

IE-ISSUED FOR DA

DISION

lots Group Pty Ltd. 2005 ABN 34 003 907 784

on site - notify the Superintendent immediately if any
side dimensions take precedence over scaled dimensions.
and these showing other parts of the works take
side to smaller scales. The drawings are to be read in
on and schedule. Refer to relevant Engineer's
technical, civil, electrical, mechanical and hydraulic

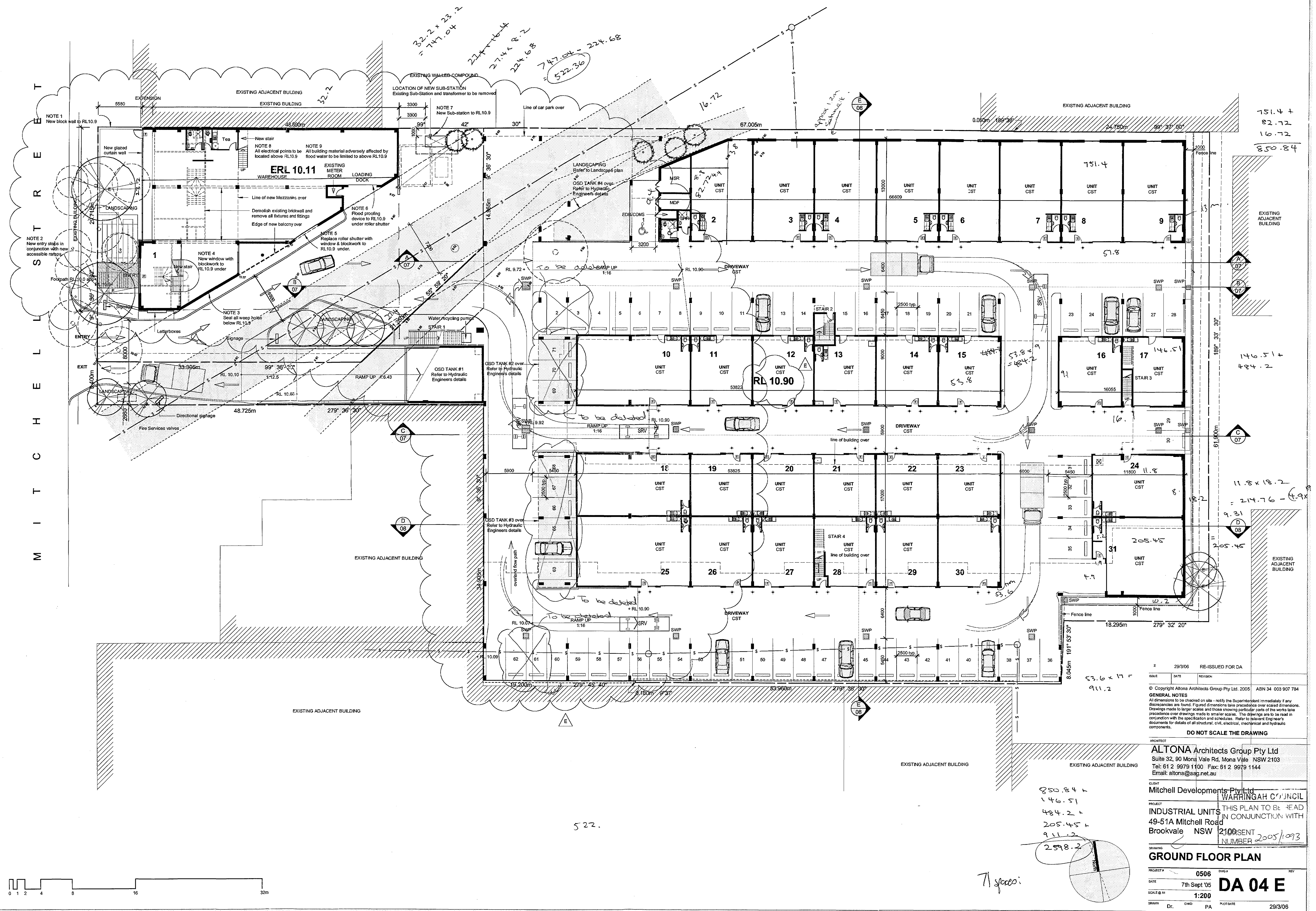
OT SCALE THE DRAWING

rchitects Group Pty Ltd
Vale Rd, Mona Vale NSW 2103
X0 Fax: 61 2 9579 1144
ng.net.au

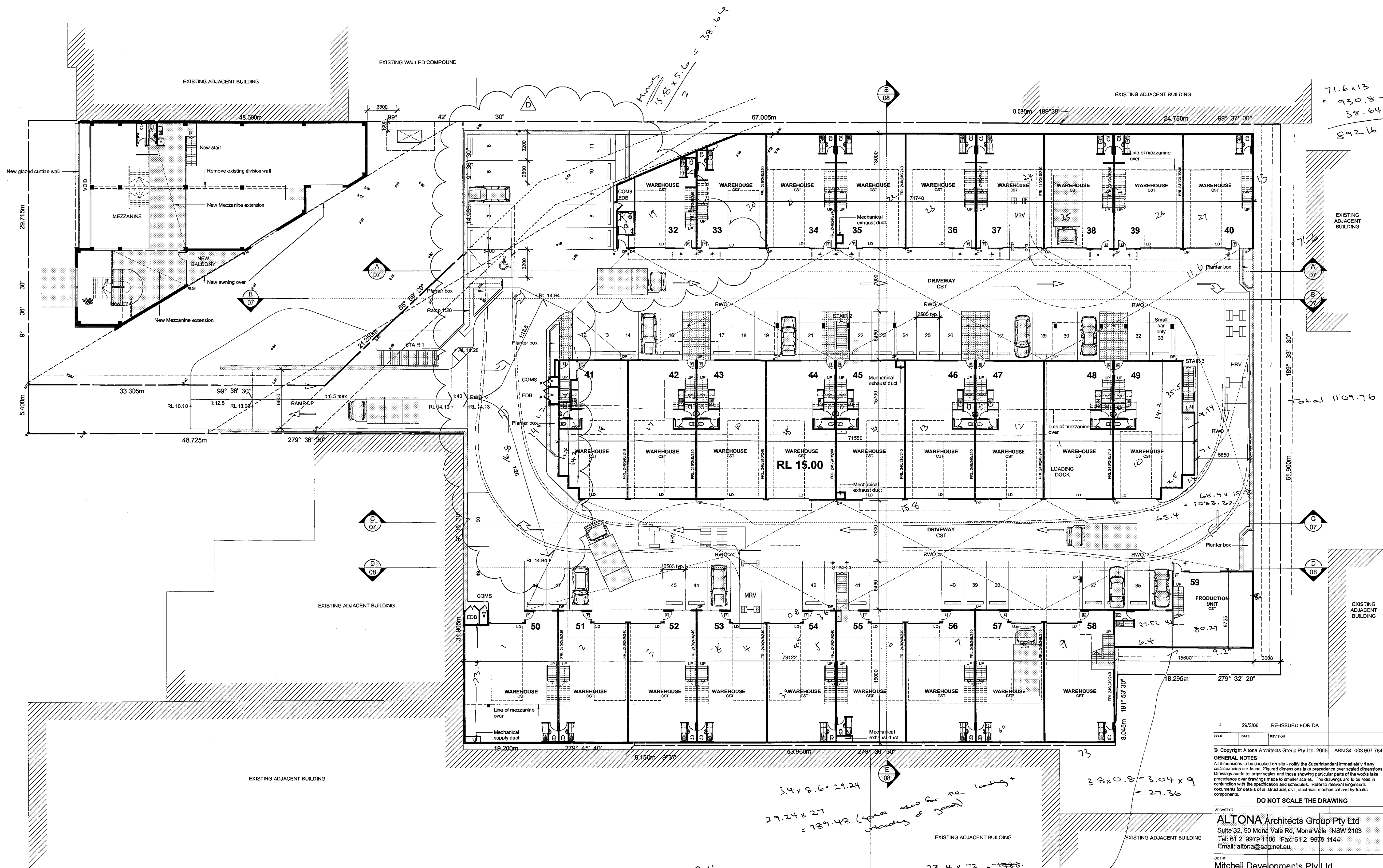
WARRINGAH COUNCIL
THIS PLAN TO BE READ
IN CONJUNCTION WITH
CONSENT
NUMBER 2005/1093

Client: info@egy.net.au	
CLIENT	Mitchell Developments Pty Ltd
PROJECT	INDUSTRIAL UNITS 49-51A Mitchell Road Brookvale NSW 2100

DRAWING			
SITE AND ROOF PLAN			
PROJECT #	0506	DWG #	RIV
DATE	12th Sept '05	DA 03 D	
SCALE @ A1	1:200		
DRAWN	Dr.	CHECK	PA
		PLLOT DATE	29/3/06



7 spaces:



D 29/3/06 RE-ISSUED FOR DA

ISSUE DATE REVISION

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GENERAL NOTES

All dimensions to be checked on site - notify the Superintendent immediately if any discrepancies are found. Figure dimensions take precedence over scaled dimensions.

Drawings made to larger scales and those showing particular parts of the works take precedence over drawings made to smaller scales. The drawings are to be read in conjunction with the specification and schedules. Refer to relevant Engineer's documents for details of all structural, civil, electrical, mechanical and hydraulic components.

DO NOT SCALE THE DRAWING

ARCHITECT

ALTONA Architects Group Pty Ltd

Suite 32, 90 Mona Vale Rd, Mona Vale NSW 2103

Tel: 61 2 9979 1100 Fax: 61 2 9979 1144

Email: altona@aaag.net.au

CLIENT

Mitchell Developments Pty Ltd

PROJECT

WARRINGAH COUNCIL

INDUSTRIAL UNIT - THIS PLAN TO BE READ

49-51A Mitchell Road CONJUNCTION WITH

Brookvale NSW 2100

CONSENT 2005/1093

DRAWING

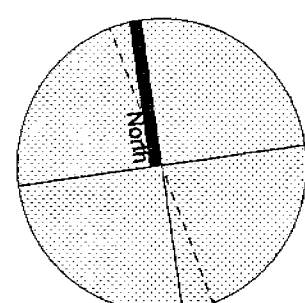
FIRST FLOOR PLAN

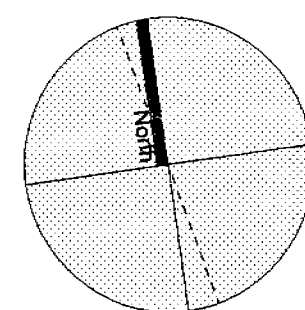
PROJECT # 0506 DWG # DA 05 D

DATE 7th Sept '05

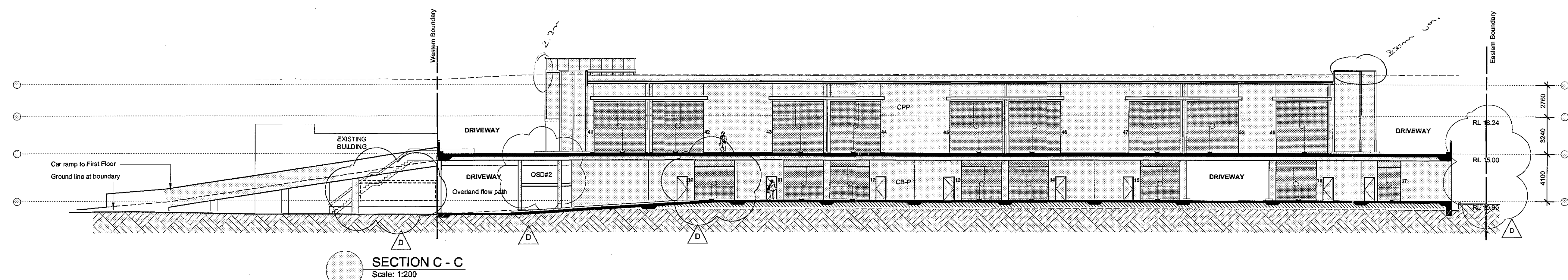
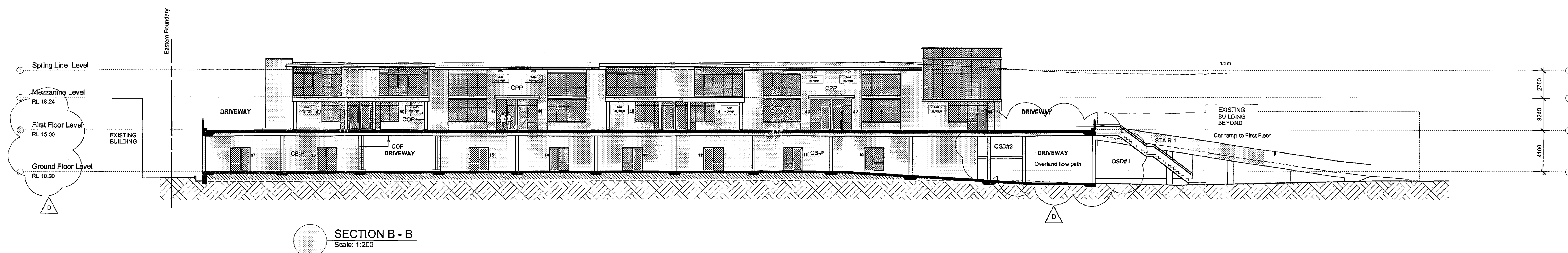
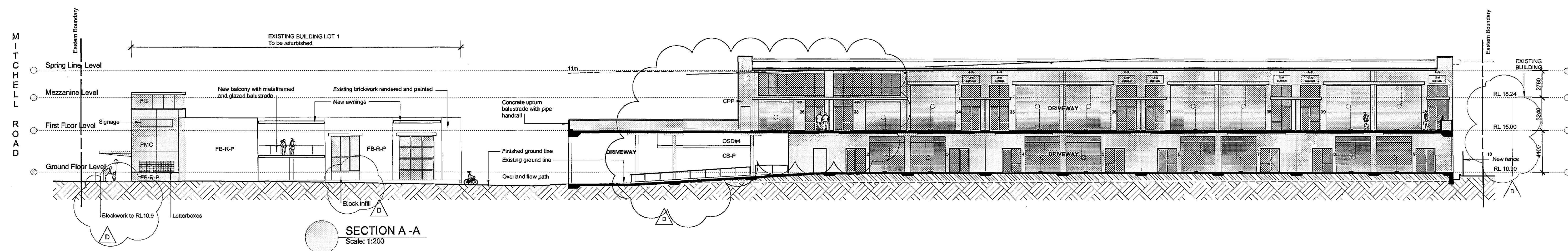
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DRAWN Dr. CHD PA PLOT DATE 29/3/06





29/06/06		RE-ISSUED FOR DA	
ISSUE	DATE	REVISION	
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GENERAL NOTES			
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DO NOT SCALE THE DRAWING			
ARCHITECT			
ALTONA Architects Group Pty Ltd			
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Tel: 611 9979 1100 Fax: 611 9979 1144			
Email: altona@aag.net.au			
CLIENT			
Warringah Developments Pty Ltd			
PROJECT			
WARRINGAH COUNCIL INDUSTRIAL UNITS 49-51A Mitchell Road, BROOKVALE NSW 2100 CONSISTENT			
PLAN TO BE READ IN CONJUNCTION WITH 2005/1093			
DRAWING			
NUMBER			
MEZZANINE PLAN			
PROJECT #		ENGR #	REV
0506			
DATE		DA 06 E	
7th Sept '05			
SCALE @ A1			
1:200			
DRAWN	CHKD	PA	PLT DATE
Dr.			29/06/06



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GENERAL NOTES

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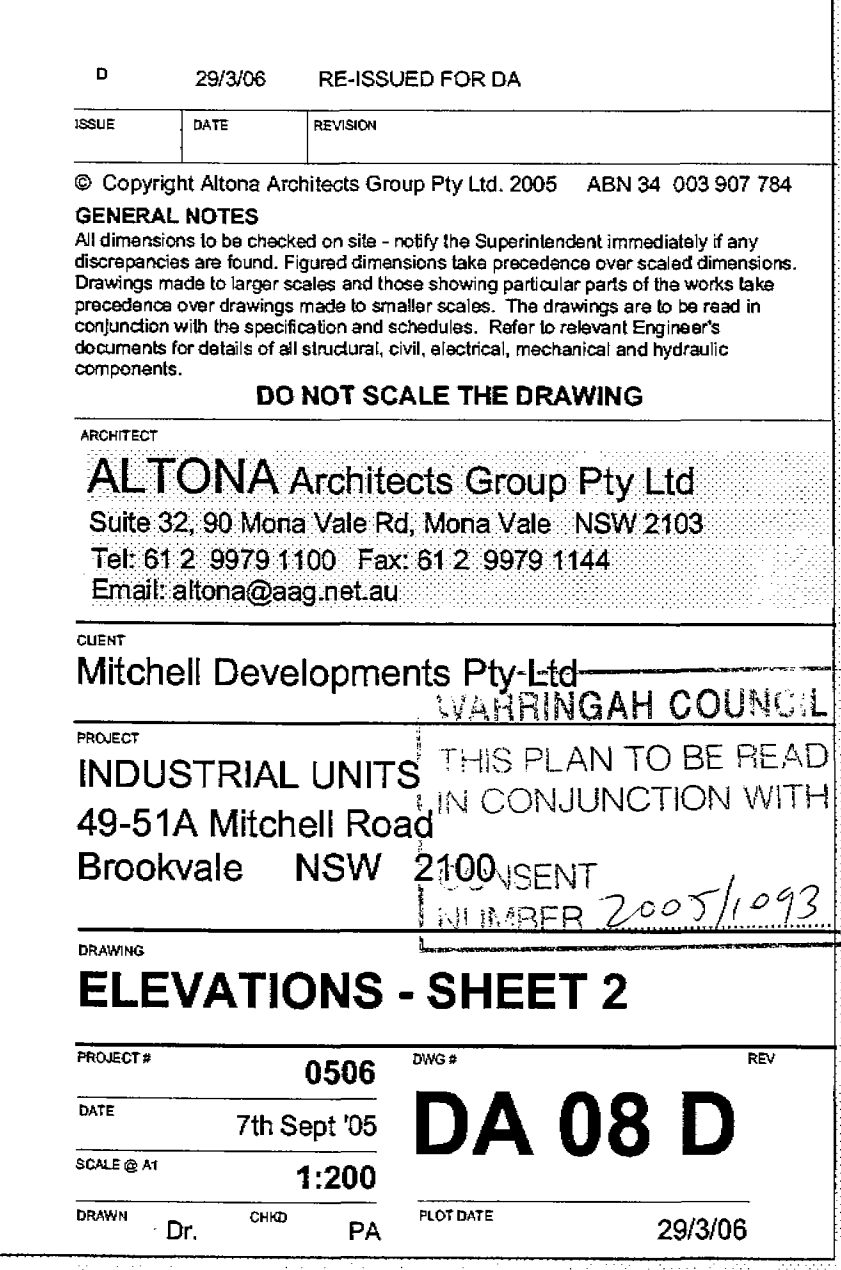
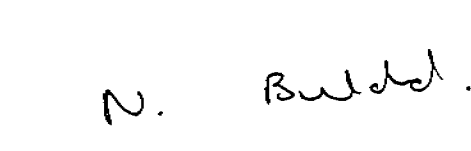
DO NOT SCALE THE DRAWING

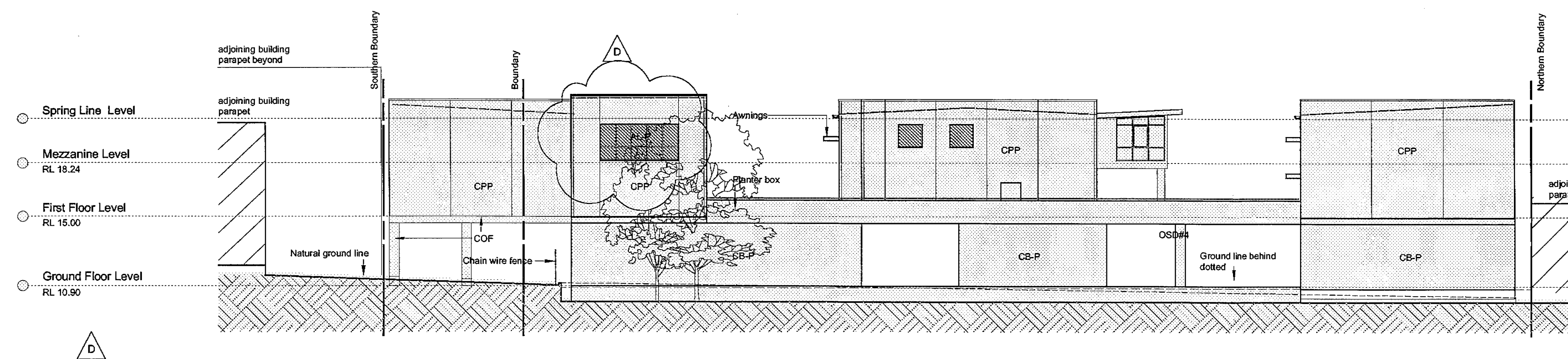
ALTONA Architects Group Pty Ltd
Suite 32, 90 Mona Vale Rd, Mona Vale NSW 2103
Tel: 61 2 9979 1100 Fax: 61 2 9979 1144
Email: altona@aag.net.au

CLIENT Mitchell Developments Pty Ltd SAH COUNCIL
PROJECT THIS PLAN TO BE DE
INDUSTRIAL UNITS IN CONJUNCTION WITH
49-51A Mitchell Road
Brookvale NSW 2100
CONSENT 2005/109

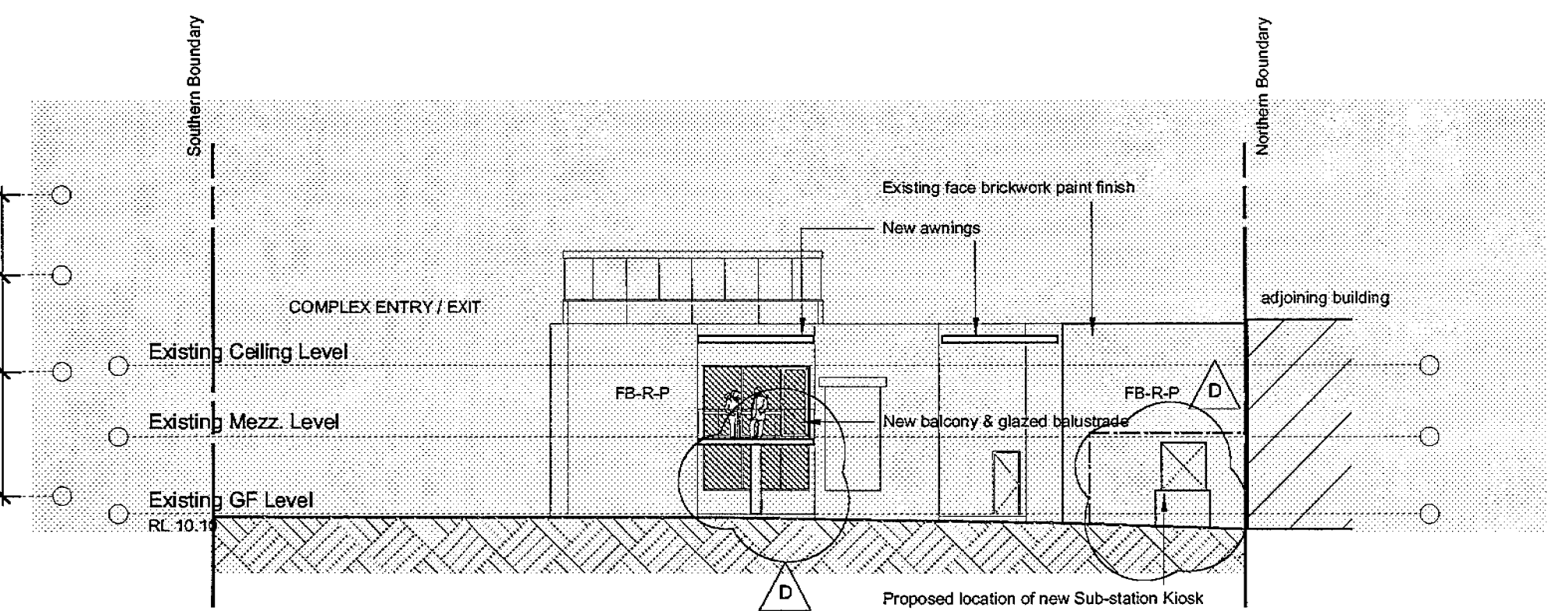
DRAWING
ELEVATIONS - SHEET 1

PROJECT # 0506 DWG # DA 07 D
DATE 7th Sept '05
SCALE @ A1 1:200
DRAWN Dr. CHKD PA PLOT DATE 29/3/06

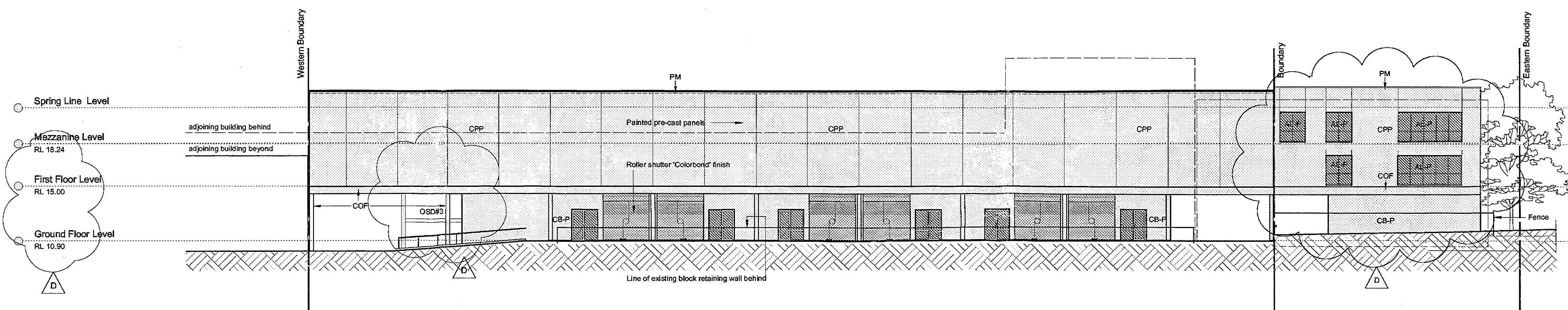




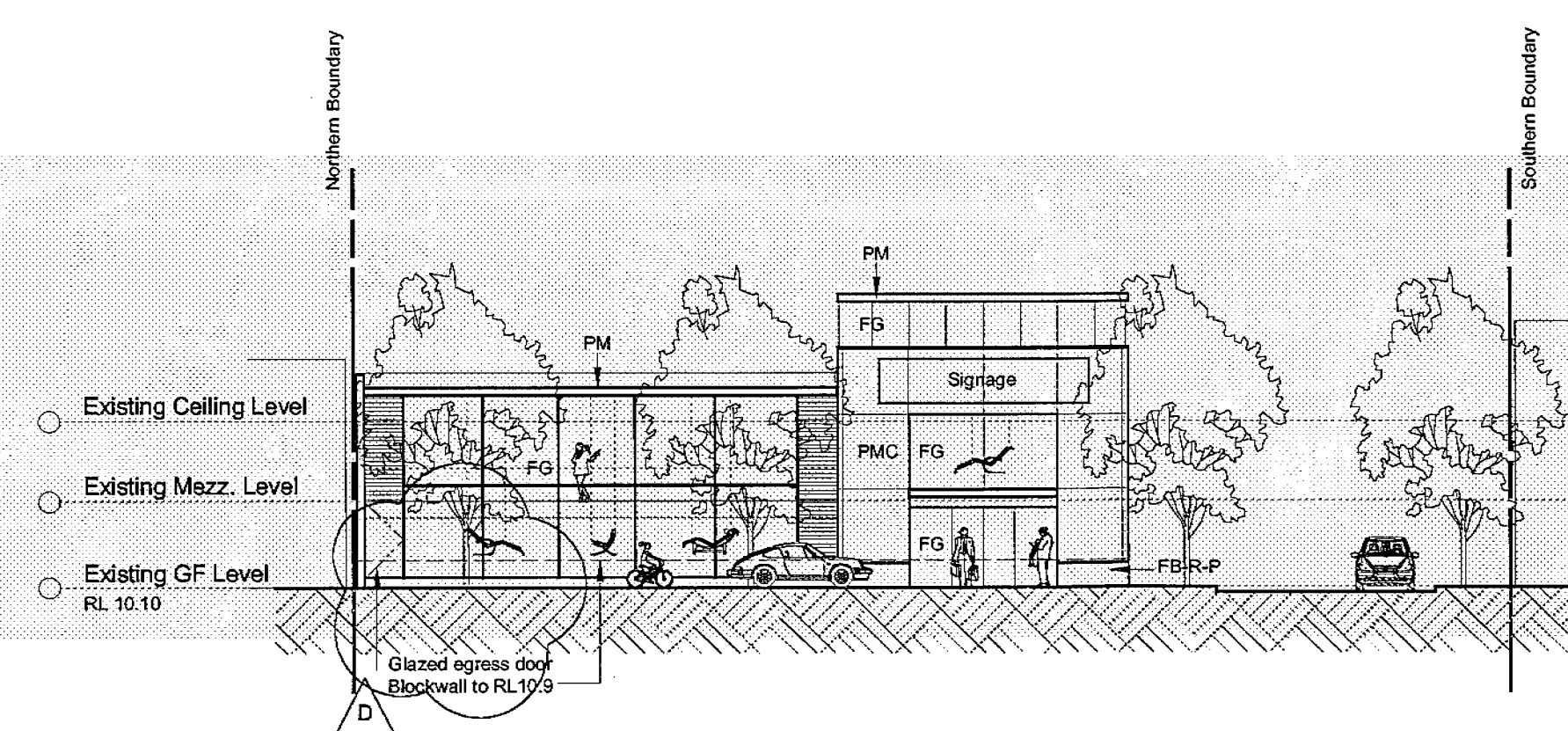
EAST ELEVATION
Scale: 1:200



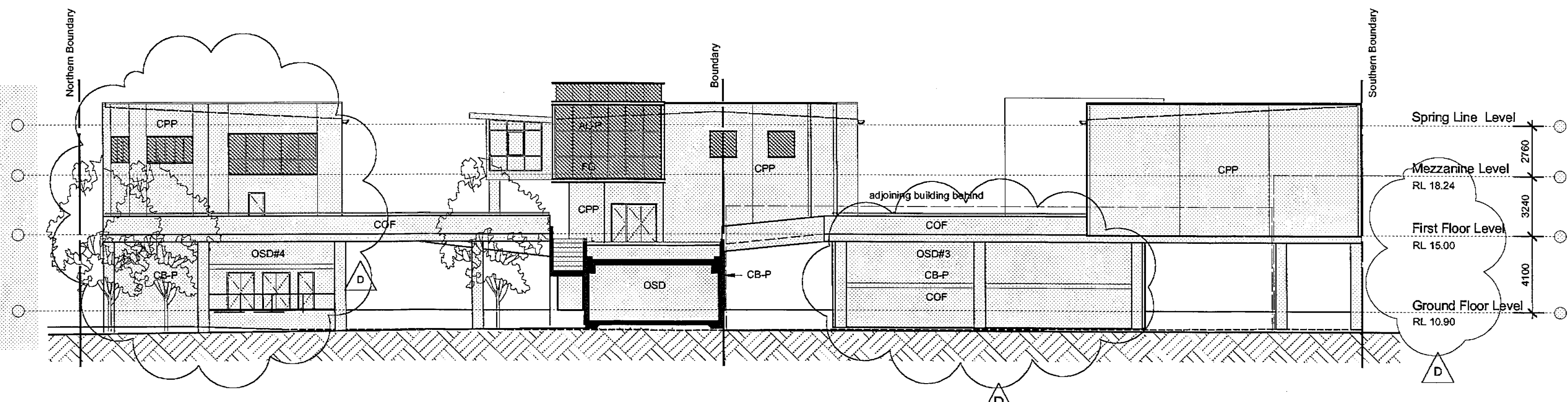
EAST ELEVATION - LOT 1
Scale: 1:200



SOUTH ELEVATION
Scale: 1:200

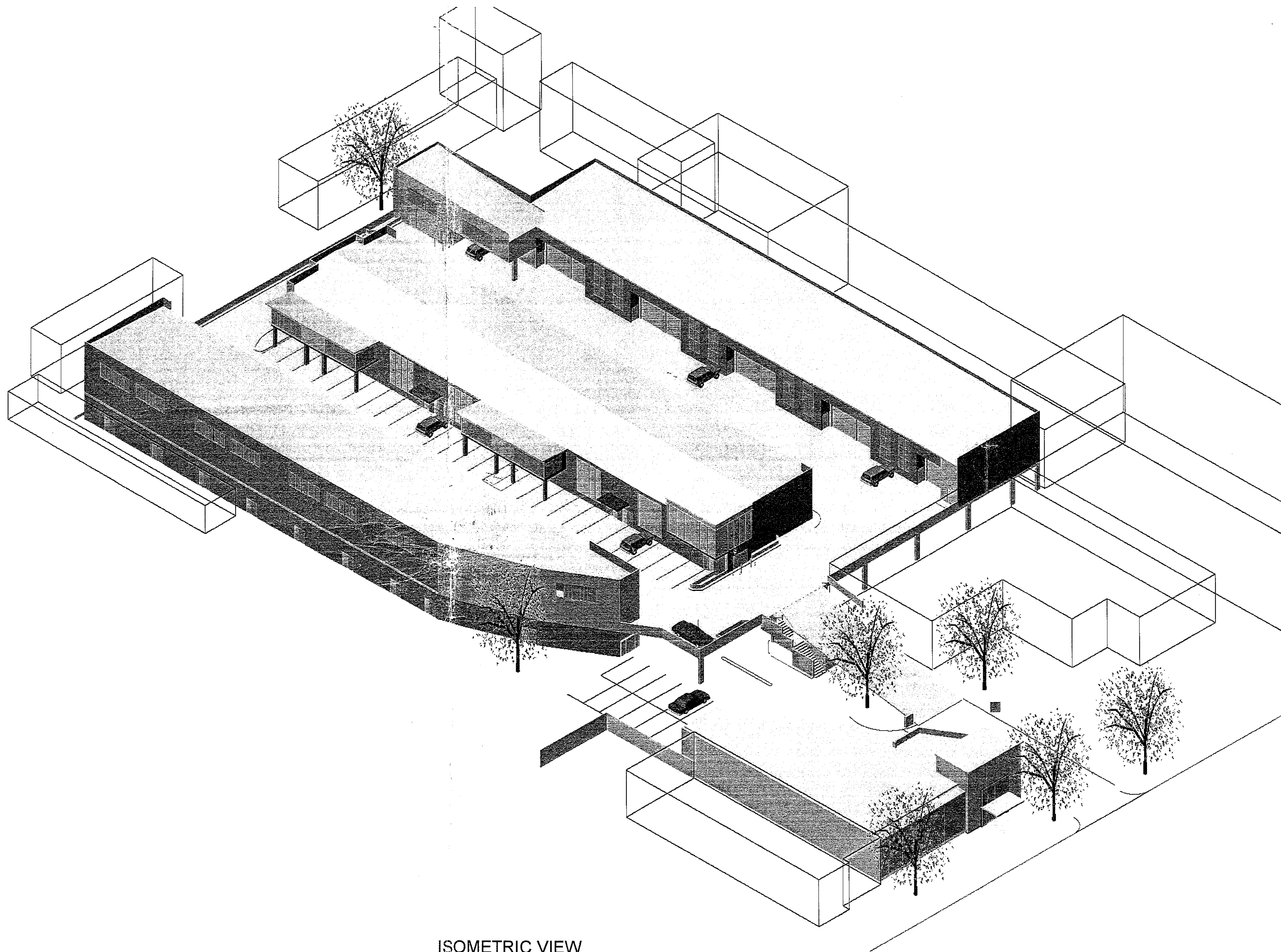


WEST ELEVATION - LOT 1
Scale: 1:200
MITCHELL ROAD ELEVATION



WEST ELEVATION
Scale: 1:200

ISSUE	DATE	REVISION
1	29/3/06	RE-ISSUED FOR DA
© Copyright Altona Architects Group Pty Ltd. 2005 ABN 34 003 907 784 GENERAL NOTES All dimensions to be checked on site - notify the Superintendent immediately if any discrepancies are found. Figures dimensions take precedence over scaled dimensions. Drawings made to larger scale and those showing particular parts of the works take precedence over drawings made to smaller scales. The drawings are to be read in conjunction with the specification and schedules. Refer to relevant Engineer's documents for details of all structural, civil, electrical, mechanical and hydraulic components. DO NOT SCALE THE DRAWING ARCHITECT ALTONA Architects Group Pty Ltd Suite 32, 90 Mona Vale Rd, Mona Vale NSW 2103 Tel: 61 2 9979 1100 Fax: 61 2 9979 1144 Email: altona@aag.net.au CLIENT Mitchell Developments Pty Ltd PROJECT INDUSTRIAL UNIT THIS PLAN TO BE RE-AD 49-51A Mitchell Road CONJUNCTION WITH Brookvale NSW 2100 DRAWING ELEVATIONS - SHEET 3 PROJECT # 0506 DWG # DA 09 D DATE 7th Sept '05 SCALE @ A1 1:200 DRAWN Dr. CHKD PA PLOT DATE 29/3/06		



ISOMETRIC VIEW

DRAWING SCHEDULE

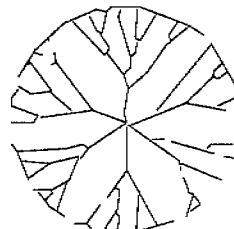
- DA 01 COVER SHEET
- DA 02 SITE ANALYSIS & SURVEY PLAN
- DA 03 SITE AND ROOF PLAN
- DA 04 GROUND FLOOR PLAN
- DA 05 FIRST FLOOR PLAN
- DA 06 MEZZANINE PLAN
- DA 07 ELEVATIONS SHEET 1
- DA 08 ELEVATIONS SHEET 2
- DA 09 ELEVATIONS SHEET 3

LEGEND

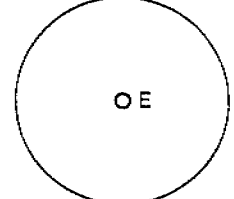
Note: Not all these symbols are referenced on these drawings.

MATERIAL & FINISH ABBREVIATIONS

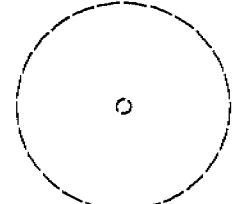
- APC Acoustic Plaster Ceiling
- ATC Acoustic Tile Ceiling
- AL Aluminium
- AL-P Aluminium - Powdercoat Finish
- ARS Applied Random Stonework
- BP Brick Paving
- CPT Carpet
- CB Concrete Blockwork
- CB-P Concrete Block - Paint Finish
- CPP Concrete Precast Panels
- CFC Compressed Fibre Cement
- CFT Ceramic Floor Tiles
- CTW Ceramic Wall Tiles
- CR Cement Render
- CBF Concrete - Broom Finish
- COF Concrete - Off Form
- CST Concrete - Stab Trowel
- FB Face Brickwork
- FC Fibre Cement
- FG Fixed Glazing
- FRS Fire Rated Steel Window
- GBV Galvanised
- MDF Medium Density Fibreboard
- MDR Metal Deck Roof
- MS Mild Steel
- P Paint Finish
- PB Plasterboard
- PB-W Plasterboard - Water Resistant
- PL Plastic Laminate
- PM Prefinished Metal
- PMI Prefinished Metal Deck
- PMC Prefinished Metal Cladding
- PML Prefinished Metal Louvres
- R Render
- RC Reinforced Concrete
- V Vinyl
- VS Vinyl Skirting
- SV Sheet Vinyl
- SS Stainless Steel
- SCT Suspended Ceiling Tiles



NEW TREE refer to Landscape Architects schedule



EXISTING TREE to remain
[protect during construction]



EXISTING TREE removed

B 11/10/05 ISSUED FOR DA.

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Email: altona@aag.net.au

CLIENT
Mitchell Developments Pty Ltd

PROJECT
INDUSTRIAL UNITS
49-51A Mitchell Road
Brookvale NSW 2100

DRAWING
COVER SHEET

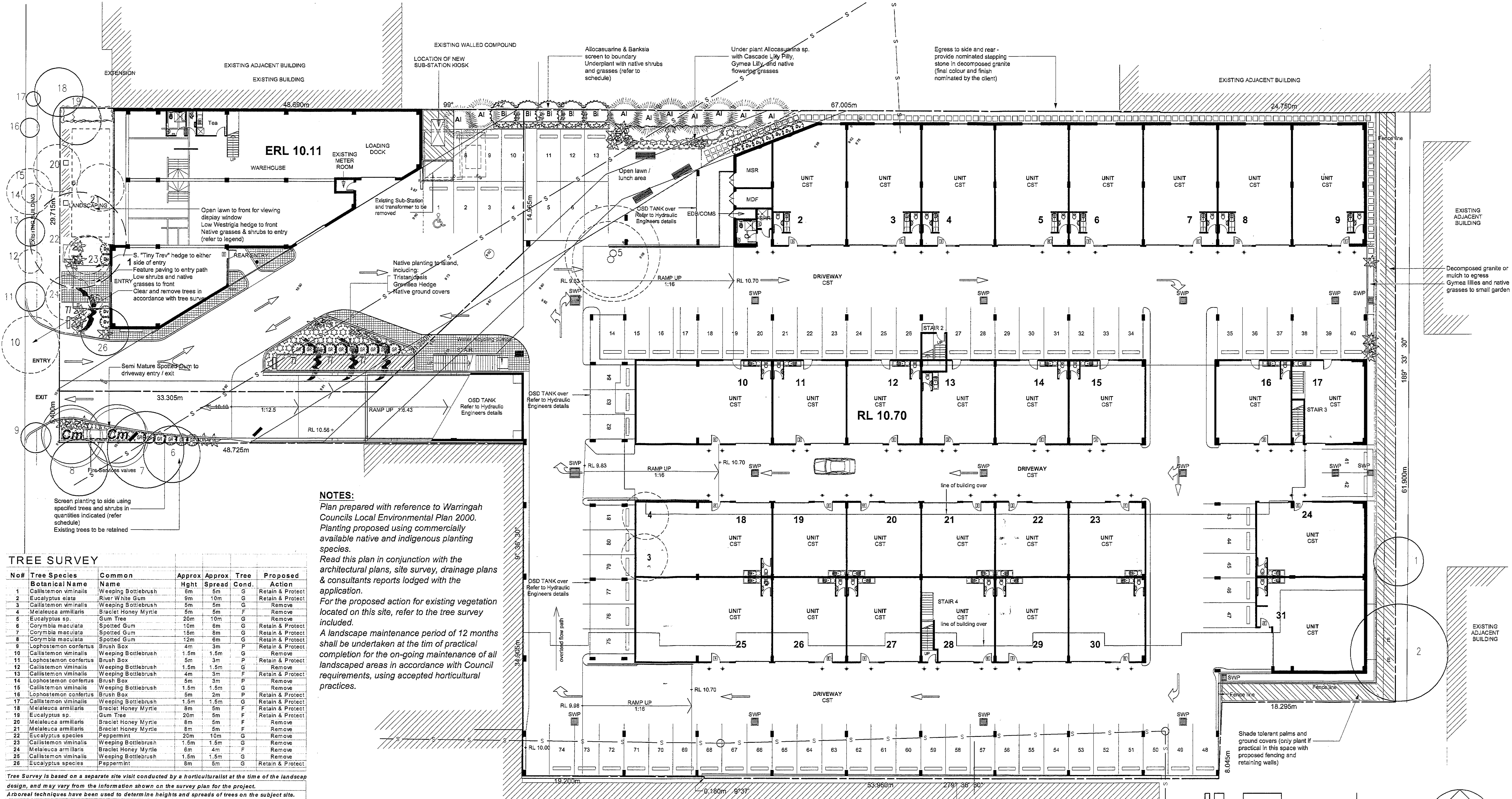
PROJECT # 0506 DWG #

DATE 12th Sept '05

SCALE @ A1

DRAWN Dr CHECK PA PLOT DATE 11/11/05

DA 01 B



TREE SURVEY

No#	Tree Species	Common Name	Approx. Hght	Approx. Spread	Tree Cond.	Proposed Action
1	Callistemon viminalis	Weeping Bottlebrush	6m	5m	G	Retain & Protect
2	Eucalyptus sp.	River White Gum	9m	10m	G	Retain & Protect
3	Callistemon viminalis	Weeping Bottlebrush	5m	6m	G	Remove
4	Callistemon viminalis	Bractlet Honey Myrtle	5m	6m	F	Remove
5	Eucalyptus sp.	Gum Tree	20m	10m	G	Remove
6	Corymbia maculata	Spotted Gum	10m	6m	G	Retain & Protect
7	Corymbia maculata	Spotted Gum	15m	8m	G	Retain & Protect
8	Corymbia maculata	Spotted Gum	12m	6m	G	Retain & Protect
9	Lophostemon confertus	Brush Box	4m	3m	P	Retain & Protect
10	Callistemon viminalis	Weeping Bottlebrush	1.5m	1.5m	G	Remove
11	Lophostemon confertus	Brush Box	5m	3m	P	Retain & Protect
12	Callistemon viminalis	Weeping Bottlebrush	1.5m	1.5m	G	Remove
13	Callistemon viminalis	Weeping Bottlebrush	4m	3m	F	Retain & Protect
14	Lophostemon confertus	Brush Box	5m	3m	P	Remove
15	Callistemon viminalis	Weeping Bottlebrush	1.5m	1.5m	G	Remove
16	Lophostemon confertus	Brush Box	5m	3m	P	Retain & Protect
17	Callistemon viminalis	Weeping Bottlebrush	1.5m	1.5m	G	Retain & Protect
18	Callistemon viminalis	Bractlet Honey Myrtle	8m	5m	F	Retain & Protect
19	Eucalyptus sp.	Gum Tree	20m	10m	G	Retain & Protect
20	Callistemon viminalis	Bractlet Honey Myrtle	8m	5m	F	Remove
21	Callistemon viminalis	Bractlet Honey Myrtle	8m	5m	F	Remove
22	Eucalyptus sp.	Peppermint	20m	10m	G	Remove
23	Callistemon viminalis	Weeping Bottlebrush	1.5m	1.5m	G	Remove
24	Callistemon viminalis	Bractlet Honey Myrtle	6m	4m	F	Remove
25	Callistemon viminalis	Weeping Bottlebrush	1.5m	1.5m	G	Remove
26	Eucalyptus sp.	Peppermint	8m	5m	G	Retain & Protect

Tree Survey is based on a separate site visit conducted by a horticulturalist at the time of the landscape design, and may vary from the information shown on the survey plan for the project.
Arboreal techniques have been used to determine heights and spreads of trees on the subject site.

KEY: D = Dead VP = Very Poor P = Poor F = Fair G = Good VG = Very Good E = Excellent J = Juven

NOTES:

Plan prepared with reference to Warringah Councils Local Environmental Plan 2000.
Planting proposed using commercially available native and indigenous planting species.
Read this plan in conjunction with the architectural plans, site survey, drainage plans & consultants reports lodged with the application.
For the proposed action for existing vegetation located on this site, refer to the tree survey included.
A landscape maintenance period of 12 months shall be undertaken at the time of practical completion for the on-going maintenance of all landscaped areas in accordance with Council requirements, using accepted horticultural practices.

Screening Trees

- AI** Allocasuarina littoralis (45Lt Pots). Black She Oak (Indigenous) (approx. 7-10m x 3-4m) Qty Required: 2
- Bi** Banksia integrifolia (25Lt Pots). Coastal Banksia (Indigenous) (Mat. Hght approx. 5-10m x 3-5m) Qty Required: 5
- Sp** Syzygium paniculatum (25Lt Pots). Brush Cherry (Mat. Hght approx. 4-7m x 3-4m) Qty Required: t.b.e.
- Decomposed granite or Nepean Pea gravel & ornamental pebbles to areas not capable of soft landscaping

Native Grasses & Ground Covers

- Dianella caerulea, Dianella "Tas Red" & Dianella "Breeze" (planted in viro-cells at 5 per m2 (minimum 3-5m2 clumps of the same species) in areas indicated on plan)
- Themeda australis, Hardenbergia violacea & Kennedia rubicunda (planted in 100mm pots at 5 per m2 in areas indicated, in minimum 3-5m2 clumps of the same species)
- Lomandra longifolia "Tanika" Mat Rush cvs (Indigenous) (planted in viro-cells at 3 per m2 in areas indicated)
- Doryanthes excelsa (300mm Pots). Gyneria lily (Indigenous) (approx. hgt & spread 1m x 1m) Allow: 25

Hedges & Shrubs

- Grevillea buxifolia (200mm pots). Grey Spider Flower (Hght approx. 1-2m x 1.5m) Plant @ 750mm Centres
- Syzygium "Cascade" (300mm Pots). Cascade Lilly Pilly (approx. 2-3m x 2m) Plant @ 750mm Centres
- Syzygium "Tiny Trev" (200mm Pots). Cascade Lilly Pilly (Approx mature size 750mm x 750mm) Plant @ 500mm centres
- Westringia "Wynabbie Gem" (300mm Pots). Dwarf Coastal Rosmary (approx. 1m x 1m) Plant @ 600mm Centres
- Dodonaea viscosa (300mm Pots). Purple Sticky Hop Bush (approx. 2-3m x 2m) Qty Required: 12
- Grevillea "Robyn Gordon" (200mm Pots) Robyn Gordon (Native) (Mature size; approx 1.5 x 2m) Qty Required: 16

Other Landscape Items

- Existing trees proposed to be removed & replaced with new landscaping.
- Existing trees proposed to be retained and protected (refer to tree survey included)
- Nominated stepping stones in 75mm depth of Nepean pea gravel to egress and access ways
- Specified turf to graded & drained open areas
- Proposed bench seating - bench to be specified.
- Paved or patterned concrete areas - Style, colour and type of paving nominated by the client
- BRICK GARDEN EDGING

LEGEND & SCHEDULE

Canopy Trees

- Cm** Corymbia maculata (45Lt Pots) Spotted Gum (Indigenous) (Mat. Hght approx. 10-15m x 5-6m). Qty Required: 2
- Ti** Tristanopsis laurina Water Gum (Indigenous) (Mat. Hght approx. 5-8m x 5m). Qty Required: 3

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Tel: 61 2 9979 1100 Fax: 61 2 9979 1144
Email: altona@aag.net.au

R.L.FREW

LANDSCAPE ARCHITECTURAL SERVICES

PO BOX 416, CREMORNE NSW 2090
Ph (02) 9908 5596
Fax (02) 9908 5798
M 0413 861 351
E-mail: r.frew@optusnet.com.au

LANDSCAPE

Proposed Strata Industrial Estate

49,51 & 51A Mitchell Rd, BROOKVALE

Client: MITCHELL DEVELOPMENTS Pty Ltd
Architect: ALTONA Architects Group Pty Ltd
Council: Warringah
Scale: 1:200 @ A1
Date: October 2005
Drawing # LPDA 06 - 29 / 1 B

thomsonkane

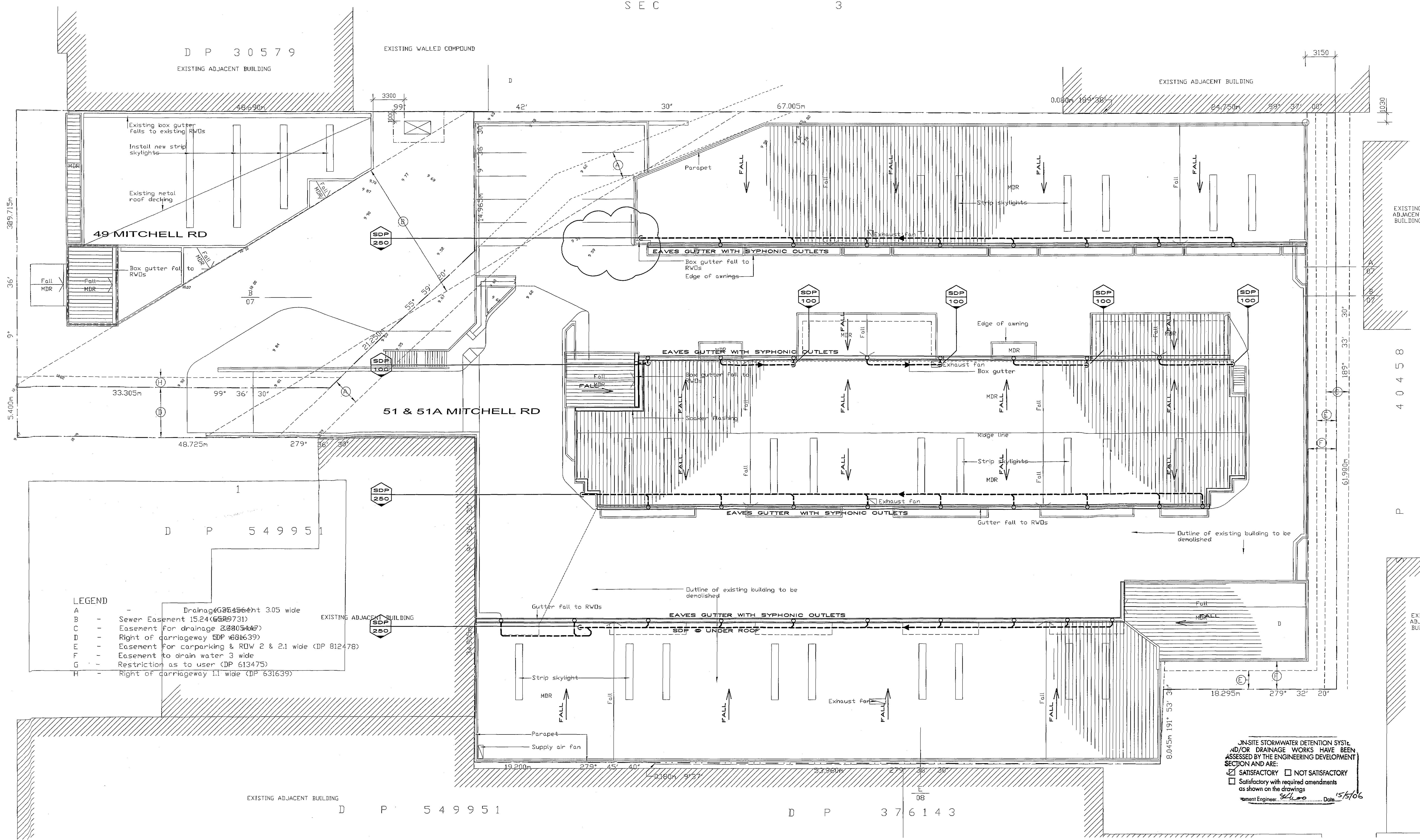
The diagram illustrates the vertical separation of different types of infrastructure within a building's strata. It shows a vertical shaft with various pipes and valves. Two horizontal lines divide the shaft into three distinct zones. The top zone is labeled 'WATER & GAS IN STRATA' and contains pipes with valves. The middle zone is labeled 'PLUMBING & STORMWATER OUT OF STRATA' and contains pipes with valves. The bottom zone is labeled 'WATER & GAS IN STRATA' and contains pipes with valves. The diagram also shows two people working on the pipes in the middle zone.

SITE LOCATION

REV	ISSUE	BY	CHKD	DATE	REV	ISSUE	BY	CHKD	DATE	SCHEDULE OF REFERENCE FILES				TK	REVISION	CLIENT	ARCHITECTS:	TK QA SYSTEM REASON FOR ISSUE	PROJECT:	DRAWING No				REVISION					
P1	PRELIMINARY	AZ	AT	22.02.06						DISCIPLINE						LIFE PROPERTY GROUP	ALTONA ARCHITECTS GROUP PTY LTD	thomsonkane Consulting Hydraulic and Fire Engineers 281 Pacific Highway, North Sydney NSW 2060 Phone: (02) 9955 0788 Fax: (02) 9954 5532 Email: info@thomsonkane.com.au WWW.THOMSONKANE.COM.AU ACN 109 803 849 THIS DRAWING IS COPYRIGHT ©	COUNCIL AMENDED AUTHORISATION 	49,51 & 51A MITCHELL ROAD BROOKVALE, NSW	TITLE: HYDRAULIC SERVICES	COVER SHEET, LEGEND AND DRAWING SCHEDULE	SCALE:	DATE:	DRAWN BY:	CHKD BY:	PROJECT No:	H-00	T2
P1	TENDER	AZ	AT	06.03.06						DRG NO.																			
T2	COUNCIL AMENDED	AZ	AT	01.05.06						STRUCTURAL																			
										MECHANICAL																			
										ELECTRICAL																			
										OTHERS																			
																9/14 FRENCHS FOREST ROAD FRENCHS FOREST NSW 2086 TEL: (02) 9451 8558 FAX: (02) 9451 1861	SUITE 32, 90 MONA VALE ROAD MONA VALE NSW 2103 TEL: (02) 9979 1100 FAX: (02) 9979 1144	VERIFICATION OF LATEST AMENDMENT 											

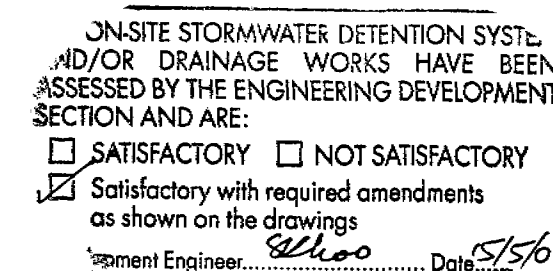
- NOTES**
- FOR GENERAL NOTES AND LEGEND REFER TO DRAWING H-00
 - THIS PLAN SHALL BE READ IN CONJUNCTION WITH ARCHITECTURAL, STRUCTURAL, CIVIL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATION.

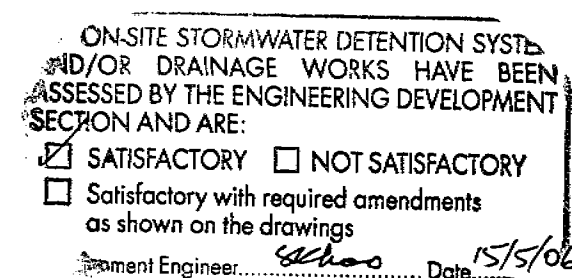
thomsonkane

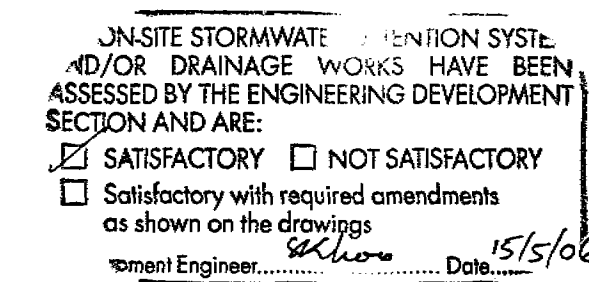


REV	ISSUE	BY	CHKD	DATE	REV	ISSUE	BY	CHKD	DATE	SCHEDULE OF REFERENCE FILES	TK REVISION	CLIENT	ARCHITECTS:	TK QA SYSTEM	PROJECT:	DATE:	DRAWN BY:	CHKD BY:	PROJECT No:	DRAWING No:	REVISION
P1	PRELIMINARY	AZ	AT	22.02.06						DISCIPLINE	DRG NO.	LIFE PROPERTY GROUP	ALTONA ARCHITECTS GROUP PTY LTD	REASON FOR ISSUE	49,51 & 51A MITCHELL ROAD BROOKVALE, NSW	Feb' 2006	AZ	AT	4945-2h	H-01	T2
T1	TENDER	AZ	AT	06.03.06						ARCHITECTURAL	28.04.06	9/14 FRENCHS FOREST ROAD FRENCHS FOREST NSW 2088 TEL: (02) 9451 8588 FAX: (02) 9451 1851	SUITE 32, 90 MONA VALE ROAD MONA VALE NSW 2103 TEL: (02) 9979 1100 FAX: (02) 9979 1144	AUTHORISATION	TITLE: HYDRAULIC SERVICES						
T2	COUNCIL AMENDED	AZ	AT	01.05.06						STRUCTURAL				VERIFICATION OF LATEST AMENDMENT	SITE AND ROOF PLAN						
										MECHANICAL											
										ELECTRICAL											
										OTHERS											

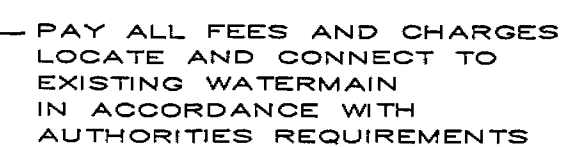
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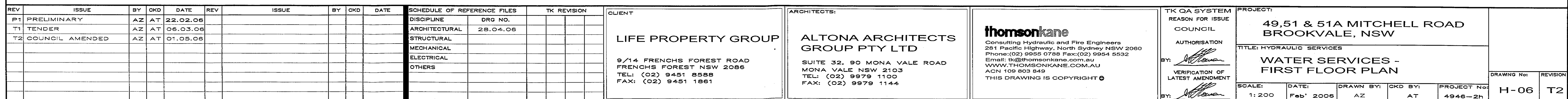


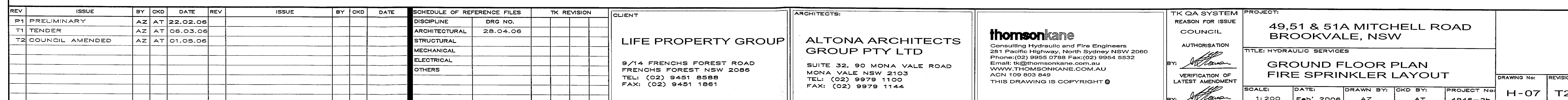


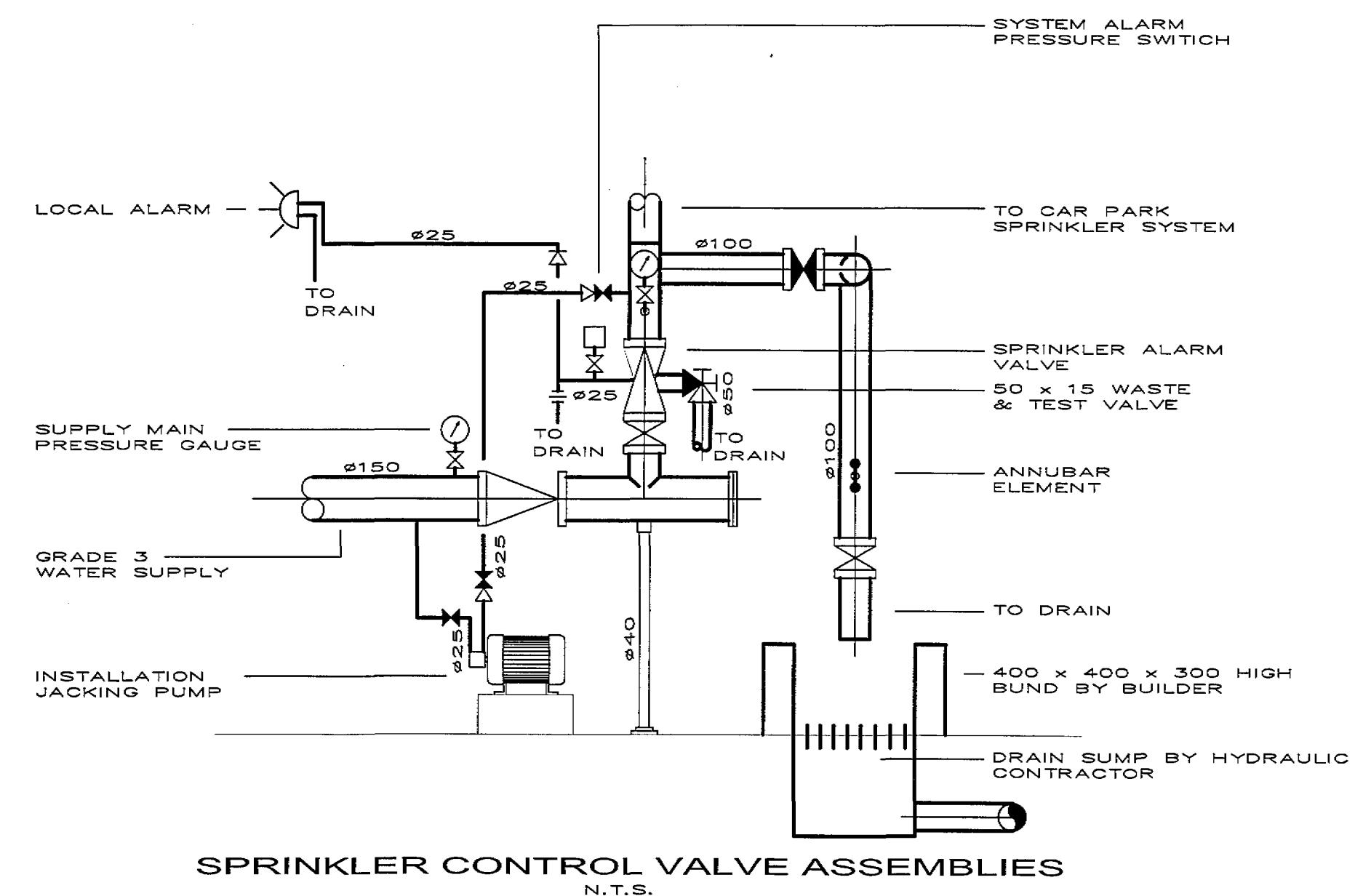


REV	ISSUE	BY	CKD	DATE	REV	ISSUE	BY	CKD	DATE	SCHEDULE OF REFERENCE FILES	TK REVISION	CLIENT	ARCHITECTS:	THOMSONKANE	TK QA SYSTEM REASON FOR ISSUE	PROJECT:
P1	PRELIMINARY	AZ	AT	22.02.06						DISCIPLINE DRG NO.		LIFE PROPERTY GROUP	ALTONA ARCHITECTS GROUP PTY LTD	thomsonkane Consulting Hydraulic and Fire Engineers 281 Pacific Highway, North Sydney NSW 2060 Phone: (02) 9555 0788 Fax: (02) 9554 5532 Email: tk@thomsonkane.com.au WWW.THOMSONKANE.COM.AU ACN 109 903 849 THIS DRAWING IS COPYRIGHT ©	COUNCIL	49,51 & 51A MITCHELL ROAD BROOKVALE, NSW
T1	TENDER	AZ	AT	06.03.06						ARCHITECTURAL 25.04.06					AUTHORISATION 	TITLE: HYDRAULIC SERVICES
T2	COUNCIL AMENDED	AZ	AT	01.05.06						STRUCTURAL		9/14, FRENCHS FOREST ROAD FRENCHS FOREST NSW 2066 TEL: (02) 9451 8588 FAX: (02) 9451 1661	SUITE 32, 90 MONA VALE ROAD MONA VALE NSW 2103 TEL: (02) 9979 1100 FAX: (02) 9979 1144		BY: 	MEZZANINE FLOOR PLAN
										MECHANICAL					VERIFICATION OF LATEST AMENDMENT	
										ELECTRICAL					BY: 	
										OTHERS						
																DRAWING No: H-04
																REVISION: T2

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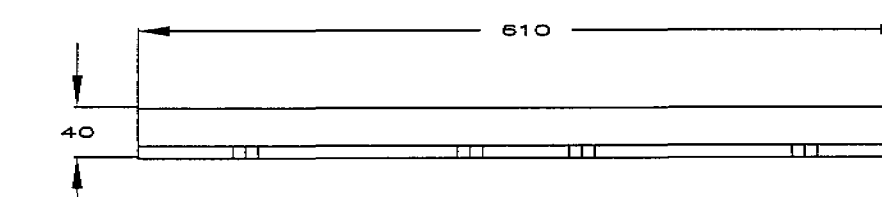
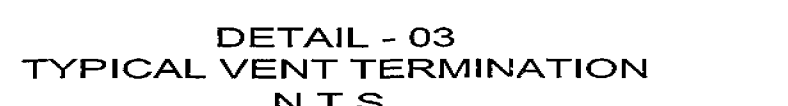








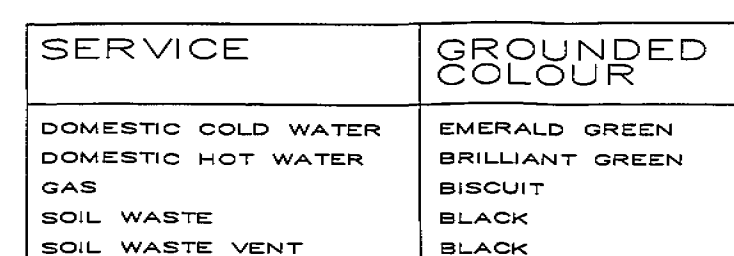
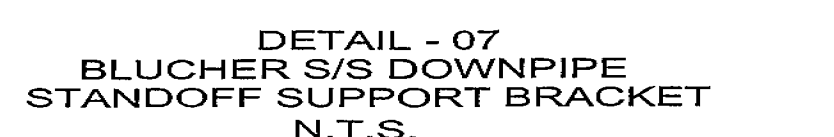
DETAIL - 01
MIXING VALVE
N.T.S.



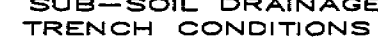
SIDE VIEW

DETAIL - 05

300 UNIVERSAL GRATE
AND FRAME ASSEMBLY
N.T.S.



DETAIL - 08
PIPING IDENTIFICATION
N T S



DETAIL - 11
PIPE BEDDING
N.T.S.



3 0 9 2 8

EXISTING ADJACENT BUILDING

EXISTING WALLED COMPOUND

EXISTING ADJACENT BUILDING

EXISTING
ADJACENT
BUILDING

40458

5
S

EXISTING
ADJACENT
BUILDING

LEGEND

A - Drainage easement 3.05 wide (G354564)
B - Sewer Easement 15.24 wide (G579731)
C - Easement for drainage 2.44 wide (G805447)
D - Right of carriageway 5.4 wide (DP 631639)
E - Easement for carparking & ROW 2 & 2.1 wide (DP 812478)
F - Easement to drain water 3 wide
G - Restriction as to user (DP 631475)
H - Right of carriageway 1.1 wide (DP 631639)

EXISTING ADJACENT BUILDING

D P 549951

D P 3 7 6 1 4 3

D 29/3/06 RE-ISSUED FOR D

ISSUE	DATE	REVISION
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GENERAL NOTES

All dimensions to be checked on site - notify the Superintendent immediately if any discrepancies are found. Figured dimensions take precedence over scaled dimensions. Drawings made to larger scales and those showing particular parts of the works take precedence over drawings made to smaller scales. The drawings are to be read in conjunction with the specification and schedules. Refer to relevant Engineer's documents for details of all structural, civil, electrical, mechanical and hydraulic components.

DO NOT SCALE THE DRAWING

ALTONA Architects Group Pty Ltd
Suite 32, 90 Mona Vale Rd, Mona Vale NSW 2103
Tel: 61 2 9979 1100 Fax: 61 2 9979 1144
Email: altona@aag.net.au

CLIENT	Mitchell Developments Pty Ltd
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PROJECT
INDUSTRIAL UNITS
49-51A Mitchell Road
Brookvale NSW 2100

DRAWING

SITE AND ROOF PLAN

PROJECT # 0506 DWG # DA 03 D
DATE 12th Sept '05
SCALE @ A1 1:200
DRAWN Dr CHKD PA PLOT DATE 29/3/06

DA 03 D

SCALE 1:200

DRAWN BY CHKD BY PLOT DATE 29/3/08



- NOTES**
- FOR GENERAL NOTES AND LEGEND REFER TO DRAWING DAH-00
 - THIS PLAN SHALL BE READ IN CONJUNCTION WITH ARCHITECTURAL, STRUCTURAL, CIVIL AND OTHER CONSULTANTS' DRAWINGS AND SPECIFICATION.

51 & 51A MITCHELL ROAD STORMWATER CALCULATION

STORMWATER FLOW SUMMARY TABLE

ARI	TIME	PRE-DEVELOPMENT M ³ /S	POST-DEVELOPMENT WITH OSD TANK	POST-DEVELOPMENT M ³ /S
1 YR	2 HR	0.311	0.058	0.313
5 YR	2 HR	0.401	0.069	0.404
100YR	2 HR	0.4976	0.094	0.499

OSD CALCULATIONS SUMMARY

51 & 51A BUILDING DRAINS TO OSD

IMPERVIOUS : 6648 M²
PERVIOUS : 0 M²

TOTAL AREA TO OSD:

TOTAL AREA1 = 3998 M²
TOTAL AREA2 = 890 M²
TOTAL AREA3 = 1760 M²

POST-DEVELOPMENT:

L.IMP= 50 M
L.PERV= 0 M
IMPERVIOUS = 6648 M², (100%)
PERVIOUS 0 M² (0%)

PRE-DEVELOPMENT:

IMPERVIOUS AREA = 72 M² (1%)
PERVIOUS AREA = 6576 M² (99%)

PDS 1 (5 YR) ARI, 0% IMPERVIOUS
PSD STATE OF NATURE = 0.061 M³/S

PDS 2 (5 YR) ARI, 0% IMPERVIOUS
PSD STATE OF NATURE = 0.013 M³/S

PDS 3 (5 YR) ARI, 0% IMPERVIOUS
PSD STATE OF NATURE = 0.027 M³/S

VOLUME OSD REQUIRED = 402 M³

OSD DIMENSIONS (REFER TO PLANS) 425 M³ PROVIDED

Q(100 YR) POST-DEVELOPMENT CATCHMENT (1+2+3)
= 0.499 M³/S (SITE DRAINING TO OSD)

ORIFICE SIZE TABLE

OSD TANK	ORIFICE SIZE	CENTRE LEVEL	OUTLET PIPE
OSD 1	120	10.40	225MM
OSD 2	50	12.74	150MM
OSD 3	75	12.74	150MM

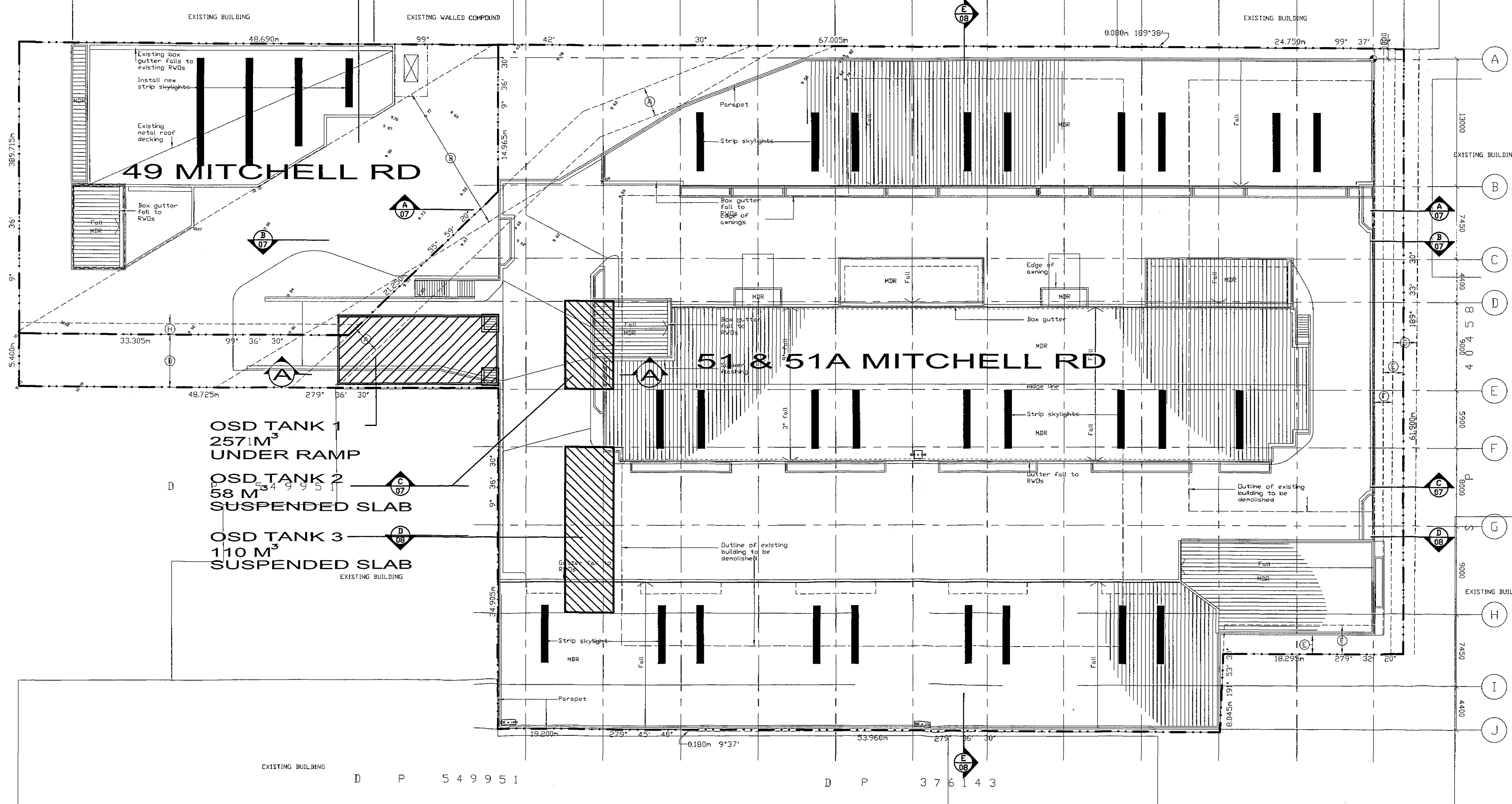
STORMWATER LEVELS TABLE

WATER LEVEL IN OSD	OSD 1 - ARI RESPECTIVELY	OSD 2 - ARI RESPECTIVELY	OSD 3 - ARI RESPECTIVELY
100 YR	13.34	14.37	14.30
20 YR	12.74	14.38	14.34
5 YR	12.04	13.89	13.87
1 YR	11.24	13.33	13.31

RENEW EXISTING STORMWATER SYSTEM

D P 30579

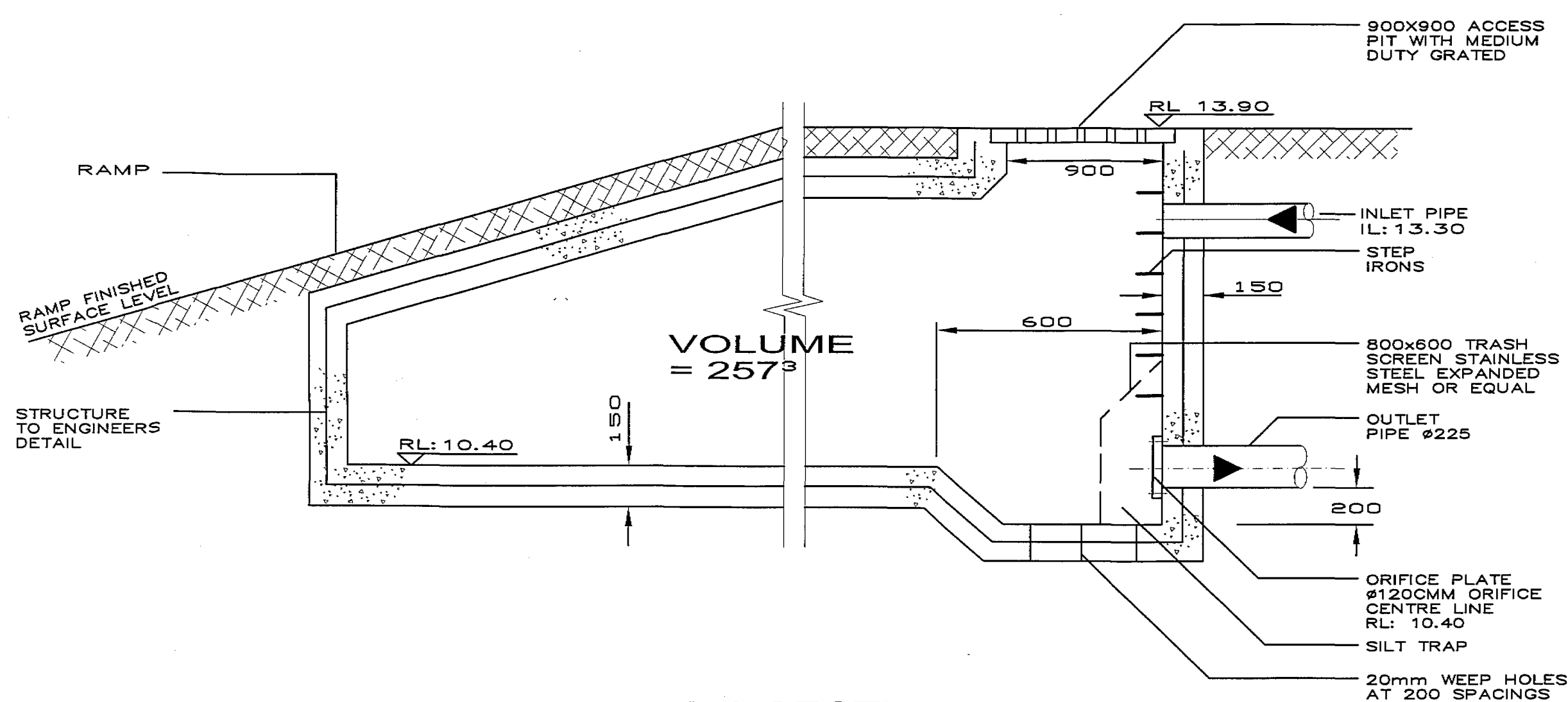
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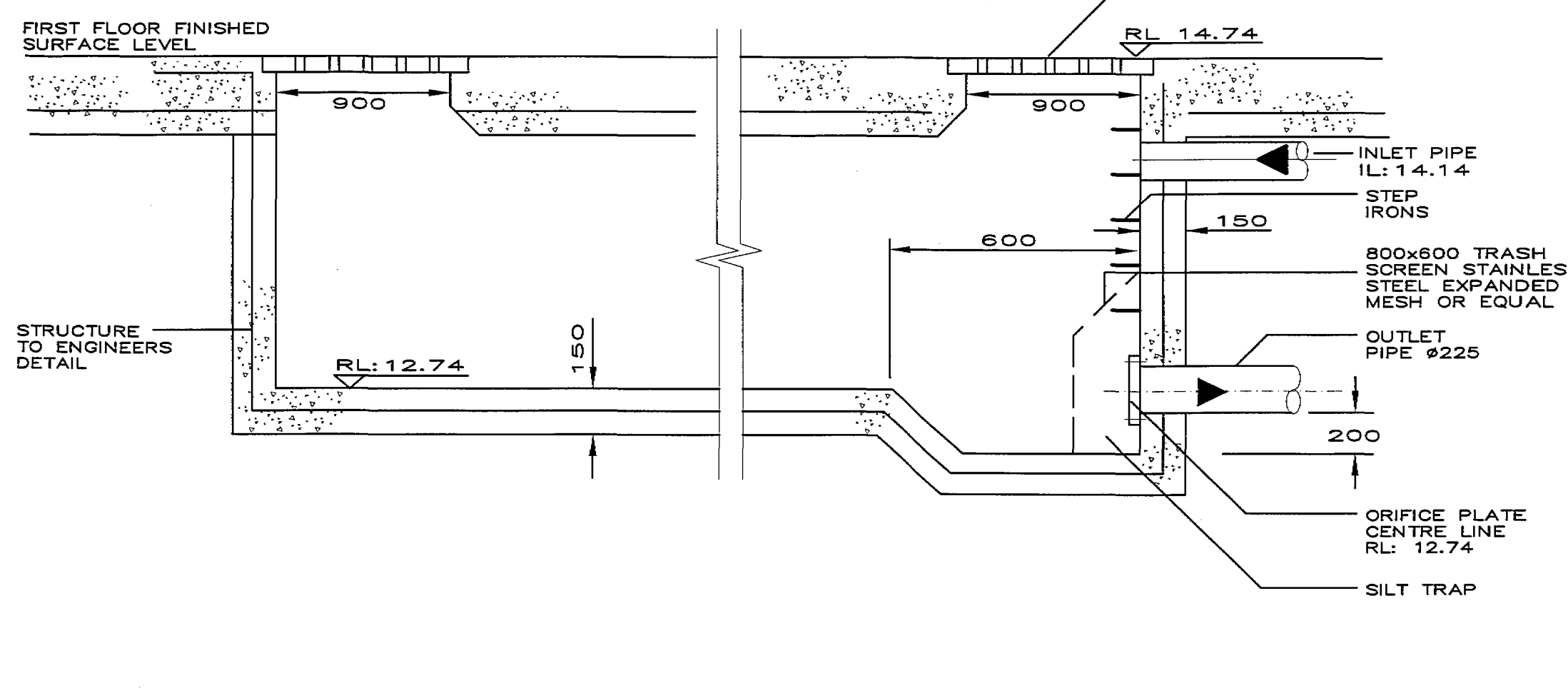
OSD TANK 1
257 M³
UNDER RAMP

OSD TANK 2
58 M³
SUSPENDED SLAB

OSD TANK 3
110 M³
SUSPENDED SLAB



A-A SECTION
STORMWATER DETENTION OSD TANK 1
NTS

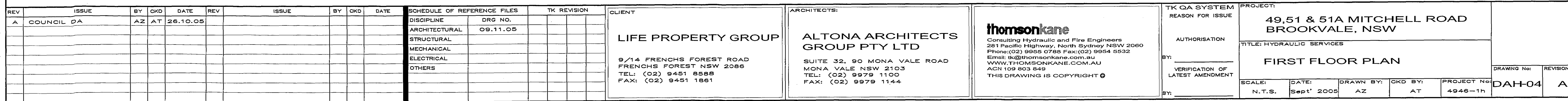


A-A SECTION
STORMWATER DETENTION OSD TANK 2 & 3
NTS

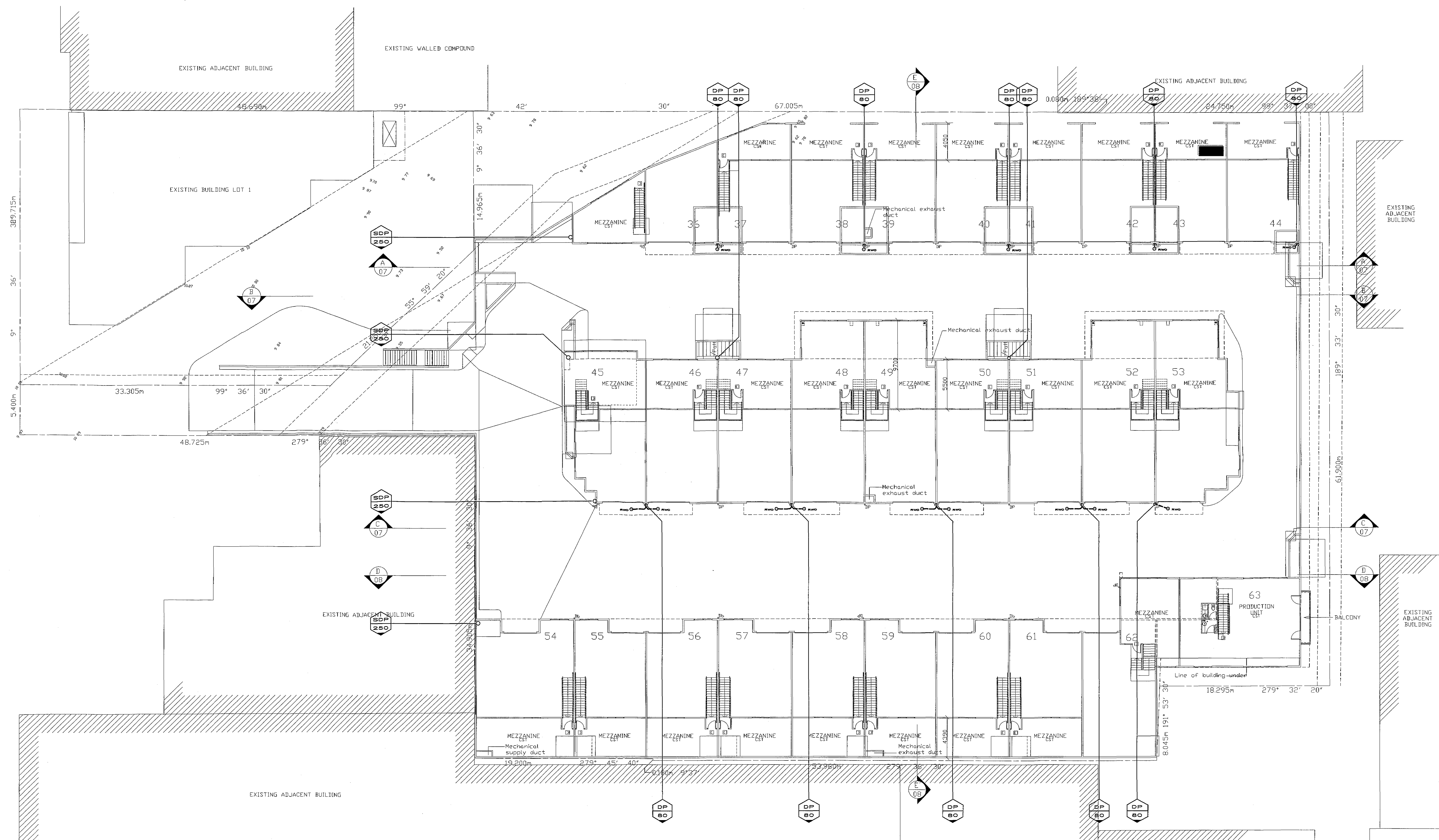
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A	DA COUNCIL	AZ	AT	16.11.05								LIFE PROPERTY GROUP	ALTONA ARCHITECTS GROUP PTY LTD	THOMSONKANE	49,51 & 51A MITCHELL ROAD BROOKVALE, NSW	SITE AND ROOF PLAN STORMWATER CALCULATION	N.T.S.	Sept' 2005	AZ	AT	4948-1h	DAH-02	A



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A	DA COUNCIL	AZ	AT	26.10.05						DISCIPLINE	DRG NO.	LIFE PROPERTY GROUP	ALTONA ARCHITECTS GROUP PTY LTD	Consulting Hydraulic and Fire Engineers 261 Pacific Highway, North Sydney NSW 2060 Phone: (02) 9855 0788 Fax: (02) 9854 5532 Email: tk@thomsonkane.com.au WWW.THOMSONKANE.COM.AU ACN 109 803 848 THIS DRAWING IS COPYRIGHT ©	REASON FOR ISSUE	49,51 & 51A MITCHELL ROAD BROOKVALE, NSW
										ARCHITECTURAL	09.11.05	9/14 FRENCHS FOREST ROAD FRENCHS FOREST NSW 2086 TEL: (02) 9451 8588 FAX: (02) 9451 1861	SUITE 32, 90 MONA VALE ROAD MONA VALE NSW 2103 TEL: (02) 9979 1100 FAX: (02) 9979 1144		AUTHORISATION	TITLE: HYDRAULIC SERVICES
										STRUCTURAL					BY: _____	MEZZANINE FLOOR PLAN
										MECHANICAL					VERIFICATION OF LATEST AMENDMENT	DRAWING No: DAH-05
										ELECTRICAL						REVISION
										OTHERS						A

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