

LOT NUMBER : 3	
SITE AREA :	658.9m ²
DRIVEWAY AREA :	76.21m ²
LANDSCAPED OPEN SPACE (MIN 40% OF SITE AREA) SITE AREA EXCL. DRIVEWAY, PAVEMENT PATHS, HOUSE & OPEN AREA <2m WIDE):	
	347.17m ² - 52.60%
PRIVATE OPEN SPACE (MIN 60m ² (MIN DIM. 5m) :	
	107.33m ²
SITE COVERAGE	
GF Total : (incl. driveway & path):	(41.90%) - 276.09 m ²
FF Total :	(19.46%) - 128.23 m ²

BASIX INFORMATION		The items shown here are the minimums required to pass BASIX. Should the Specification nominate a better performing item then use that item instead.	
Soft Landscaping area		Roof area total	
347.17 sqm		238.56 sqm	
Glazing Doors/windows/ clerestory	Wideline Aluminium framed windows Window performance values as per NatHERS certificate Default/Proxy values used for windows not available in HERO library Given values are AFRC, total window system values (glass and frame)		
Window restrictors	Window restrictors are modelled in accordance with NCC 2022		
Roof	Metal roof & builders blanket, R value as per NatHERS Certificate		
Ceiling	Ceiling insulation value and locations as per NatHERS certificate. Ceiling insulation must extend to the external wall.		
Wall & roof frames	120mm untreated softwood timber frames		
External Walls	External wall insulation values and locations as per NatHERS certificate		
Internal walls	Plasterboard on studs, insulation values and locations as per NatHERS certificate		
Floors	Concrete slab on ground with 225mm waffle pods LVL timber floor between levels		
Ventilation	All external doors have draft protection and weather seals All exhaust fans to have dampers All downlights IC rated, maximum 1 per 5m2		
Ceiling fans	Size and location as per NatHERS certificate		
General notes	Insulation Note: All insulations listed are product only values. All insulation and vapour membranes must be installed in accordance with ABCB Housing provisions Part 10.8 and Part 13.		
BASIX Water Commitments			
Alternative Water	Tank size and connections as per BASIX certificate		
BASIX Energy Commitments			
Hot water System	Electric Heat Pump - 5.2 c.o.p. rating		
Heating system	1 phase air conditioning to living areas and bedrooms: EER 3.5-4.0		
Cooling system	1 phase air conditioning to living areas and bedrooms: EER 3.0-3.5		
Ventilation	Kitchen – Individual fan, externally ducted, manual on/off switch Bathrooms - with window = Naturally vented, - without window = Fan externally ducted with switch interlocked with light & run-on timer. Laundry - With wind or door = Naturally Ventilated, otherwise ext ducted ex/fan		
Other	Induction cooktop & electric oven Outdoor clothes drying line		
Alternative Energy	PV system size as per BASIX certificate PV connected to the developments electrical system		

LEGEND		Trees to be removed prior to commencement of building operations.	
Existing Trees		New Trees	
Stormwater Main		A.G. Drain	
Stormwater Disposal		Sewer Pipe	
Existing Fencing		Fencing by Contractor	
Underground Power		Grated Drain	
Overhead Power			
Stormwater to tank			
Stormwater disposal			

NOTE: MIN 200mm FREEBOARD
SITE CUT & FILL LEVELS MAY VARY DUE TO SITE CONDITIONS.

DETAILS	
DATUM:	RL Levels to AHD
CONTOUR INTERVALS:	0.20 Metres
WATER CONNECTION:	(BY THE BUILDER)
20mm line from water meter to entry point.	
WASTE DISPOSAL:	(BY THE BUILDER)
Connection to mains sewer in accordance with local authority requirements.	
ROOFWATER DISPOSAL:	(BY THE BUILDER)
Connection of downpipes to water tank and underground drain. Position of roofwater lines are indicative only and may vary depending on site.	
POWER CONNECTION:	
Installation to underground line by the builder. Connection of power to main line by Electricity Authority.	
EARTHWORKS:	(BY THE BUILDER) AG Drains: 0 Metres
Site scrape to remove vegetation / fill to create level building platform. Remove spoil from site. Earthworks indicated on the plan are for construction purposes only.	
GAS CONNECTION:	
Installation of underground line to mains by the builder. connection to mains by gas authority upon application by the owner.	

LOCAL AUTHORITY:		<u>Northern Beaches Council</u>	
TITLE PARTICULARS:			
LOT:	3	DIA/PLAN:	-
VOL:	-	PARISH:	-
FOL:	-	COUNTY:	-

LOCATION:	
MAP REFERENCE:	

LOT 4		ADDRESS:	
REV	AMENDMENT	BY	DATE
01	DA PLANS	MSS	06.12.2024
02	PRINCIPAL SUITE WINDOW SIZE CHANGE - DESIGN REQUEST	SA	12.12.2024
03	AMENDED DA, NEW SITE APPLIED AS PER SWC	MSS	10.03.2025
04	PCV #2 APPLIED - WALL THICKNESS CHANGES ON GF	SA	14.03.2025
05	DA RFIs + PCV #3: COUNCIL REQUIREMENTS	BM	01.05.2025
06	WET AREA FLOOR WASTES REMOVED EXCL. SHOWER	BM	02.05.2025
07	DA PLAN AMENDED AS PER SWC CIVILS DATED 6.05.25	SA	23.05.2025
08	DA RFI - GROUND FLOOR & FIRST FLOOR SETBACK PLANS	MSS	16.06.2025
		LOT 3 BLACKBUTTS RD FRENCHS FOREST NSW	
		68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 02 8817 1400	
		Sekisui House Services (NSW) Pty Limited	
		ABN: 42119550220. BL: 226045C.	
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SITE PLAN			
FR07		F01	ALTERATION ISSUE
TYPE	ACCOM	FACADE	GENERAL ISSUE
CONTRACT No: NM105562		SHEET DA-1	
MASTER DESIGN		MASTER CHECKED	
MSS		-	
		PAGE:	
		SCALE: 1:200	

GENERAL NOTES

- DROP SLAB 60MM TO WET AREAS.
- DROP SLAB 70mm TO PORCH AND OUTDOOR LIVING U.N.O.
- WET AREAS IN ACCORDANCE WITH NCC REQUIREMENTS
- WC DOOR REMOVABLE WHERE REQUIRED AND FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH NCC VOL2 PART H4
- MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH NCC VOL2 PART H4
- WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE.
- REFER ENGINEER'S DRAWING FOR BRACING WALLS INFORMATION.
- REF, FRE, W.M AND C.D SYMBOLS INDICATE POSITION ONLY
- SQUARE SET CORNICE TO CEILING THROUGHOUT.
- "GRID" = CENTER OF SHAWOOD FRAME
- GF CEILING HEIGHT = 2510 UNLESS NOTED OTHERWISE
- FF CEILING HEIGHT = 2510 UNLESS NOTED OTHERWISE
- EXTERNAL WINDOW HEAD HEIGHT UNLESS NOTED OTHERWISE
 - GROUND FLOOR (MEASURE FROM TOP OF SLAB) = 2375mm
 - FIRST FLOOR (MEASURE FROM TOP OF PARTICLE BOARD) = 2296mm
- EXTERNAL DOOR HEAD HEIGHT UNLESS OTHERWISE NOTED = 2375mm (MEASURE FROM TOP OF SLAB)
- ALL HEIGHTS NOMINATED ARE FROM THE STRUCTURAL SLAB BELOW EXCEPT PORCH AND ALFRESCO
- UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:
 - EXT 151mm=16 CLADDING+15 CAVITY+120 STUD
 - INTERNAL = 90mm STUD AND 120mm STUD
 - WALL CLADDING OVERHANGS THE SLAB EDGE BY 11mm
- PROVIDE WEATHERTIGHT WINDOW FLASHING TO THE SILL OF ALL WINDOWS AS PER STANDARD DETAIL 4.20-4.22
- STANDARD DETAIL VERSION: 2025-05

PROVIDE PLYWOOD LINING TO THE ROOF STRUCTURE AS PER STANDARD DETAILS 5.3-2 to 5.3-5

CONDENSATION MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH PART 10.8 OF THE HOUSING PROVISIONS.

LEGEND

- N1 - STANDARD FUGE
- N2 - FEATURE FUGE
- R1 - RENDERED



THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT

DA NUMBER: DA2025/0699

(Activation of consent must be obtained from Northern Beaches Council)

LEGEND

- DP - DOWNPIPE. REFER TO STORMWATER MANAGEMENT PLAN FOR CONNECTION TO TANK
- RA - ROOF ACCESS
- RA - RETURN AIR CEILING GRILL
- CV - CEILING VENTS
- SA - DENOTES SHAWOOD POST
- SA - SMOKE ALARM (DIRECT WIRED)
- SA - 120mm WALL
- SA - 90mm WALL
- WINDOW GLAZING CODES (OBS): OBSCURED, (SP10): SMART GLASS SP10 CLEAR (DG): DOUBLE GLAZED (DG-OBS): DOUBLE GLAZED OBSCURE (DG-LowE): DOUBLE GLAZED WITH LowE (DG-LowE+): DOUBLE GLAZED WITH LowE PLUS
- WINDOW AND DOOR CODES ASW: ALUM SLIDING WINDOW, ABW: ALUM BI-FOLD WINDOW AAW: ALUM AWNING WINDOW, AFW: ALUM FIXED WINDOW ASD: ALUM SLIDING DOOR, AST: ALUM STACKER DOOR AFD: ALUM FRENCH DOOR, ABD: ALUM BIFOLD DOOR

DIMENSIONS SHOWN ON PLAN ARE TAKEN FROM WALL FRAME, NOT FINISHED PLASTER
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Floor Areas	
Ground flr.	135.84
Garage	37.56
First flr.	128.23
Total	301.63 m²
Alfresco	15.46
Pier	4.53
Porch	6.49
S. Void	10.89
Total	339.00 m²

ADDRESS: **LOT 3 BLACKBUTTS RD FRENCHS FOREST NSW**

SHAWOOD

68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 02 8817 1400

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GROUND FLOOR PLAN

FR07		F01	ALTERATION ISSUE
TYPE	ACCOM	FACADE	GENERAL ISSUE
CONTRACT No:	NM105562		SHEET DA-8
MASTER DESIGN	MASTER CHECKED		PAGE:
MSS	-		SCALE: 1:100, 1:2

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LEGEND

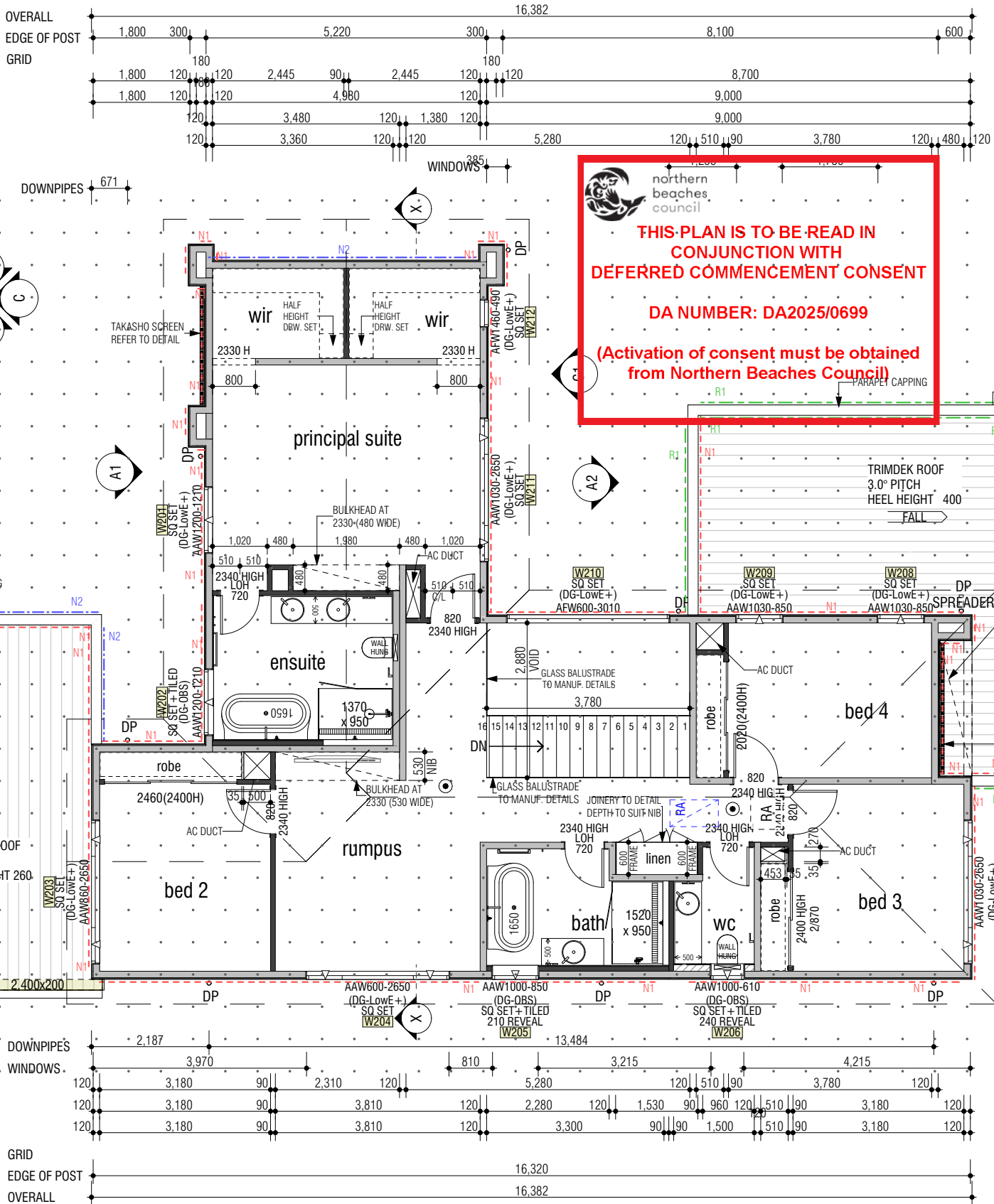
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LEGEND

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FRENCHS FOREST NSW

SHAWOOD

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FIRST FLOOR PLAN			
FR07		F01	ALTERATION ISSUE
TYPE	ACCOM	FACADE	GENERAL ISSUE
CONTRACT No: NM105562		SHEET 23	
MASTER DESIGN		MASTER CHECKED	
MSS		SCALE: 1:100, 1:2	

- N1 - STANDARD FUGE
- N2 - FEATURE FUGE
- R1 - RENDERED

The diagram is a detailed roof plan for the ground floor (GF). It shows a rectangular area with a grid of structural members. Key features include:

- Dimensions:** The plan is divided into three horizontal sections with widths of 1,196x200, 2,400x200, and 2,400x200.
- Structural Details:** A central circular feature is labeled "ROOF VENT". A "TRIMDEK ROOF 3.0° PITCH" is indicated on the right side, with a "HEEL HEIGHT 260".
- Materials and Finishes:** The plan is divided into three horizontal sections with widths of 1,196x200, 2,400x200, and 2,400x200.
- Annotations:** "22mm PACKING" is noted on the left side. "FACE OF NICHHA" and "VENTILATION STRIP" are labeled at the bottom.
- Scale and Title:** The scale is 1:100, and the title is "GF Roof Plan".

RED AREA DENOTES 10mm
MOISTURE RESISTANT PB
TO BELOW

2510 CEILING HEIGHT

REMOTE CONTROL
2265-4817

EAVE ANGLE

FACE OF NICHHA

GF Roof Plan (Lower) 1:100

GF Roof Plan 1:100

RED AREA DENOTES 10mm MOISTURE RESISTANT PB TO PORCH

EAVE ANGLE

FACE OF NICHIIHA

RED AREA DENOTES 10mm MOISTURE RESISTANT PB TO BELOW

EAVE ANGLE

FACE OF NICHIIHA

IE TO AC UNIT REQUIREMENTS

GF Roof Plan (Lower):100

The diagram is a detailed roof plan for a building, showing a complex arrangement of rectangular and triangular roof sections. The plan includes numerous dimensions for various components, such as eaves, panels, and ventilation strips. Key annotations include 'VENTILATION STRIP', 'FACE OF NICHHA', 'EXTENT OF RAKED EAVES', 'APPROX LOCATION OF PV PANELS', 'FLAT EAVES', 'FALL' (indicating slope direction), 'ROOF VENT', 'CUSTOM ORB ROOF 15.0° PITCH HEEL HEIGHT 395', 'APPROX AC LOCATION', and 'RED AREA DENOTES 10mm MOISTURE-RESISTANT PB TO CEILING'. The plan is drawn on a grid background and includes a scale of 1:100.

FF Roof Plan

1:100



 northern
beaches
council

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TE	ADDRESS:
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LOT 3 BLACKBUTTS RD
FRENCHS FOREST NSW

SHAWOOD

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ROOF PLAN

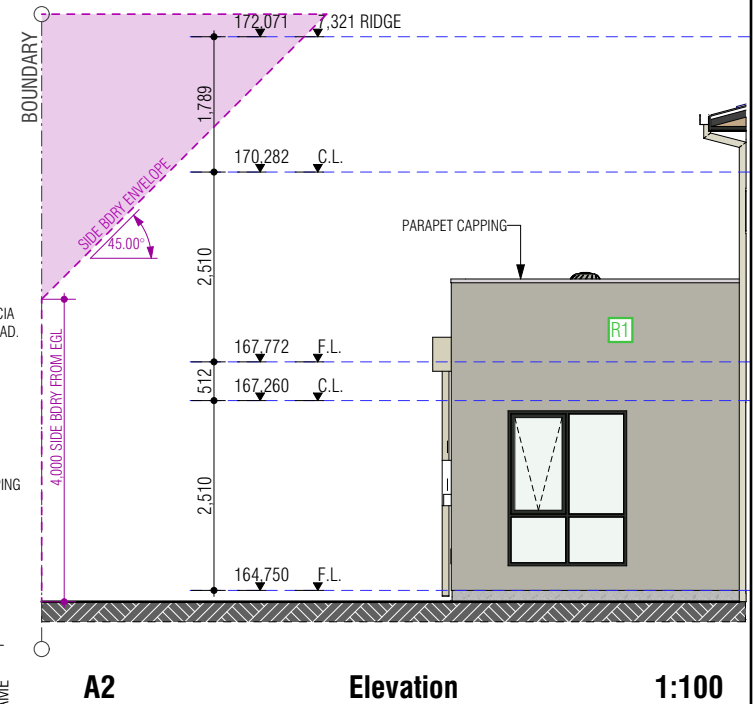
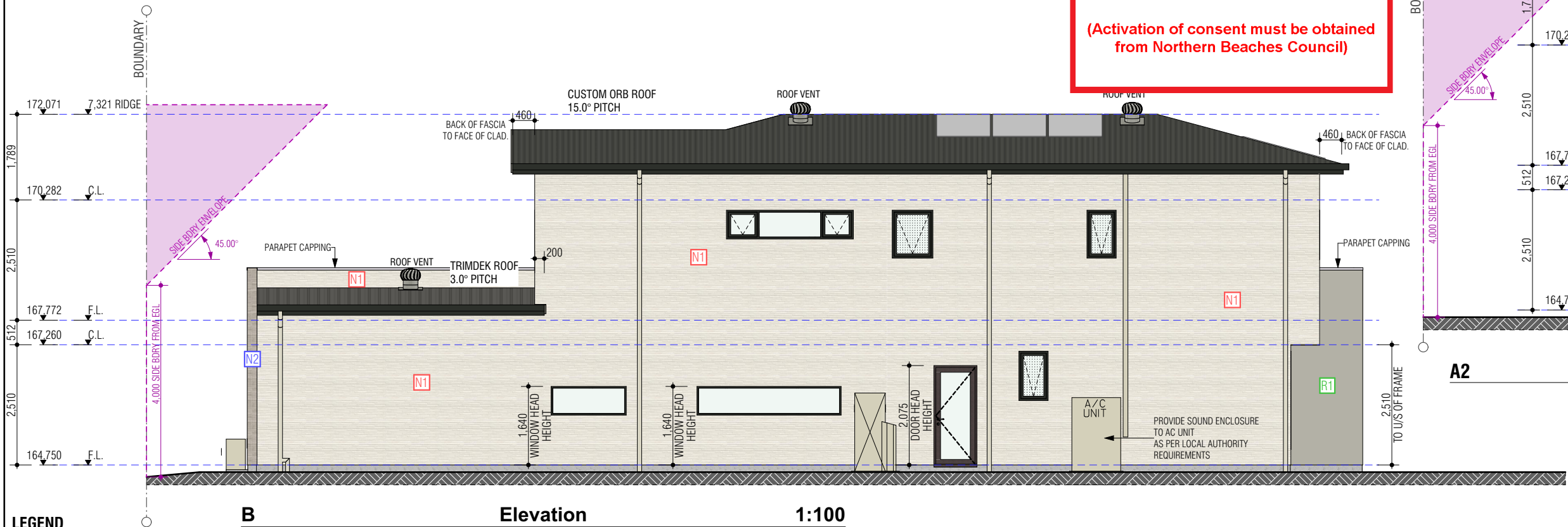
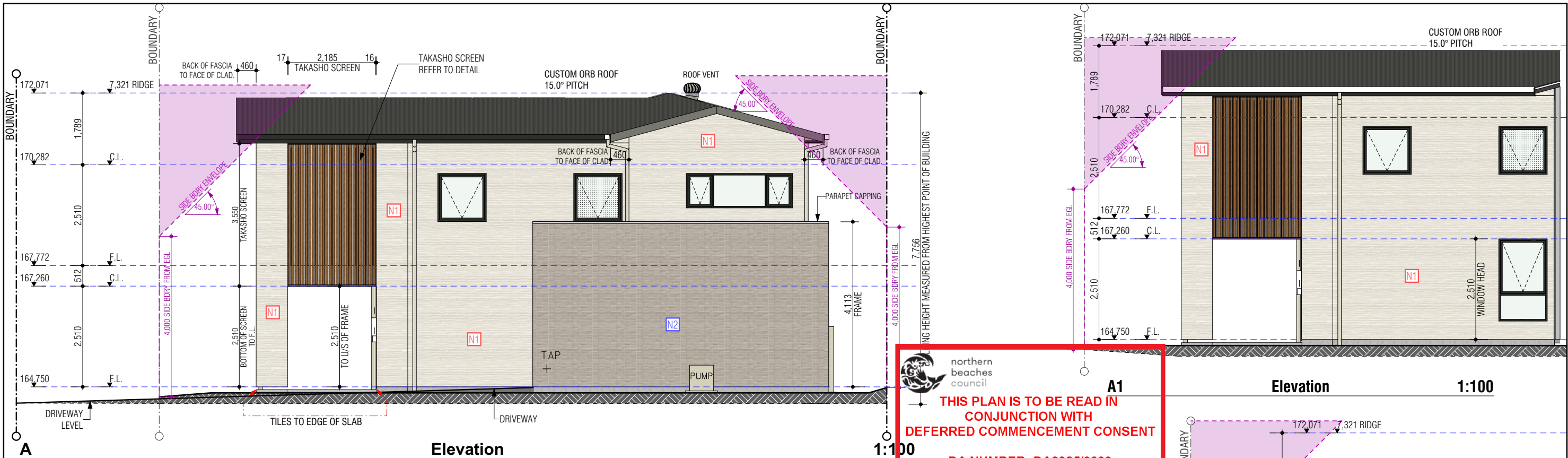
FR07		F01	ALTERATION ISSUE			
TYPE	ACCOM	FACADE	GENERAL ISSUE	23	DESIGN ISSUE	NA
CONTRACT No: NM105562			SHEET		DA-11	
MASTER DESIGN		MASTER CHECKED		PAGE:		
MSS		-		SCALE:		

○ DP - DOWNPIPE

 - EAVE VENT

* PROVIDE PLYWOOD LINING TO THE ROOF STRUCTURE STANDARD DETAILS 5.3-2 to 5.3-5

* THE NUMBER OF PHOTOVOLTAIC PANELS SHOWN HERE IS APPROX. THE QUANTITY AND LOCATION CAN VARY WHEN INSTALLED



LEGEND

- OBSCURE GLASS
- STANDARD FUGE
- FEATURE FUGE
- RENDERED

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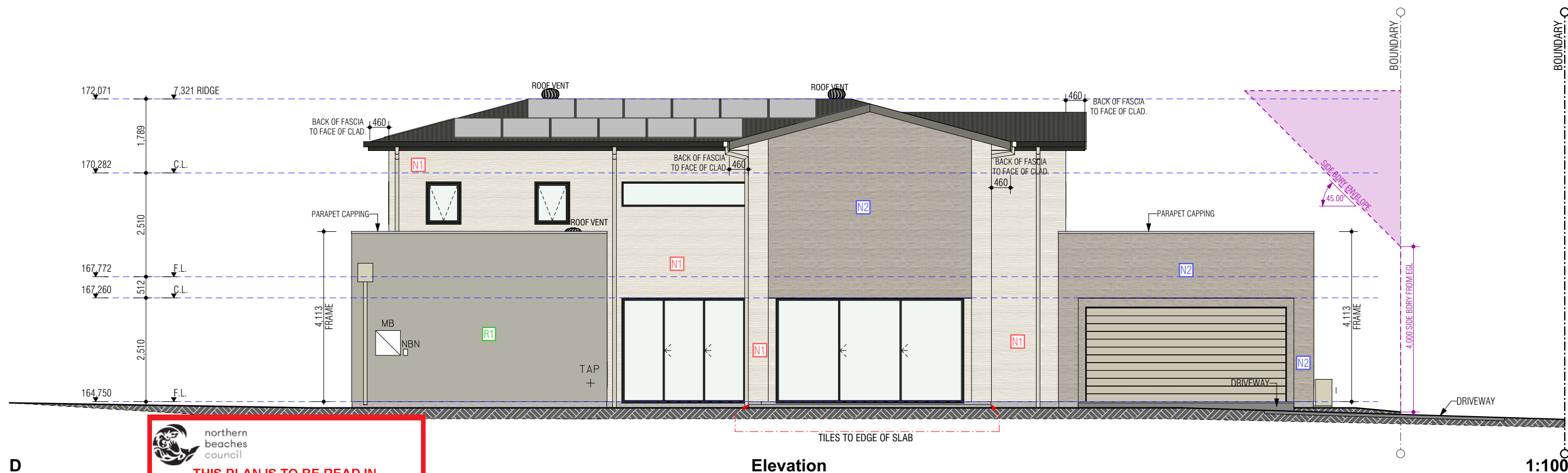
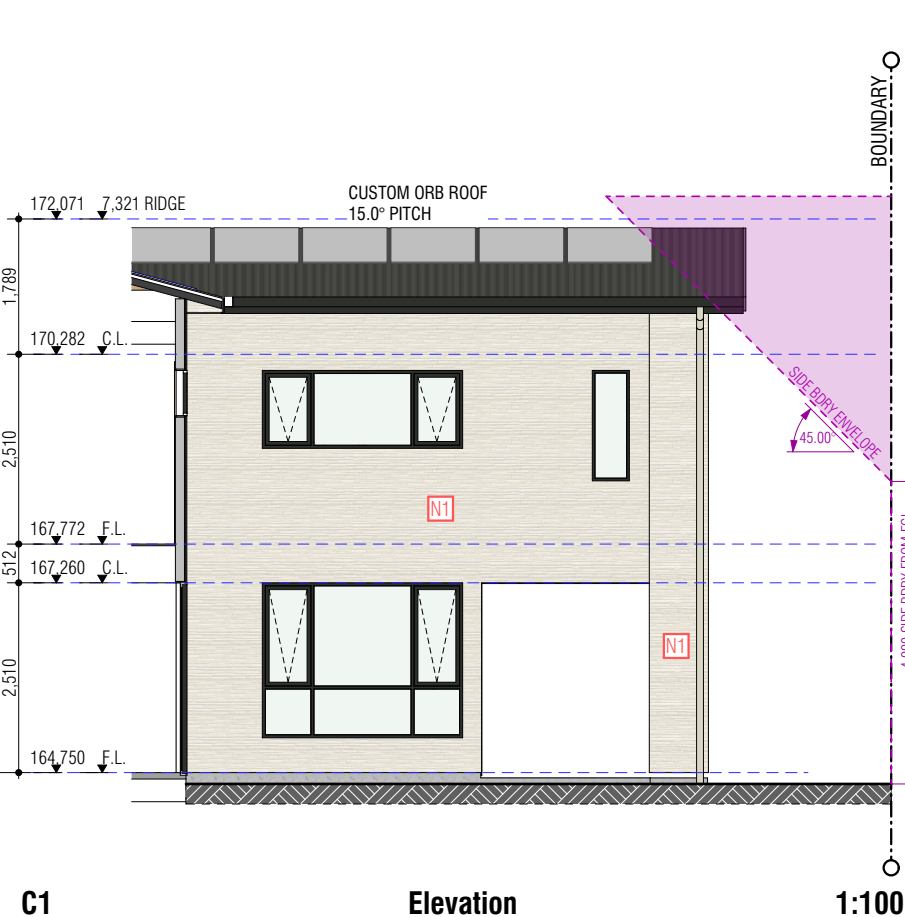
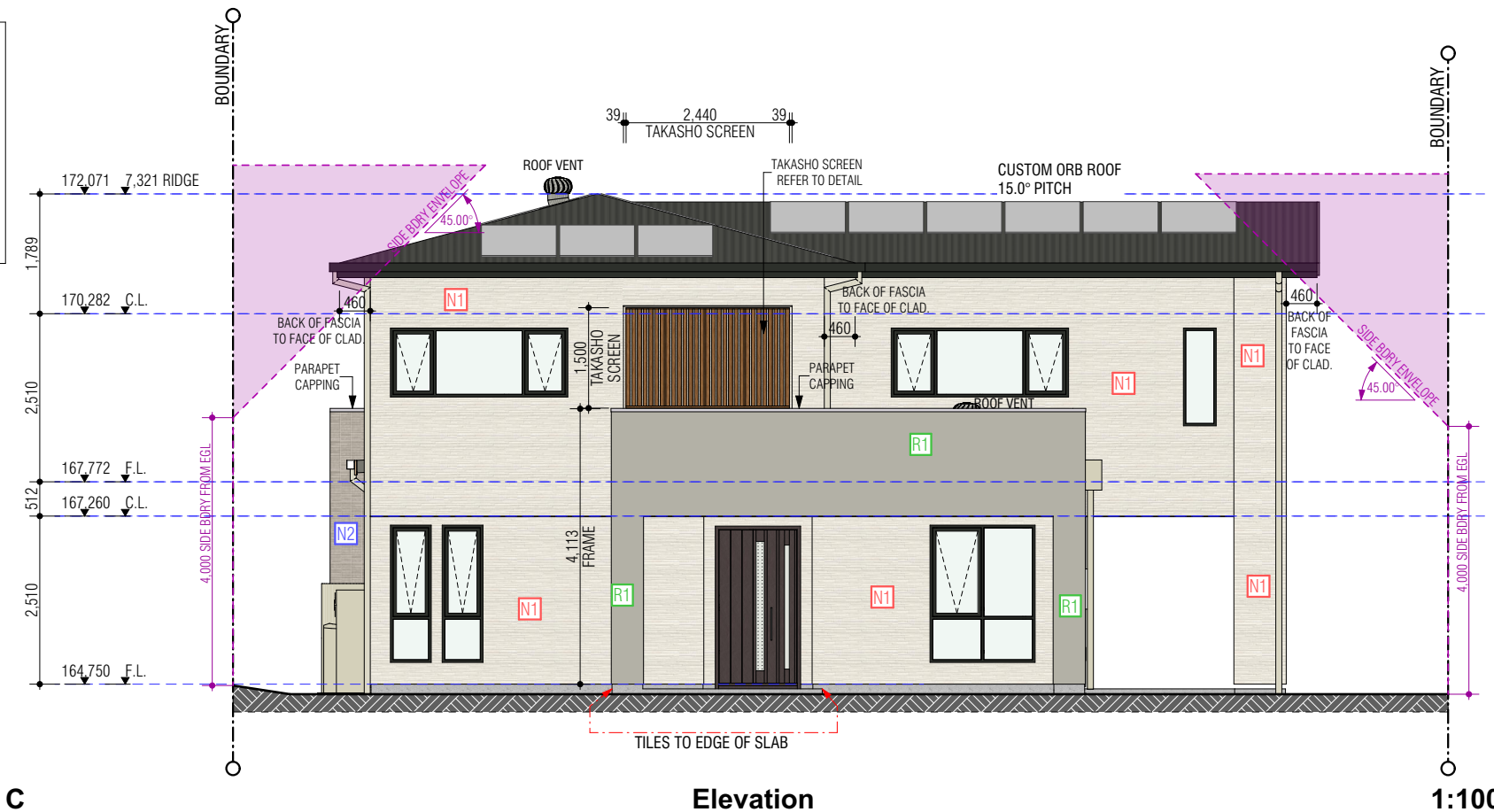
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EXTERNAL ELEVATIONS					
FR07		F01	ALTERATION ISSUE		
TYPE	ACCOM	FACADE	GENERAL ISSUE	23	DESIGN ISSUE NA
CONTRACT No: NM105562			SHEET DA-12		
MASTER DESIGN		MASTER CHECKED		PAGE:	
MSS		-		SCALE: 1:100	

LEGEND

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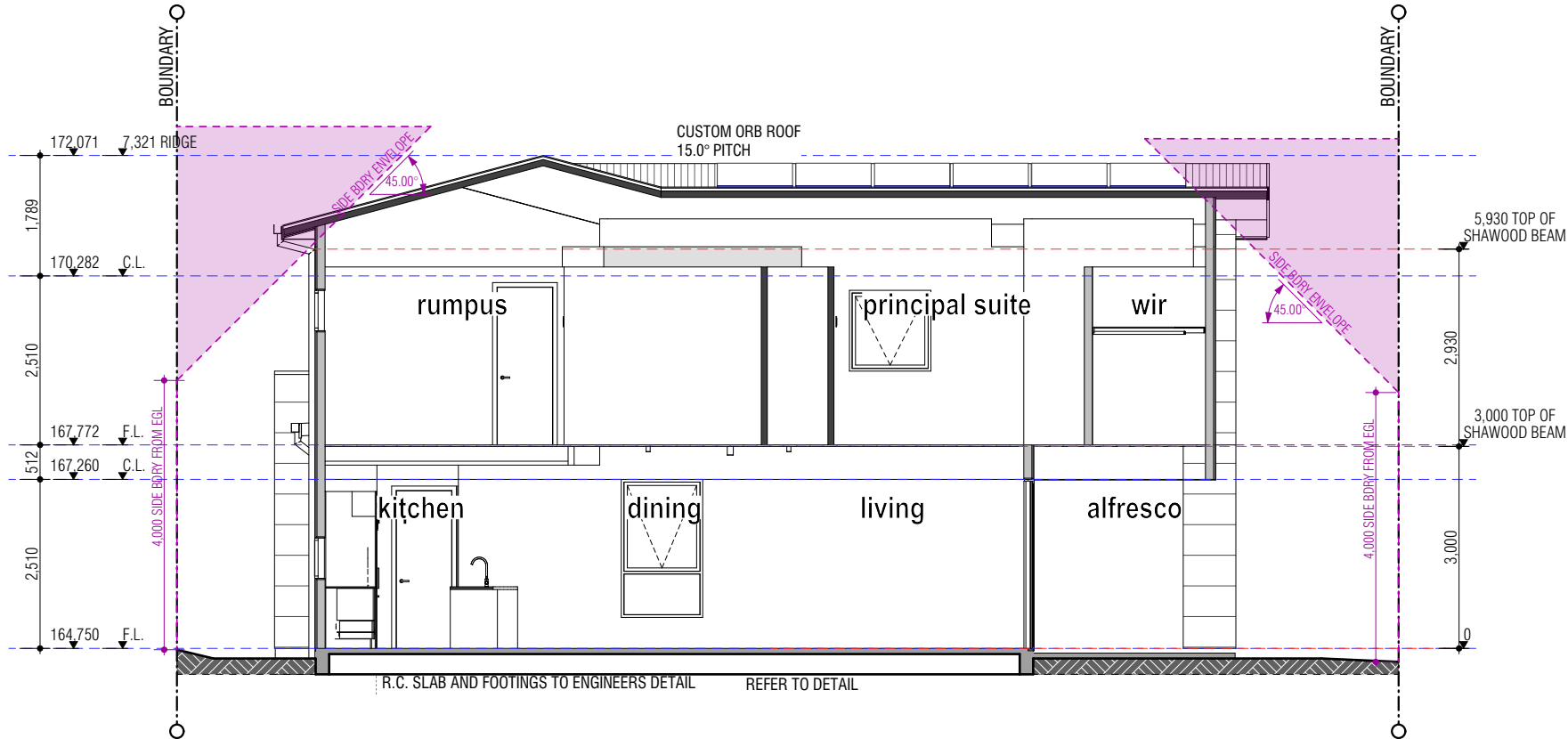
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Section

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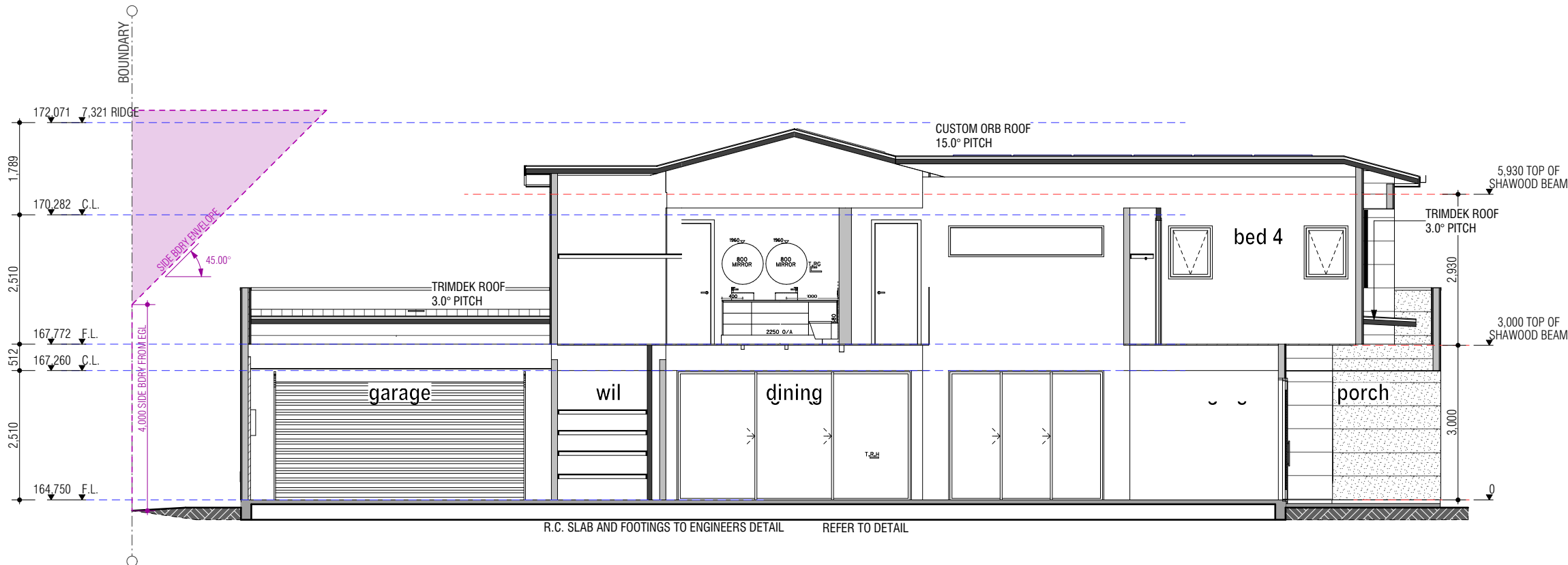
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Section

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1:100



NOTES:-

- * TIMBER ROOF TRUSSES TO MANUFACTURERS SPECIFICATIONS.
- * EXPANSION JOINTS ARE TO BE PROVIDED IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS
- * ALL GLAZING TO AUSTRALIAN STANDARD 1288 - 2021
- * WINDOW SASH LOCATION AND GLAZING BAR CONFIGURATION TO MANUFACTURERS SPECIFICATIONS
- * OPENING RESTRICTOR TO WINDOW SASHES AS PER Pt 11.3, NCC 2022

NICHIHA FU-GE CLADDING IS USED TO THE OUTER WALLS AS SHOWN ON THE ELEVATIONS. NICHIHA CLADDING IS COMPLIANT WITH THE REQUIREMENTS OF THE NCC AS SHOWN IN THE FOLLOWING DOCUMENTS. NCC COMPLIANCE - Quasar Management Services Pty Ltd, Q09102702-5, 19/05/2010 Codemark Certificate of Conformity - Nichiha Fu-ge Series Cladding System : CM30143 Rev 0 BUSHFIRE COMPLIANCE: Exova Warrington Fire, EWFA Report No. 2593802.2, Issued 09/02/2012

REV	AMENDMENT	BY	DATE
01	DA PLANS	MSS	06.12.2024
02	PRINCIPAL SUITE WINDOW SIZE CHANGE - DESIGN REQUEST	SA	12.12.2024
03	AMENDED DA, NEW SITE APPLIED AS PER SWC	MSS	10.03.2025
04	PCV #2 APPLIED - WALL THICKNESS CHANGES ON GF	SA	14.03.2025
05	DA RFIS + PCV#3: COUNCIL REQUIREMENTS	BM	01.05.2025
06	WET AREA FLOOR WASTES REMOVED EXCL. SHOWER	BM	02.05.2025
07	DA PLAN AMENDED AS PER SWC CIVILS DATED 6.05.25	SA	23.05.2025
08	DA RFI - GROUND FLOOR & FIRST FLOOR SETBACK PLANS	MSS	16.06.2025

ADDRESS:	LOT 3 BLACKBUTTS RD FRENCHS FOREST NSW
	SHAWOOD
	68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 02 8817 1400
	Sekisui House Services (NSW) Pty Limited
	ABN: 42119550220. BL: 226045C.

SECTIONS

FR07		F01	ALTERATION ISSUE
TYPE	ACCOM	FACADE	GENERAL ISSUE
CONTRACT No: NM105562			SHEET DA-14
MASTER DESIGN			MASTER CHECKED
MSS			SCALE: 1:100

WALL CLADDING

N1



Accessories Colour Where Applicable

Down pipes	A/C Conduit
Parapet capping	Meter Box
Rainwater head	Garage Reveals
Post	

Wallaby

N2



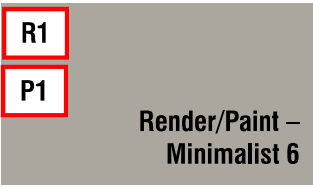
Accessories Colour Where Applicable

Down pipes	A/C Conduit
Parapet capping	Meter Box
Rainwater head	Garage Reveals
Post	

Surfmist

R1

P1



Accessories Colour Where Applicable

Down pipes	Parapet capping
Rainwater head	A/C Conduit
Meter Box	
Garage Reveals	
Post	

Minimalist 6

Shale Grey

R2

P2



Accessories Colour Where Applicable

Down pipes	A/C Conduit
Parapet capping	Meter Box
Rainwater head	Garage Reveals
Post	

Comfort 6

Jasper

B1



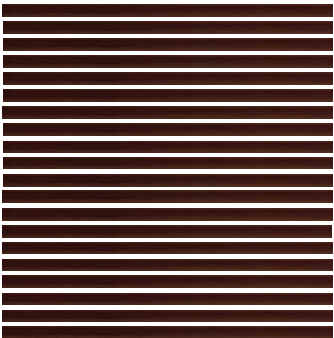
Accessories Colour Where Applicable

Down pipes	Parapet capping
Rainwater head	A/C Conduit
Meter Box	
Garage Reveals	
Post	

Surfmist

Off White Brick Mortar with Ironed Joint

SCREEN



Wuoru Nato

FRONT DOOR



Caramel Teak - KE

ROOFING / WINDOWS & HOODS

Gable / Skillion / Flat Roof Facades
Roof, Roof Vents, Windows, Corner Window, Capping Facia/Barge



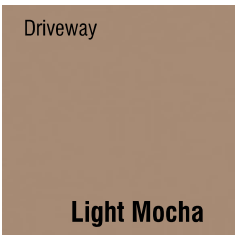
Shale Grey

GARAGE DOOR/ DRIVEWAY



Garage Door
Woodgrain Finish

Surfmist



Driveway

Light Mocha



northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
DEFERRED COMMENCEMENT CONSENT

DA NUMBER: DA2025/0699

(Activation of consent must be obtained
from Northern Beaches Council)