SCHEDULE OF EXTERNAL FINISHES



CONCRETE BLOCKWORK (CB)



STONE BLOCKWORK (SB)



FIBRE CEMENT CLADDING (FC)



STEEL ROOFING (SR)







TIMBER CLADDING (TC)

HARDWOOD (HW) HARDWOOD DECKING (TD)

PAGE	DRAWING	DATE	REVISION
			DAJOOUE
DA 1	1:200 SITE PLAN / SITE ANALYSIS	FEB 2025	DA ISSUE
DA 2	1:100 GROUND FLOOR PLAN	FEB 2025	DA ISSUE
DA 3	1:100 GARAGE PLAN	FEB 2025	DA ISSUE
DA 4	1:100 NORTH ELEVATION	FEB 2025	DA ISSUE
DA 5	1:100 WEST AND SOUTH ELEVATIONS	FEB 2025	DA ISSUE
DA 6	1:100 EAST ELEVATION	FEB 2025	DA ISSUE
DA 7	1:100 SECTION AA	FEB 2025	DA ISSUE
DA 8	1:200 EROSION AND SEDIMENT CONTROL PLAN AND SITE WASTE MANAGEMENT PLAN	FEB 2025	DA ISSUE
DA 9	LANDSCAPE AND PRIVATE OPEN SPACE CALCULATIONS	FEB 2025	DA ISSUE
DA10	CONCEPT STORMWATER MANAGEMENT PLAN	FEB 2025	DA ISSUE
DAS	SHADOW DIAGRAMS	FEB 2025	DA ISSUE

BASIX SPECIFICATIONS

WATER: - MIN 1500L Rainwater Tank. - Roof Collection area : Minimum 215m2 - Rainwater re-used in Garden Tap - Showers : 3*, Taps : 3*, Toilets 3*

ENERGY:

- Instant Gas HW Heater - 1500mm diameter Ceiling Fan in Bedrooms and Living Room - 1-phase airconditioning 4* to Living Room and Bedrooms
- Wood Heater in Living Room
- 1-phase airconditioning in Bedrooms
- Laundry/Kitchen/Bath Exhaust Fans: Ducted, Manual On/Off Switching - LED or Fluorescent lighting to kitchen, laundry, bathrooms/toilets, hallways - Window or skylight in kitchen - Window or skylight in minimum 3 bathrooms/toilets - Gas Cooktop / Electric Oven - Well Ventilated Fridge Space

THERMAL PERFORMANCE SPECIFICATIONS

Louvre windows to: WD02, 03 (partly), 05, 06, 07, 10, 11, 14 Architectural Hardwood Joinery or approved equivalent Timber Framed DG 4EnTech/8Ar95/4 clear glazing to: Aluminium framed clear glazing to: WD02, 03 (partly), 05, 06, 07, 10, 11, 14

WD01, 03 (partly), 08 = U3.0 / SHGC0.48 ± 5% WD02, 03 (partly), 05, 06, 07, 10, 11, 14 = U4.6 / SHGC0.48 ± 5% WD04, 09, 10, 13 = U3.6 / SHGC0.47 ± 5%

External Walls Medium Colour FC Sheet - R 2.7 bulk insulation Concrete block walls - nil insulation

Internal Walls Timber framed - R 2.7 bulk insulation

External Floor Concrete slab on ground – R 3.0 insulation under and R 1.0 edge insulation Framed timber – R 3.0 bulk insulation Nil insulation to external floors exposed to sub-floor

Internal floors where Garage/Store below - R 4.0 bulk insulation

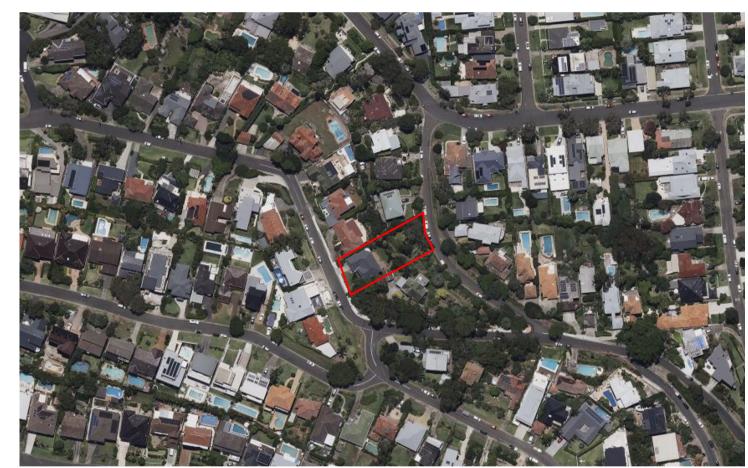
Ceilings
Framed roof space - R 4.0 bulk insulation

Roof Medium colour, non-ventilated

Sheet metal roofing – R 1.3 anti-condensation blanket under framed roof (including outdoor living area roof)
IC-4 rated recessed downlights covered with insulation



SITE



CONTEXT

NOTES

FINISHES LEGEND CB CONCRETE BLOCKWORK

REINFORCED CONCRETE FC FIBRE CEMENT CLADDING SR STEEL ROOFING HW HARDWOOD TD HARDWOOD DECKING

GB GLASS BALUSTRADE SB STONE BLOCKWORK PC POLYCARBONATE SHEETING - EXISTING STRUCTURES TO BE DEMOLISHED SHOWN DOTTED RED

- ALL LEVELS IN ACCORDANCE WITH AHD - ALL BUILDING WORK IN ACCORDANCE WITH BCA, COUNCIL CODES AND ALL RELEVANT AUSTRALIAN STANDARDS, INCLUDING, BUT NOT LIMITED TO: - AS 1684 - LIGHT TIMBER FRAMING CODE

- AS 2047 - 2014 - SELECTION AND INSTALLATION OF WINDOWS - AS 2870 -2011 - RESIDENTIAL SLABS AND FOOTINGS

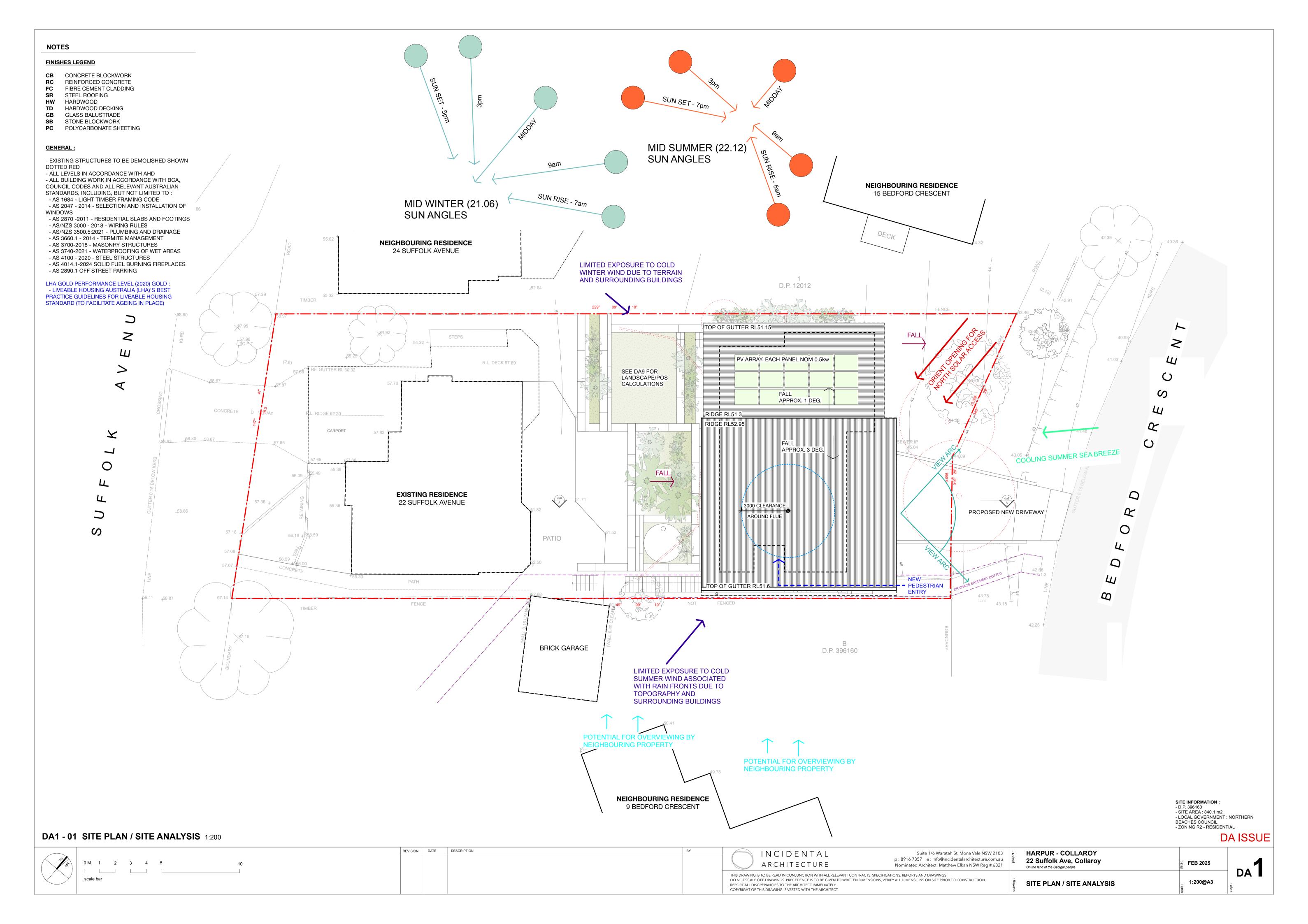
- AS/NZS 3000 - 2018 - WIRING RULES - AS/NZS 3500.5:2021 - PLUMBING AND DRAINAGE - AS 3660.1 - 2014 - TERMITE MANAGEMENT - AS 3700-2018 - MASONRY STRUCTURES

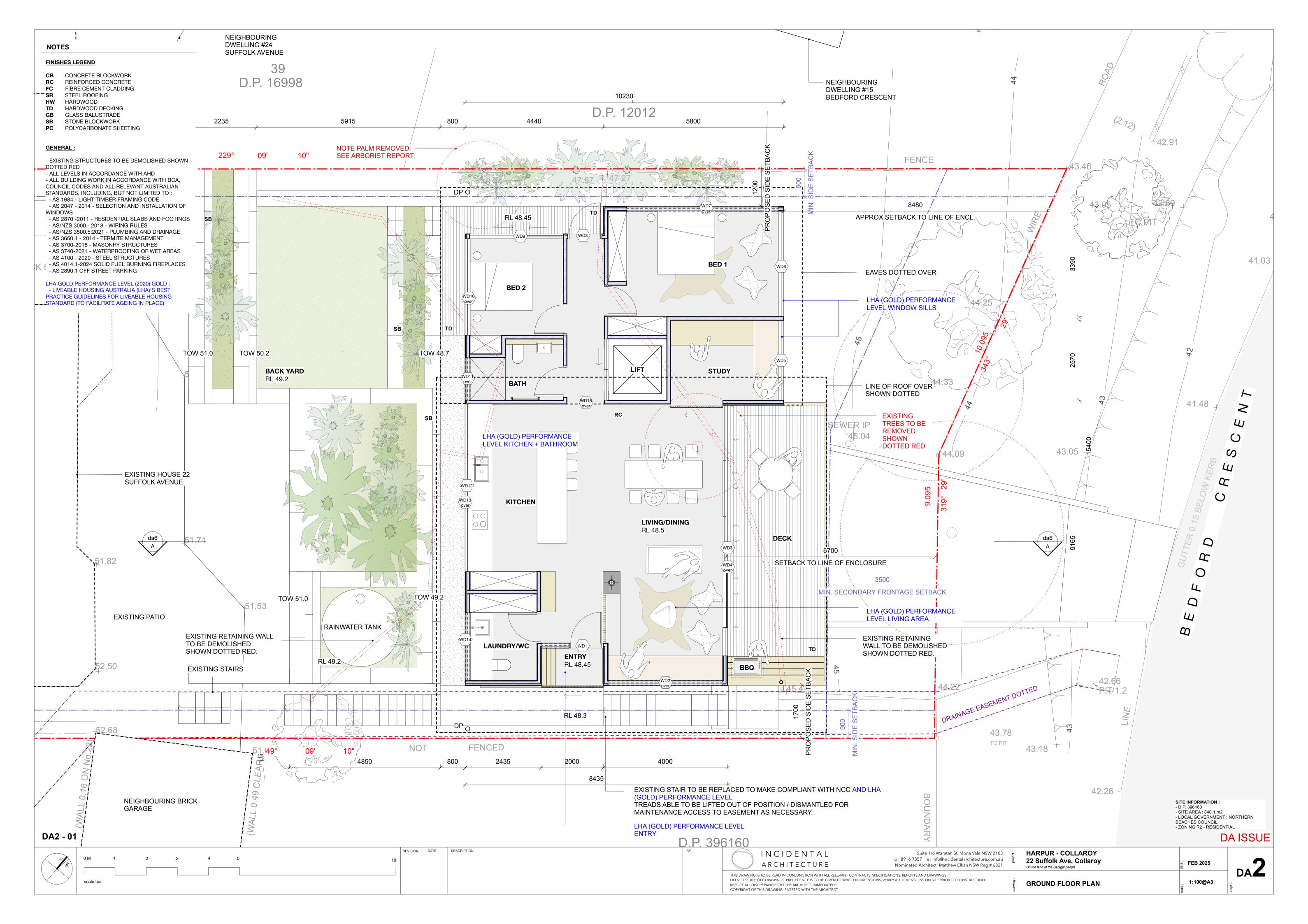
- AS 3740-2021 - WATERPROOFING OF WET AREAS - AS 4100 - 2020 - STEEL STRUCTURES - AS 4014.1-2024 SOLID FUEL BURNING FIREPLACES - AS 2890.1 OFF STREET PARKING

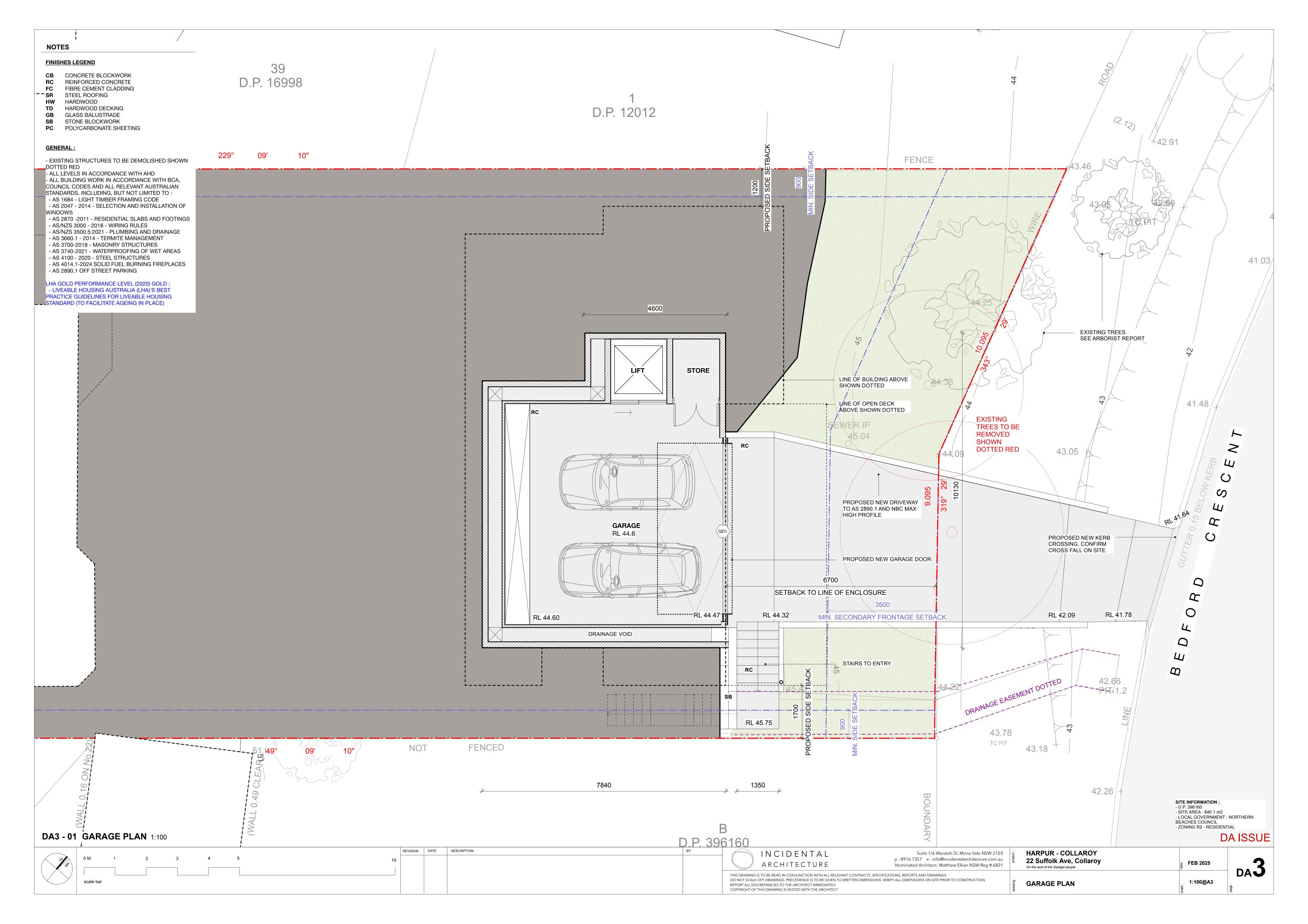
LHA GOLD PERFORMANCE LEVEL (2020) GOLD: - LIVEABLE HOUSING AUSTRALIA (LHA)'S BEST PRACTICE GUIDELINES FOR LIVEABLE HOUSING STANDARD (TO FACILITATE AGEING IN PLACE)

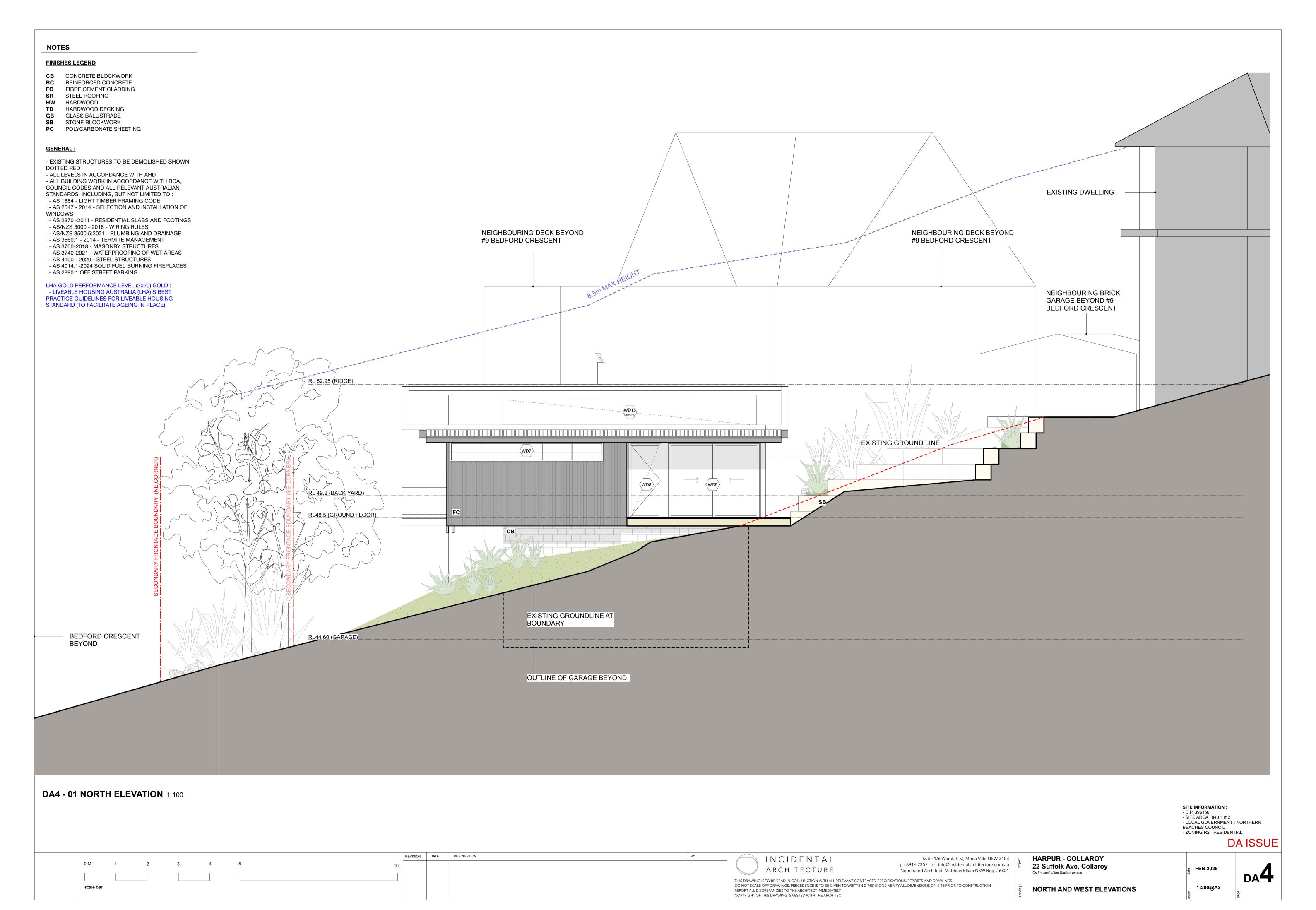
SITE INFORMATION; SITE INFORMATION;
- D.P. 396160
- SITE AREA: 840.1 m2
- LOCAL GOVERNMENT: NORTHERN
BEACHES COUNCIL
- ZONING R2 - RESIDENTIAL

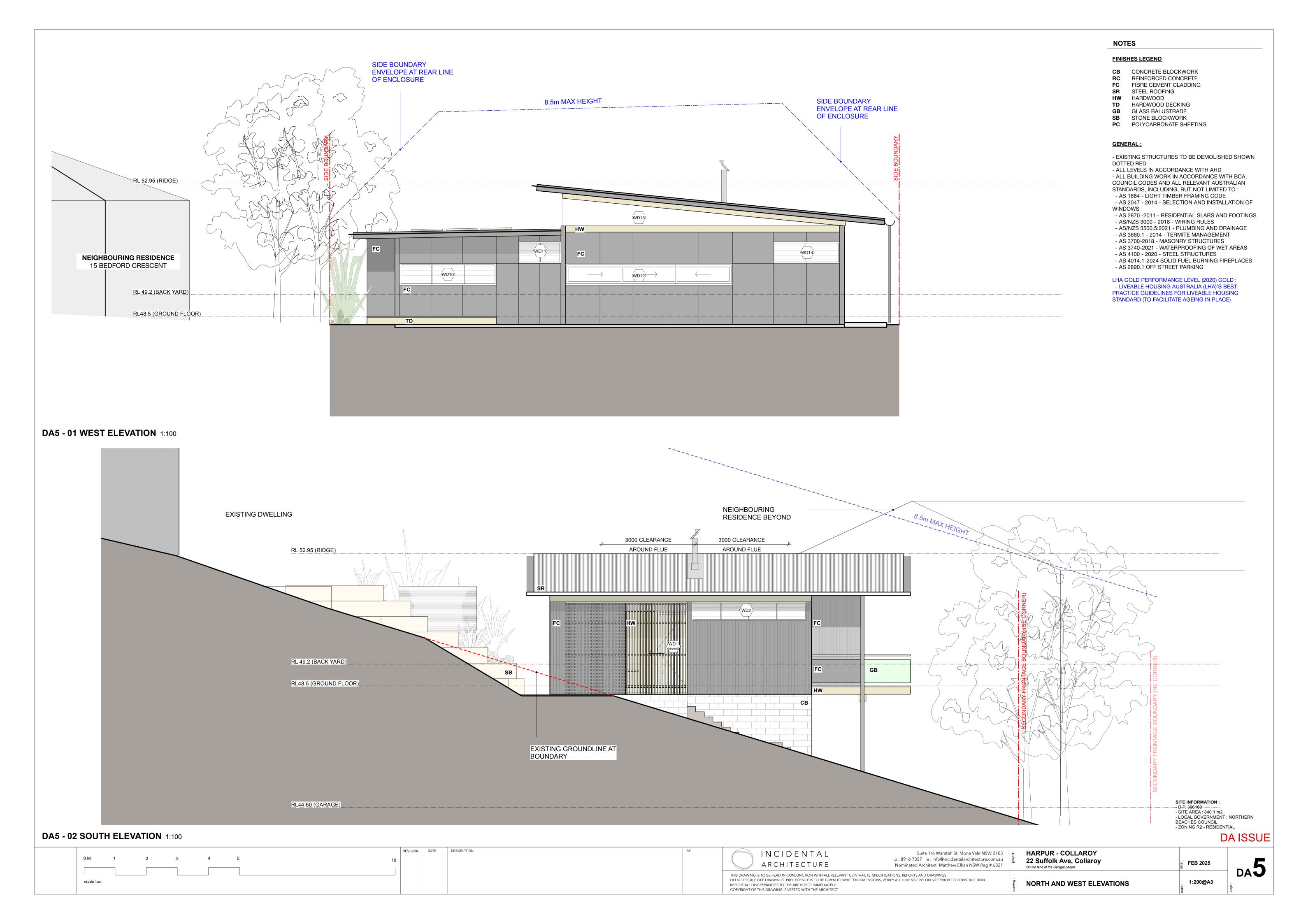
DA ISSUE	· ·				
HARPUR - COLLAROY	Suite 1/6 Waratah St, Mona Vale NSW 2103 p: 8916 7357 e: info@incidentalarchitecture.com.au Nominated Architect: Matthew Elkan NSW Reg # 6821	INCIDENTAL	ВУ	DATE DESCRIPTION	REVISIO
22 Suffolk Ave, Collaroy On the land of the Gadinal people	Nominated Architect: Matthew Elkan NSW Reg # 6821	ARCHITECTURE			
COVER SHEET & GENERAL NOTES I NTS I gg	NT CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS VRITTEN DIMENSIONS, VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION WE WE BY	THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT COI DO NOT SCALE OFF DRAWINGS. PRECEDENCE IS TO BE GIVEN TO WRITTE REPORT ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY COPYRIGHT OF THIS DRAWING IS VESTED WITH THE ARCHITECT			

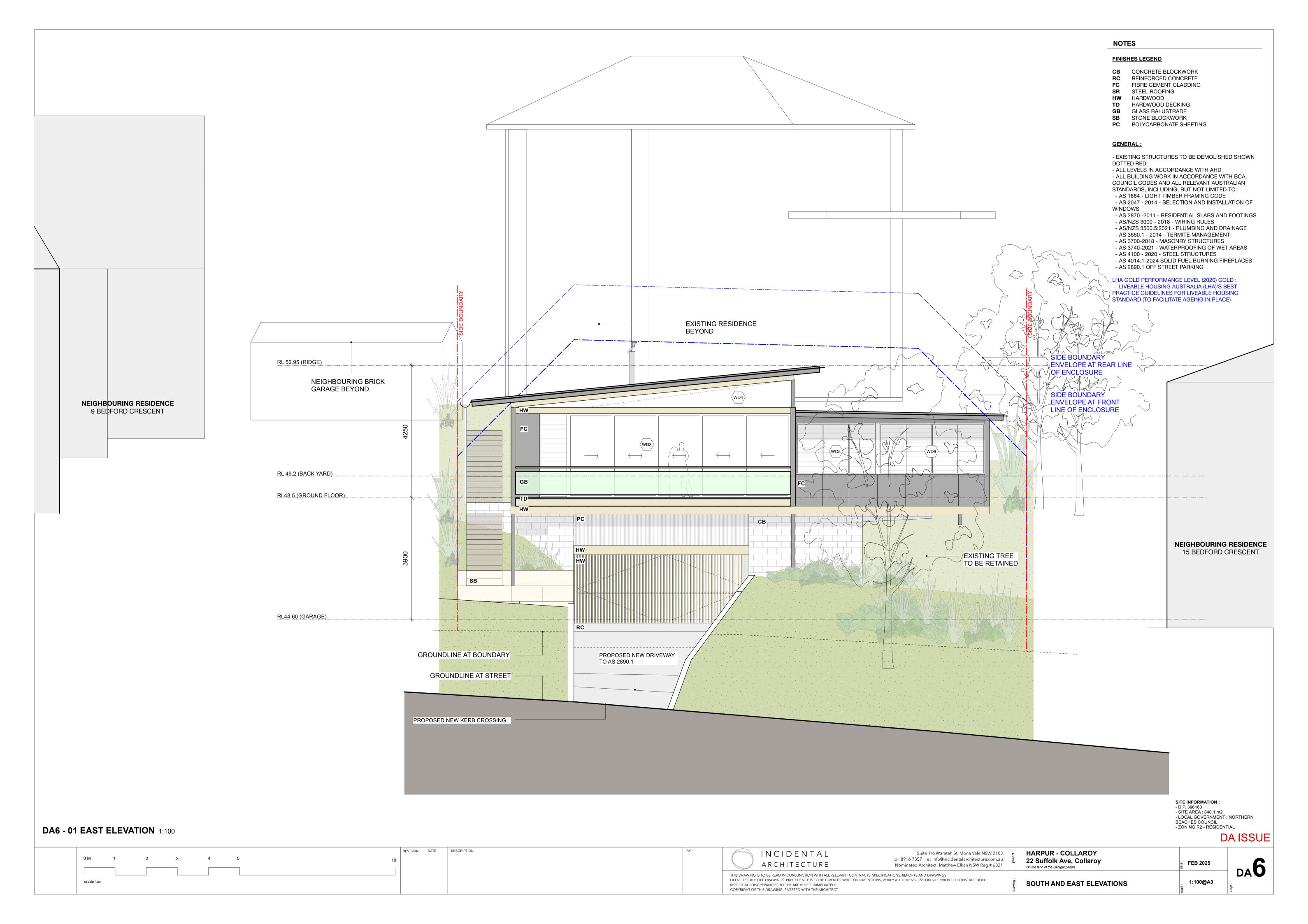












NOTES **FINISHES LEGEND CB** CONCRETE BLOCKWORK RC REINFORCED CONCRETE FC FIBRE CEMENT CLADDING STEEL ROOFING **HW** HARDWOOD HARDWOOD DECKING GLASS BALUSTRADE STONE BLOCKWORK PC POLYCARBONATE SHEETING **GENERAL:** - EXISTING STRUCTURES TO BE DEMOLISHED SHOWN DOTTED RED - ALL LEVELS IN ACCORDANCE WITH AHD - ALL BUILDING WORK IN ACCORDANCE WITH BCA, COUNCIL CODES AND ALL RELEVANT AUSTRALIAN EXISTING PRIMARY STANDARDS, INCLUDING, BUT NOT LIMITED TO: - AS 1684 - LIGHT TIMBER FRAMING CODE DWELLING - AS 2047 - 2014 - SELECTION AND INSTALLATION OF - AS 2870 -2011 - RESIDENTIAL SLABS AND FOOTINGS NEIGHBOURING - AS/NZS 3000 - 2018 - WIRING RULES **BRICK GARAGE** - AS/NZS 3500.5:2021 - PLUMBING AND DRAINAGE - AS 3660.1 - 2014 - TERMITE MANAGEMENT - AS 3700-2018 - MASONRY STRUCTURES NEIGHBOURING RESIDENCE #9 - AS 3740-2021 - WATERPROOFING OF WET AREAS - AS 4100 - 2020 - STEEL STRUCTURES BEDFORD CRESCENT BEYOND - AS 4014.1-2024 SOLID FUEL BURNING FIREPLACES - AS 2890.1 OFF STREET PARKING LHA GOLD PERFORMANCE LEVEL (2020) GOLD : -RL 52.95 (RIDGE) - LIVEABLE HOUSING AUSTRALIA (LHA)'S BEST PRACTICE GUIDELINES FOR LIVEABLE HOUSING STANDARD (TO FACILITATE AGEING IN PLACE) **DECK** KITCHEN LIVING/DINING ENTRY BEYOND RL 48.5 RL 49.2 (BACK YARD) RL48.5 (GROUND FLOOR) PROPOSED NEW DRIVEWAY TO AS 2890.1 **GARAGE** RL 44.60 DRAINAGE VOID **EXISTING GROUNDLINE** + SPOON DRAIN RL44.60 (GARAGE) PROPOSED NEW KERB CORSSING BEDFORD CRESCENT

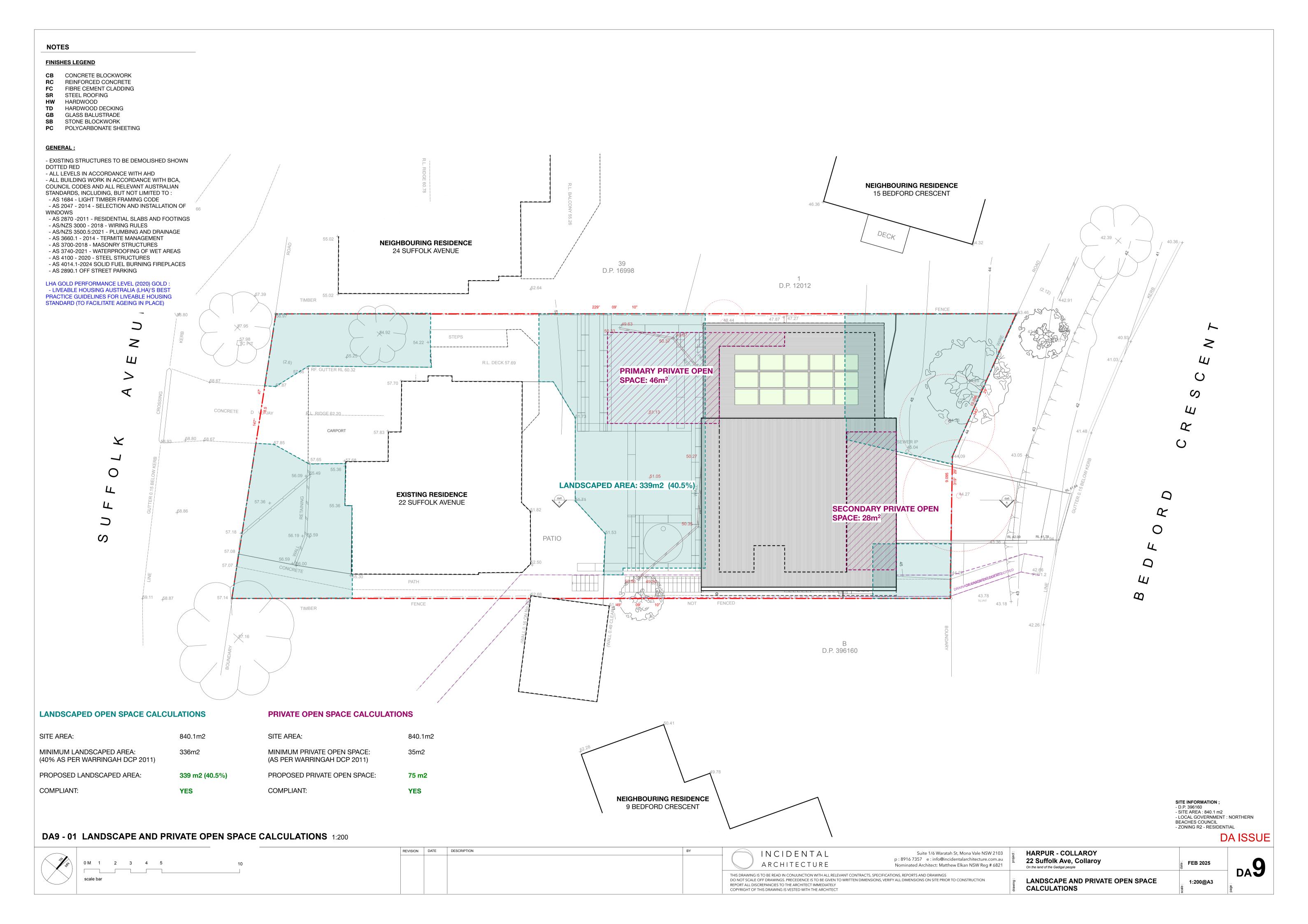
DA7 - 01 SECTION AA 1:100

SITE INFORMATION;
- D.P. 396160
- SITE AREA: 840.1 m2
- LOCAL GOVERNMENT: NORTHERN
BEACHES COUNCIL
- ZONING R2 - RESIDENTIAL

DA ISSUE



NOTES FINISHES LEGEND **CB** CONCRETE BLOCKWORK RC REINFORCED CONCRETE FC FIBRE CEMENT CLADDING STEEL ROOFING HARDWOOD HARDWOOD DECKING GLASS BALUSTRADE STONE BLOCKWORK PC POLYCARBONATE SHEETING **GENERAL:** - EXISTING STRUCTURES TO BE DEMOLISHED SHOWN DOTTED RED - ALL LEVELS IN ACCORDANCE WITH AHD - ALL BUILDING WORK IN ACCORDANCE WITH BCA, **NEIGHBOURING RESIDENCE** COUNCIL CODES AND ALL RELEVANT AUSTRALIAN STANDARDS, INCLUDING, BUT NOT LIMITED TO: 15 BEDFORD CRESCENT - AS 1684 - LIGHT TIMBER FRAMING CODE - AS 2047 - 2014 - SELECTION AND INSTALLATION OF - AS 2870 -2011 - RESIDENTIAL SLABS AND FOOTINGS - AS/NZS 3000 - 2018 - WIRING RULES - AS/NZS 3500.5:2021 - PLUMBING AND DRAINAGE DECK - AS 3660.1 - 2014 - TERMITE MANAGEMENT 55.02 **NEIGHBOURING RESIDENCE** - AS 3700-2018 - MASONRY STRUCTURES 24 SUFFOLK AVENUE - AS 3740-2021 - WATERPROOFING OF WET AREAS - AS 4100 - 2020 - STEEL STRUCTURES POSITION OF TEMPORARY - AS 4014.1-2024 SOLID FUEL BURNING FIREPLACES \$EDIMENT CONTROL BARRIER D.P. 16998 - AS 2890.1 OFF STREET PARKING DURING CONSTRUCTION. ADJUST TO BOUNDARY DURING LHA GOLD PERFORMANCE LEVEL (2020) GOLD: D.P. 12012 FINAL LANDSCAPING AND DRAINAGE - LIVEABLE HOUSING AUSTRALIA (LHA)'S BEST WORKS PRACTICE GUIDELINES FOR LIVEABLE HOUSING TIMBER STANDARD (TO FACILITATE AGEING IN PLACE) 229° 09' 10" STEPS NO SIGNIFICANT SITE ELEVATED FLOOR - OPEN VEGETATION TO BE CLEARED SUB FLOOR 41.03/HAY BAIL IN R.L. DECK 57.69 EXCAVATION DEPTH = 0 - 2m MINIMAL EXCAVATION. LIMIT DISTURBED SURFACES GUTTER DURING MATERIAL EXCAVATED FOR NEW REUSE EXCAVATED DURING CONSTRUCTION AS CONSTRUCTION FOOTINGS TO BE REUSED ON SITE MATERIAL ON SITE / REASONABLE AS PRACTICAL PERIOD 57.70 L----ightarrowWHERE POSSIBLE. LANDSCAPING WORKS TO BE UNDERTAKEN AFTER CONSTRUCTION PERIOD BIN STORAGE IN GARAGE ∑ 1 x green waste bin ₄51.13 CONCRETE L RIDGE 62.20 1 x glass/plastics recycling bir x garbage bin ╵╬╣┼┼╎┞┼╎╎┼┼╎┼┼╎┼┼╎╏╬╏╎┼┼╎┞┼┤╎┼┼ CARPORT │_╋╃╸┞╇╸╎╇╸╎╇╸╎╇╸╬╇┆╇╸┆╇╸┆╇╸┆╇╸┆╇╸┆╇╸┆╇╸┆╇╸┆╇╸┼╇┆╇╸┼╇┆┼╇┆ 57.83 58.93 58.80 58.67 MATERIALS SORTING DURING DEMOLITION AND CONSTRUCTION EXCAVATION DEPTH = 0 - 2m WITH SIGNAGE (INCL |||||||POTENTIAL||||| MATERIAL EXCAVATED FOR NEW 55.36 POLLUTANTS AND FOOTINGS TO BE REUSED ON SITE MATERIALS FOR DCATION OF SKIP ₋51.05 WHERE POSSIBLE |||RECYCLING)||| BIN DURING CONSTRUCTION EXISTING RESIDENCE BIN STORAGE IN KITCHEN COVER LOADS 22 SUFFOLK AVENUE 1 x green waste bin ON VEHICLES 55.36 1 x glass/plastics recycling bin TYRE BRUSH ENTERING SITE 1 x paper recycling bin DOWN AREA 1 x garbage bin DURING SINGLE VEHICLE EXCAVATION DEPTH = 2 - 5m CONSTRUCTION ACCESS POINT MATERIAL EXCAVATED FOR NEW RL 42.09 RL 1,78 56.19 + 55.59 PATIO FOOTINGS TO BE REUSED ON SITE POSITION OF COUNCIL WHERE POSSIBLE. COMPLIANCE SIGNAGE DURING CONSTRUCTION TOPSOIL STOCKPILE IF NEEDED DURING HHHH CONSTRUCTION 55.30 PATH HAY BAIL IN **GUTTER DURING** B CONSTRUCTION **FENCE** PERIOD 42.26 D.P. 396160 **NEIGHBOURING RESIDENCE** SITE INFORMATION; 9 BEDFORD CRESCENT - D.P. 396160 - SITE AREA : 840.1 m2 - LOCAL GOVERNMENT : NORTHERN BEACHES COUNCIL - ZONING R2 - RESIDENTIAL DA8 - 01 EROSION AND WASTE MANAGEMENT PLAN 1:200 DA ISSUE REVISION DATE DESCRIPTION INCIDENTAL **HARPUR - COLLAROY** Suite 1/6 Waratah St, Mona Vale NSW 2103 p:89167357 e:info@incidentalarchitecture.com.au 22 Suffolk Ave, Collaroy FEB 2025 ARCHITECTURE Nominated Architect: Matthew Elkan NSW Reg # 6821 On the land of the Gadigal people DAO THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS DO NOT SCALE OFF DRAWINGS. PRECEDENCE IS TO BE GIVEN TO WRITTEN DIMENSIONS, VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION 1:200@A3 **EROSION AND WASTE MANAGEMENT PLAN** REPORT ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY COPYRIGHT OF THIS DRAWING IS VESTED WITH THE ARCHITECT



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NOTES

FINISHES LEGEND

CB CONCRETE BLOCKWORK RC REINFORCED CONCRETE

FC FIBRE CEMENT CLADDING STEEL ROOFING

HW HARDWOOD HARDWOOD DECKING GLASS BALUSTRADE STONE BLOCKWORK

PC POLYCARBONATE SHEETING

GENERAL:

- EXISTING STRUCTURES TO BE DEMOLISHED SHOWN DOTTED RED

- ALL LEVELS IN ACCORDANCE WITH AHD - ALL BUILDING WORK IN ACCORDANCE WITH BCA, COUNCIL CODES AND ALL RELEVANT AUSTRALIAN

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LHA GOLD PERFORMANCE LEVEL (2020) GOLD: - LIVEABLE HOUSING AUSTRALIA (LHA)'S BEST PRACTICE GUIDELINES FOR LIVEABLE HOUSING

LEGEND

SITE BOUNDARY



NOTES:

- THIS DRAWING IS SCHEMATIC ONLY. - HEIGHT AND POSITION OF EXISTING STRUCTURES FROM SURVEY PLAN - RIDGE HEIGHTS, GUTTER HEIGHTS AND SILL HEIGHTS AND

NATURAL GROUND LEVELS FROM SURVEY PLAN

NEIGHBOURING RESIDENCE

15 BEDFORD CRESCENT

BRICK GARAGE

NEIGHBOURING RESIDENCE

9 BEDFORD CRESCENT

STANDARD (TO FACILITATE AGEING IN PLACE)

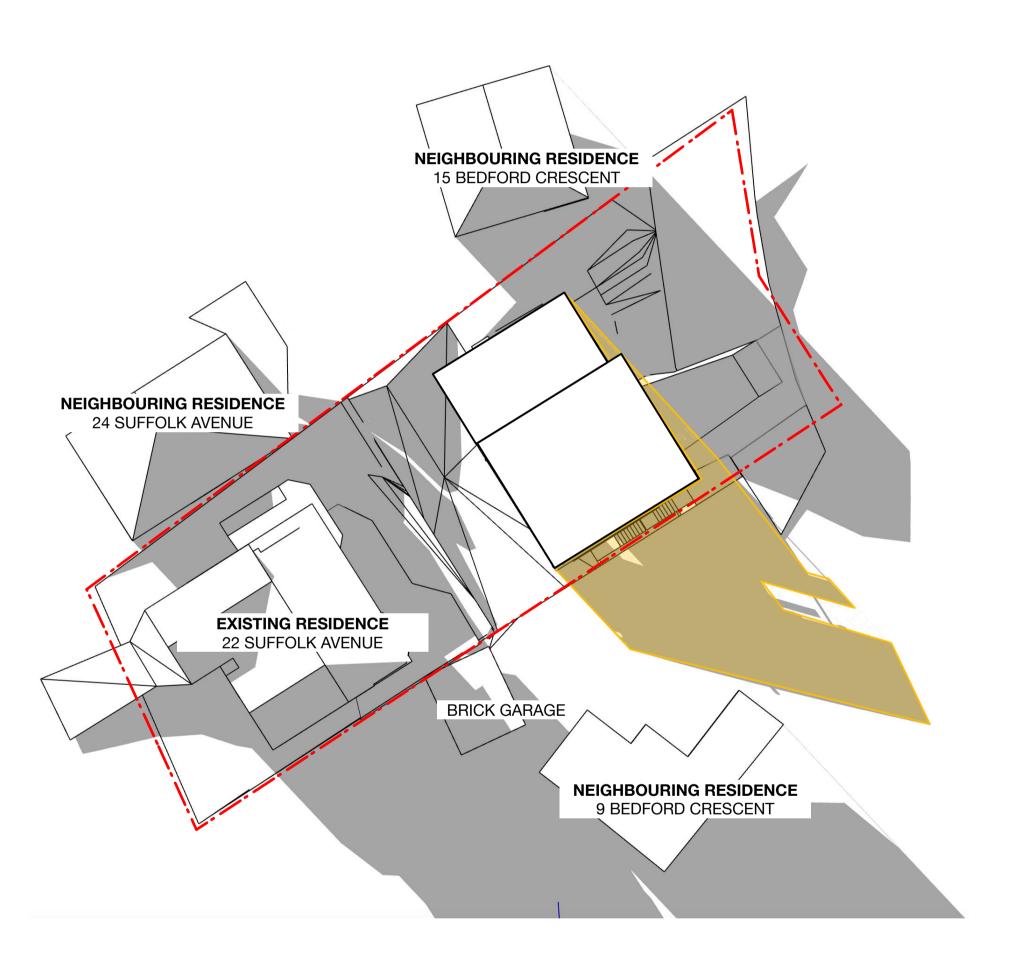
NEIGHBOURING RESIDENCE

24 SUFFOLK AVENUE

EXISTING RESIDENCE

22 SUFFOLK AVENUE





21ST JUNE 9AM **21ST JUNE 12PM** 21ST JUNE 3PM

> SITE INFORMATION; - D.P. 396160 - D.P. 396160 - SITE AREA : 840.1 m2 - LOCAL GOVERNMENT : NORTHERN BEACHES COUNCIL - ZONING R2 - RESIDENTIAL

DA ISSUE

DAS - 01 SHADOW DIAGRAMS 1:200

REVISION DATE DESCRIPTION

INCIDENTAL p: 8916 7357 e: info@incidentalarchitecture.com.au ARCHITECTURE Nominated Architect: Matthew Elkan NSW Reg # 6821 THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS DO NOT SCALE OFF DRAWINGS. PRECEDENCE IS TO BE GIVEN TO WRITTEN DIMENSIONS, VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION REPORT ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY COPYRIGHT OF THIS DRAWING IS VESTED WITH THE ARCHITECT

Suite 1/6 Waratah St, Mona Vale NSW 2103

HARPUR - COLLAROY 22 Suffolk Ave, Collaroy
On the land of the Gadigal people FEB 2025 NTS SHADOW DIAGRAMS

DA