

SCOPE OF WORKS

RENOVATIONS AND ADDITIONS TO
EXISTING TIMBER FRAMED RESIDENCE TO INCLUDE -

- X1 L1 - DEMOLISH REAR SKILLION - PART KITCHEN + LDY
24 SM
- X2 L1 - DEMOLISH ON GROUND PATIO SLAB + PART DECK
17 SM
- A L1 - RE-BUILD REAR PORTION DEMOLISHED - 24 SM
- B L1 - FAMILY ROOM ADDITION
- C L2 - REAR ADDITION - UPPER LEVEL - OVER 'A' - 24SM
BED 1, WIR, ENSUITE - SKILLION ROOF
- D L1 - RENOVATION - CONVERT EX. L1 STUDY
TO A LAUNDRY - 5SM
- E L1 - REAR ADDITION - AWNING AND PATIO
NON HABITABLE AREA

SCHEDULE OF FINISHES

ITEM	MATERIAL	FINISH	COLOUR
FLOORS SLABS	TIMBER	NATURAL	
	CONCRETE TILES	LIGHT GREY	
WALLS	100 POLYPANEL NRG GREENBOARD - OR LIKE OVER 90 STUD	PAINT	NATURAL WHITE
ROOF	SPANDECK	COLORBOND	MONUMENT
WINDOWS	ALUM	POWDER COATED	MONUMENT
DOORS	ALUM	POWDER COATED	MONUMENT
GARAGE	ALUM	POWDER COATED	LIGHT OAK

N O T E

- Contractor must verify all dimensions on site prior to the commencement of any construction work or shop drawings.
 - Only figured dimensions to be used.
 - All scaled dimensions must be verified.
 - Copyright Paul Carrick & Associates (PC&A)
- This drawing is copyright and the property of PC&A and must not be retained, used or copied for other projects without the prior written consent of PC&A.

SPECIFICATION

- DEMOLITION
TO AS 2601 - SAFE DEMOLITION CODE
- TREE PROTECTION
TO AS 4970-20096 - LEVEL 5 ARBORIST REPORT
- STRUCTURAL DETAILS
TO A.S.2870 - RESIDENTIAL SLAB AND FOOTINGS CODE
STRUCTURAL DETAILS TO ENGINEERS DESIGN.
- CONCRETE
TO AS.3600 - CONCRETE CODE.
- TIMBER
TO AS.1684.2 - TIMBER FRAME CODE.
- TERMITES
TO AS.3660 - PROTECTION OF BUILDINGS
FROM SUBTERRANEAN TERMITES
- DRAINAGE
TO AS.3500.3 - STORMWATER & DRAINAGE CODE
AND TO COUNCIL REQUIREMENTS.
- WATER RECIRCULATION
TO AS.1926.3
- ELECTRICAL
TO AS.3000 - WIRING RULES.
OUTLETS AND SERVICES AS DIRECTED BY OWNER.
- SMOKE ALARMS
TO AS 3786
- WATERPROOFING
TO AS 3740
- FIRE SEPARATION
BCA/NCC 2019 3.7.2 - COMPLIANCE WITH
- INSULATION
REFER BASIX CERTIFICATE
- SWIMMING POOL

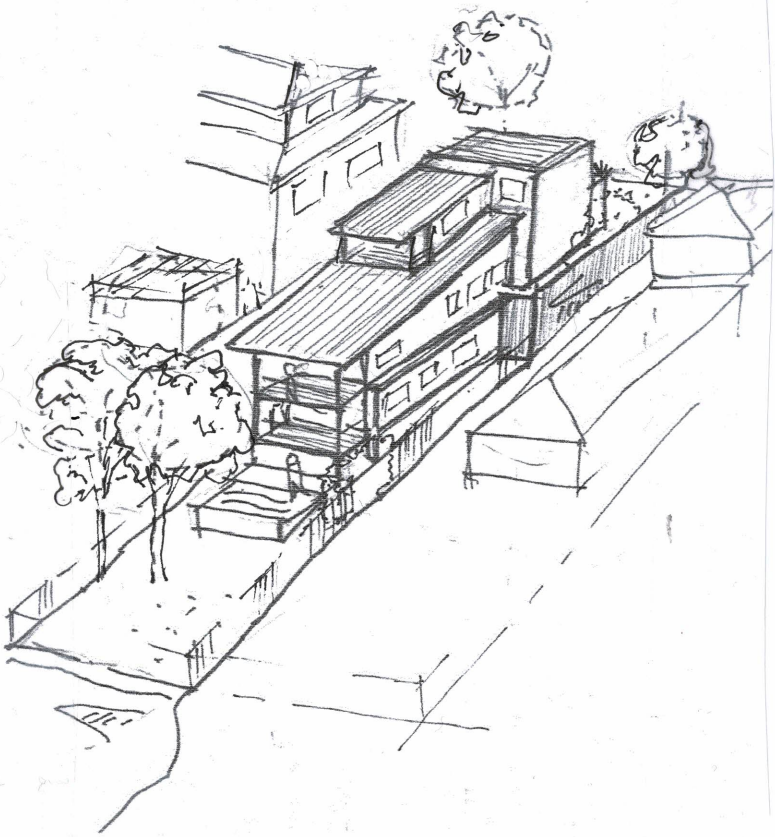
TO AS 1926.1 - SWIMMING POOL SAFETY STANDARDS
TO AS 1926.3 - SWIMMING POOL / SPA WATER RECIRCULATION
TO SWIMMING POOL REGULATIONS 2018
TO SWIMMING POOL ACT
- GENERAL

VERIFY ALL SCHEDULES & DIMENSIONS ON SITE BEFORE
COMMENCEMENT OF WORKS OR ORDERING OF MATERIALS.

ALL WORKS IN ACCORDANCE WITH PROVISIONS OF
BUILDING CODE OF AUSTRALIA, ANY AUSTRALIAN STANDARD,
COUNCIL REQUIREMENTS AND IN A TRADESMAN LIKE MANNER.

DRAWING SCHEDULE

- 1 SCOPE, SPECIFICATION, FINISHES
- 2 SITE PLAN
- 3 FLOOR PLAN L1 LOWER - RUMPUS, POOL
- 4 FLOOR PLAN L2 MIDDLE - ENTRY, GARAGE
- 5 FLOOR PLAN L2 UPPER - BED 1, STUDY
- 6 ROOF PLAN
- 7 STREETScape
- 8 SIDE PROFILES - SITE OVERVIEW
- 9 ELEVATIONS FRONT SOUTH + NORTH REAR
- 10 ELEVATION SIDE EAST
- 11 ELEVATION SIDE WEST
- 12 LONG SECTION LOOKING EAST
- 13 LONG SECTION LOOKING WEST
- 14 CROSS SECTIONS - GRID 4-5 + GRID 6
- 15 WINDOW + DOOR SCHEDULE
- 16 SITE ANALYSIS
- 17 EXISTING DWELLING SITE PLANS
- 18 SITE CALCULATIONS
- 19 LANDSCAPE
- 20 EROSION & WASTE PLAN
- 21 SHADOW DIAGRAM 21ST JUNE - 9AM
- 22 SHADOW DIAGRAM 21ST JUNE - 12 NOON
- 23 SHADOW DIAGRAM 21ST JUNE - 3PM
- 24 BASIX COMMITMENTS
- 25 BASIX SHEET 1
- 26 BASIX SHEET 2
- 34002-24-DET-ID-A1 SURVEY
- 240910-C01 CIVIL - STORMWATER
- 240910-C02 CIVIL - STORMWATER
- 240910-C03 CIVIL - STORMWATER
- 240910-C04 CIVIL - DRIVEWAY CROSSING



A	DA Submission	JULY 2025
Issue	Amendment	Date

LOT 304
DP12316
546.8 sm

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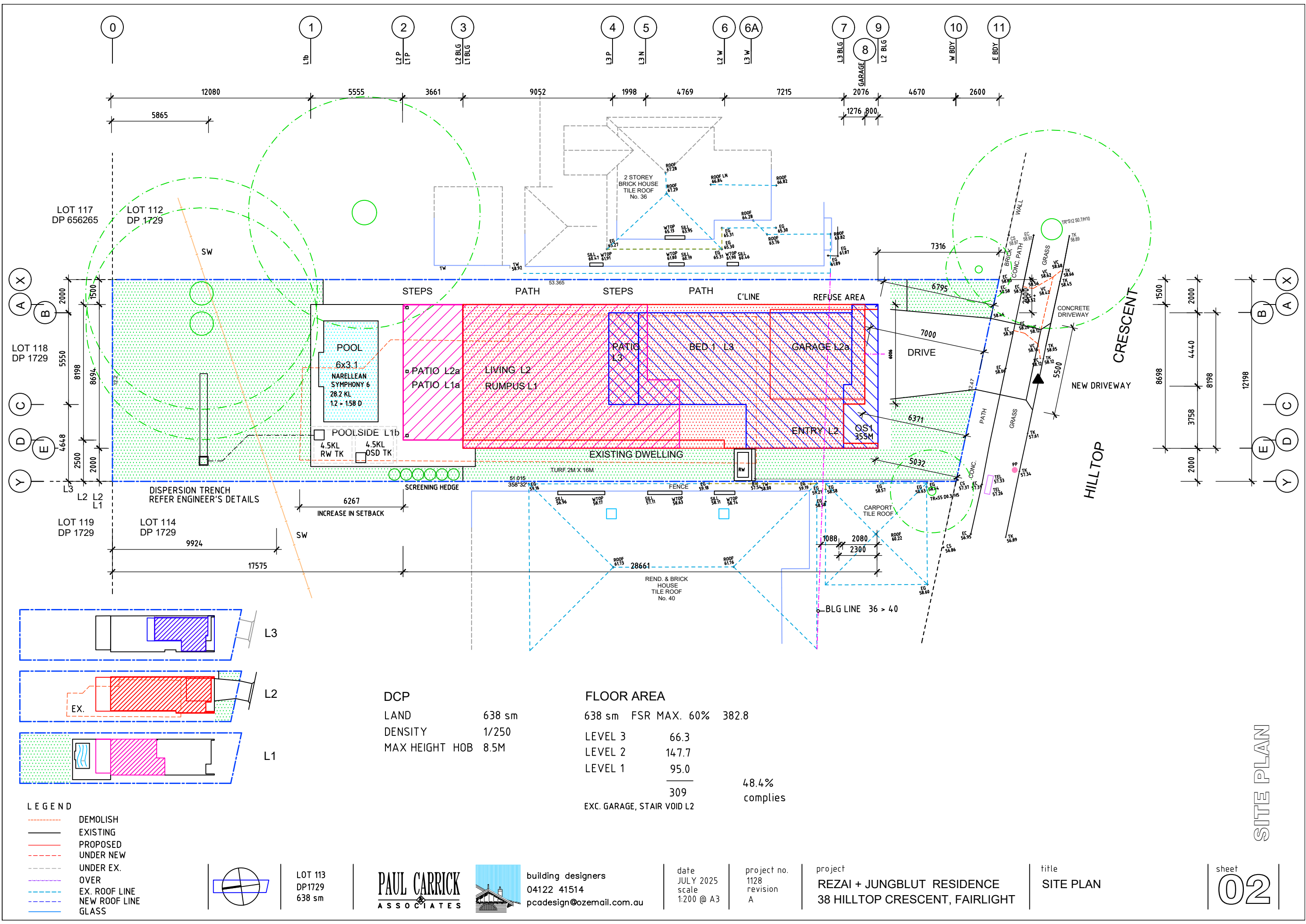
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JULY 2025
scale
1:100 @ A3

project no.
1128
revision
A

project
NEW 3 LEVEL DWELLING
Inc. pool

client
N. REZAI + J. JUNGBLUT
address
38 HILLTOP CRESCENT, FAIRLIGHT

sheet
01



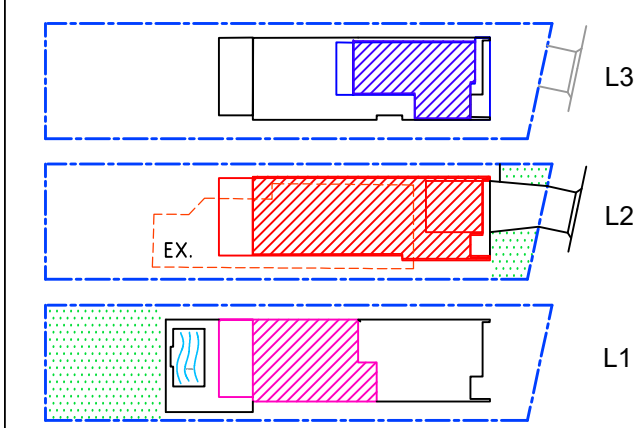
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DP 656265

LOT 112
DP 1729

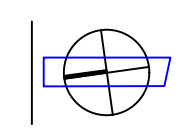
LOT 118
DP 1729

LOT 119
DP 1729

LOT 114
DP 1729



- LEGEND
- DEMOLISH
 - EXISTING
 - PROPOSED
 - UNDER NEW
 - UNDER EX.
 - OVER
 - EX. ROOF LINE
 - NEW ROOF LINE
 - GLASS



LOT 113
DP1729
638 sm



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date
JULY 2025
scale
1:200 @ A3

project no.
1128
revision
A

project
REZAI + JUNGBLUT RESIDENCE
38 HILLTOP CRESCENT, FAIRLIGHT

title
SITE PLAN

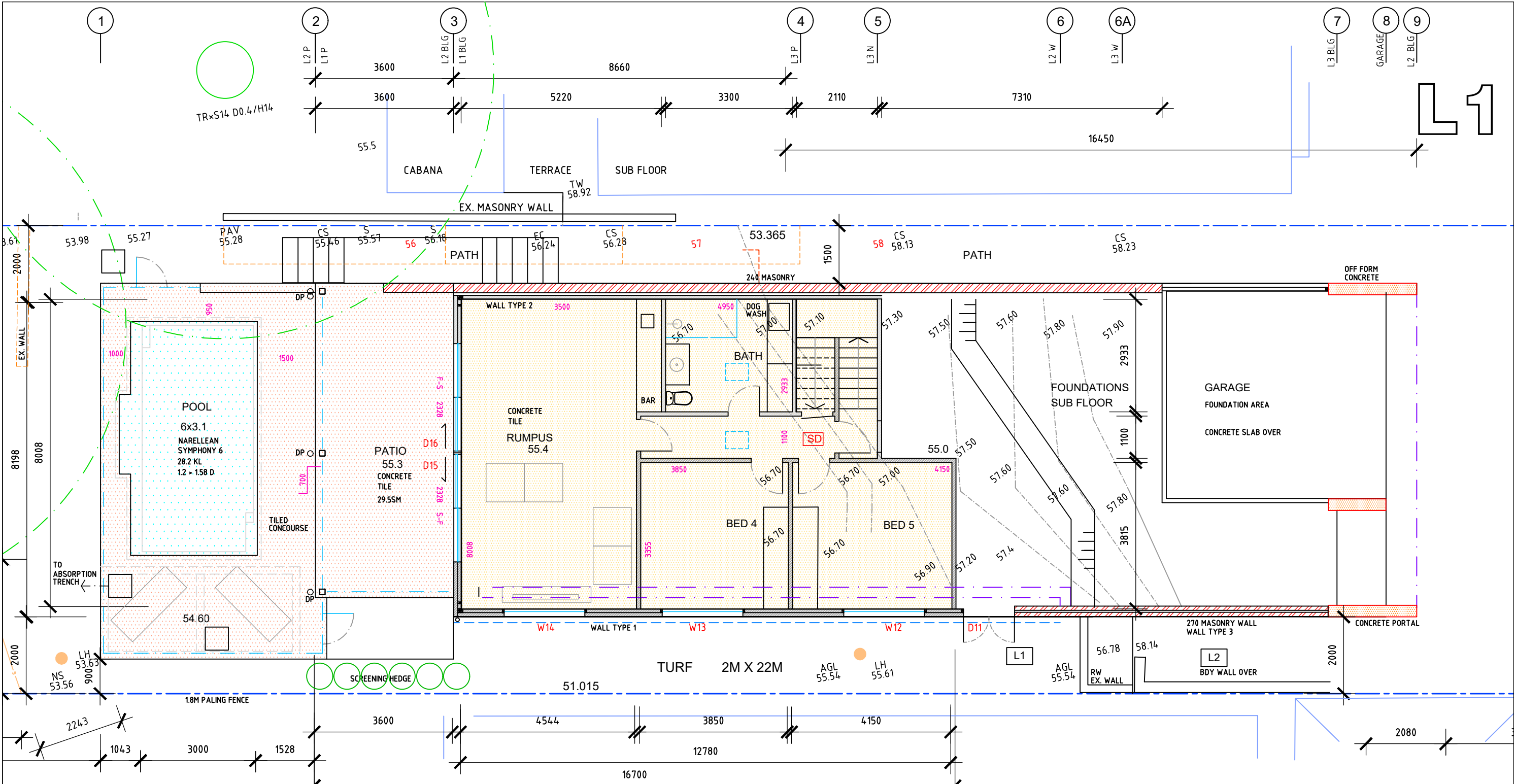
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02

DCP
LAND 638 sm
DENSITY 1/250
MAX HEIGHT HOB 8.5M

FLOOR AREA		
638 sm	FSR MAX. 60%	382.8
LEVEL 3	66.3	
LEVEL 2	147.7	
LEVEL 1	95.0	
	309	
EXC. GARAGE, STAIR VOID L2		

48.4%
complies

SITE PLAN



FLOOR AREA

LEVEL 3	66.3
LEVEL 2	147.7
LEVEL 1	95.0
EXC. L2 GARAGE, STAIR & VOID	309 SM

LEGEND

- DEMOLISH
- EXISTING
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- GLASS

LED SOLAR 'SKYLIGHT'

LEVELS

LEVEL 1 FLOOR PLAN

WALL TYPES

WALL 1 220 THK
10 RENDER
100 POLY PANEL
- NRG GREENBOARD OR LIKE

WALL 2 400 THK L1
240 MASONRY
70 CAVITY DRAIN
90 STUD
10 GYROCK

WALL 3 270 CAVITY BK. L1

LOT 113
DP1729
638 sm

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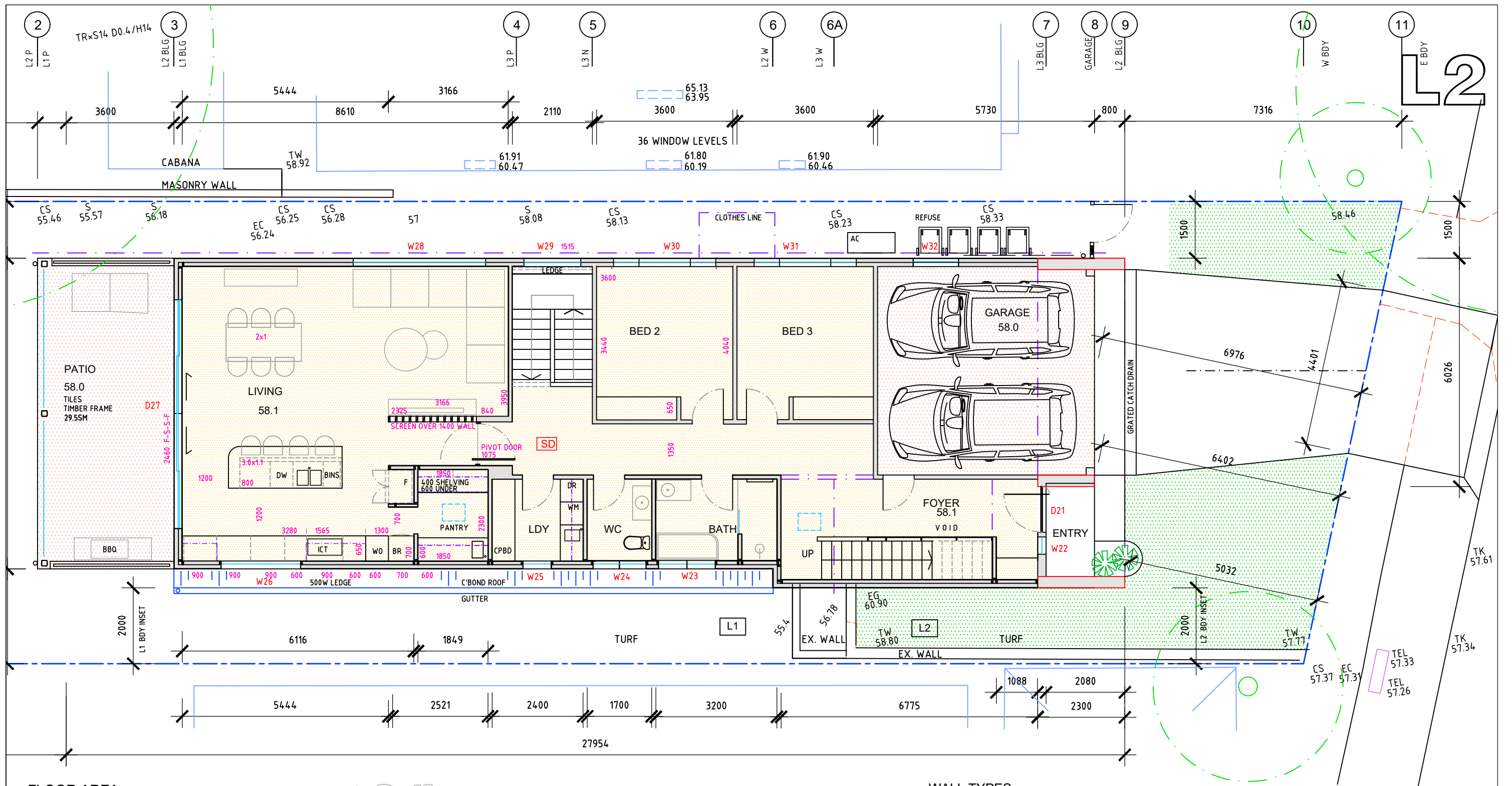
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1:100 @ A3

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REZAI + JUNGBLUT RESIDENCE
38 HILLTOP CRESCENT, FAIRLIGHT

title
FLOOR PLAN
LEVEL 1 - RUMPUS, POOL

sheet
03

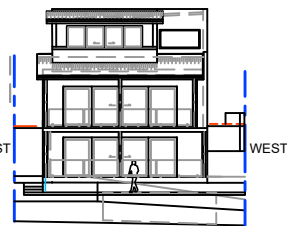


FLOOR AREA

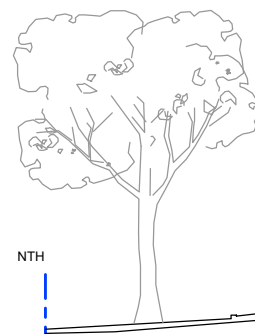
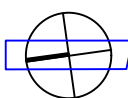
LEVEL 3	66.3
LEVEL 2	14.7.7
LEVEL 1	95.0
EXC. L2 GARAGE, STAIR & VOID	309 SM

LEGEND

- DEMOLISH
- EXISTING
- PROPOSED
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- UNDER EX.
- OVER
- EX. ROOF LINE
- NEW ROOF LINE
- GLASS



ILLUME
LED SKYLIGHT



LEVELS

WALL TYPES

- WALL 1 220 THK
10 RENDER
100 POLY PANEL
- NRG GREENBOARD OR LIKE
- 90 STUD
10 GYPROCK
- WALL 2 400 THK L1
240 MASONRY
70 CAVITY DRAIN
90 STUD
10 GYPROCK
- WALL 3 270 CAVITY BK. L1

LOT 113
DP1729
638 sm

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JULY 2025
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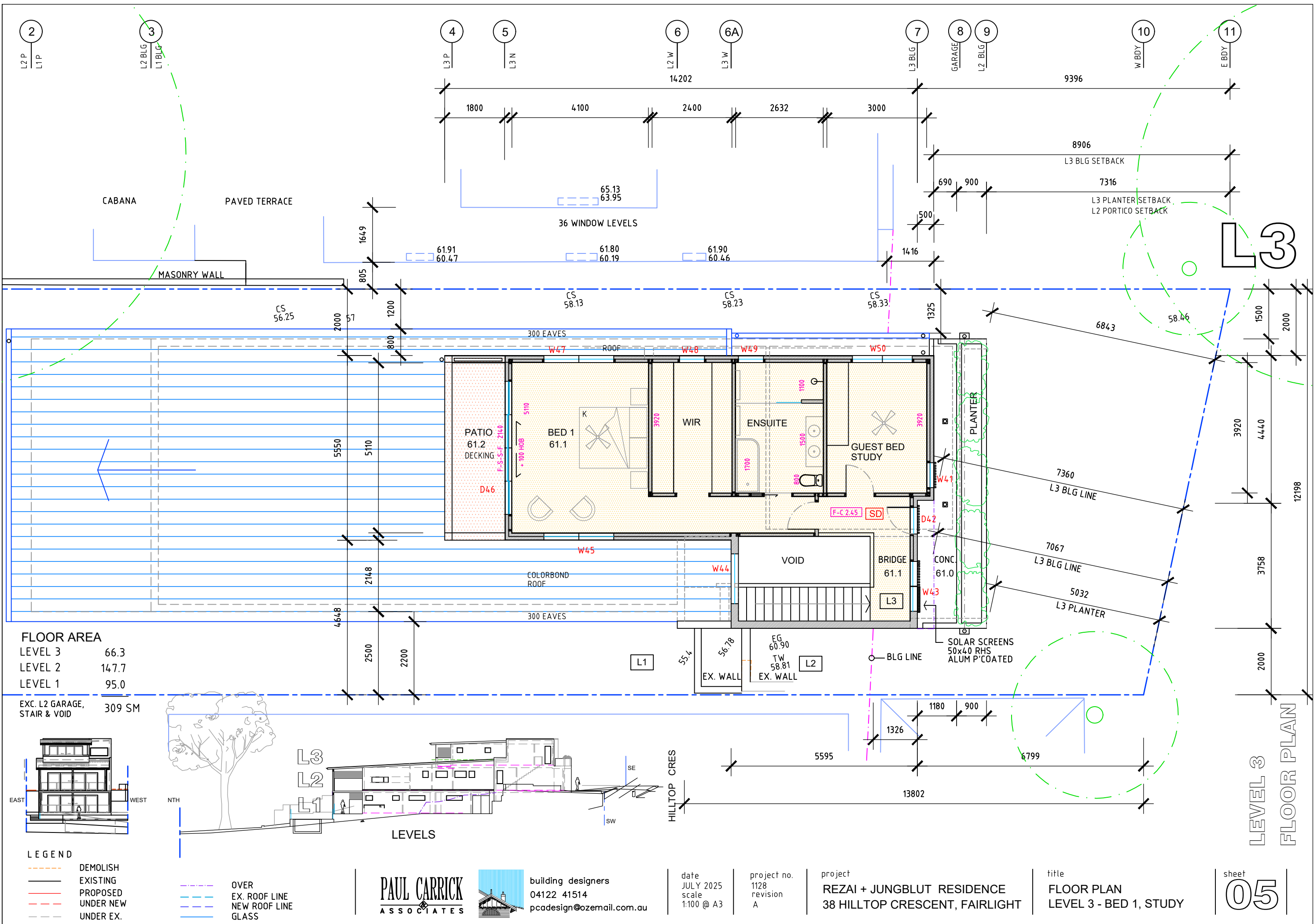
project no.
1128
revision
A

project
REZAI + JUNGBLUT RESIDENCE
38 HILLTOP CRESCENT, FAIRLIGHT

title
FLOOR PLAN
LEVEL 2 - ENTRY, GARAGE

sheet
04

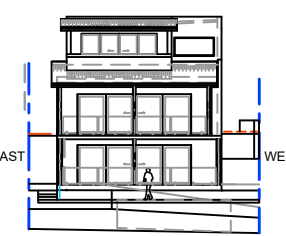
LEVEL 2
FLOOR PLAN



FLOOR AREA

LEVEL 3	66.3
LEVEL 2	147.7
LEVEL 1	95.0

EXC. L2 GARAGE, STAIR & VOID 309 SM



LEGEND

- DEMOLISH
- EXISTING
- PROPOSED
- - - UNDER NEW
- - - UNDER EX.

OVER
EX. ROOF LINE
NEW ROOF LINE
GLASS

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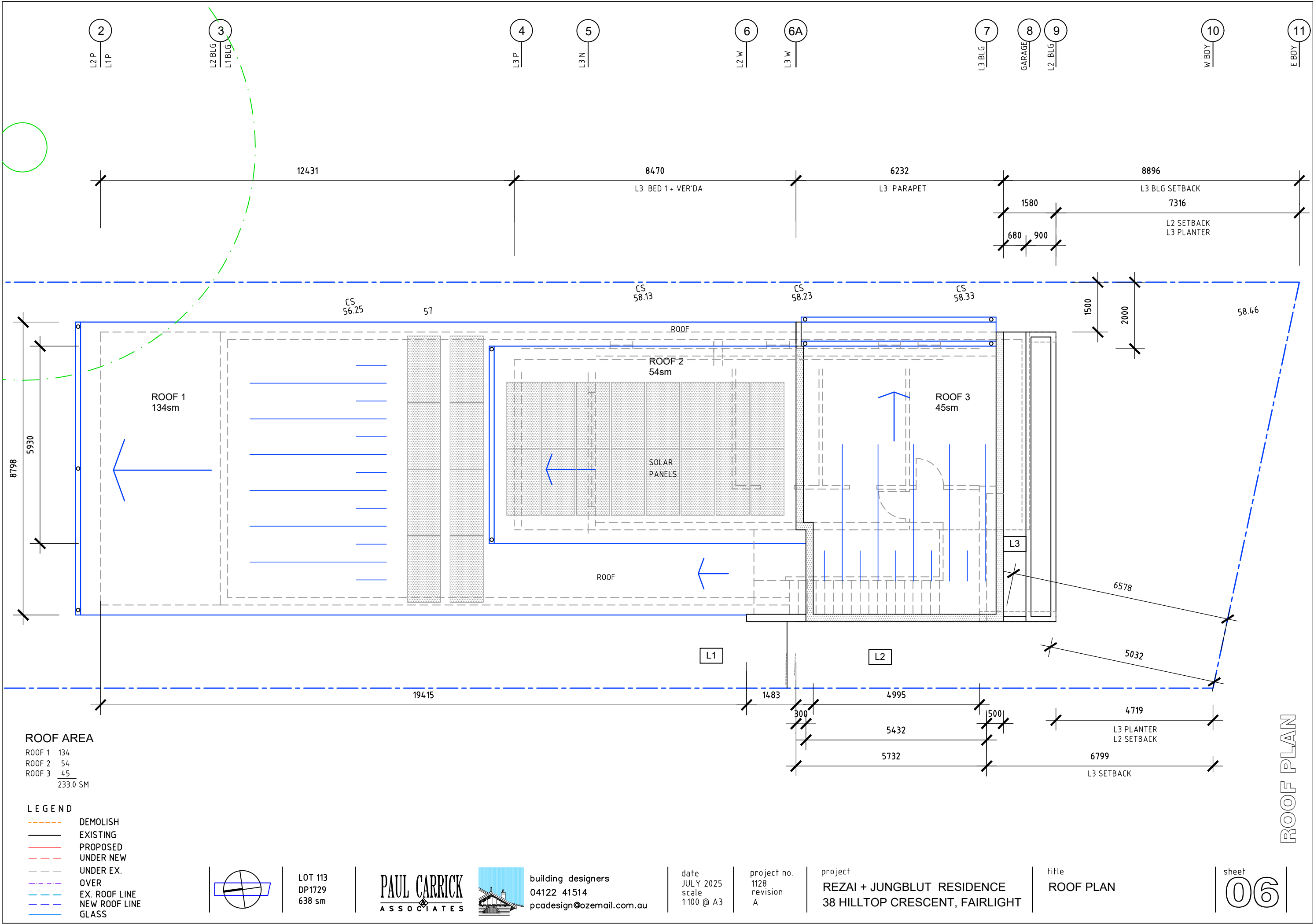
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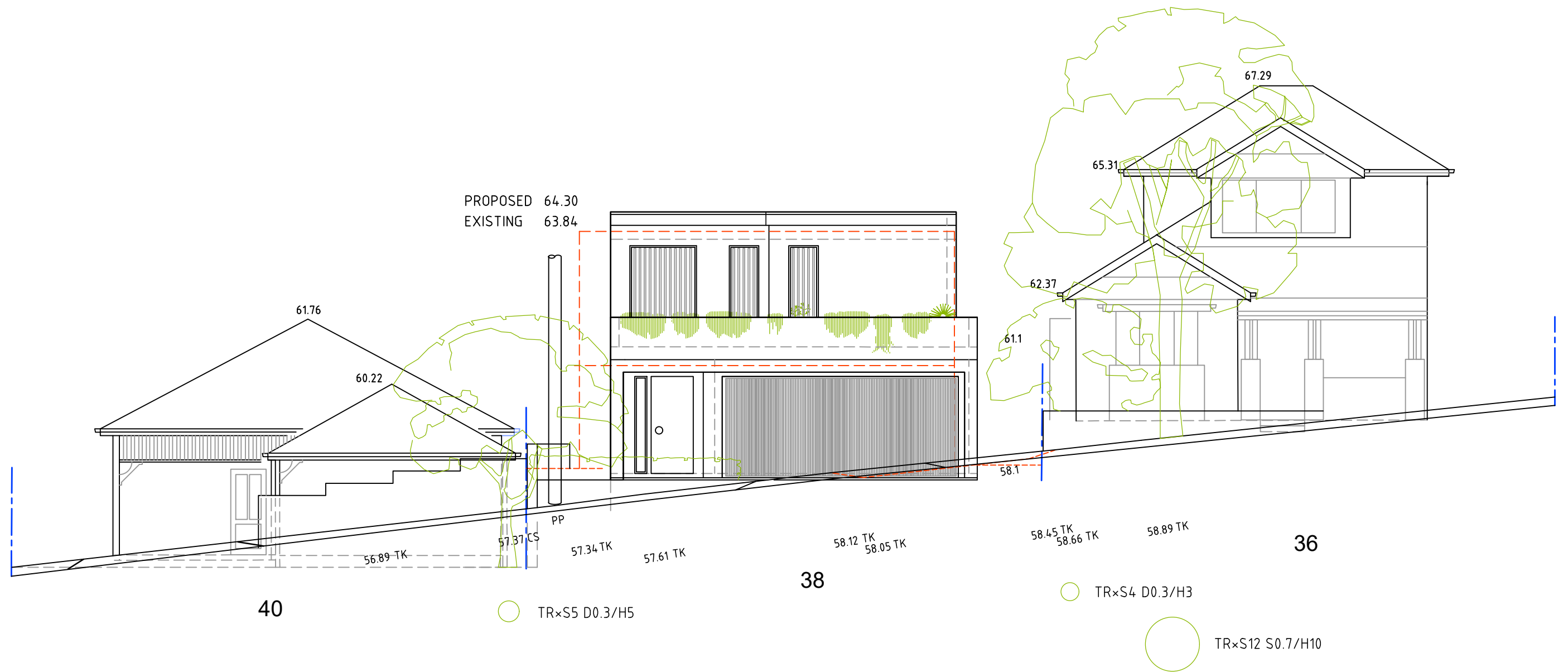
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revision
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project
REZAI + JUNGBLUT RESIDENCE
38 HILLTOP CRESCENT, FAIRLIGHT

title
FLOOR PLAN
LEVEL 3 - BED 1, STUDY

sheet
05



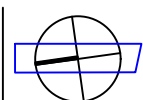


STREETSCAPE

STREETSCAPE

LEGEND

--- DEMOLISH
— PROPOSED



LOT 113
DP1729
638 sm

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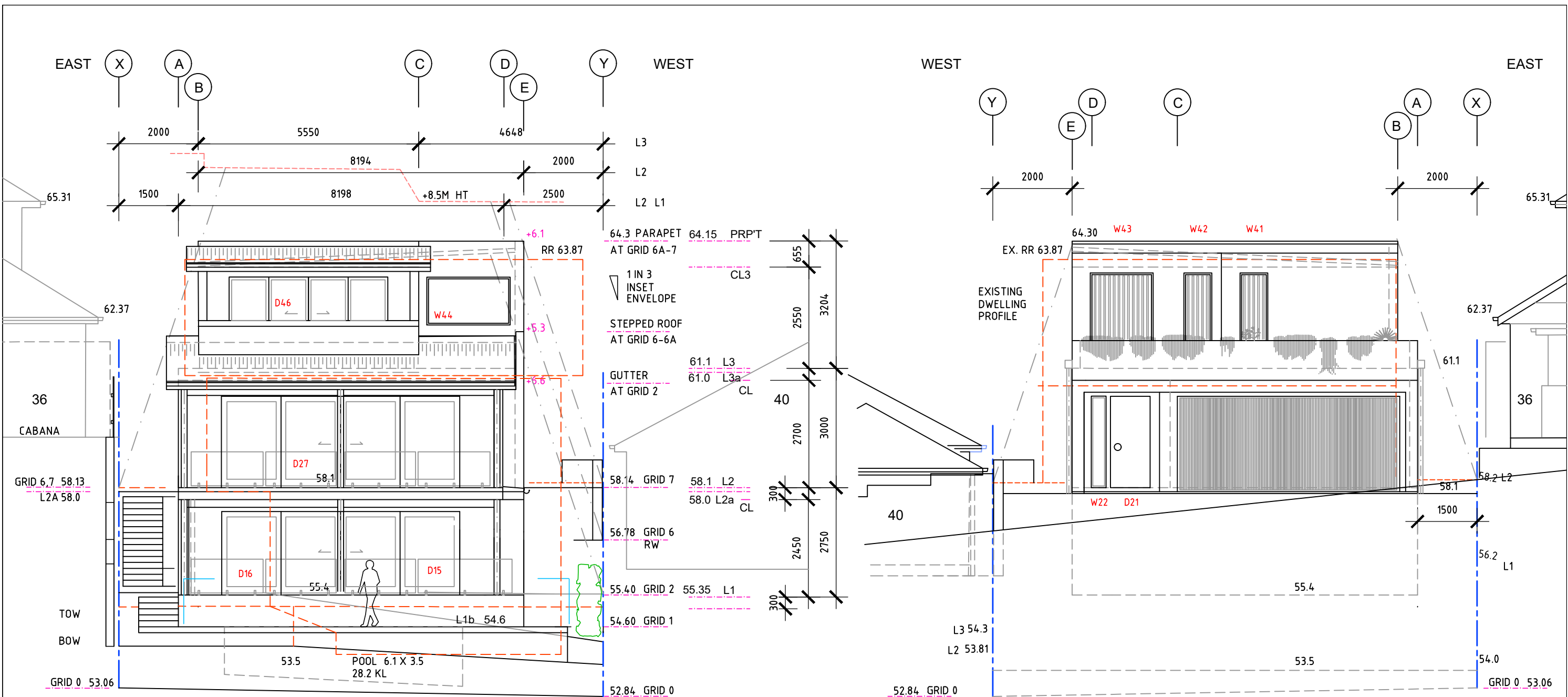
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project no.
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revision
A

project
REZAI + JUNGBLUT RESIDENCE
38 HILLTOP CRESCENT, FAIRLIGHT

title
STREETSCAPE

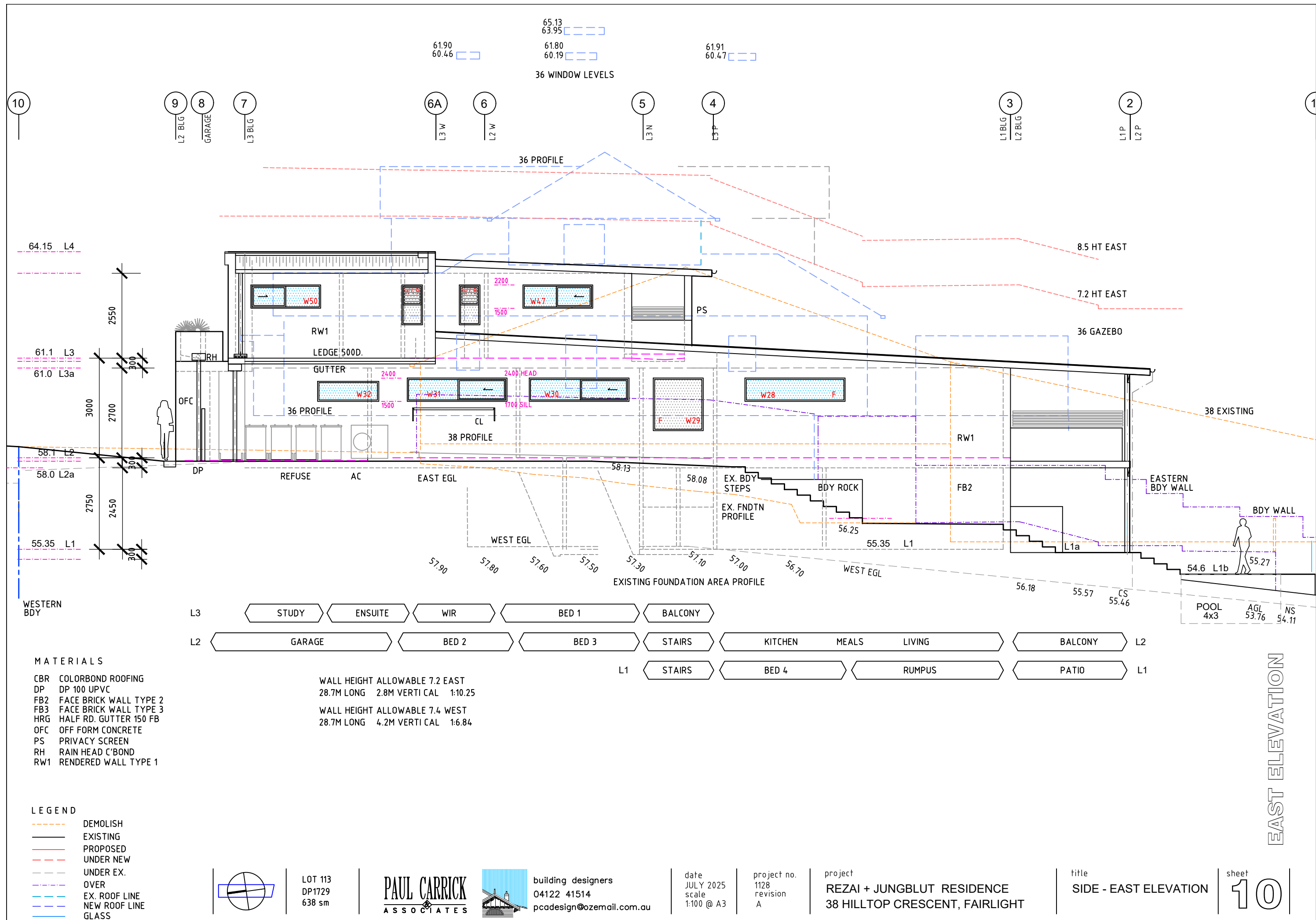
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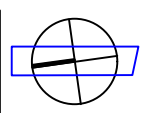
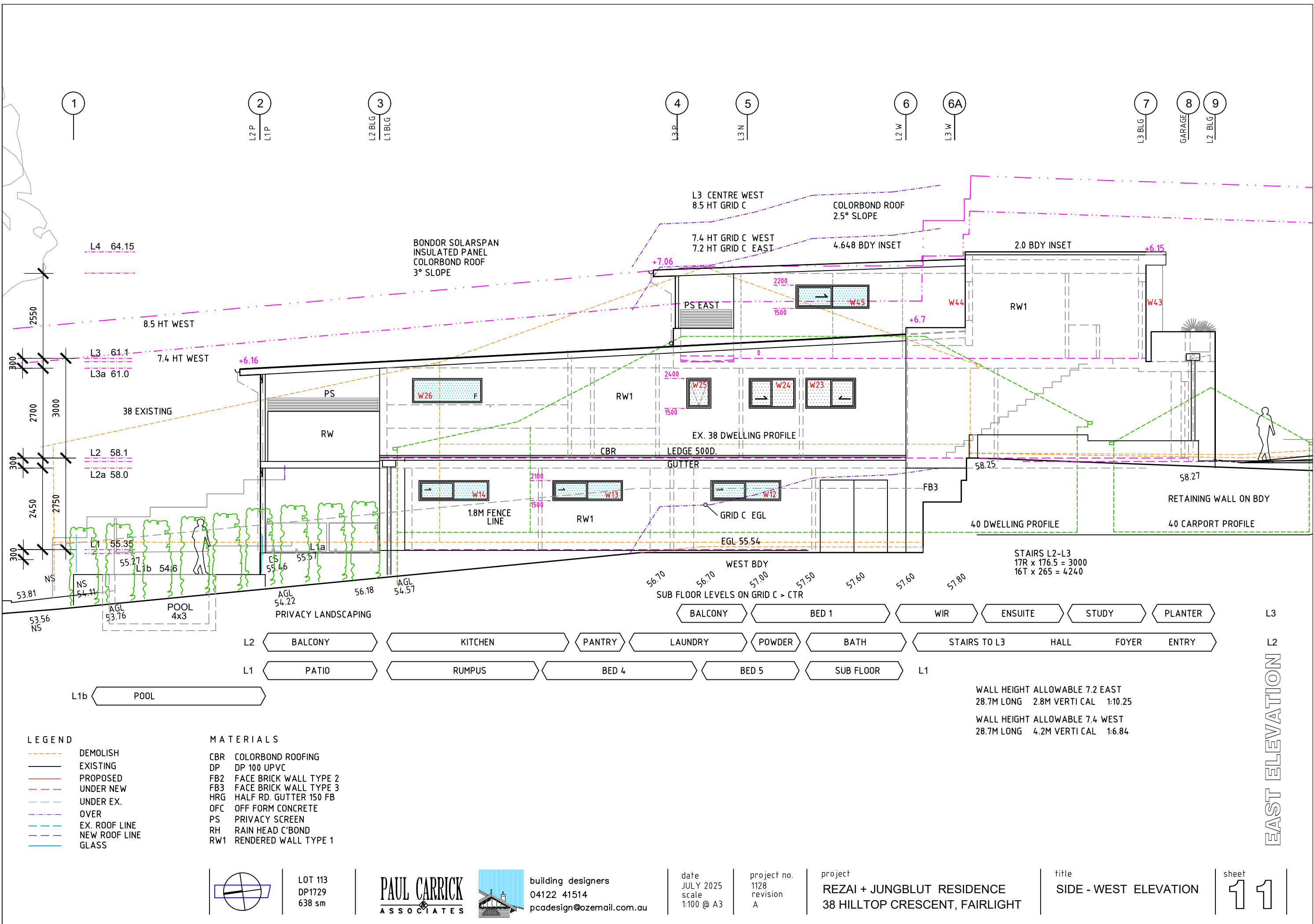


REAR - NORTH ELEVATION

FRONT - SOUTH ELEVATION

FRONT + REAR
ELEVATIONS





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DP1729
638 sm

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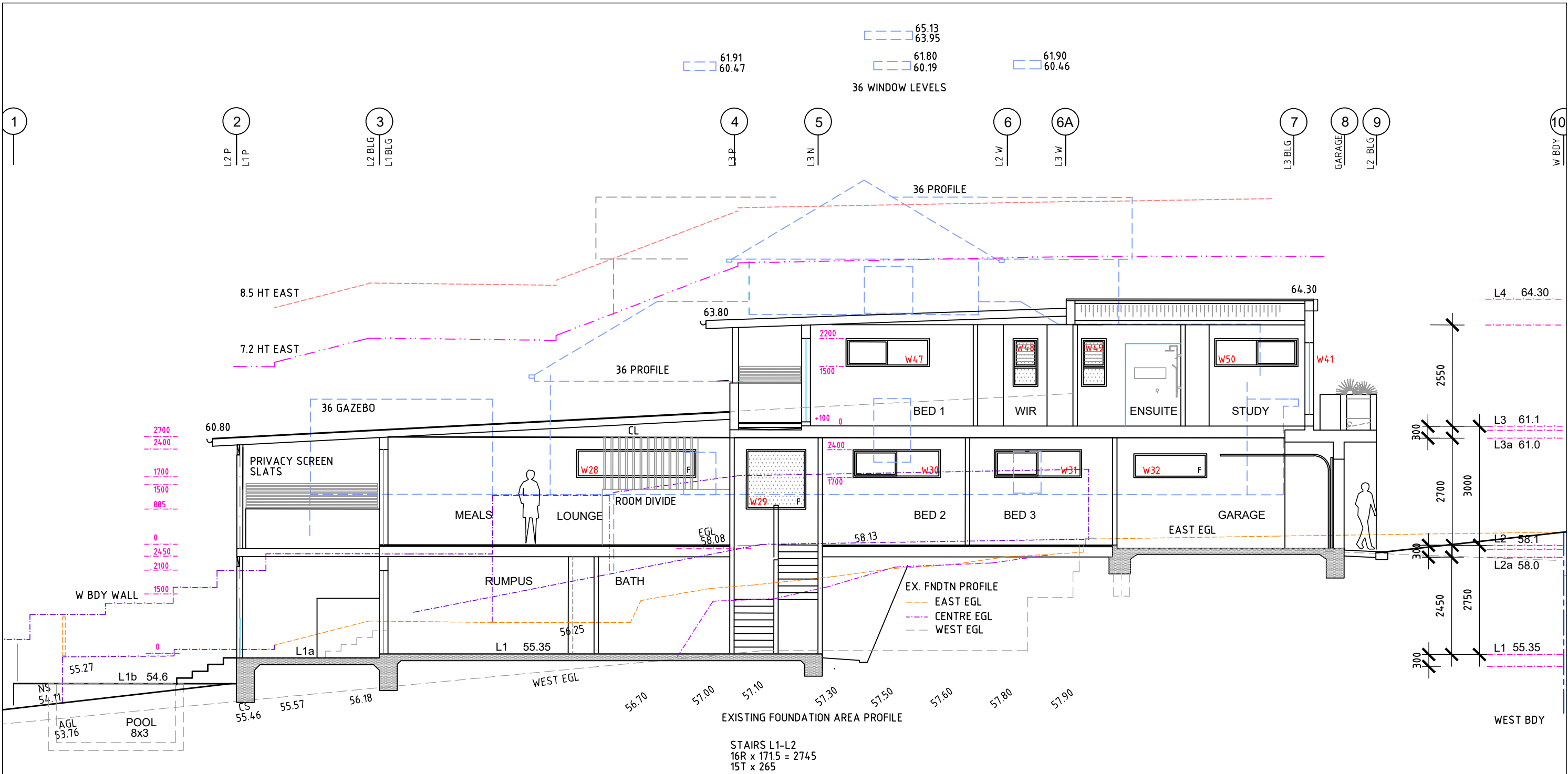
date
JULY 2025
scale
1:100 @ A3

project no.
1128
revision
A

project
REZAI + JUNGBLUT RESIDENCE
38 HILLTOP CRESCENT, FAIRLIGHT

title
SIDE - WEST ELEVATION

sheet
11

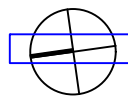


WALL HEIGHT ALLOWABLE 7.2 EAST
28.7M LONG 2.8M VERTI CAL 1:10.25

WALL HEIGHT ALLOWABLE 7.4 WEST
28.7M LONG 4.2M VERTI CAL 1:6.84

CROSS FALL EAST - WEST
8.8 WIDE 4.2M VERTI CAL 1: 4

- LEGEND
- DEMOLISH
 - EXISTING
 - PROPOSED
 - UNDER NEW
 - UNDER EX.
 - OVER
 - EX. ROOF LINE
 - NEW ROOF LINE
 - GLASS



LOT 113
DP1729
638 sm

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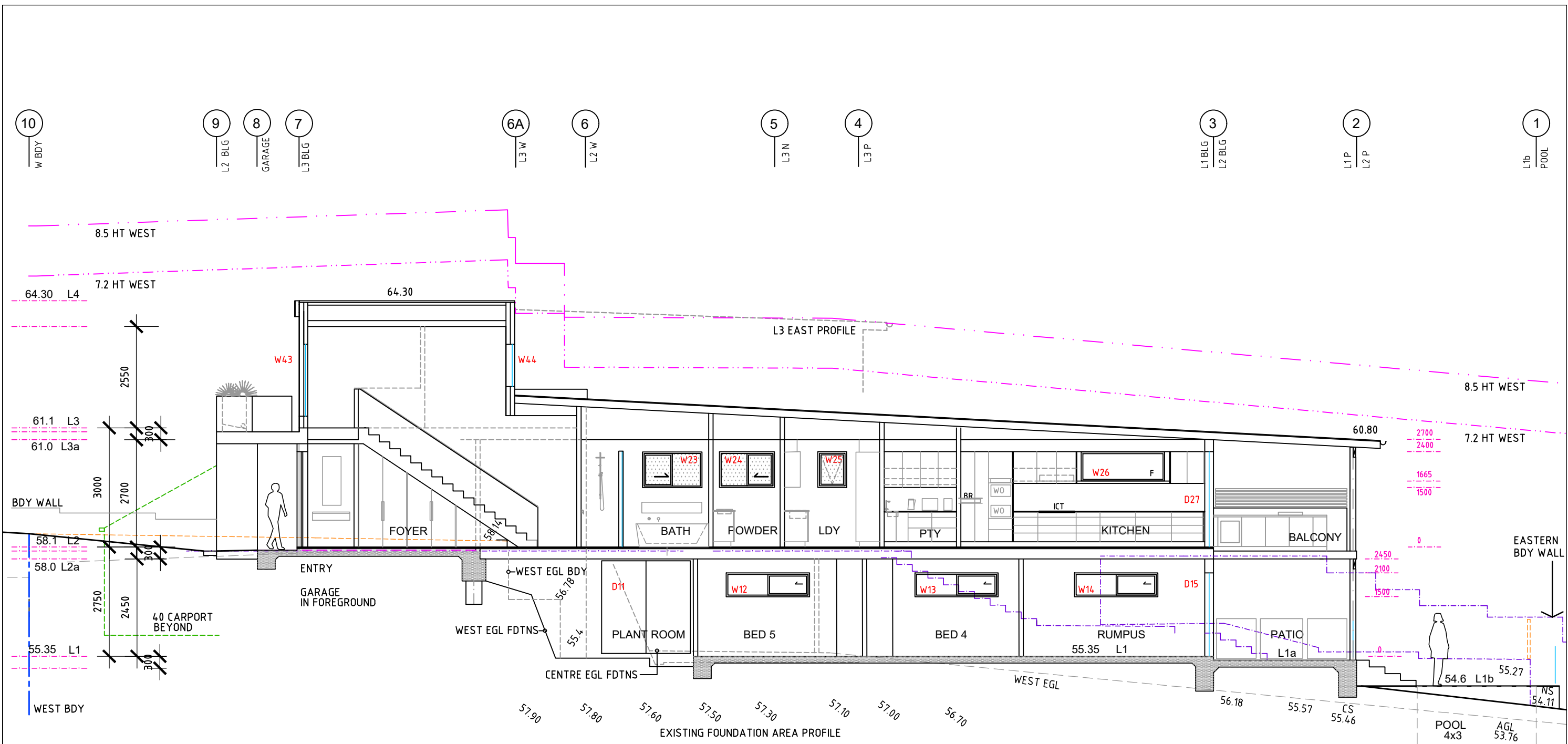
project no.
1128
revision
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project
REZAI + JUNGBLUT RESIDENCE
38 HILLTOP CRESCENT, FAIRLIGHT

title
LONG SECTION
LOOKING EAST

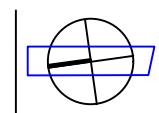
sheet
12

LONG SECTION
EAST



WALL HEIGHT ALLOWABLE 7.2 EAST
28.7M LONG 2.8M VERTI CAL 1:10.25
WALL HEIGHT ALLOWABLE 7.4 WEST
28.7M LONG 4.2M VERTI CAL 1:6.84

- LEGEND
- DEMOLISH
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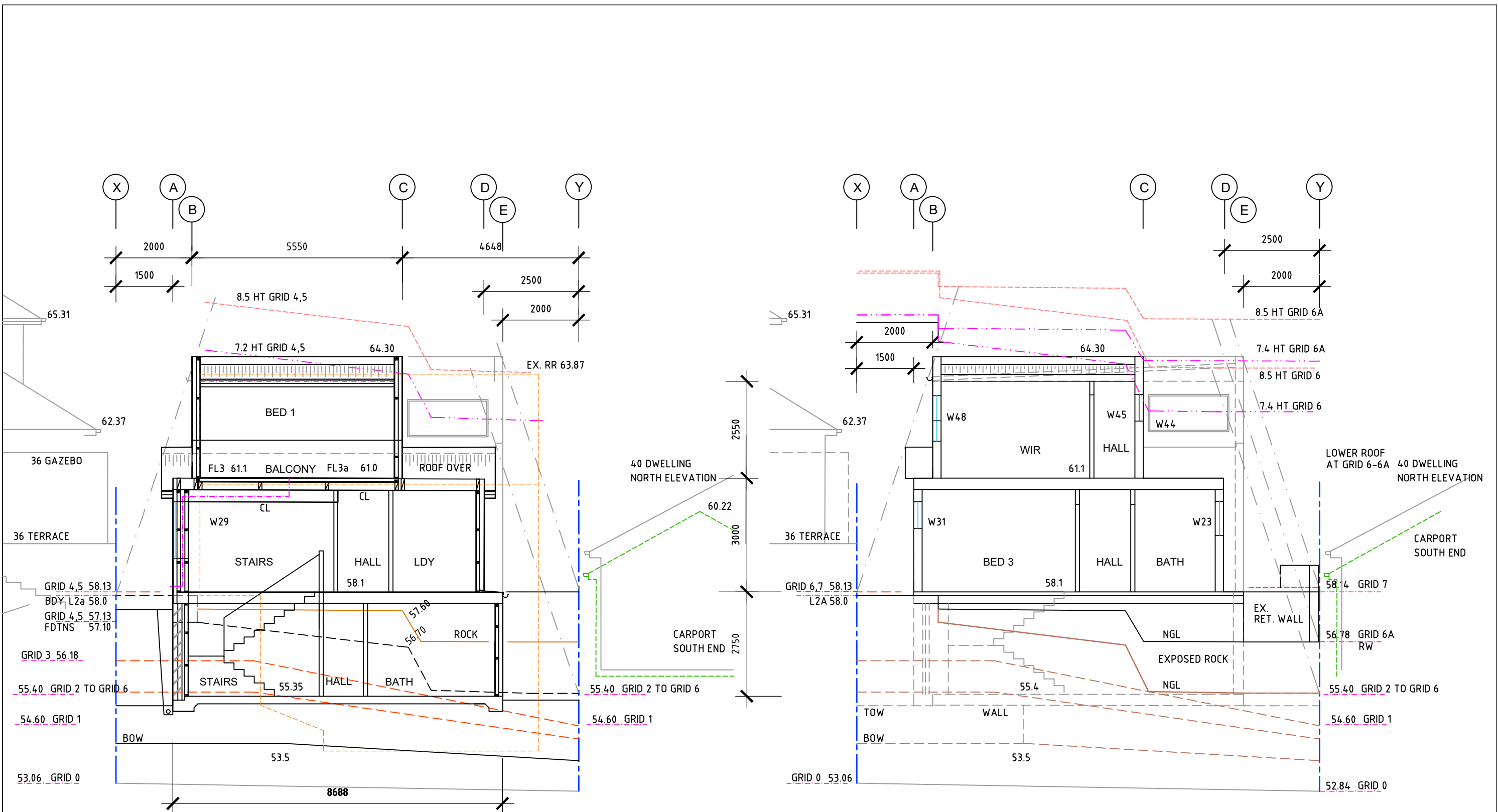
project no.
1128
revision
A

project
REZAI + JUNGBLUT RESIDENCE
38 HILLTOP CRESCENT, FAIRLIGHT

title
LONG SECTION
LOOKING WEST

sheet
13

LONG SECTION
WEST

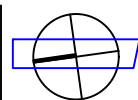


SECTION AT GRID 4-5
AT STAIRS L1, L2, PATIO L3

SECTION AT GRID 6
END OF FOYER - L3 INSET

LEGEND

- DEMOLISH
- EXISTING
- PROPOSED
- UNDER NEW
- UNDER EX.
- OVER
- EX. ROOF LINE
- NEW ROOF LINE
- GLASS



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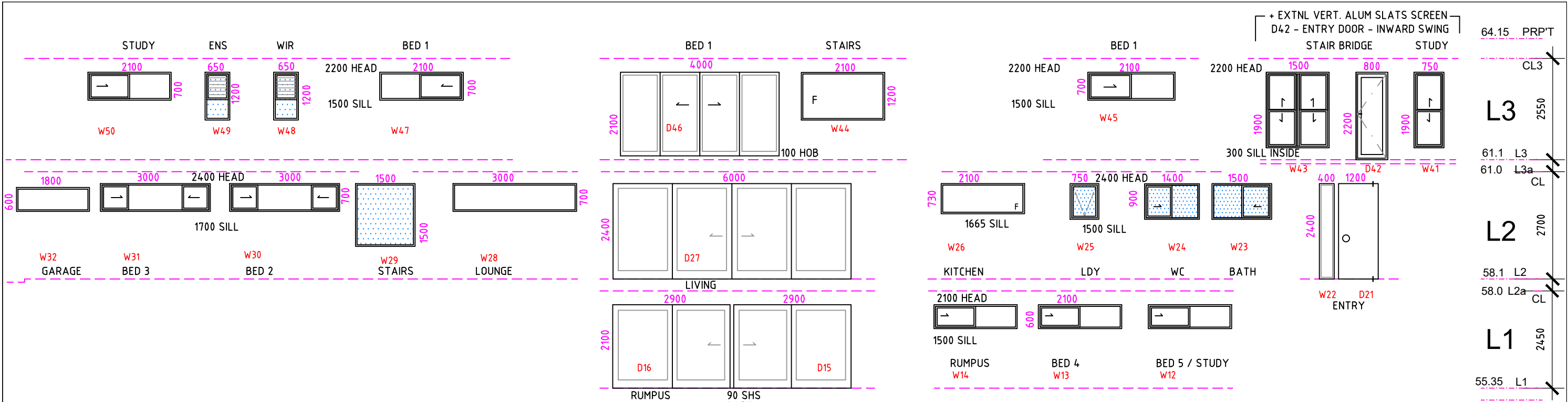
project no.
1128
revision
A

project
REZAI + JUNGBLUT RESIDENCE
38 HILLTOP CRESCENT, FAIRLIGHT

title
CROSS SECTIONS
GRID 4-5 + GRID 6

sheet
14

CROSS SECTIONS



SIDE - EAST

REAR - NORTH

SIDE - WEST

FRONT - SOUTH

DOOR & WINDOW SCHEDULE

LEGEND

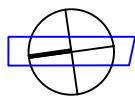
HANDING VIEWED FROM OUTSIDE

A	AWNING	F-A	FIXED - AWNING	S-F	SLIDE - FIXED	DG	DOUBLE GLAZED	FS	FLYSCREEN
DH	DOUBLE HUNG	F	FIXED	L	LOUVRE	LG	LAMINATED GLASS	PS	PLANTATION
EB	EXTNL BLIND	EVS	EXTNL VERTICAL SLAT			EA	EXTNL AWNING		

COLOUR	DULUX MONUMENT
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LOCATION	ITEM	ROOM	HEIGHT	WIDTH	No.	AREA	GLASS	FACING	TYPE	FRAME	VER'DA EAVE HOOD	BASIX REQM'T
LEVEL 1 LOWER	D11	FDTNS	2400	1600	1			WEST	SWING	TIMBER		
	W12	BED 5	600	2100	1	1.2	CLEAR	WEST	S-F	ALUM	FS	
	W13	BED 4	600	2100	1	1.2	CLEAR	WEST	S-F	ALUM	FS	
	W14	RUMPUS	600	2100	1	1.2	CLEAR	WEST	S-F	ALUM	FS	
	D15	RUMPUS	2100	2900	1	6.0	CLEAR	NORTH	S-F	ALUM	FS	3.6M >900
	D16	RUMPUS	2100	2900	1	6.0	CLEAR	NORTH	F-S	ALUM	FS	3.6M >900
LEVEL 3 UPPER	W41	STUDY	1900	750	1	1.5	CLEAR	SOUTH	DH	ALUM	FS	EVS
	D42	STAIRS	2200	800	1	1.7	CLEAR	SOUTH	INWARD	ALUM		EVS
	W43	STAIRS	1900	1500	1	2.8	CLEAR	SOUTH	DH-DH	ALUM	FS	EVS
	W44	VOID	1200	2100	1	2.5	CLEAR	NORTH	F	ALUM		EA 600
	W45	BED 1	700	2100	1	1.4	CLEAR	WEST	S-F	ALUM	FS	EA 450
	D46	BED 1	2100	4000	1	8.4	CLEAR	NORTH	F-S-S-F	ALUM	FS	1.8
	W47	BED 1	700	2100	1	1.4	CLEAR	EAST	F-S	ALUM	FS	
	W48	WIR	1200	650	1	0.7	OPAQUE	EAST	L+F	ALUM	FS	
	W49	ENSUITE	1200	650	1	0.7	OPAQUE	EAST	L+F	ALUM	FS	
	W50	STUDY	700	2100	1	2.5	CLEAR	EAST	S-F	ALUM	FS	

LOCATION	ITEM	ROOM	HEIGHT	WIDTH	No.	AREA	GLASS	FACING	TYPE	FRAME	VER'DA EAVE HOOD	BASIX REQM'T
LEVEL 2	D20	GARAGE	2400	5050	1		ALUM	SOUTH	PANELIFT	ALUM		
	D21	ENTRY	2400	1200	1			SOUTH	PIVOT	TIMBER		
	W22	ENTRY	2400	400	1	0.9	CLEAR	SOUTH	F	TIMBER	1.2M	
	W23	BATH	900	1500	1	1.3	OPAQUE	WEST	F-S	ALUM	FS	EA 450
	W24	WC	900	1400	1	1.2	OPAQUE	WEST	S-F	ALUM	FS	EA 450
	W25	LDY	900	630	1	0.6	OPAQUE	WEST	A	ALUM	FS	EA 450
	W26	KITCHEN	730	2100	1	1.5	CLEAR	WEST	F	ALUM		300
	D27	MEALS	6000	2400	1	14.4	CLEAR	NORTH	F-S-S-F	ALUM	FS	4M
	W28	LOUNGE	700	3000	1	2.1	CLEAR	EAST	F	ALUM		
	W29	STAIRS	1500	1500	1	2.2	OPAQUE	EAST	F	ALUM		
	W30	BED 2	700	3000	1	2.1	CLEAR	EAST	S-F-S	ALUM	FS	
	W31	BED 3	700	3000	1	2.1	CLEAR	EAST	S-F-S	ALUM	FS	
	W32	GARAGE	600	1800	1	1.0	CLEAR	EAST	F	ALUM		



LOT 113
DP1729
638 sm

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JULY 2025
scale
1:100 @ A3

project no.
1128
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A

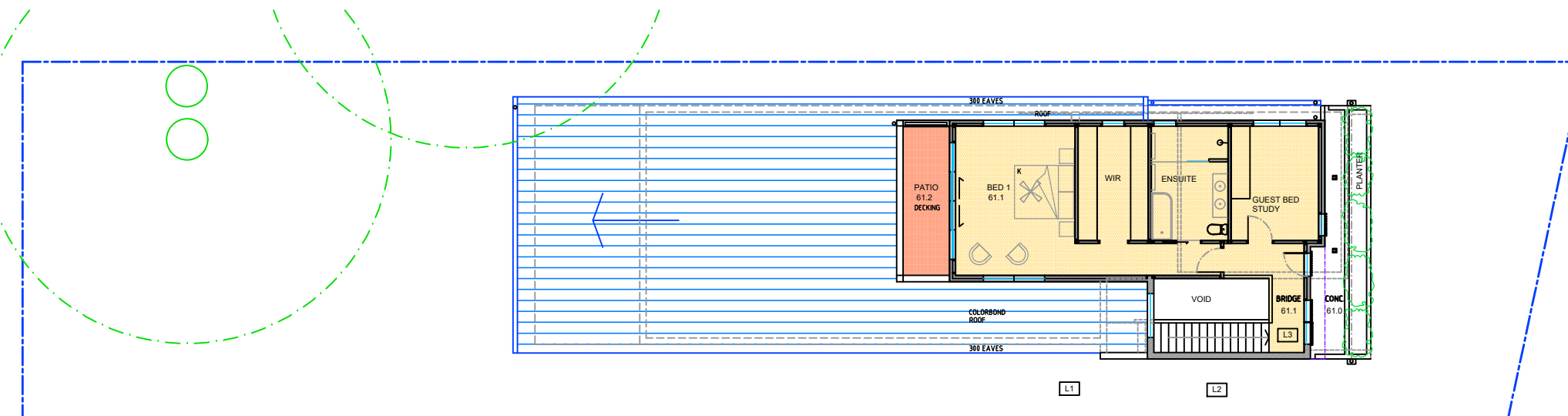
project
REZAI + JUNGBLUT RESIDENCE
38 HILLTOP CRESCENT, FAIRLIGHT

title
WINDOW + DOOR SCHEDULE

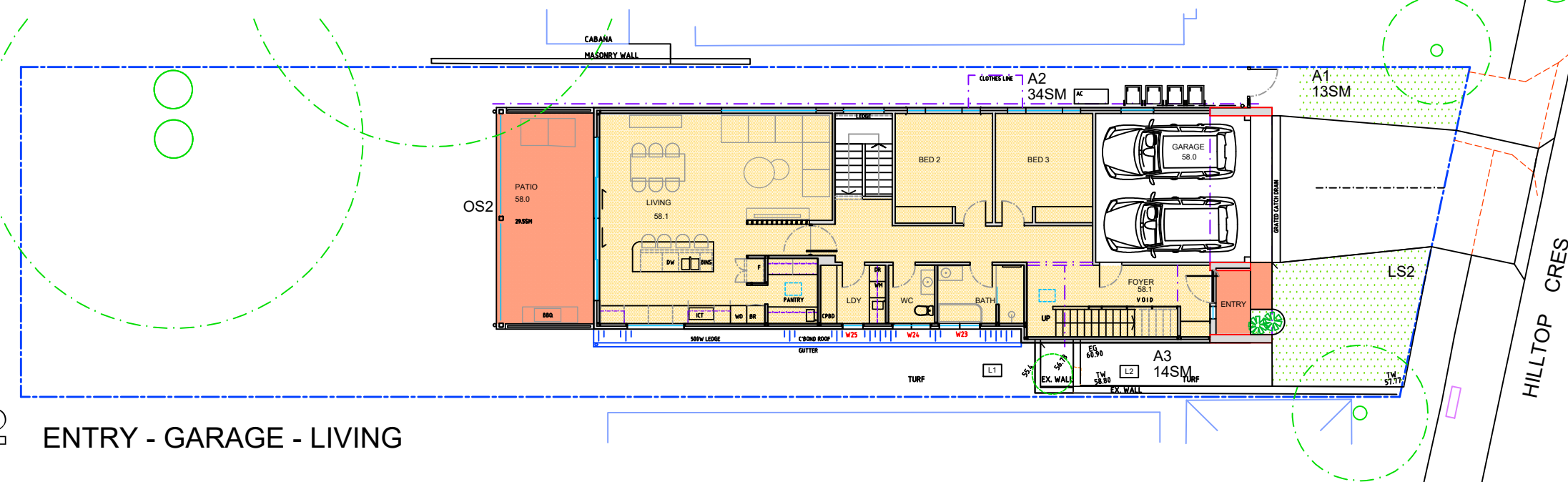
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W+D

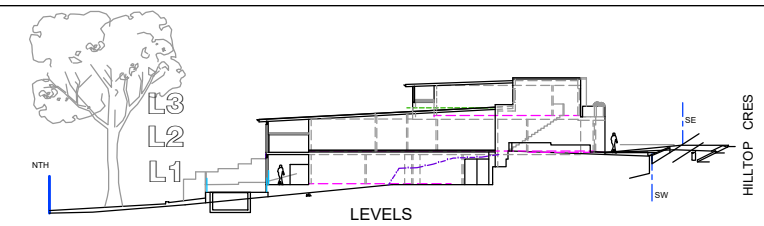
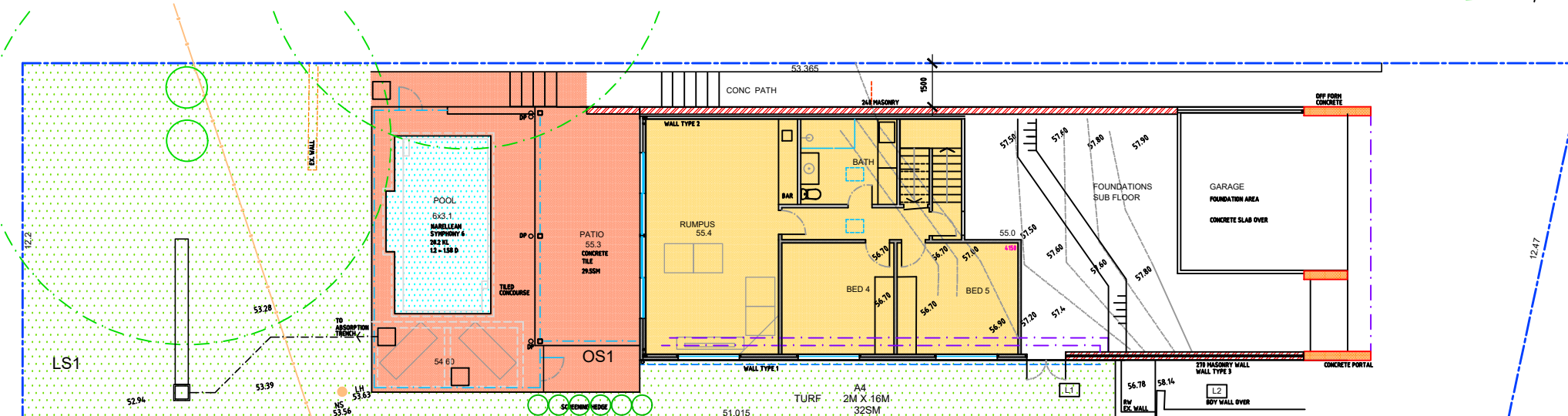
L3 BEDROOMS 1-3



L2 ENTRY - GARAGE - LIVING



L1 RUMPUS - POOL



CALCULATIONS

LAND 638 sm
DENSITY 1/250
MAX HEIGHT HOB 8.5M

FLOOR AREA

638 sm FSR MAX. 60% 382.8
LEVEL 3 66.3
LEVEL 2 147.7
LEVEL 1 95.0
309
EXC. GARAGE, STAIR VOID L2 48.4% complies

OPEN SPACE

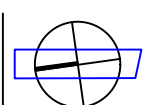
638 sm MIN. 55% 351 SM >3M
L1 REAR OS1
PATIO, POOL 99
LS1 146 245
L2 PATIO 29
L2 FRONT LS2 27
301 47.2%
50 SM -7.8% non compliant

+ AREAS A1,A3,A4 2.0M 59SM TURF
+ AREAS A2 1.5M 37SM PATH

LANDSCAPE

351 sm MIN. 35% 123 SM
L1 REAR LS1 146 11.95x12.2
L2 FRONT LS2 27
173 35% complies

AREA
CALCS



LOT 113
DP1729
638 sm

PAUL CARRICK
ASSOCIATES



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04122 41514
pcadesign@ozemail.com.au

date
JULY 2025
scale
1:200 @ A3

project no.
1128
revision
A

project
REZAI + JUNGBLUT RESIDENCE
38 HILLTOP CRESCENT, FAIRLIGHT

title
AREA CALCULATIONS

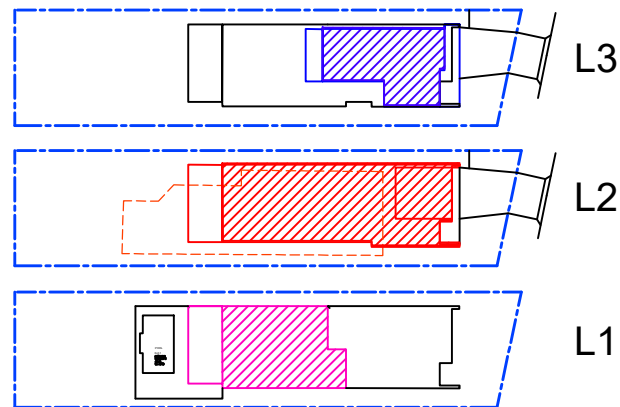
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18

LOT 117
DP 656265

LOT 112
DP 1729

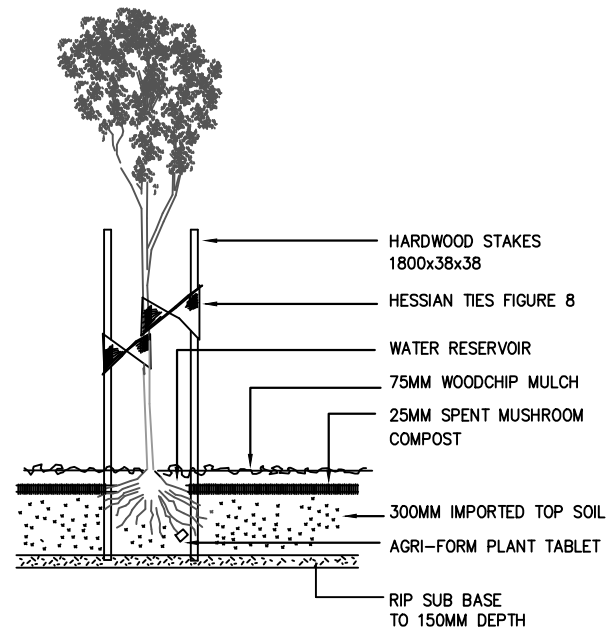
LOT 119
DP 1729

LOT 114
DP 1729



LANDSCAPING SCHEDULE - EXISTING

	BOTANICAL NAME	COMMON NAME	LOCATION	HEIGHT	DIA
E1	MELALEUCA QUINQUENERVIA	PAPERBARK	REAR	16	14
E2	EUCALYPTUS PILULARIS	BLACKBUTT	REAR	18	14



DETAIL A - TYPICAL PLANT BED

LANDSCAPING SCHEDULE - PROPOSED

	BOTANICAL NAME	COMMON NAME	LOCATION	HEIGHT	No.
VO	VIBURUM TINUS	VIBURUM	SIDE WEST	4	6
BA	ELAEOCARPUS RETIULATUS	BLUEBERRY ASH	FRONT SW	8	5

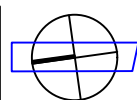
UNDER PLANTING & L3 PLANTER

LIROPE DIANELLA CAERULEA
CLIVAIAS VIOLA HEDERACEA
ROSMARINUS PROSTRATE - TRAILING ROSEMARY
CASUARINA GLAUA - COUSIN IT

LANDSCAPE

351 sm	MIN. 35%	123 SM
L1 REAR	LS1	146 11.95x12.2
L2 FRONT	LS2	27
		173 35% complies

LANDSCAPE



LOT 113
DP1729
638 sm

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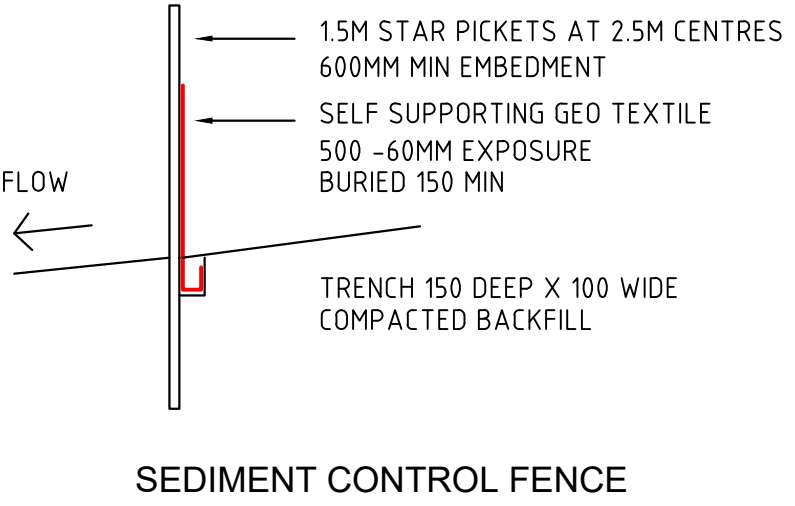
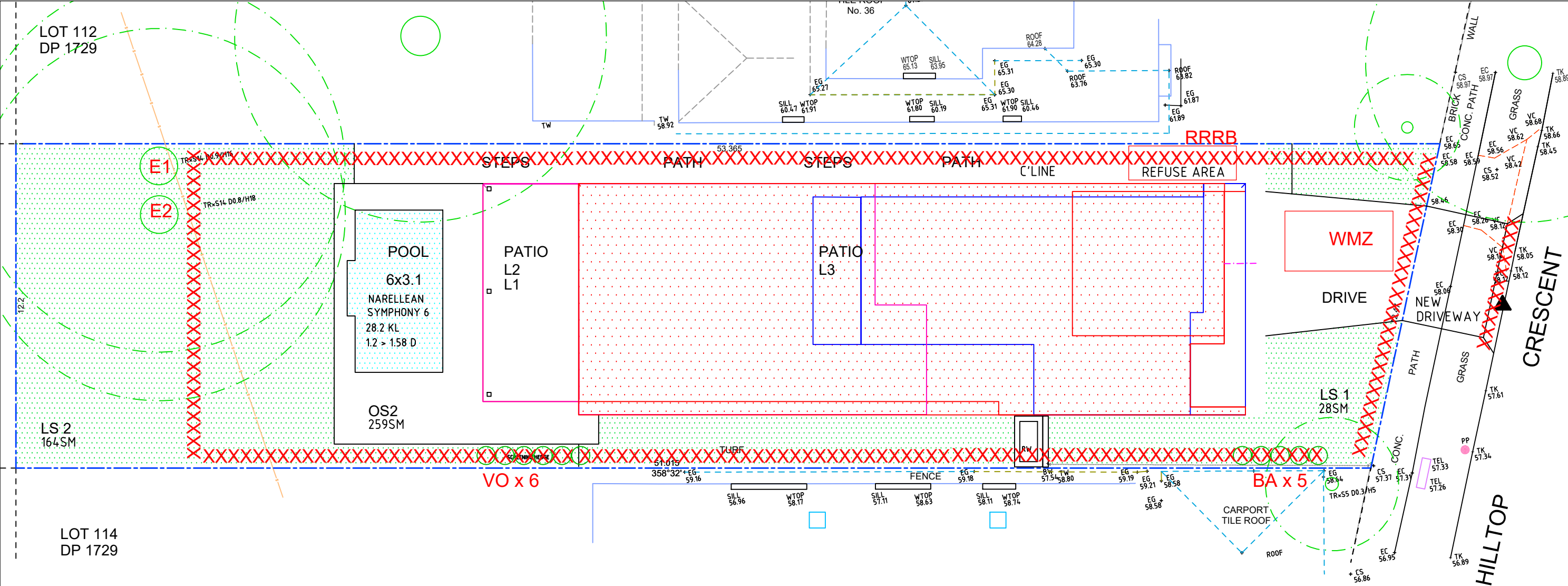
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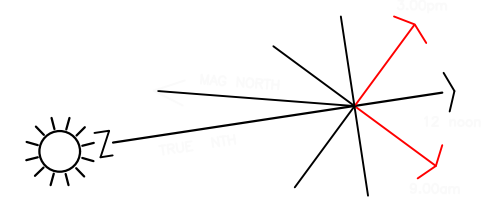
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LANDSCAPE

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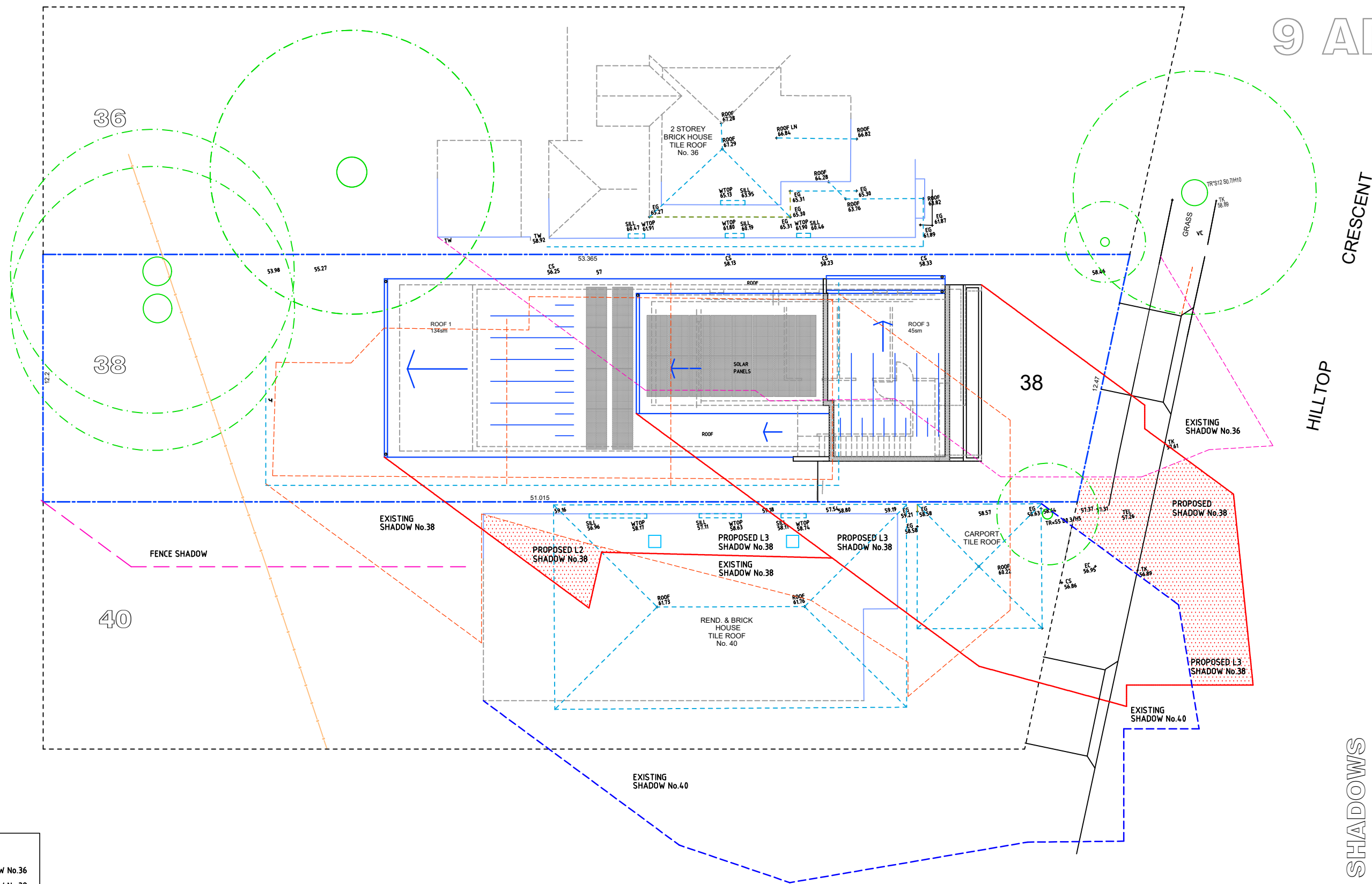


LEGEND	
XXXXXXX	EROSION & SEDIMENT CONTROL FENCE AND OR HAY BAILS WHERE ACCESS IS REQUIRED
WMZ	WASTE MANAGEMENT ZONE SKIP COLLECTION & SORTING
RRRB	RESIDENTIAL RECYCLE REFUSE BINS

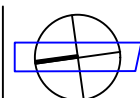
EROSION CONTROL +
WASTE MANAGEMENT



9 AM



- LEGEND
- EXISTING SHADOW No.36
 - EXISTING SHADOW No.38
 - PROPOSED SHADOW No.38
 - EXISTING SHADOW No.40
 - 1.8m FENCE SHADOW



LOT 113
DP1729
638 sm

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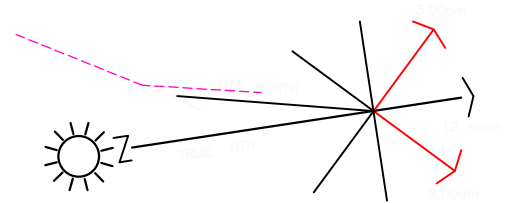
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REZAI + JUNGBLUT RESIDENCE
38 HILLTOP CRESCENT, FAIRLIGHT

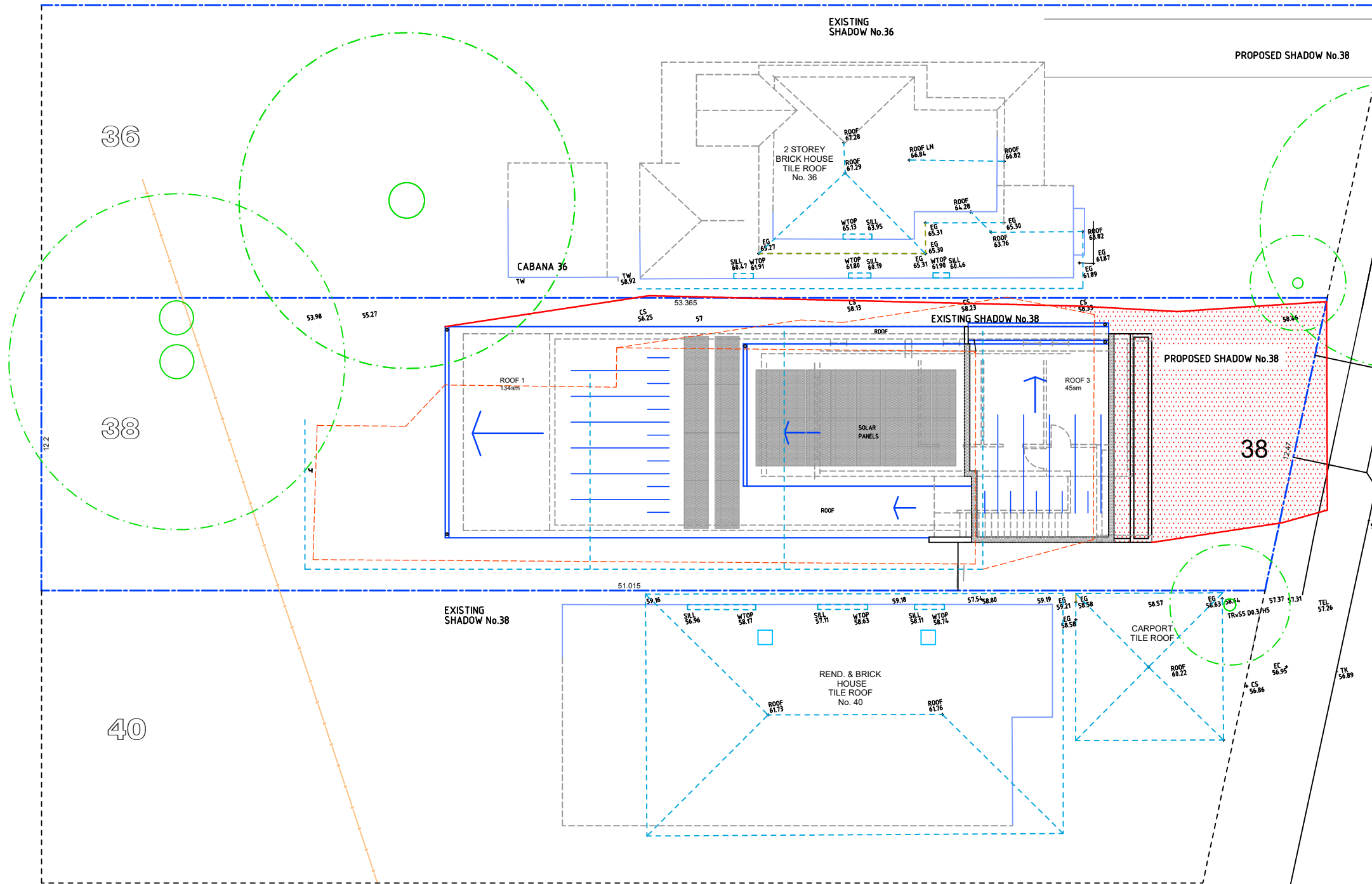
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SHADOWS
9AM

21ST JUNE

sheet
21

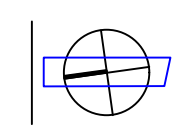


12 NOON



HILLTOP CRESCENT

LEGEND
--- EXISTING SHADOW No.38
--- PROPOSED SHADOW No.38



LOT 113
DP1729
638 sm

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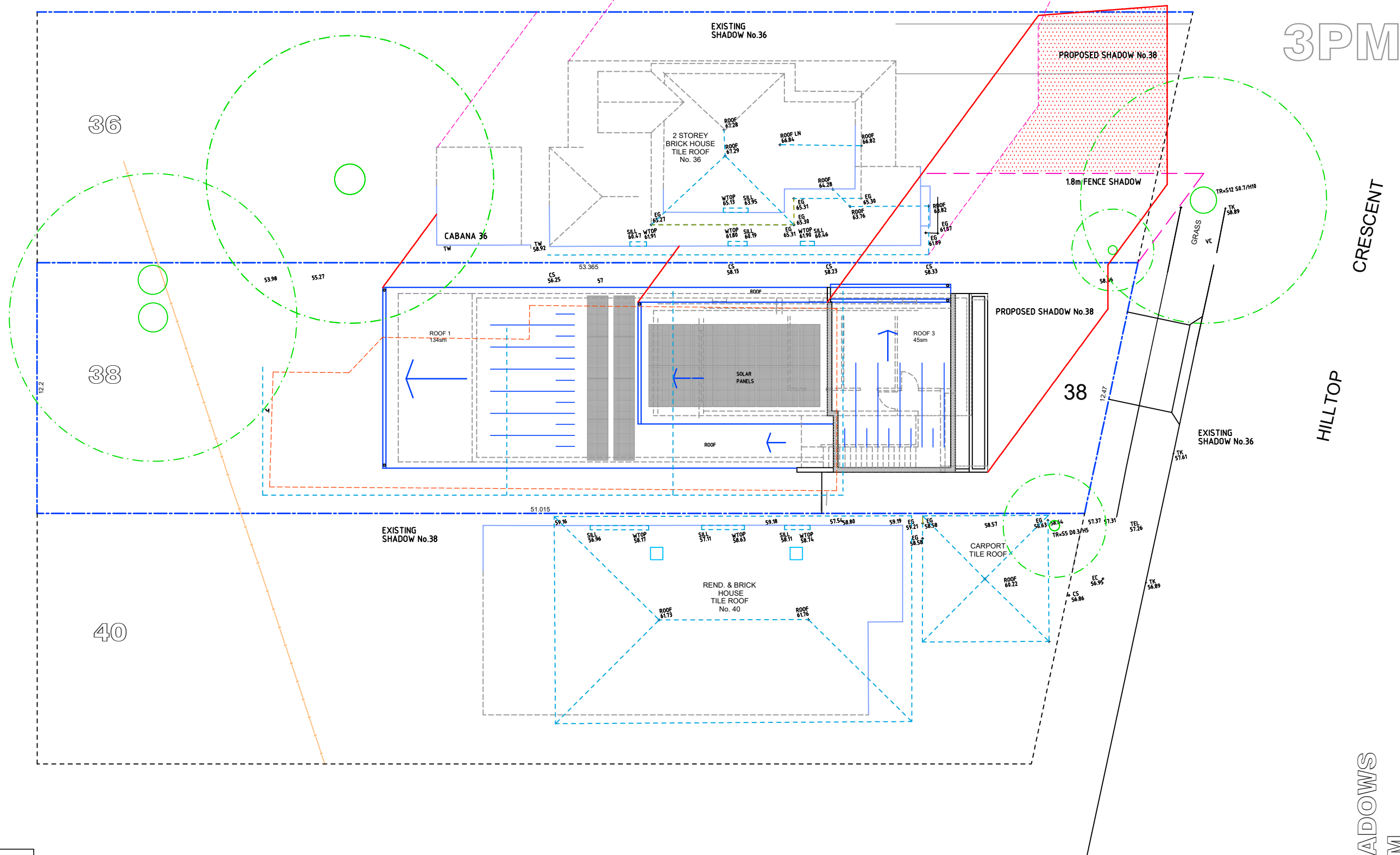
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JULY 2025
scale
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1128
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project
REZAI + JUNGBLUT RESIDENCE
38 HILLTOP CRESCENT, FAIRLIGHT

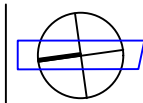
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SHADOWS
12 NOON
21ST JUNE

sheet
22



LEGEND

- EXISTING SHADOW No.36
- EXISTING SHADOW No.38
- PROPOSED SHADOW No.38
- EXISTING SHADOW No.40
- 1.8m FENCE SHADOW



LOT 113
DP1729
638 sm

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JULY 2025
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1128
revision
A

project
REZAI + JUNGBLUT RESIDENCE
38 HILLTOP CRESCENT, FAIRLIGHT

title
SHADOWS
3PM

21ST JUNE

sheet
23

SHADOWS
3PM

38 Hilltop Crescent Fairlight				
SUMMARY OF BASIX COMMITMENTS				
This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for Complete details. For definitions refer to basix.nsw.gov.au				
WATER COMMITMENTS				
Fixtures				
4 Star Shower Heads		Yes (> 6 but <= 7.5 L/min)		
4 Star Kitchen / Basin Taps		Yes	4 Star Toilet	Yes
Alternative Water				
Minimum Tank Size (L)		3000	Collected from Roof Area (m2)	120
Tank Connected To:				
All Toilets		Yes	Laundry W/M Cold Tap	Yes
One Outdoor Tap		Yes		
THERMAL COMFORT COMMITMENTS - Refer to TPA Specification on plans				
ENERGY COMMITMENTS				
Hot Water		Heat Pump 15 to 20 STCs		
Cooling System	Living	3 Phase A/C		EER 3.0 - 3.5
	Bedrooms	3 Phase A/C		EER 3.0 - 3.5
Heating System	Living	3 Phase A/C		EER 3.0 - 3.5
	Bedrooms	3 Phase A/C		EER 3.0 - 3.5
Ventilation	1 x Bathroom	Fan ducted to exterior		Manual on/off
	Kitchen	Fan ducted to exterior		Manual on/off
	Laundry	Fan ducted to exterior		Manual on/off
Natural Lighting	Window/Skylight in Kitchen			Yes
	Window/Skylight in Bathrooms/Toilets			Yes to 3
OTHER COMMITMENTS				
Outdoor clothes line		Yes		
Stove/Oven		Induction cooktop & electric oven		
Alternative Energy		Photovoltaic System: 1.3 kW		
Pool	Max Vol: 28.2 KL, no heating, pump with timer			

June 2025		BSA Reference: 21241	
Building Sustainability Assessments		Ph: (02) 4962 3439	
enquiries@buildingsustainability.net.au		www. buildingsustainability.net.au	
Important Note			
The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate. If the proposed construction varies to those detailed below than the Assessor and NatHERS certificates will no longer be valid. Assessments assume that the BCA provisions for building sealing & ventilation are complied with at construction. Be aware that BASIX does not over-ride the BCA and the NSW variations must be complied with.			
Thermal Performance Specifications (does not apply to garage)			
External Wall Construction		Added Insulation	
Masonry Veneer & 100mm Insulated Panel		R2.5	
Internal Wall Construction		Added Insulation	
Plasterboard on studs		R2.5 to walls adjacent to garage, laundry, wc & bath	
Ceiling Construction		Added Insulation	
Plasterboard		R6.0 to ceilings adjacent to roof space	
Roof Construction	Colour (Solar Absorptance)	Added Insulation	
Metal	Monument (SA 0.73)	Foil + R1.3 blanket	
Floor Construction	Covering	Added Insulation	
Concrete	As drawn (if not noted default values used)		None
Timber	As drawn (if not noted default values used)		R2.5 to floors adjacent to garage
Timber	As drawn (if not noted default values used)		R2.5 to enclosed subfloor
Windows	Glass and frame type	U value	SHGC Range Area sq m
Performance glazing Type B		4.50	0.58 - 0.64 to louvres
Performance glazing Type A		2.91	0.42 - 0.46 to all other UNO
Performance glazing Type B		2.90	0.48 - 0.54 to all other UNO
Type A windows are awning windows, bifolds, casements, tilt 'n 'turn' windows, entry doors, french doors			
Type B windows are double hung windows, sliding windows & doors, fixed windows, stacker doors, louvres			
Skylights	Glass and frame type	U	SHGC Area sq m Detail
n/a			
U and SHGC values are according to AFRC. Alternate products may be used if the U value is lower & the SHGC is within the range specified			
Shade elements		(eaves, verandahs, awnings etc)	
All shade elements modelled as drawn			
Ceiling Penetrations		(downlights, exhaust fans, flues etc)	
Downlights are modelled as IC rated with insulation fitted over the fixtures			
All exhaust fans are modelled as sealed			
Ceiling Fans used in the Modelling and to be installed in the following areas:			
1x 1200mm to each bedroom; 3x 1200mm to living areas (lounge, dining & rumpus).			

