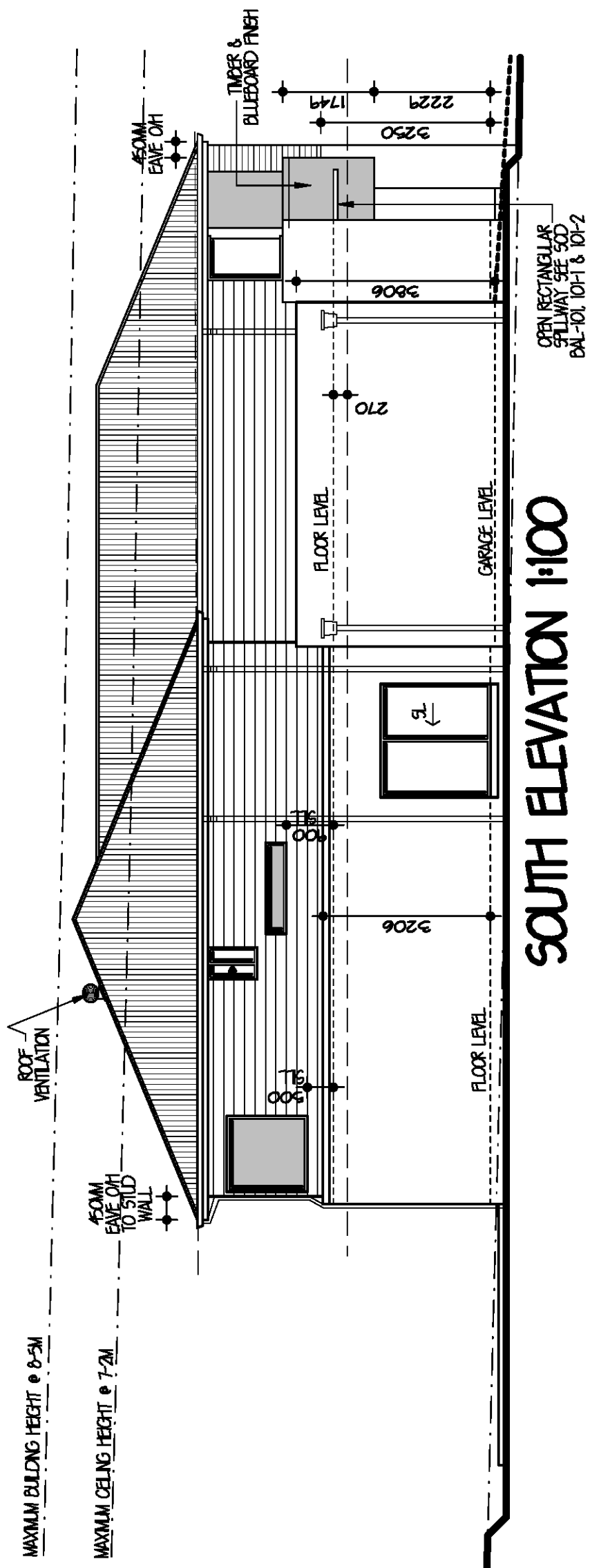
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WEST ELEVATION 1:100



SOUTH ELEVATION 1:100

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FOR MR J & MRS K
ROSS
LOT 29, 16 MELWOOD AVENUE
AT FORSTVILLE
TYPE WALDORF 48
(PRESTIGE SERIES)
FACADE BELLEVUE
MASTER A16204

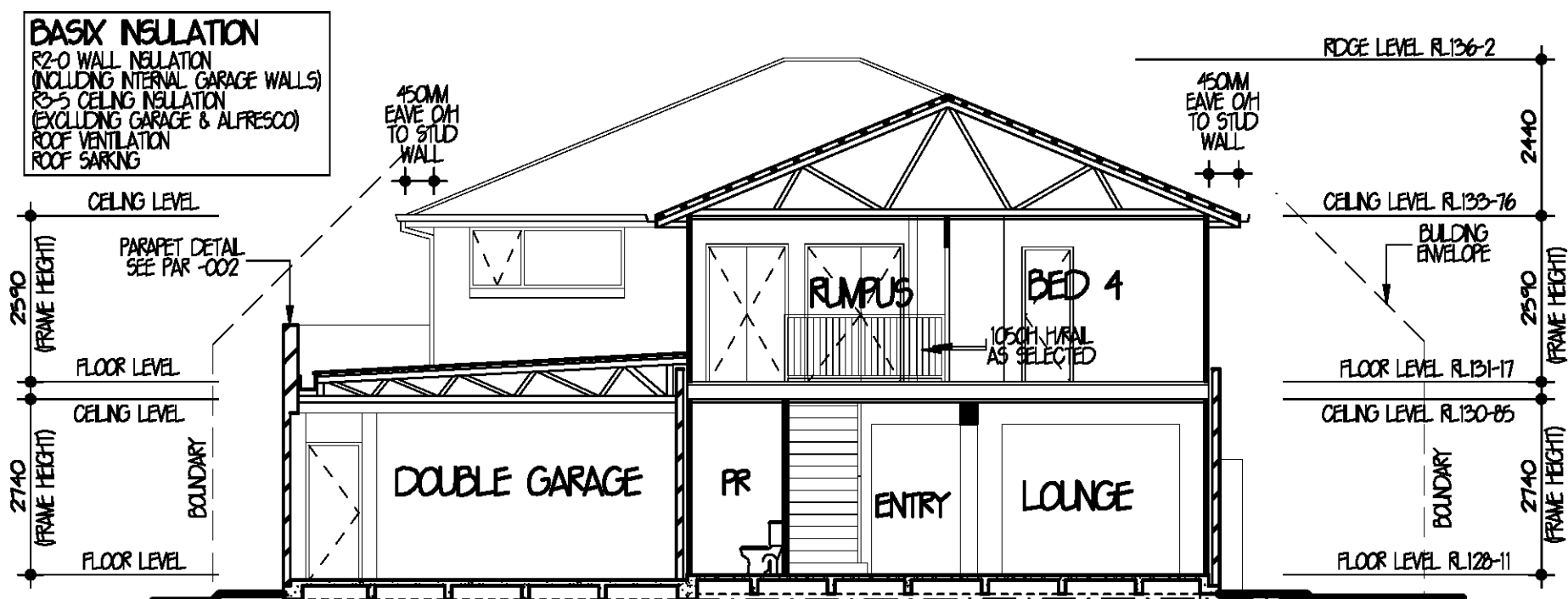
JOB NO.
0017822
HAND LH
PAGE NO.
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SUMMARY OF MATERIALS

- 22-5° ROOF PITCH COLOURBOND ROOF SHEETING
- 3° ROOF PITCH METAL ROOF SHEETING
- COLORBOND GUTTER & FASCIA
- CHARGED PVC DOWNPIPES TO BE PAINTED
- PRE-FABRICATED FRAMES & ROOF TRUSSES TO MANUFACTURE SPECIFICATIONS
- DIMENSIONS ARE TO FRAME SIZES ONLY EXCLUDES GYPROCK & SKIRTINGS THEREFORE THEY ARE NOT FINISHED ROOM SIZES
- RENDER & PAINTED BRICKWORK
- CLADDING AS SELECTED
- RENDER FINISH TO BLUEBOARD
- WESTERN RED CEDAR TIMBER WINDOWS & DOORS TO SELECTED AREAS ONLY
- ALUMINIUM WINDOWS & DOORS TO REMAINDER
- FRONT ENTRY DOORS & FRAME TO BE STAIN GRADE
- PANEL-LIFT DOOR

THIS PLAN TO BE READ IN CONJUNCTION WITH

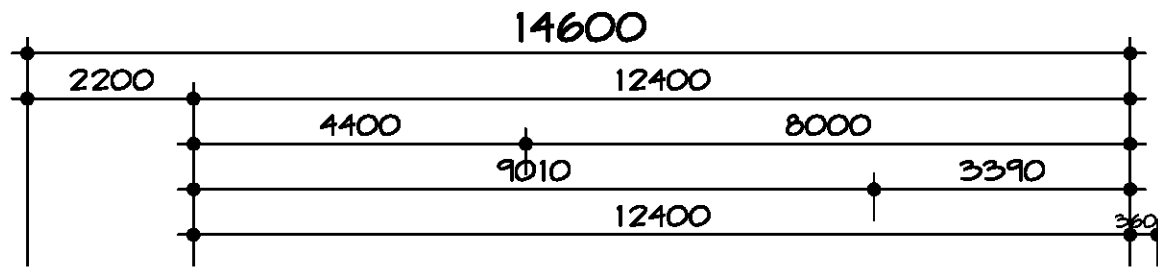
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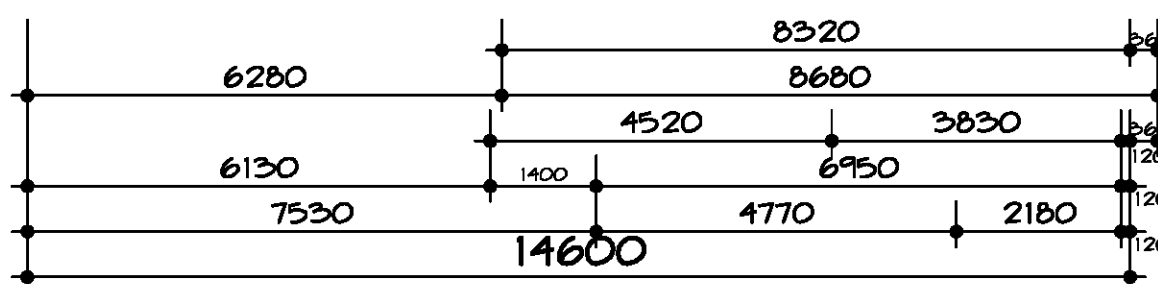
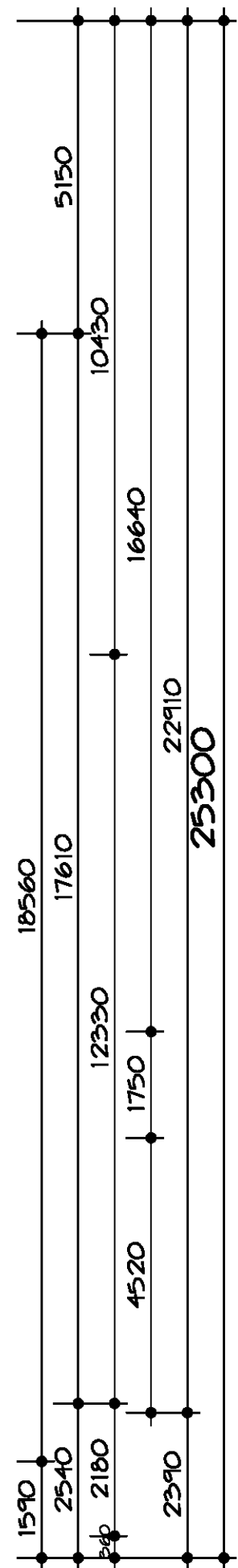
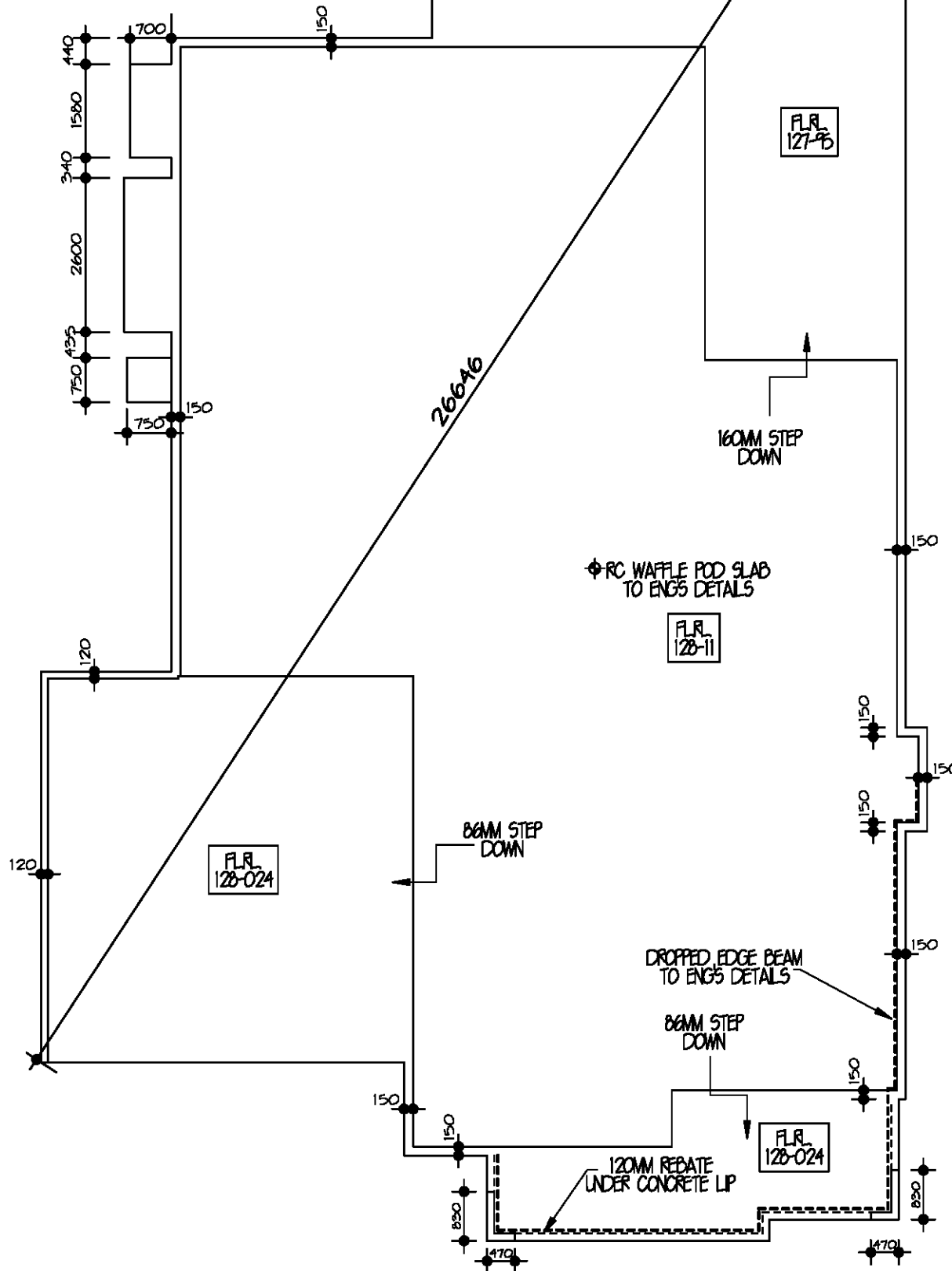
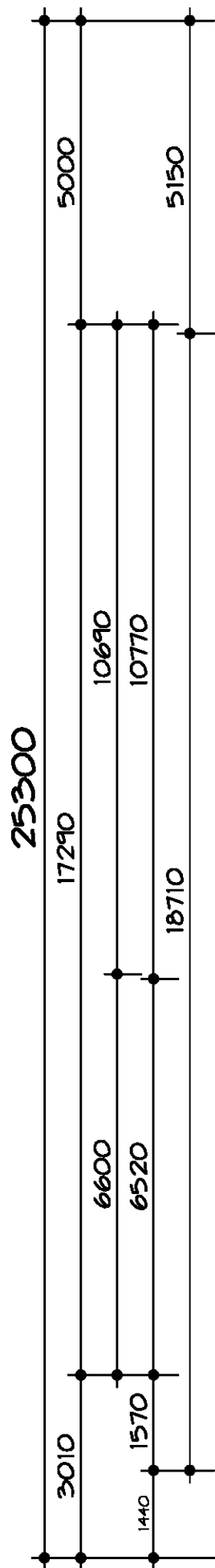
 LEVEL 3, 22 BROOKHOLLOW AVENUE NORTHWEST BUSINESS PARK BALDWIN HILLS NSW, 2153 PHONE: 0860 9222 FAX: 0860 9233	
FOR MR J & MRS K ROSS	
LOT 29, 16 MELWOOD AVENUE FORSTVILLE	
TYPE WALDORF 48 (PRESTIGE SERIES)	JOB NO. 0017822
FACADE BELLEVUE	HAND LH
MASTER A16204	DWG NO. A21173
PAGE NO. 7 OF 13	

 LEVEL 2 SUITE 216 MACARTHUR POINT NO. 25-27 SOLENT CIRCUIT PO BOX 6410 BALDWIN HILLS BUSINESS CENTRE NSW, 2153 BUSINESS PHONE: 021 8824 3533 FAX: 021 8824 3544 WWW.ANDDESIGNSYDNEY.COM.AU			
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SLAB FLOOR PLAN 1:100

SLAB PLAN TO BE CROSS REFERENCED
WITH FLOOR PLANS. ANY DISCREPANCIES
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AT **LOT 29, 16 MELWOOD AVENUE FORSTVILLE**
TYPE **WALDORF 48 (PRESTIGE SERIES)** JOB NO. **0017822**
FACADE **BELLEVUE** HAND **LH**
MASTER **A16204** DWG NO. **A21173** PAGE NO. **8 OF 13**

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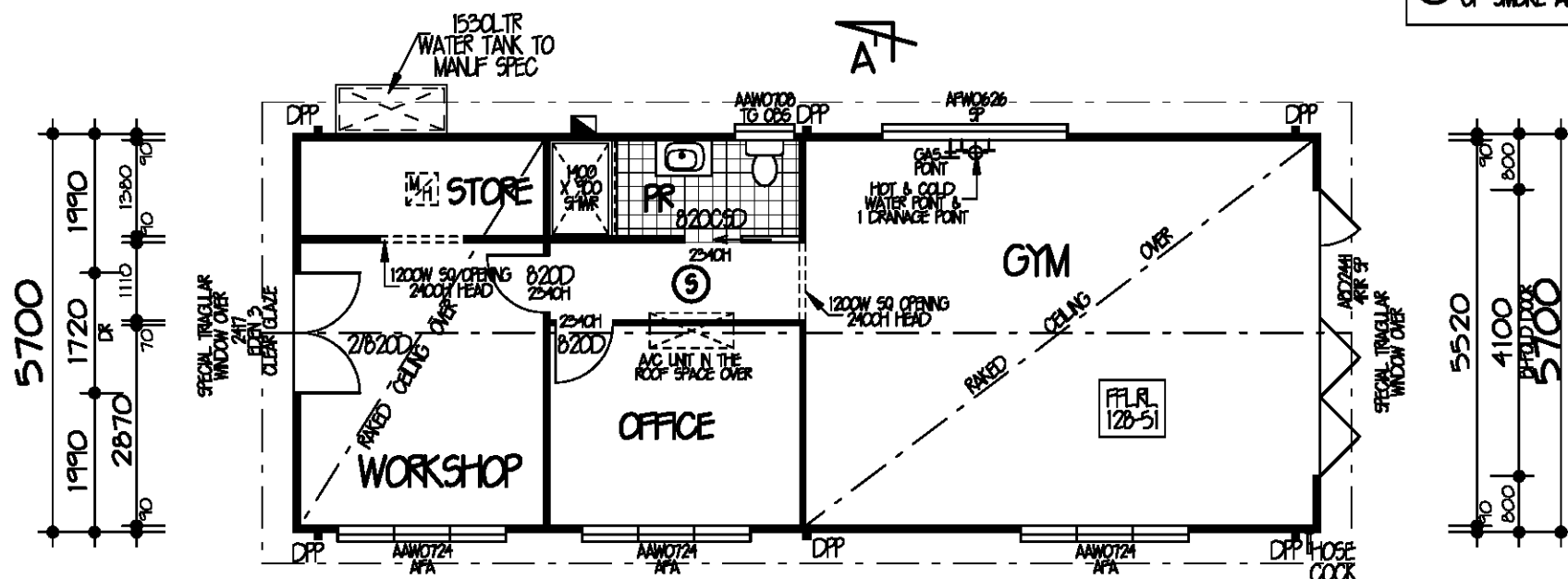
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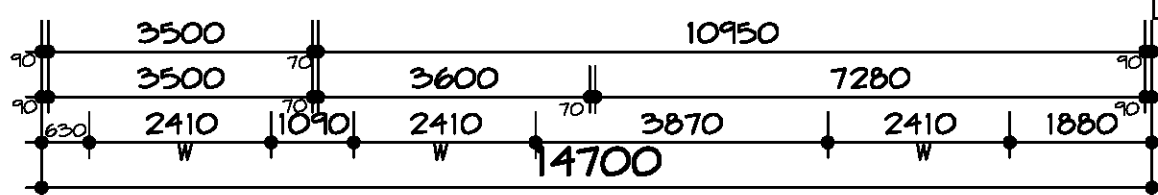
AW
DENTIES ARTICULATION JOINT IN
BRICK WORK FINAL LOCATION TO
BE VERIFIED ON SITE BY THE
BUILDER IN ACCORDANCE WITH
CLAUSE 3-3-1-8 OF THE BCA

ALL WET AREAS TO BE PROVIDED WITH FLOOR WASTE

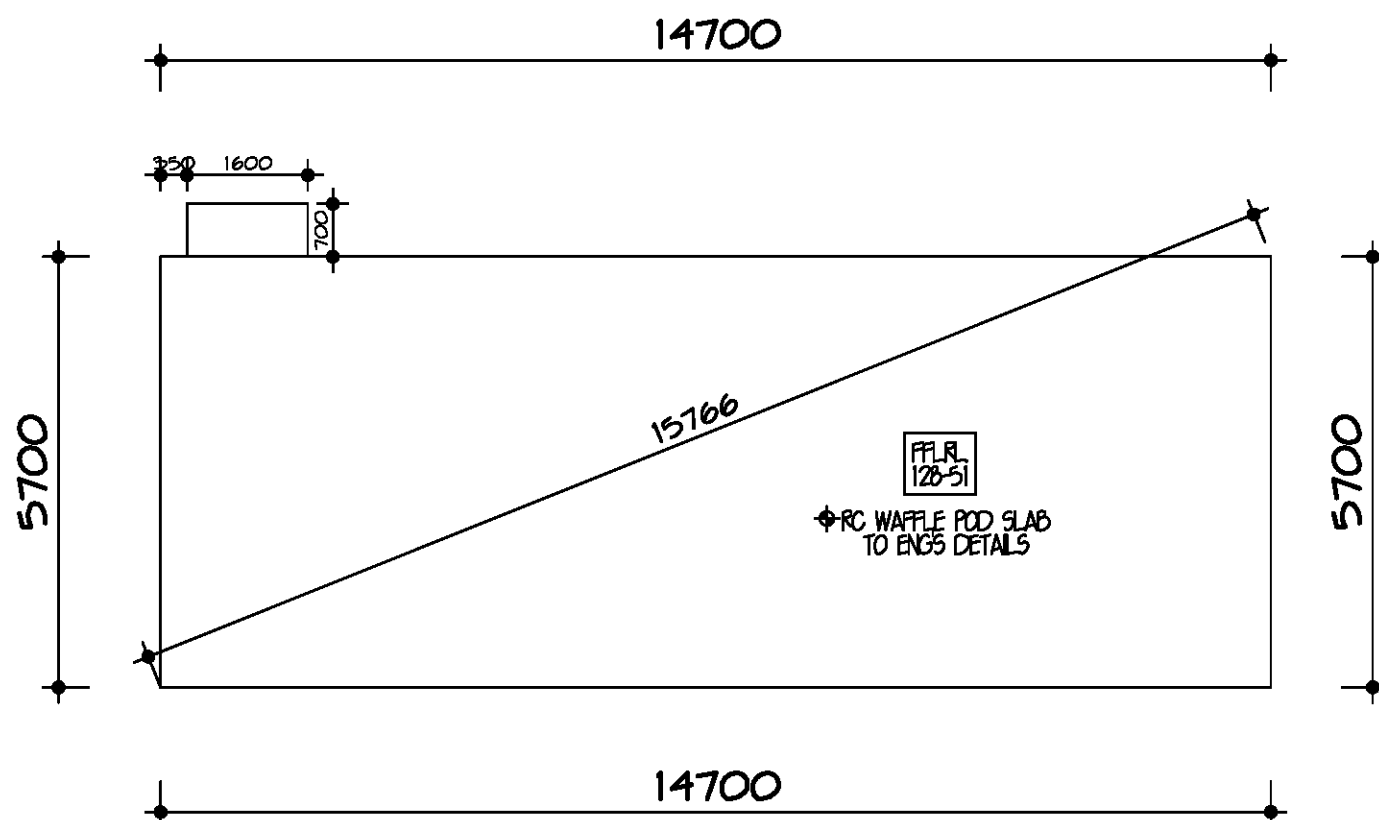
⑤ DENOTES LOCATION OF SMOKE ALARM



RAKED CEILINGS TO THE
GYM, STORE & WORKSHOP
ONLY, STANDARD FLAT CEILING
TO OFFICE HALL & PR



GYM / WORKSHOP FLOOR PLAN 1:100



SLAB FLOOR PLAN 1:100

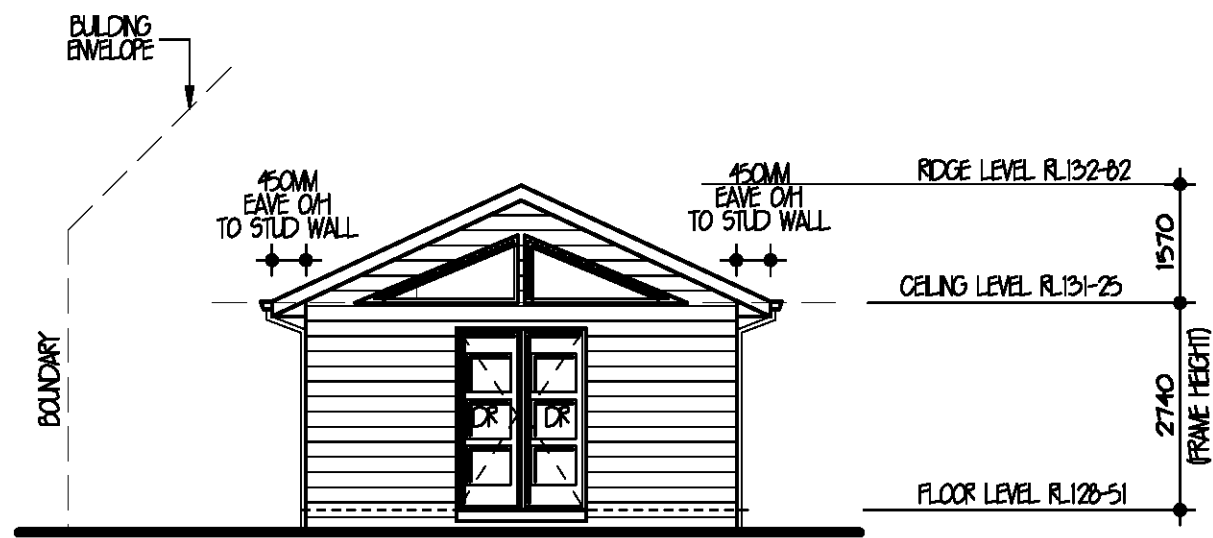
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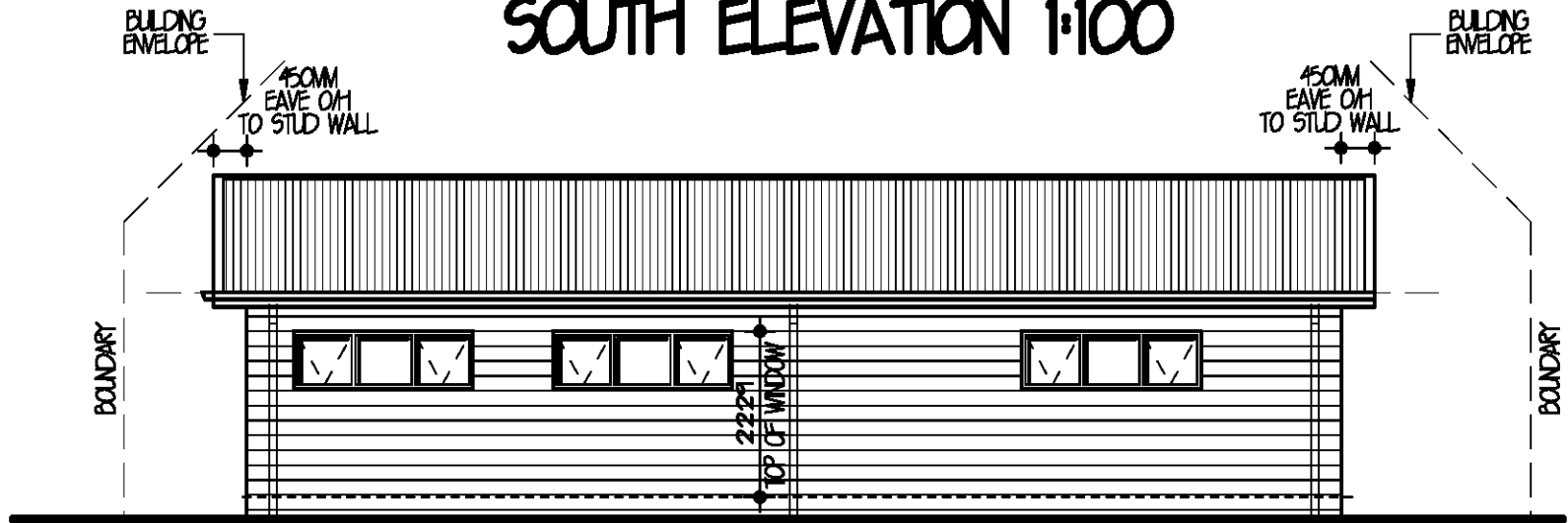
 Hedden brae homes <i>"Where you want to live"</i>		LEVEL 3, 22 BROOKHOLLOW AVENUE NORTHWEST BUSINESS PARK BULLOCK HILLS NSW. 2153 PHONE: 8860 9222 FAX: 8860 9233			
FOR	MR J & MRS K ROSS				
LOT	16 MELWOOD AVENUE FORSTVILLE				
AT					
TYPE	WALDORF 48 (PRESTIGE SERIES)	JOB NO. 0017822			
FACADE	BELLEVUE	HAND LH			
MASTER	DWG NO. A16204	PAGE NO. 9 OF 13			

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SYDNEY

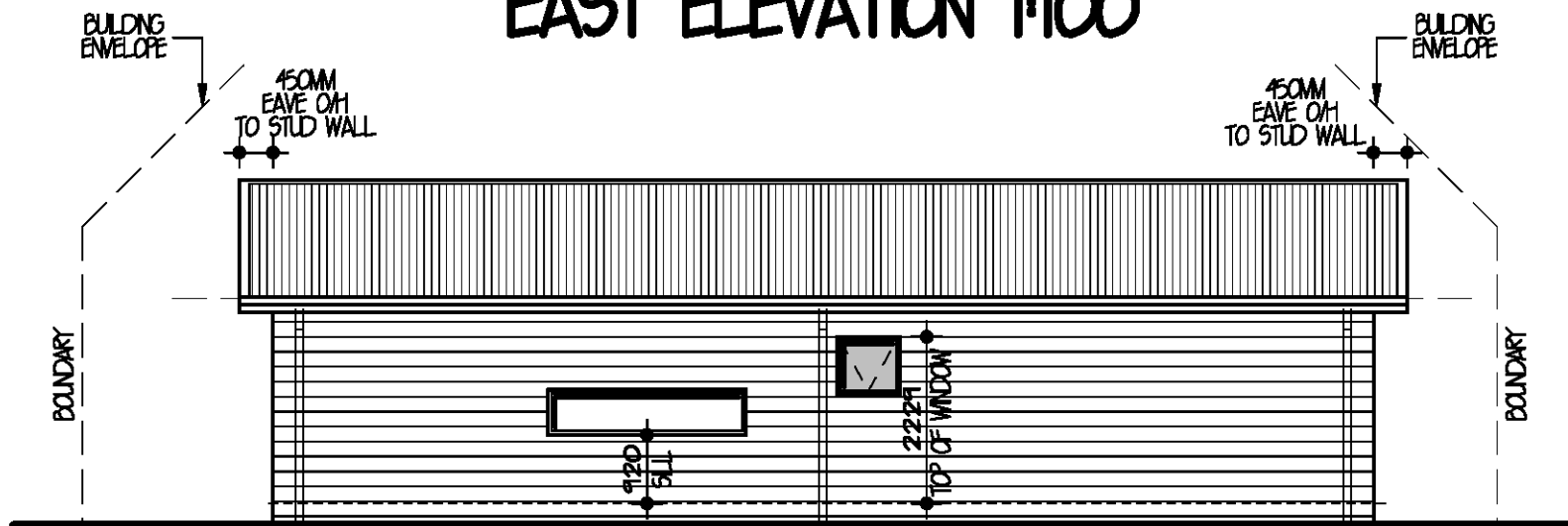
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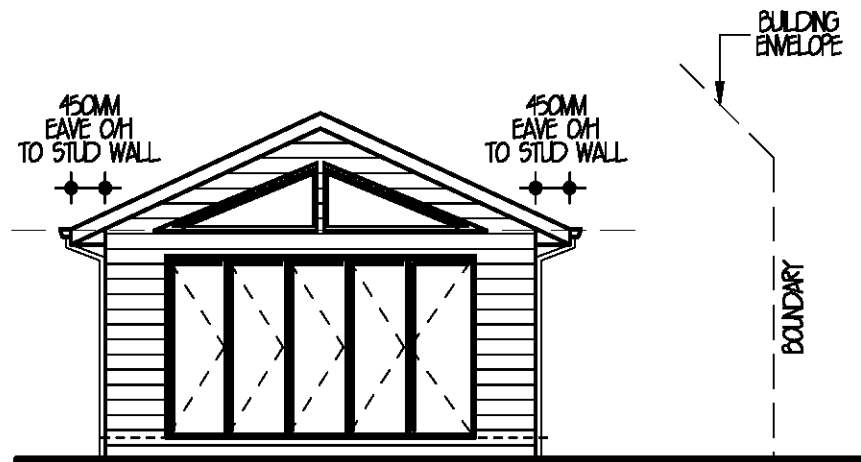
SOUTH ELEVATION 1:100



EAST ELEVATION 1:100



WEST ELEVATION 1:100



NORTH ELEVATION 1:100

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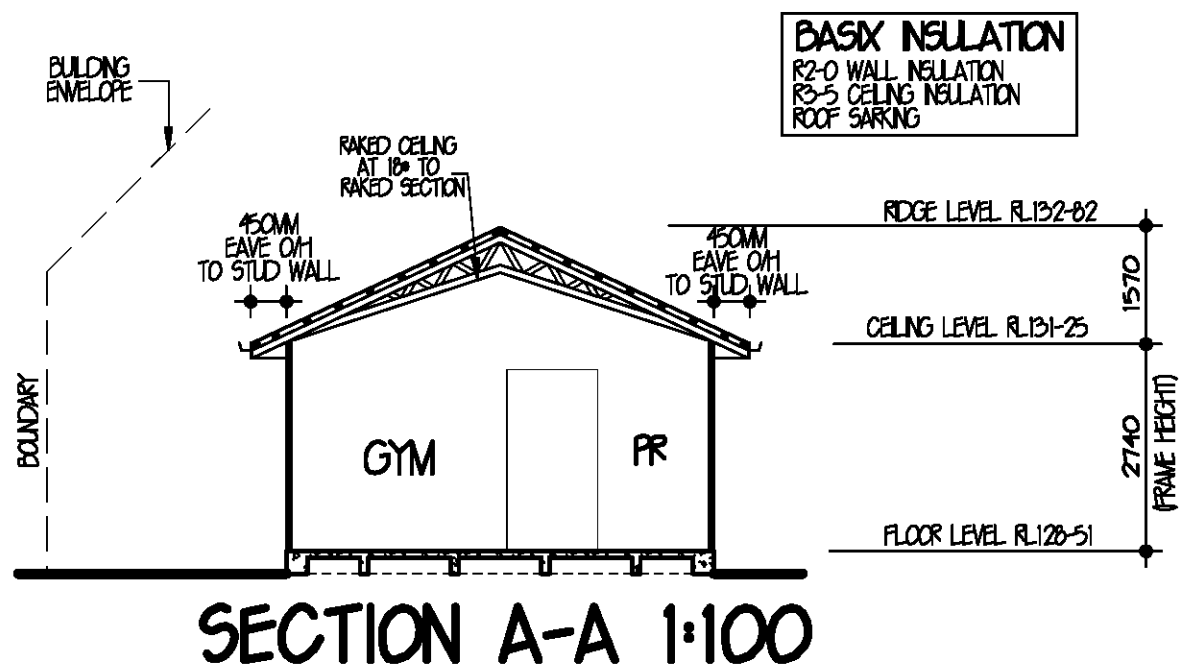
FOR **MR J & MRS K ROSS**
LOT 29 16 MELWOOD AVENUE
AT **FORSTVILLE**
TYPE **WALDORF 48**
(PRESTIGE SERIES)
JOB NO. **0017822**
FACADE **BELLEVUE**
HAND **LH**
MASTER **A16204**
DWG NO. **A21173**
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SUMMARY OF MATERIALS

- 25° ROOF PITCH COLOURBOND ROOF SHEETING
- COLORBOND GUTTER & FASCIA
- CHARGED PVC DOWNPIPES TO BE PAINTED
- PRE-FABRICATED FRAMES & ROOF TRUSSES TO MANUFACTURE SPECIFICATIONS
- DIMENSIONS ARE TO FRAME SIZES ONLY EXCLUDES GYPROCK & SKIRTINGS THEREFORE THEY ARE NOT FINISHED ROOM SIZES
- CLADDING AS SELECTED
- ALUMINIUM WINDOWS & DOORS
- WORKSHOP FRONT DOORS & FRAME TO BE STAIN GRADE

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FOR **MR J & MRS K ROSS**
LOT 29 16 MELWOOD AVENUE
AT **FORSTVILLE**
TYPE **WALDORF 48**
(PRESTIGE SERIES)
JOB NO. **0017822**
FACADE **BELLEVUE**
HAND **LH**
MASTER **A16204**
DWG NO. **A21173**
PAGE NO. **11 OF 13**

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ISSUE	DATE	REVISION	DRAWN
A	7-2-14	SITING	DR
B	16-4-14	CC PLANS	AL
C	24-4-14	AMENDMENTS	DB
D	3-3-15	AMENDMENTS + BASIX	AD
E	30-6-15	HYD/BASIX/AMENDMENT	DB
F	10-3-16	FIP AS FOR CONSTRUCTION	AT
G	12-4-17	AMENDMENTS	HS

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