

SCHEDULE OF EXTERNAL FINISHES



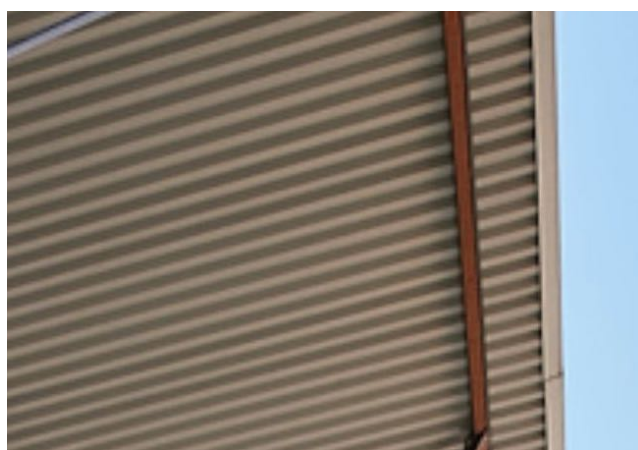
CONCRETE BLOCKWORK (CB)



STONE BLOCKWORK (SB)



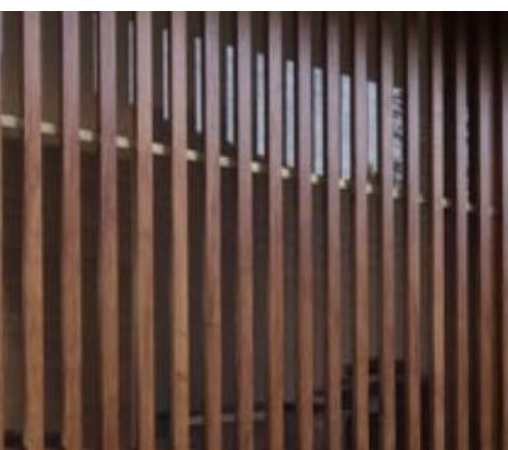
FIBRE CEMENT CLADDING (FC)



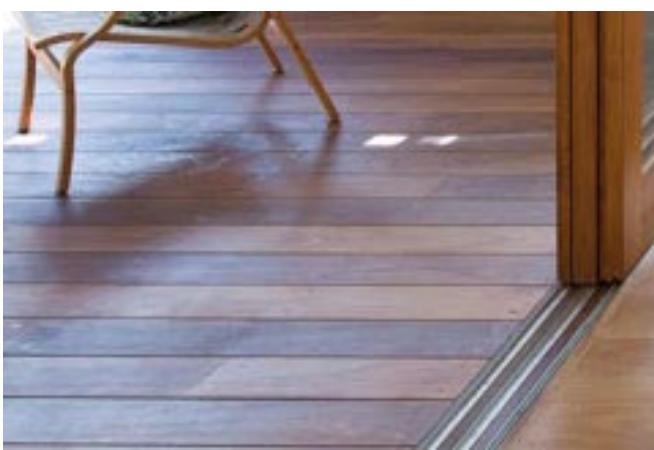
STEEL ROOFING (SR)



TIMBER CLADDING (TC)



HARDWOOD (HW)

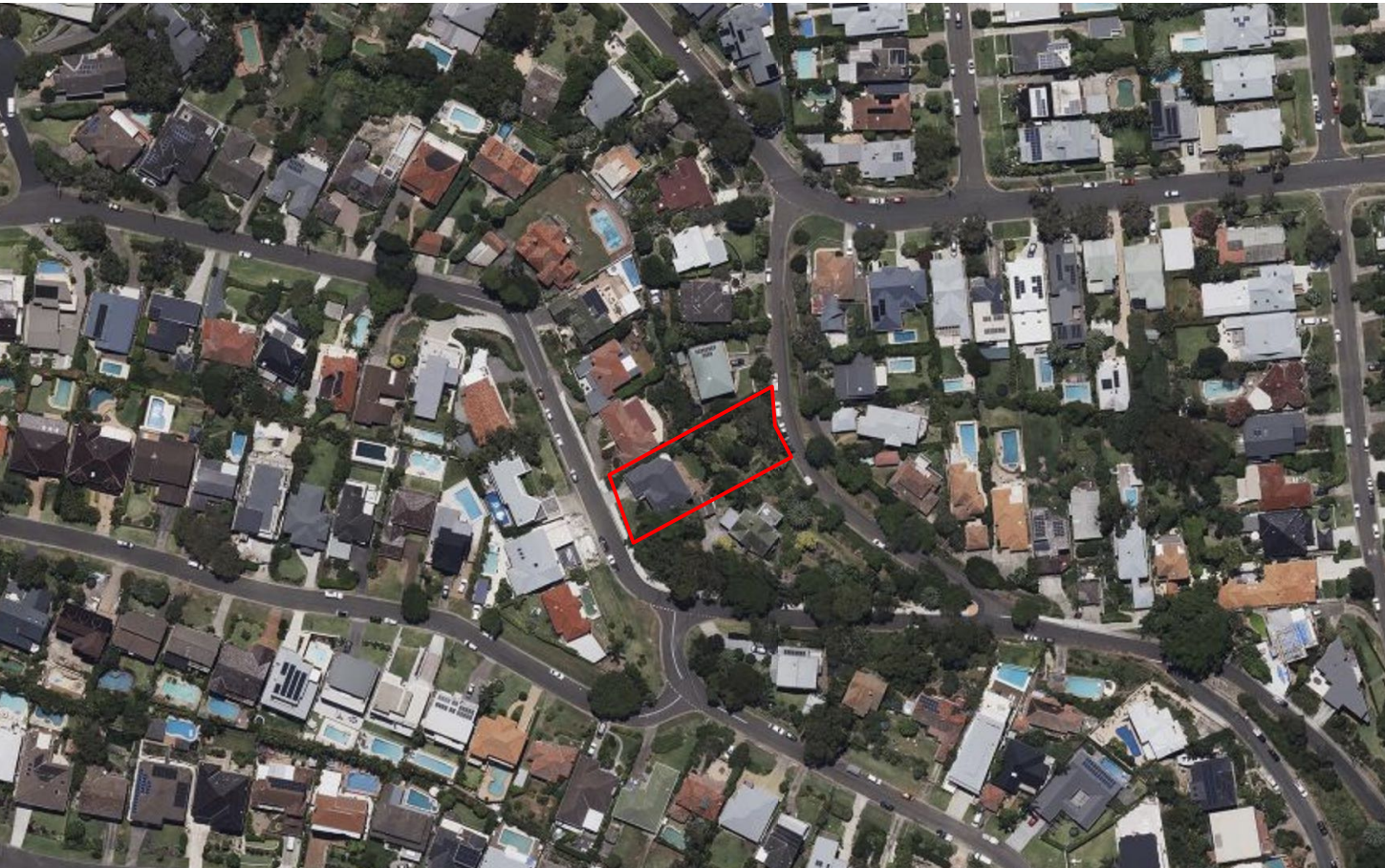


HARDWOOD DECKING (TD)

PAGE	DRAWING	DATE	REVISION
DA 1	1:200 SITE PLAN / SITE ANALYSIS	FEB 2025	DA ISSUE
DA 2	1:100 GROUND FLOOR PLAN	FEB 2025	DA ISSUE
DA 3	1:100 GARAGE PLAN	FEB 2025	DA ISSUE
DA 4	1:100 NORTH ELEVATION	FEB 2025	DA ISSUE
DA 5	1:100 WEST AND SOUTH ELEVATIONS	FEB 2025	DA ISSUE
DA 6	1:100 EAST ELEVATION	FEB 2025	DA ISSUE
DA 7	1:100 SECTION AA	FEB 2025	DA ISSUE
DA 8	1:200 EROSION AND SEDIMENT CONTROL PLAN AND SITE WASTE MANAGEMENT PLAN	FEB 2025	DA ISSUE
DA 9	LANDSCAPE AND PRIVATE OPEN SPACE CALCULATIONS	FEB 2025	DA ISSUE
DA10	CONCEPT STORMWATER MANAGEMENT PLAN	FEB 2025	DA ISSUE
DAS	SHADOW DIAGRAMS	FEB 2025	DA ISSUE



SITE



CONTEXT

NOTES

FINISHES LEGEND

- CB CONCRETE BLOCKWORK
- RC REINFORCED CONCRETE
- FC FIBRE CEMENT CLADDING
- SR STEEL ROOFING
- HW HARDWOOD
- TD HARDWOOD DECKING
- GB GLASS BALUSTRADE
- SB STONE BLOCKWORK
- PC POLYCARBONATE SHEETING

- EXISTING STRUCTURES TO BE DEMOLISHED SHOWN DOTTED RED
- ALL LEVELS IN ACCORDANCE WITH AHD
- ALL BUILDING WORK IN ACCORDANCE WITH BCA, COUNCIL CODES AND ALL RELEVANT AUSTRALIAN STANDARDS, INCLUDING, BUT NOT LIMITED TO :
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  - AS 3680.1 - 2014 - TERMITE MANAGEMENT
  - AS 3700-2018 - MASONRY STRUCTURES
  - AS 3740-2021 - WATERPROOFING OF WET AREAS
  - AS 4100 - 2020 - STEEL STRUCTURES
  - AS 4014.1-2024 SOLID FUEL BURNING FIREPLACES
  - AS 2890.1 OFF STREET PARKING

LHA GOLD PERFORMANCE LEVEL (2020) GOLD :  
- LIVEABLE HOUSING AUSTRALIA (LHA)'S BEST PRACTICE GUIDELINES FOR LIVEABLE HOUSING STANDARD (TO FACILITATE AGEING IN PLACE)

SITE INFORMATION :  
- D.P. 396160  
- SITE AREA : 840.1 m2  
- LOCAL GOVERNMENT : NORTHERN BEACHES COUNCIL  
- ZONING R2 - RESIDENTIAL

DA ISSUE

		REVISION	DATE	DESCRIPTION	BY	<div><div></div><div>INCIDENTAL ARCHITECTURE</div><div><small>THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS. DO NOT SCALE OFF DRAWINGS. PRECEDENCE IS TO BE GIVEN TO WRITTEN DIMENSIONS, VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY. COPYRIGHT OF THIS DRAWING IS VESTED WITH THE ARCHITECT.</small></div></div>	<div><div><small>Suite 1/6 Waratah St, Mona Vale NSW 2103</small> <small>p : 8916 7357 e : info@incidentalarchitecture.com.au</small> <small>Nominated Architect: Matthew Elkan NSW Reg # 6821</small></div><div><small>Project:</small> <b>HARPUR - COLLAROY</b> <b>22 Suffolk Ave, Collaroy</b> <small>On the land of the Gadigal people</small></div></div>	<small>DATE:</small> FEB 2025	<div><div></div><div>DA C</div></div>
							<small>Drawing:</small> COVER SHEET & GENERAL NOTES	<small>SCALE:</small> NTS	



NOTES

FINISHES LEGEND

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RC REINFORCED CONCRETE  
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SUFFOLK AVENUE

BEDFORD CRESCENT

DA1 - 01 SITE PLAN / SITE ANALYSIS 1:200

REVISION	DATE	DESCRIPTION	BY

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Suite 1/6 Waratah St, Mona Vale NSW 2103  
p : 8916 7357 e : info@incidentalarchitecture.com.au  
Nominated Architect: Matthew Elkan NSW Reg # 6821

PROJECT: HARPUR - COLLAROY  
22 Suffolk Ave, Collaroy  
On the land of the Gadigal people

DRAWING: SITE PLAN / SITE ANALYSIS

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DA ISSUE

DA1



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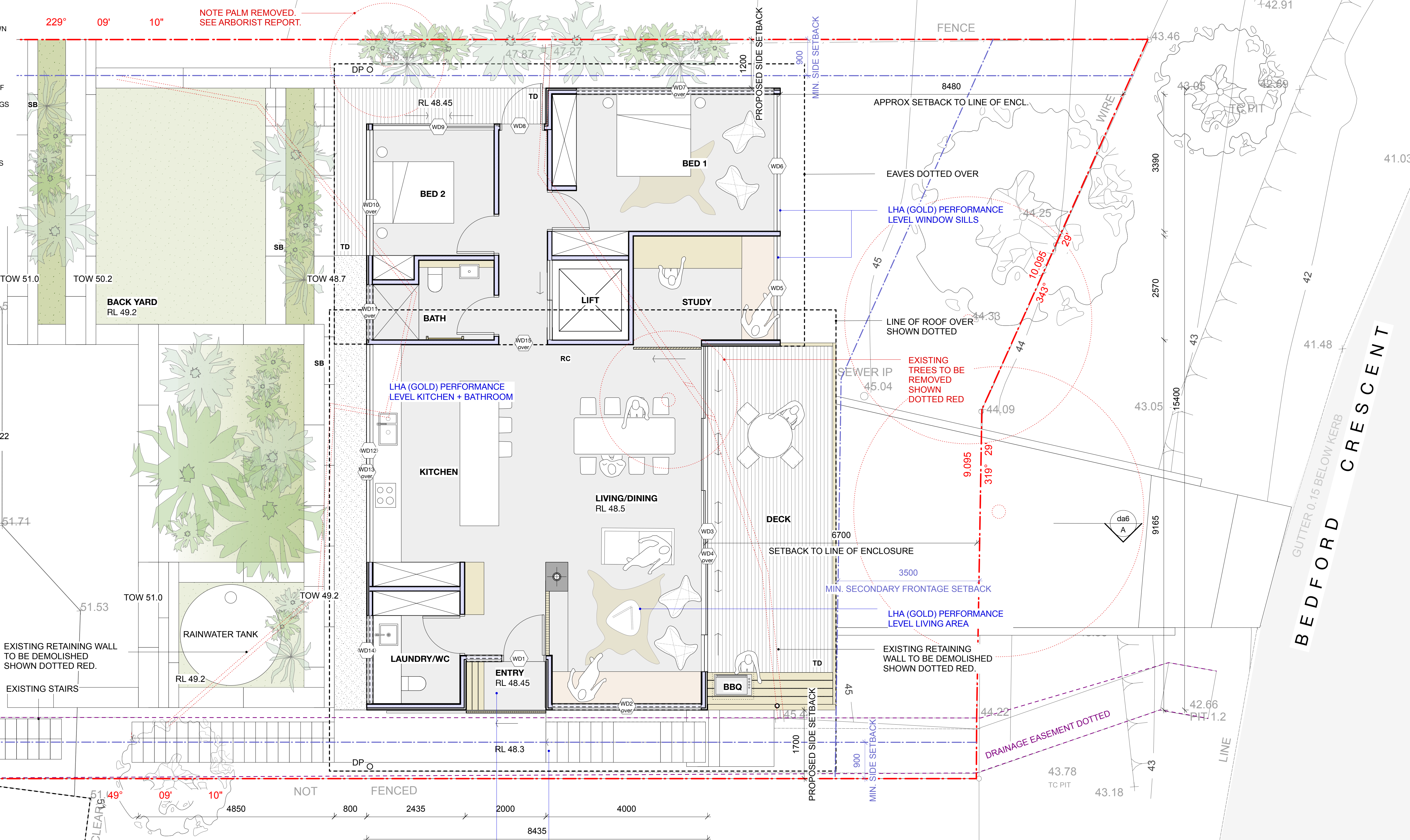
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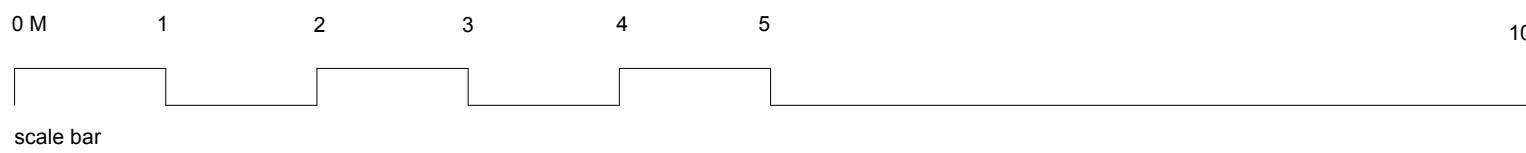
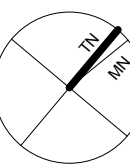
39  
D.P. 16998

D.P. 12012

NEIGHBOURING DWELLING #15  
BEDFORD CRESCENT



DA2 - 01



REVISION	DATE	DESCRIPTION

D.P. 396160

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HARPUR - COLLAROY  
22 Suffolk Ave, Collaroy  
On the land of the Gadigal people

GROUND FLOOR PLAN

SITE INFORMATION :  
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- ZONING R2 - RESIDENTIAL

DA ISSUE

BEDFORD CRESCENT  
GUTTER 0.15 BELOW KERB

DA2



NOTES

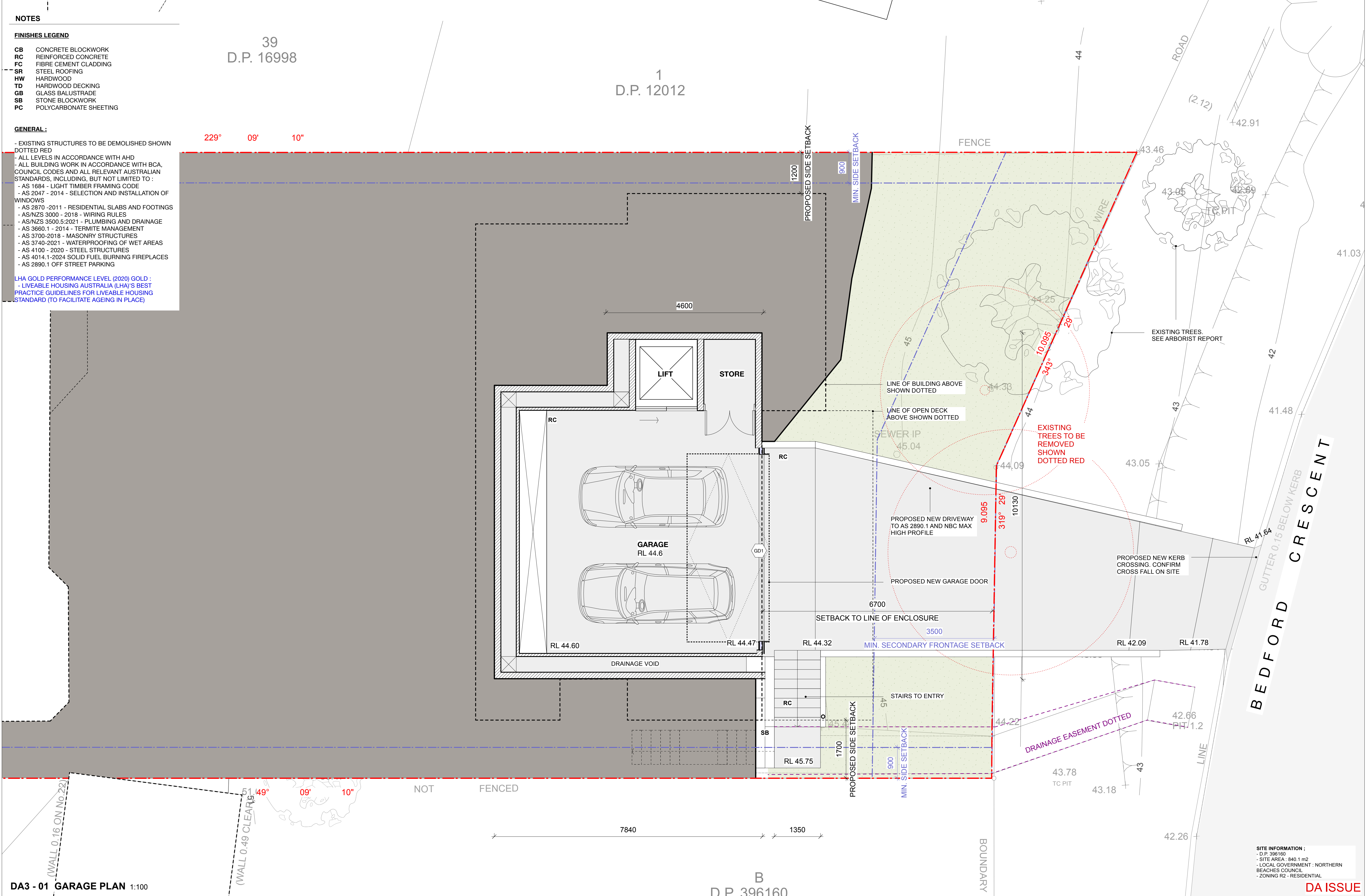
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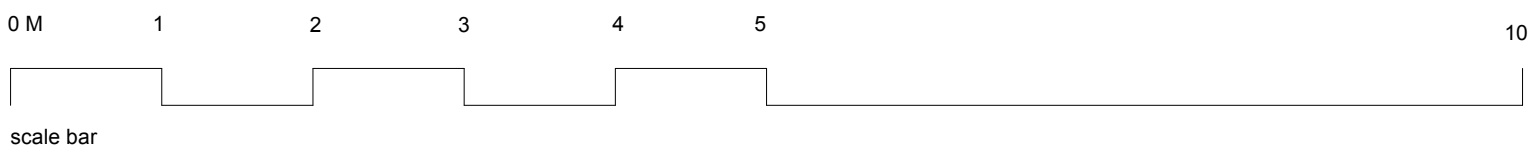
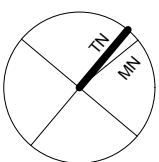
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DA3 - 01 GARAGE PLAN 1:100



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Nominated Architect: Matthew Elkan NSW Reg # 6821

PROJECT: **HARPUR - COLLAROY**  
**22 Suffolk Ave, Collaroy**  
On the land of the Gadigal people

DRAWING: **GARAGE PLAN**

SITE INFORMATION :  
- D.P. 396160  
- SITE AREA : 840.1 m<sup>2</sup>  
- LOCAL GOVERNMENT : NORTHERN BEACHES COUNCIL  
- ZONING R2 - RESIDENTIAL

DATE: **FEB 2025**

SCALE: **1:100@A3**

SHEET: **DA3**

DA ISSUE

NOTES

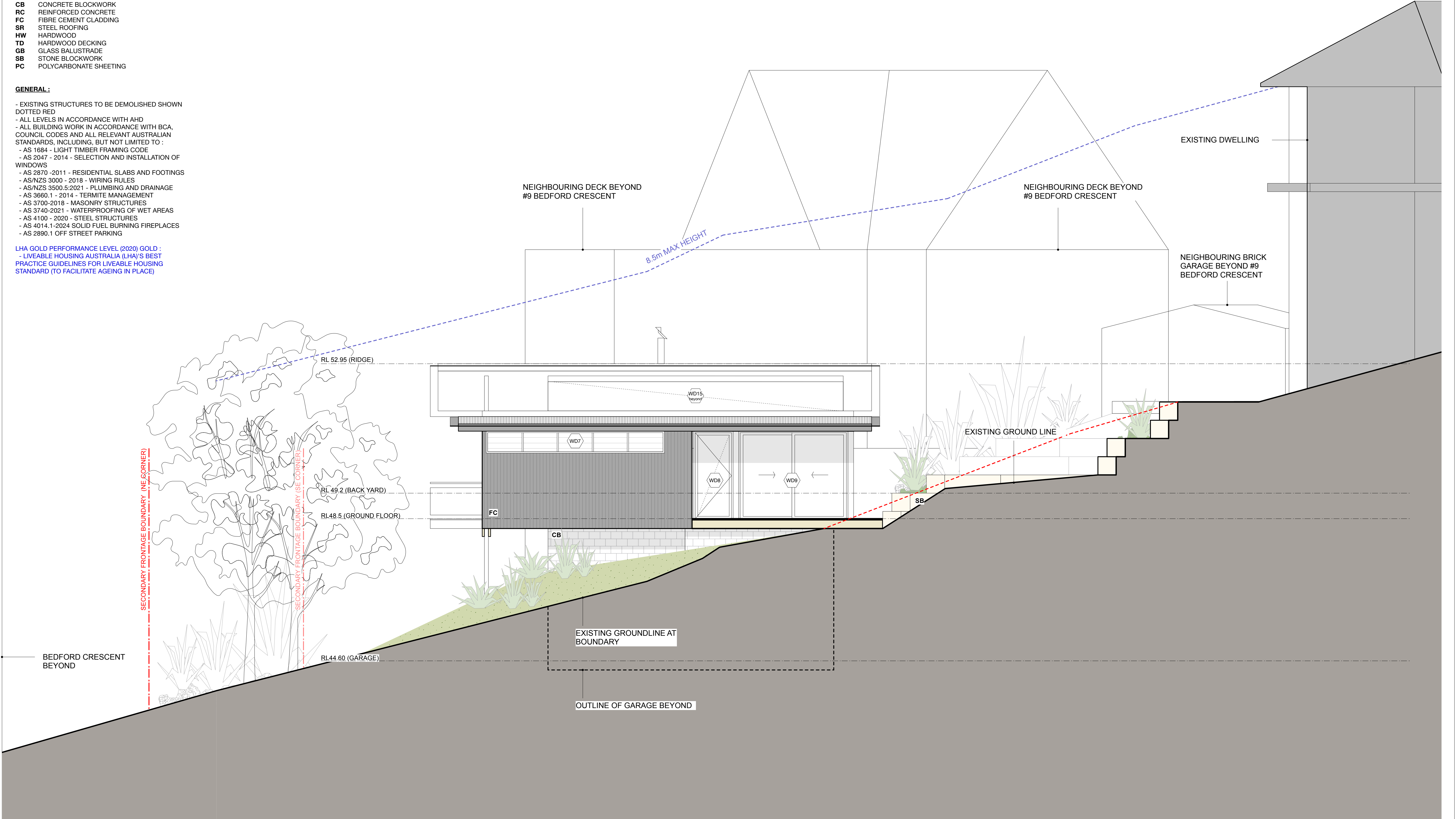
FINISHES LEGEND

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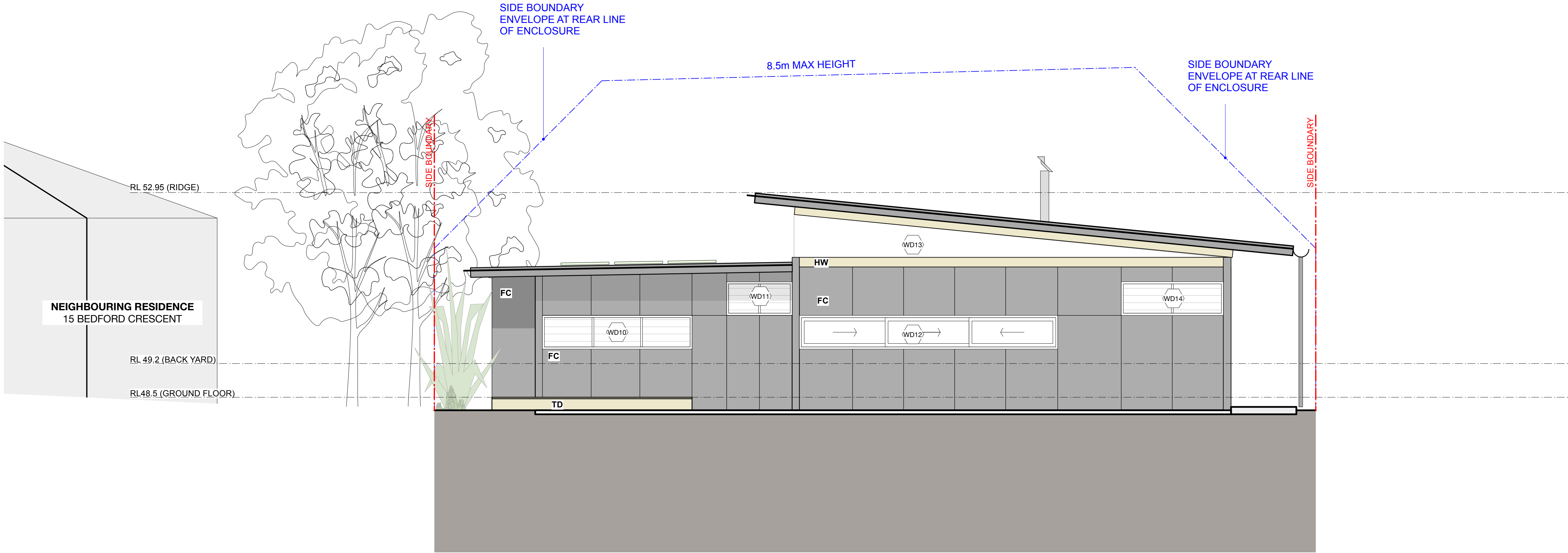
DA4 - 01 NORTH ELEVATION 1:100

SITE INFORMATION :  
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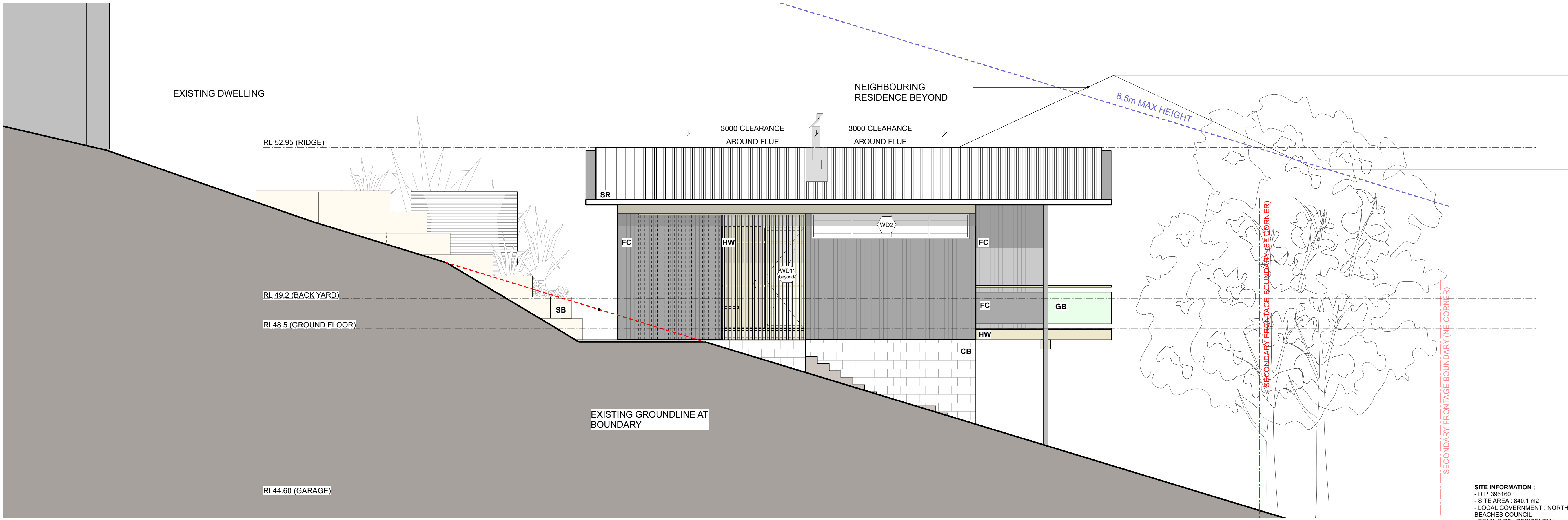
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0 M 1 2 3 4 5 10 scale bar					REVISION	DATE	DESCRIPTION	BY	 INCIDENTAL ARCHITECTURE <small>THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS. DO NOT SCALE OFF DRAWINGS. PRECEDENCE IS TO BE GIVEN TO WRITTEN DIMENSIONS, VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION REPORT ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY COPYRIGHT OF THIS DRAWING IS VESTED WITH THE ARCHITECT</small>	Suite 1/6 Waratah St, Mona Vale NSW 2103 p : 8916 7357 e : info@incidentalarchitecture.com.au Nominated Architect: Matthew Elkan NSW Reg # 6821		PROJECT: <b>HARPUR - COLLARROY</b> <b>22 Suffolk Ave, Collaroy</b> <small>On the land of the Gadigal people</small>	DATE: <b>FEB 2025</b>	<b>DA4</b>
											DRAWING: <b>NORTH AND WEST ELEVATIONS</b>	SCALE: <b>1:200@A3</b>	SHEET: <b>DA4</b>	





DA5 - 01 WEST ELEVATION 1:100



DA5 - 02 SOUTH ELEVATION 1:100

NOTES

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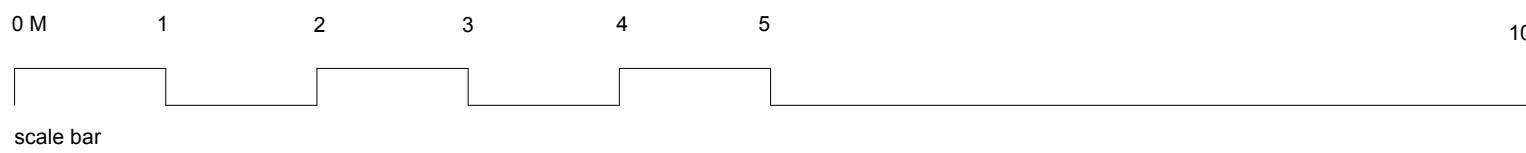
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p : 8916 7357 e : info@incidentalarchitecture.com.au  
Nominated Architect: Matthew Elkan NSW Reg # 6821

PROJECT: **HARPUR - COLLAROY**  
**22 Suffolk Ave, Collaroy**  
*On the land of the Gadigal people*

DRAWING: **NORTH AND WEST ELEVATIONS**

DATE: **FEB 2025**

SCALE: **1:200@A3**

DA5

### FINISHES LEGEND



GENERAL :

LHA GOLD PERFORMANCE LEVEL (2020) GOLD :  
- LIVEABLE HOUSING AUSTRALIA (LHA)'S BEST  
PRACTICE GUIDELINES FOR LIVEABLE HOUSING  
STANDARD (TO FACILITATE AGEING IN PLACE)



## DA ISSUE

DA6

	REVISION	DATE	DESCRIPTION	BY	<div data-bbox="1608 1919 2320 1925">  <div data-bbox="1694 1919 2320 1925"> <p>INCIDENTAL ARCHITECTURE</p> <p>Suite 1/6 Waratah St, Mona Vale NSW 2103  p : 8916 7357 e : info@incidentalarchitecture.com.au  Nominated Architect: Matthew Elkan NSW Reg # 6821</p> </div> </div>	<div data-bbox="2320 1919 2775 1925"> <p>project :</p> <p><b>HARPUR - COLLAROE</b>  <b>22 Suffolk Ave, Collaroy</b>  <i>On the land of the Gadigal people</i></p> </div>	<div data-bbox="2775 1919 2831 1925"> <p>date :</p> <p><b>FEB 2025</b></p> </div>	<div data-bbox="2831 1919 2887 1925"> <p>scale :</p> <p><b>1:100@A3</b></p> </div>	<div data-bbox="2887 1919 2902 1925"> <p>page :</p> <p><b>DA6</b></p> </div>
<p>scale bar</p>					<p>THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS  DO NOT SCALE OFF DRAWINGS. PRECEDENCE IS TO BE GIVEN TO WRITTEN DIMENSIONS, VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION  REPORT ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY  COPYRIGHT OF THIS DRAWING IS VESTED WITH THE ARCHITECT</p>	<div data-bbox="2320 1925 2775 1934"> <p>drawing :</p> <p><b>SOUTH AND EAST ELEVATIONS</b></p> </div>			



NOTES

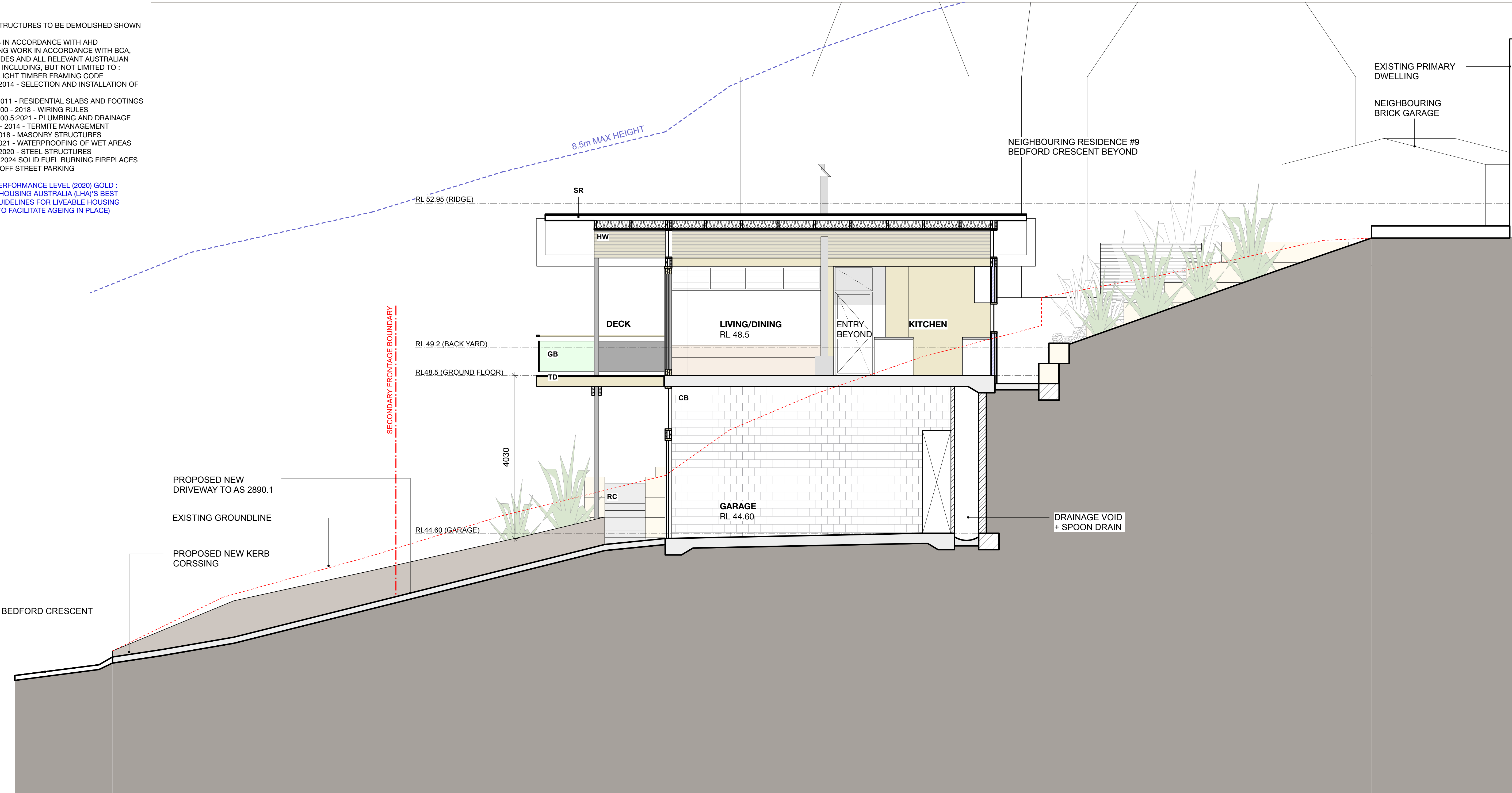
FINISHES LEGEND

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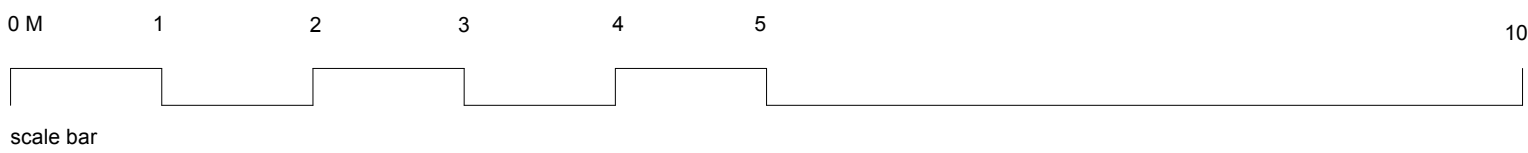
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DA7 - 01 SECTION AA 1:100

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Suite 1/6 Waratah St, Mona Vale NSW 2103  
p : 8916 7357 e : info@incidentalarchitecture.com.au  
Nominated Architect: Matthew Elkan NSW Reg # 6821

PROJECT: **HARPUR - COLLAROY**  
**22 Suffolk Ave, Collaroy**  
*On the land of the Gadigal people*

SECTION AA

DATE: FEB 2025

SCALE: 1:200@A3

DA7



NOTES

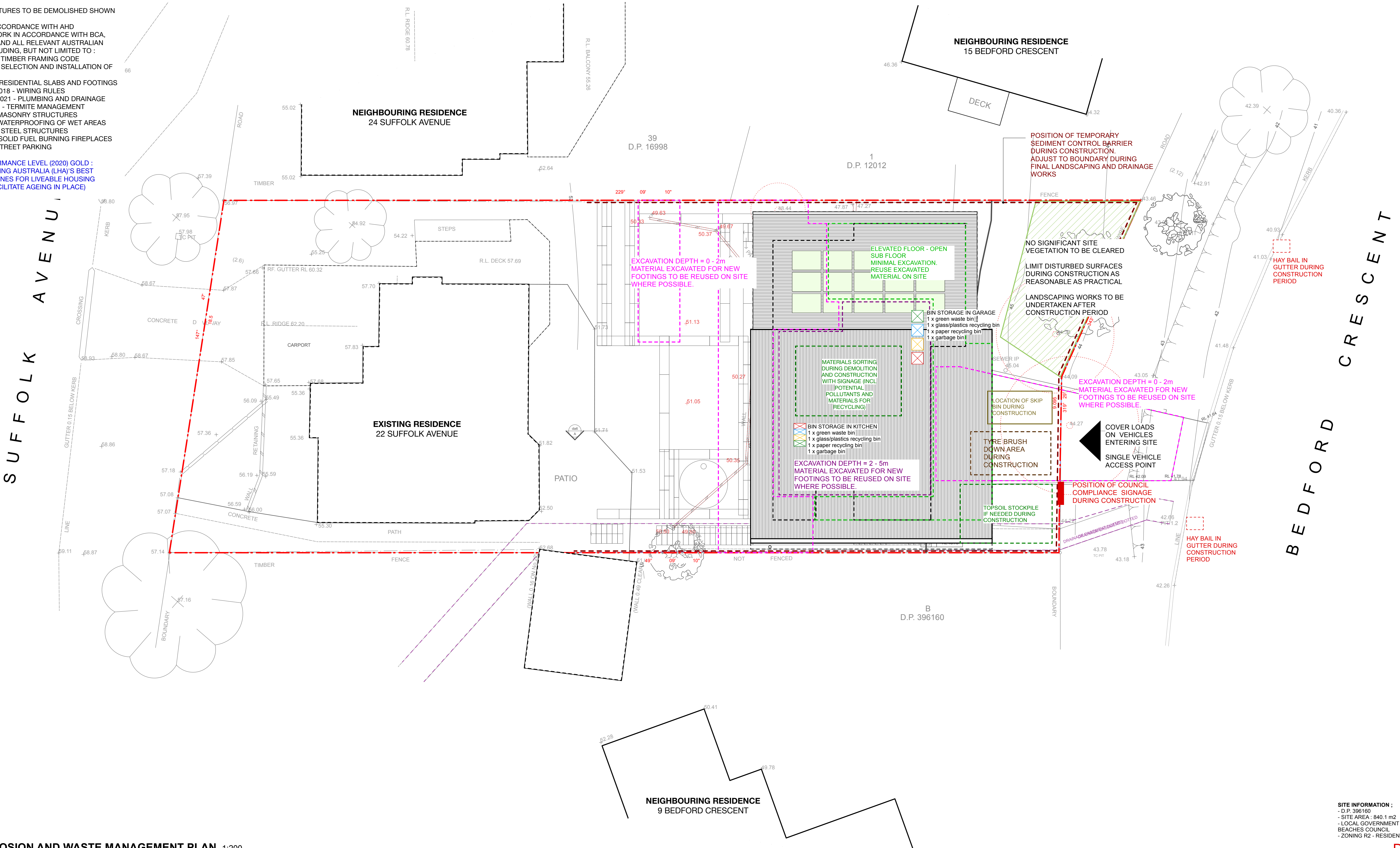
FINISHES LEGEND

CB CONCRETE BLOCKWORK  
RC REINFORCED CONCRETE  
FC FIBRE CEMENT CLADDING  
SR STEEL ROOFING  
HW HARDWOOD  
TD HARDWOOD DECKING  
GB GLASS BALUSTRADE  
SB STONE BLOCKWORK  
PC POLYCARBONATE SHEETING

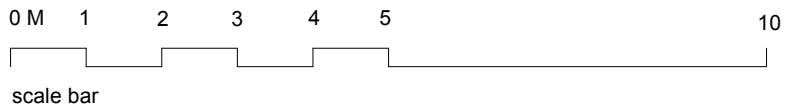
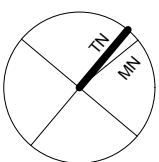
GENERAL:

- EXISTING STRUCTURES TO BE DEMOLISHED SHOWN DOTTED RED
- ALL LEVELS IN ACCORDANCE WITH AHD
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  - AS 2870 -2011 - RESIDENTIAL SLABS AND FOOTINGS
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  - AS/NZS 3500.5:2021 - PLUMBING AND DRAINAGE
  - AS 3660.1 - 2014 - TERMITE MANAGEMENT
  - AS 3700-2018 - MASONRY STRUCTURES
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  - AS 4014.1-2024 SOLID FUEL BURNING FIREPLACES
  - AS 2890.1 OFF STREET PARKING

LHA GOLD PERFORMANCE LEVEL (2020) GOLD :  
- LIVEABLE HOUSING AUSTRALIA (LHA)'S BEST PRACTICE GUIDELINES FOR LIVEABLE HOUSING STANDARD (TO FACILITATE AGEING IN PLACE)



DA8 - 01 EROSION AND WASTE MANAGEMENT PLAN 1:200



REVISION	DATE	DESCRIPTION	BY

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ARCHITECTURE

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PROJECT: HARPUR - COLLAROE  
22 Suffolk Ave, Collaroy  
On the land of the Gadigal people

DRAWING: EROSION AND WASTE MANAGEMENT PLAN

DATE: FEB 2025

SCALE: 1:200@A3

SITE INFORMATION :  
- D.P. 396160  
- SITE AREA : 840.1 m<sup>2</sup>  
- LOCAL GOVERNMENT : NORTHERN BEACHES COUNCIL  
- ZONING R2 - RESIDENTIAL

DA ISSUE

DA8



NOTES

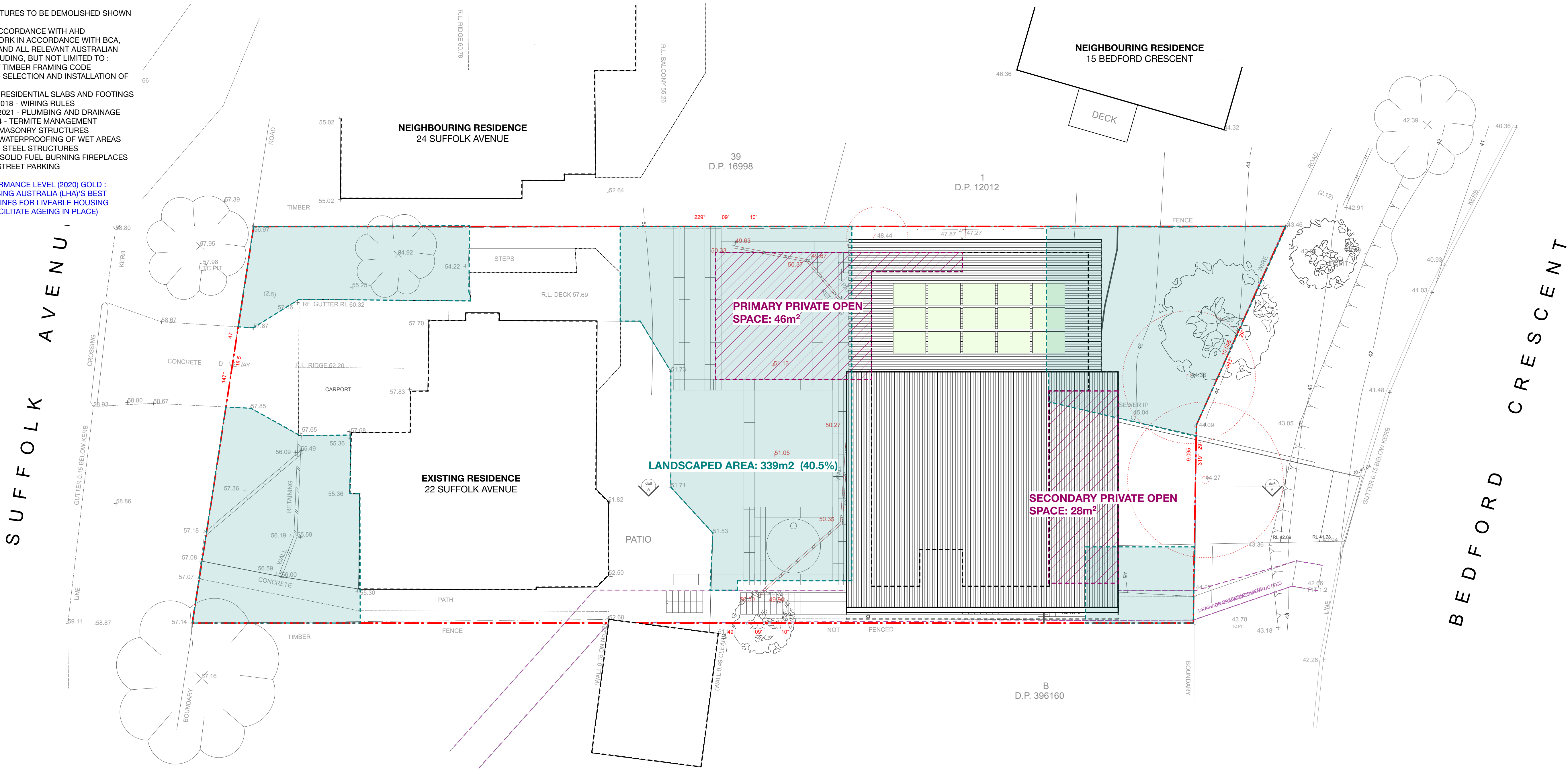
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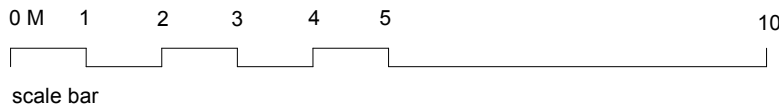
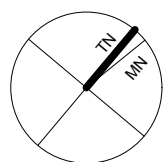
LANDSCAPED OPEN SPACE CALCULATIONS

SITE AREA: 840.1m2  
MINIMUM LANDSCAPED AREA: 336m2  
(40% AS PER WARRINGAH DCP 2011)  
PROPOSED LANDSCAPED AREA: 339 m2 (40.5%)  
COMPLIANT: YES

PRIVATE OPEN SPACE CALCULATIONS

SITE AREA: 840.1m2  
MINIMUM PRIVATE OPEN SPACE: 35m2  
(AS PER WARRINGAH DCP 2011)  
PROPOSED PRIVATE OPEN SPACE: 75 m2  
COMPLIANT: YES

DA9 - 01 LANDSCAPE AND PRIVATE OPEN SPACE CALCULATIONS 1:200



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PROJECT: HARPUR - COLLARROY  
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DRAWING: LANDSCAPE AND PRIVATE OPEN SPACE  
CALCULATIONS

SITE INFORMATION :  
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BEACHES COUNCIL  
- ZONING R2 - RESIDENTIAL

DATE: FEB 2025

SCALE: 1:200@A3

DA ISSUE

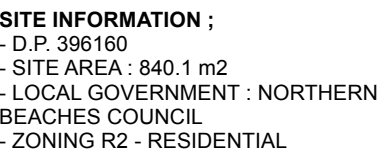
DA9



### FINISHES LEGEND

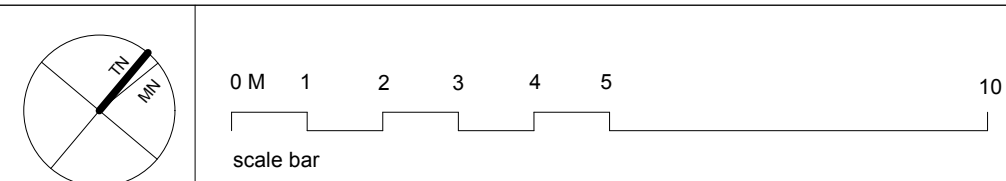
**GENERAL :**

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PRACTICE GUIDELINES FOR LIVEABLE HOUSING  
STANDARD (TO FACILITATE AGEING IN PLACE)



DA ISSUE

**DA10 - 01 CONCEPT STORMWATER MANAGEMENT PLAN 1:200**



REVISION	DATE	DESCRIPTION	BY



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project : **HARPUR - COLLAROY**  
**22 Suffolk Ave, Collaroy**  
*On the land of the Gadigal people*

CONCEPT STORMWATER MANAGEMENT PLAN

FEB 2025

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1:200@A:

11200

DA 10



NOTES

FINISHES LEGEND

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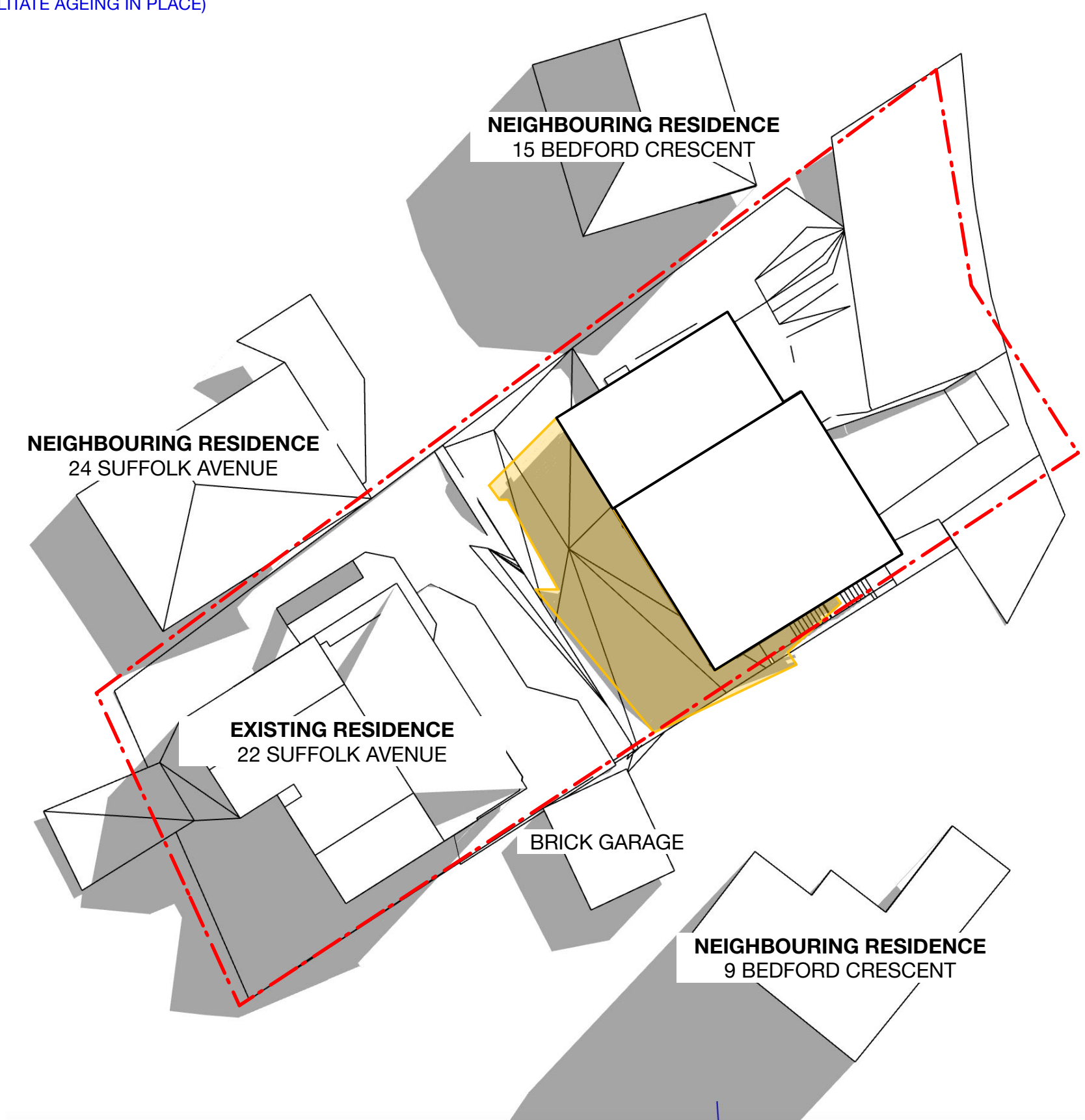
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LEGEND

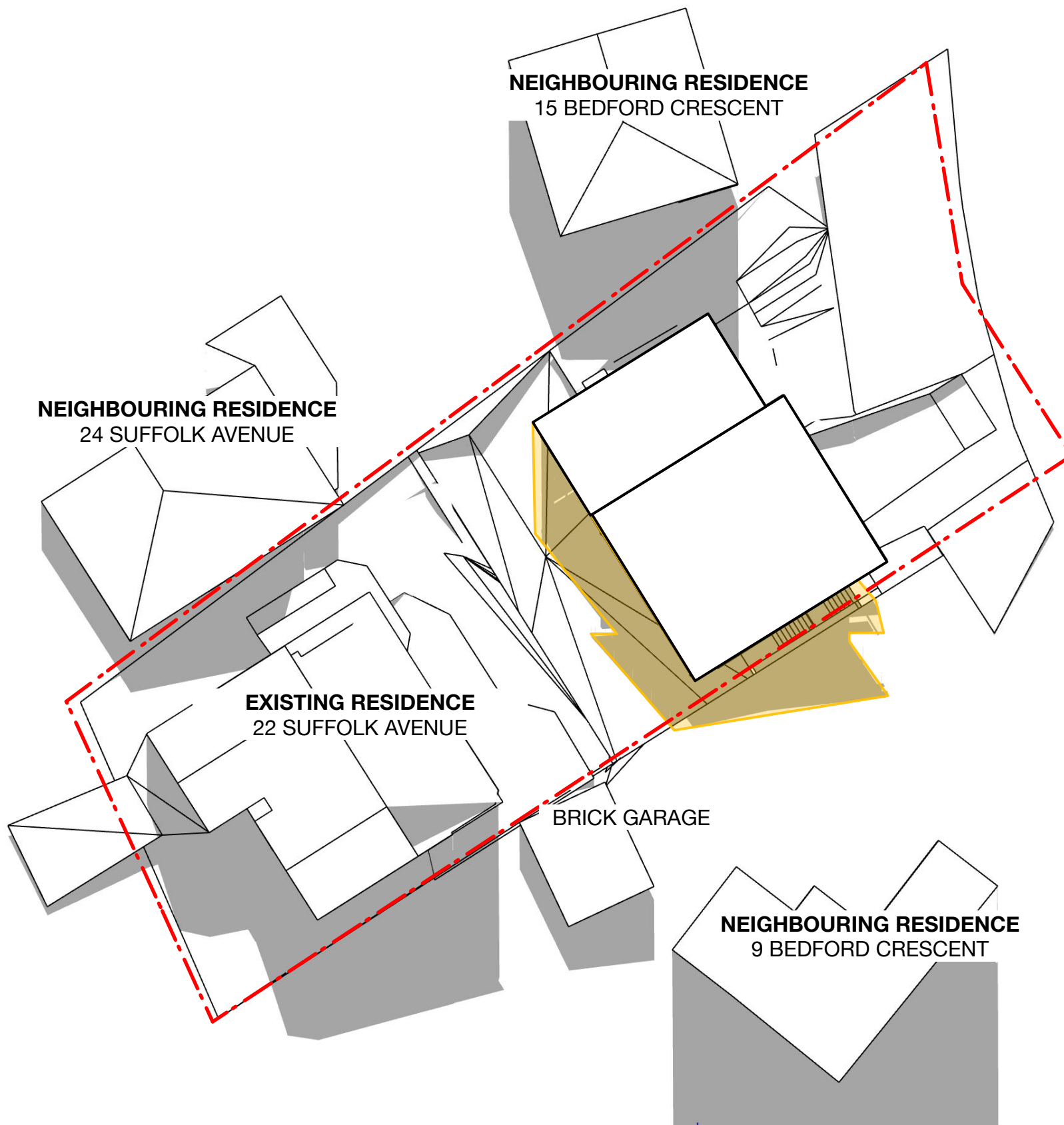
- - - - - SITE BOUNDARY  
NEW SHADOW GENERATED BY PROPOSED BUILDING

NOTES :

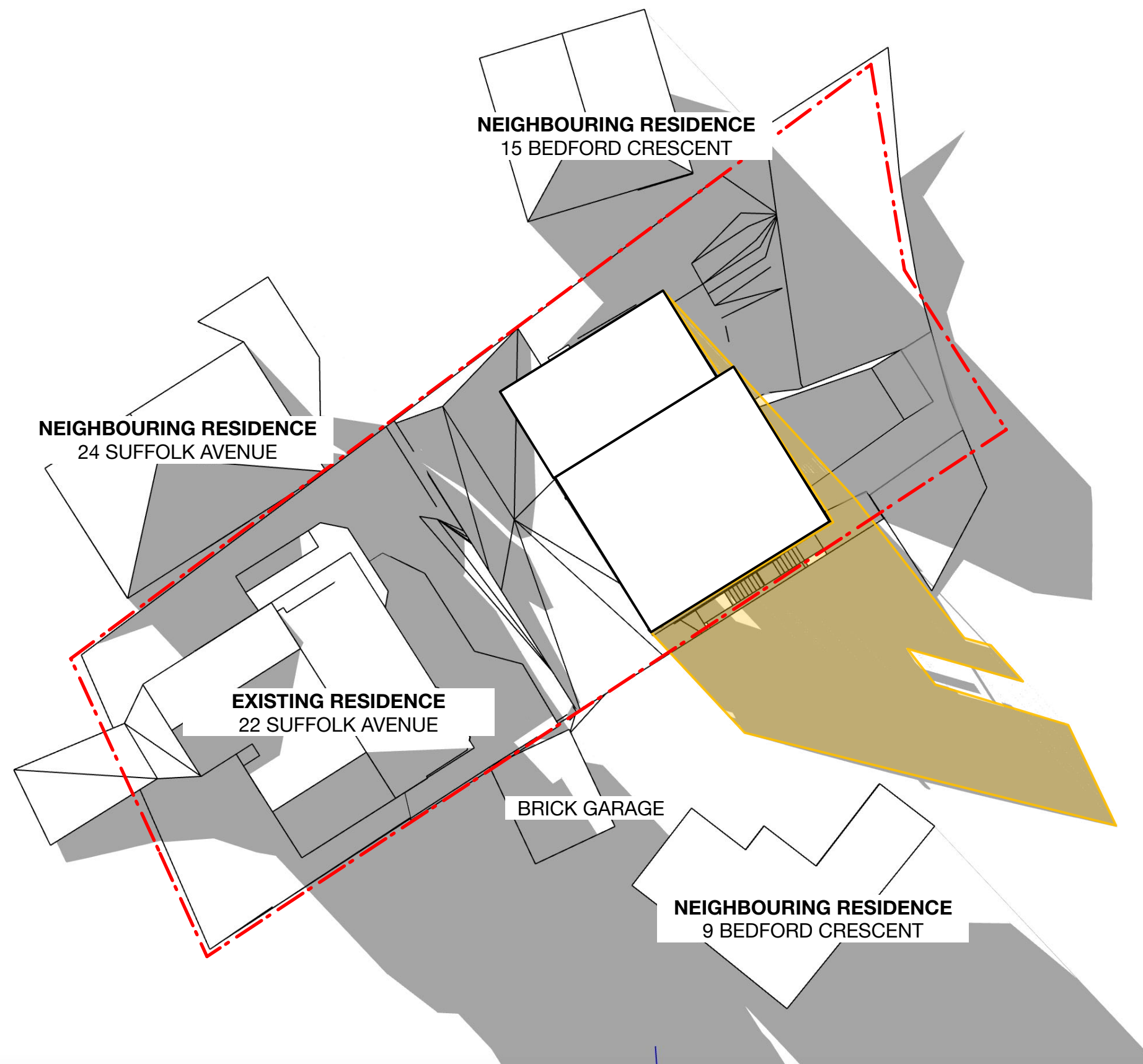
- THIS DRAWING IS SCHEMATIC ONLY.  
- HEIGHT AND POSITION OF EXISTING STRUCTURES FROM SURVEY PLAN  
- RIDGE HEIGHTS, GUTTER HEIGHTS AND SILL HEIGHTS AND NATURAL GROUND LEVELS FROM SURVEY PLAN



21ST JUNE 9AM

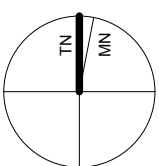


21ST JUNE 12PM



21ST JUNE 3PM

DAS - 01 SHADOW DIAGRAMS 1:200



0 M 1 2 3 4 5 10  
scale bar

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DRAWING: **SHADOW DIAGRAMS**

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- ZONING R2 - RESIDENTIAL

DATE: **FEB 2025**

SCALE: **NTS**

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