

NatHERS & Basix Thermal Comfort Inclusions
External Walls
100mm Lightweight foam cladding timber stud with R2.7 bulk insulation and plasterboard lining, total system R value R5.47
External Colour
Light (SA < 0.475)
Internal walls
Plasterboard on studs with R2.7 insulation to garage, walls to roof cavity, bathroom and laundry
Plasterboard on studs no insulation required elsewhere
External Floor
Concrete slab on ground, R1.3 underslab insulation
Internal Floor
Suspended concrete floor, R2.3 rigid board insulation where garage below
Floor coverings
Tiles to wet areas, bare to garage, timber elsewhere
Roof and Ceilings
Metal roof with R6.0 insulation and plasterboard lining
External Colour
Light (SA < 0.475)
Ceiling Penetrations
Sealed IC rated LED downlights, one every 5.0m²
Ceiling Fans
1200mm ceiling fans to Bedrooms and Living, 1500mm to Kitchen/Living
Glazing Doors and Windows
Hinged glazed door
U-value: 4.3 (equal to or lower than) SHGC: 0.47 (±5%)
Tilt and turn
U-value: 2.43 (equal to or lower than) SHGC: 0.43 (±5%)
Sliding
U-value: 2.50 (equal to or lower than) SHGC: 0.50 (±5%)
Fixed
U-value: 2.49 (equal to or lower than) SHGC: 0.42 (±5%)
Given values are AFRC total window system values (glass and frame)
Frame colour:
Light (SA < 0.475)
Skylights
Fixed - U value 2.58 SHGC 0.24

BASIX Inclusions Summary

Water Commitments

Fixtures

Showerheads 4 stars (medium flow >6.0 and <= 7.5 litres/min)

Toilet flushing system 4 stars

Kitchen taps 5 stars rating

Bathroom taps 5 stars rating

Alternative water – if required

180m² of harvested roof area connected to rainwater tank, minimum capacity, 2,000L

Rain tank connected to at least one outdoor tap

BASIX Energy Commitments

Hot water system

Electric heat pump

HVAC Heating and cooling

Cooling Single phase air-conditioning to living areas and bedrooms: EER 3.0-3.5

Heating Single phase air-conditioning to living areas and bedrooms: EER 3.0-3.5

Ventilation

Bathrooms – individual fan, externally ducted connected to light, timer off

Kitchen – individual fan, externally ducted manual on/off switch

Laundry room – individual fan, externally ducted manual on/off switch

Other

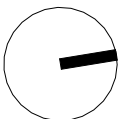
Induction cooktop, electric oven

Alternative energy – if required

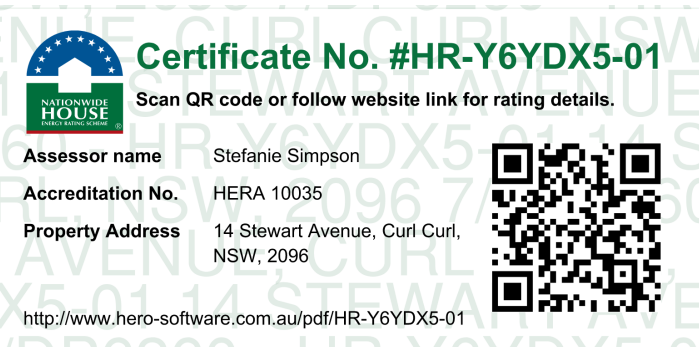
4kW Solar Photovoltaic system

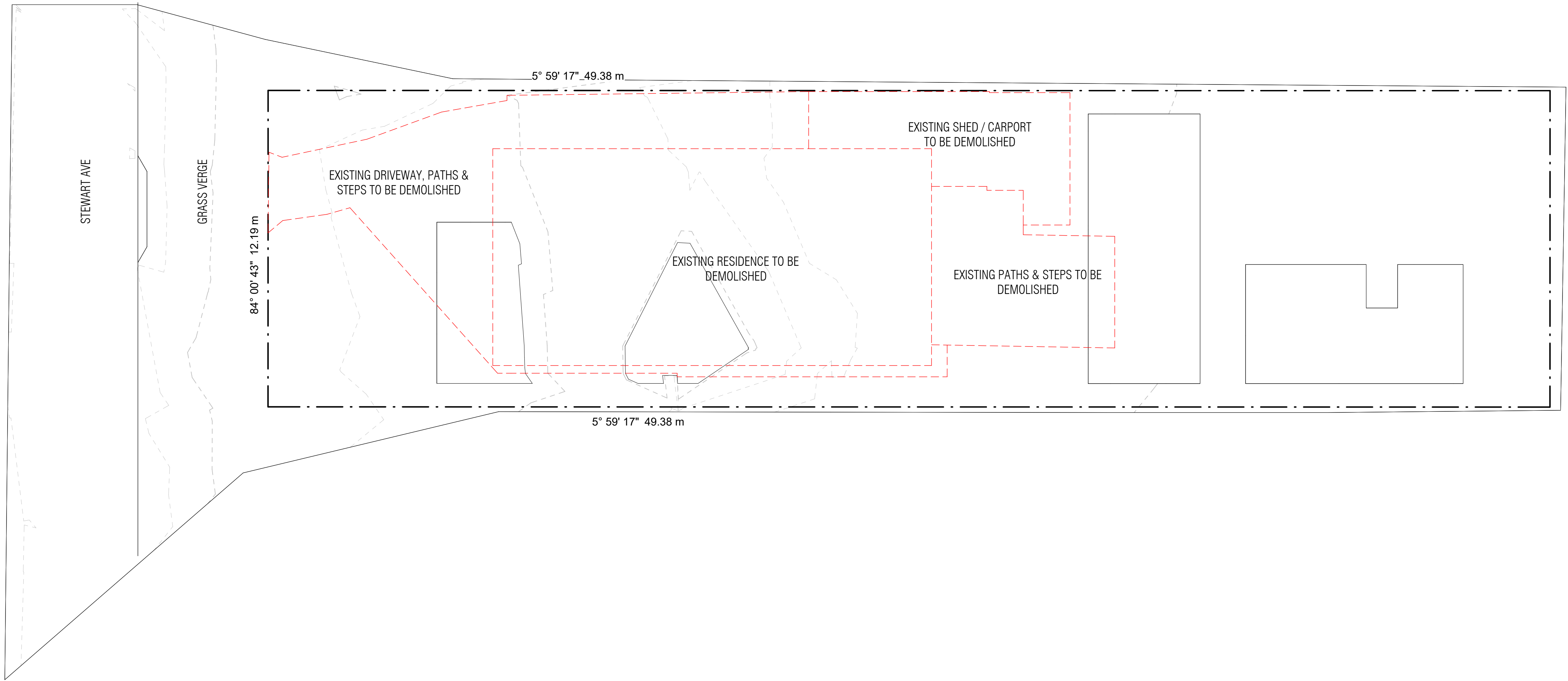
Positioned on Western roof at 2-degree pitch

NO	DRAWING TITLE	SCALE
DA00	DEMOLITION PLAN	100
DA01	EXCAVATION PLAN	100
DA02	WASTE MANAGEMENT PLAN	100
DA10	SITE PLAN	100
DA11	PLANT ROOM	50
DA12	GROUND FLOOR PLAN	50
DA13	FIRST FLOOR PLAN	50
DA14	ROOF PLAN	50
DA20	ELEVATIONS 1	50
DA21	ELEVATIONS 2	50
DA22	MATERIALS SCHEDULE	50
DA30	SECTIONS	50
DA31	DRIVEWAY PLAN & SECTION	50
DA80	WINDOW SCHEDULE	50
DA91	SHADOW DIAGRAMS 21 JUNE	200

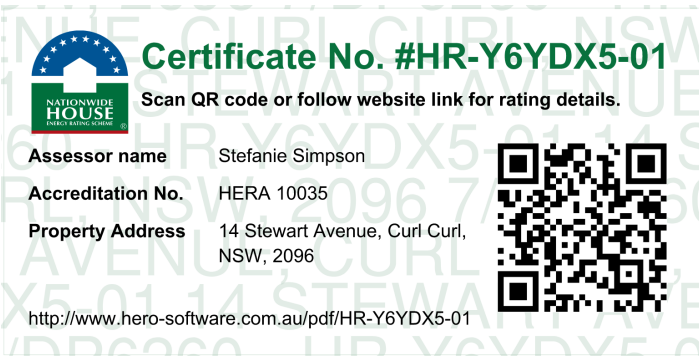
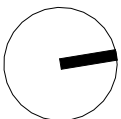


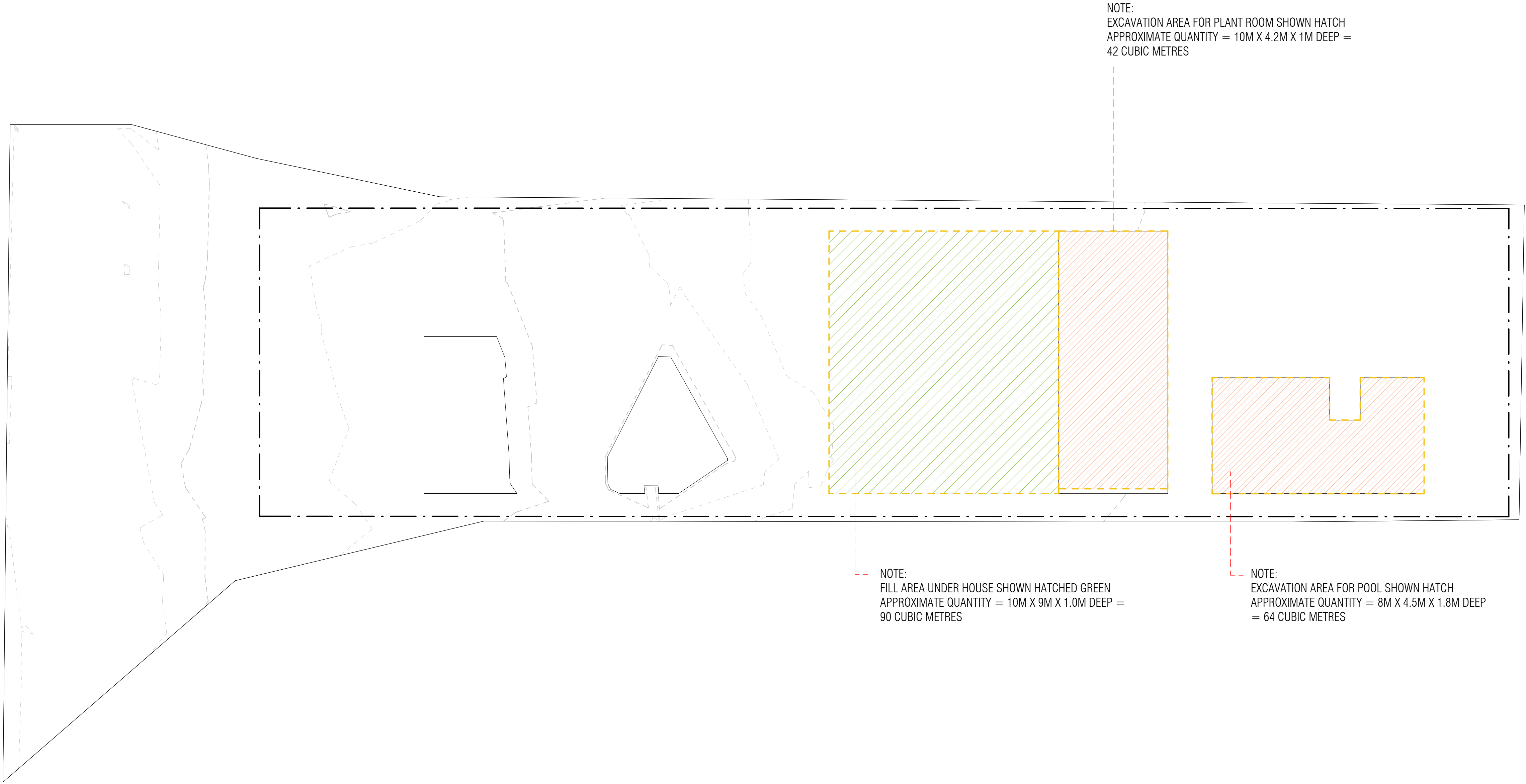
A	DEVELOPMENT APPLICATION	27/08/2025
rev:	issue:	date:





DEMOLITION PLAN
1:100





NOTE:
EXCAVATION AREA FOR PLANT ROOM SHOWN HATCH
APPROXIMATE QUANTITY = 10M X 4.2M X 1M DEEP =
42 CUBIC METRES

NOTE:
FILL AREA UNDER HOUSE SHOWN HATCHED GREEN
APPROXIMATE QUANTITY = 10M X 9M X 1.0M DEEP =
90 CUBIC METRES

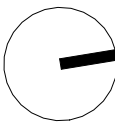
NOTE:
EXCAVATION AREA FOR POOL SHOWN HATCH
APPROXIMATE QUANTITY = 8M X 4.5M X 1.8M DEEP
= 64 CUBIC METRES

EXCAVATION PLAN
1: 100

**Certificate No. #HR-Y6YDX5-01**
Scan QR code or follow website link for rating details.

Assessor name	Stefanie Simpson
Accreditation No.	HERA 10035
Property Address	14 Stewart Avenue, Curl Curl, NSW, 2096

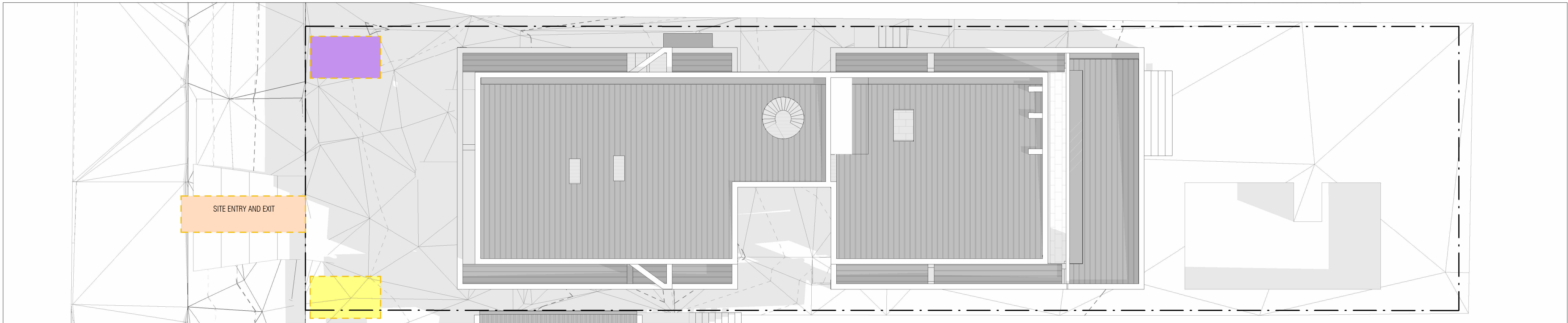

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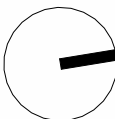
NOTE:
DEMOLITION & CONSTRUCTION WASTE MATERIALS TO BE REMOVED
FROM SITE BY SKIP BIN CONTRACTOR & TAKEN TO KIMBRIKI WASTE
FACILITY WHERE MATERIALS ARE EITHER PROCESSED FOR RECYCLING
OR LANDFILL

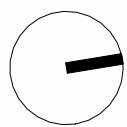
CONSTRUCTION MATERIALS STORAGE
LOCATION

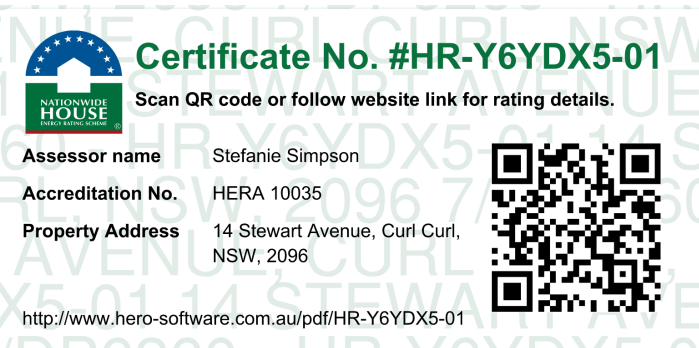
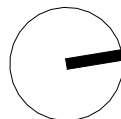
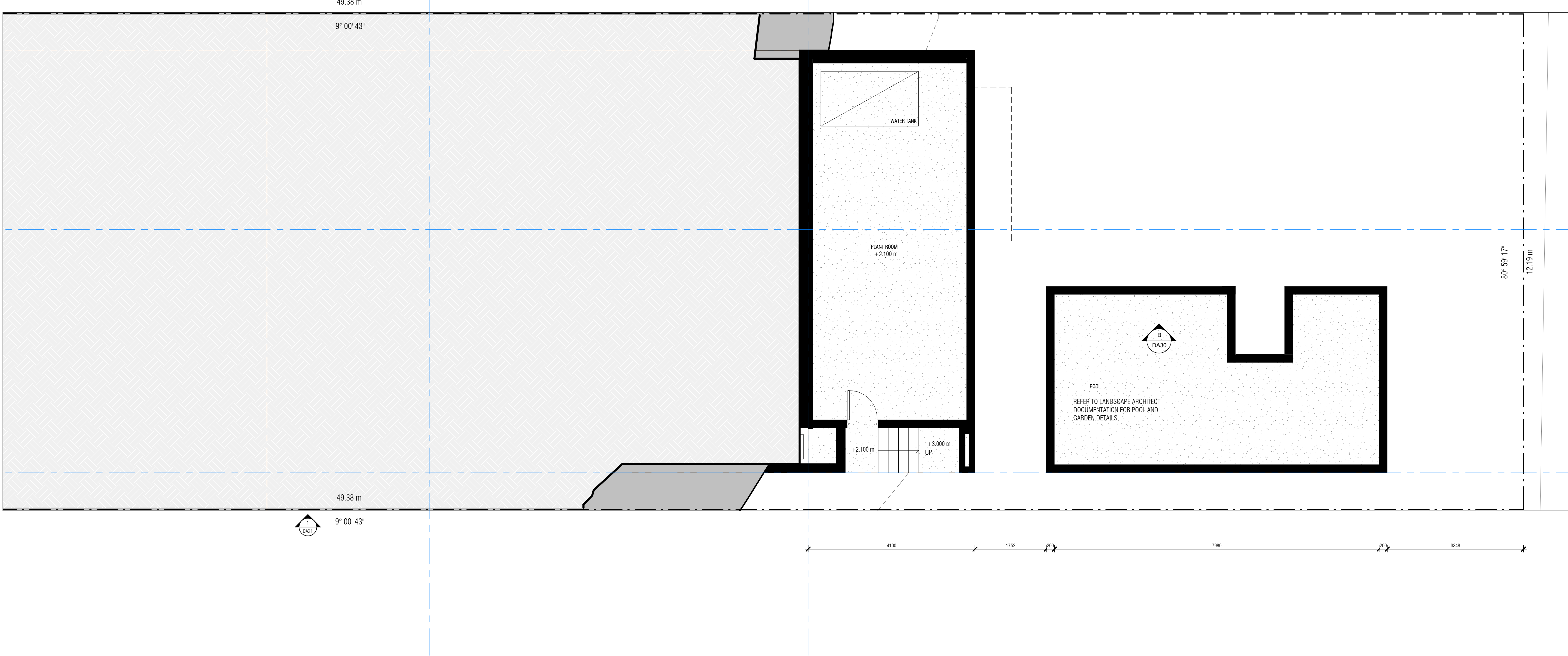


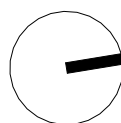
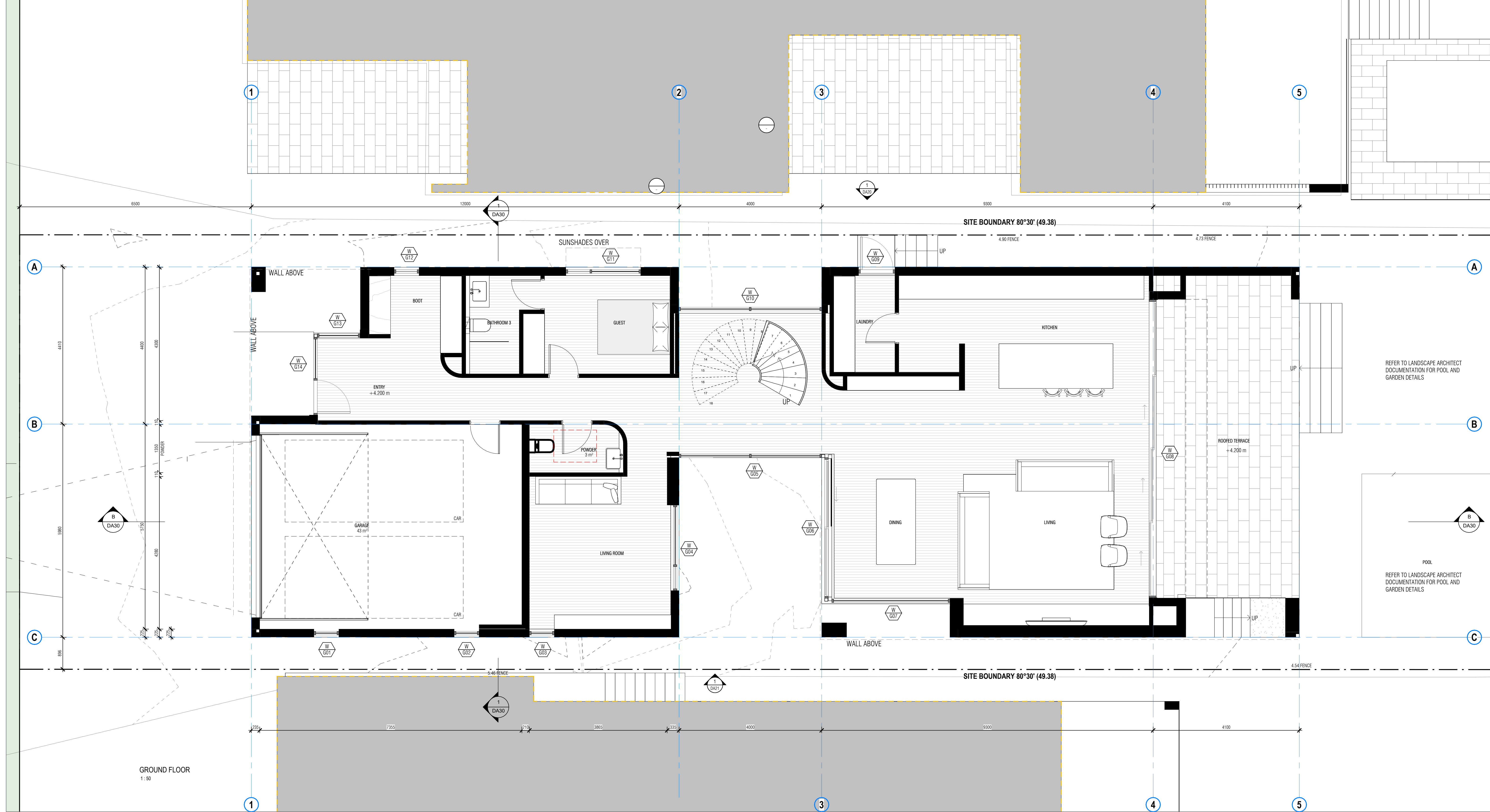
DEMOLITION & CONSTRUCTION
WASTE SKIP BIN 1 LOCATION

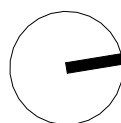
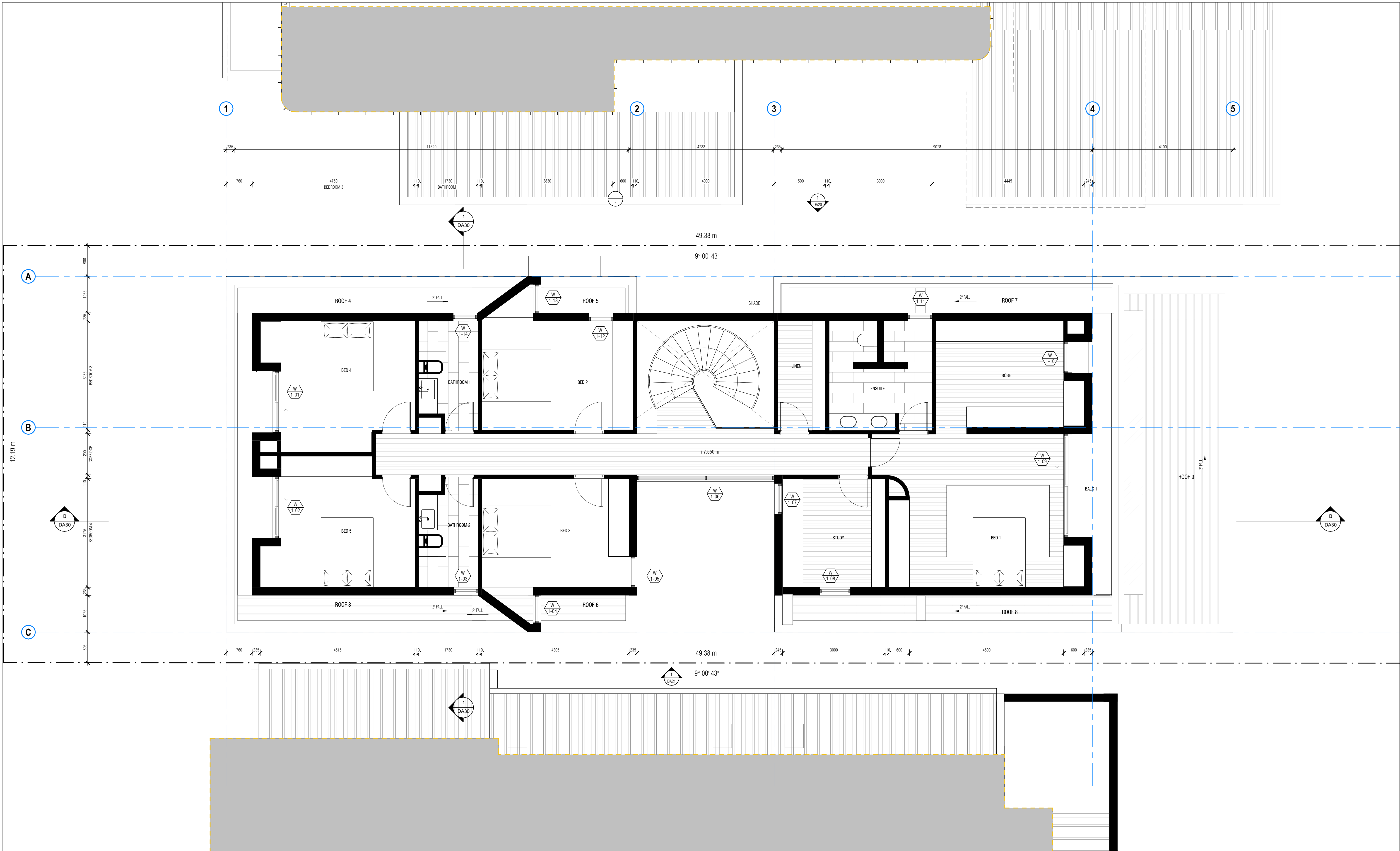
WASTE MANAGEMENT
1 : 100











LEGEND

BG1 BOX GUTTER TYPE 1
RS1 ROOF SHEET TYPE 1

5

4

3

2

1

ROOF 3
23 m²
RS1

ROOF 2
66 m²
RS1

ROOF 1
104 m²
RS1

4Kw (min) SOLAR PANELS

SL

SL

SL

SL

80° 59' 17"
12.19 m

49.38 m

9° 00' 43"

49.38 m

9° 00' 43"

SHADE

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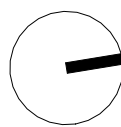
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date: 27/08/2025
project no: 1

drawing no: DA14

issue no: A

ARCHITECTURE
ANDREW COLLINS ARCHITECTURE

PETER COLLINS : 0403 607 337
ANDREW COLLINS : 0403 607 339
Nominated Architect
Andrew Collins NSW #7448



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project:
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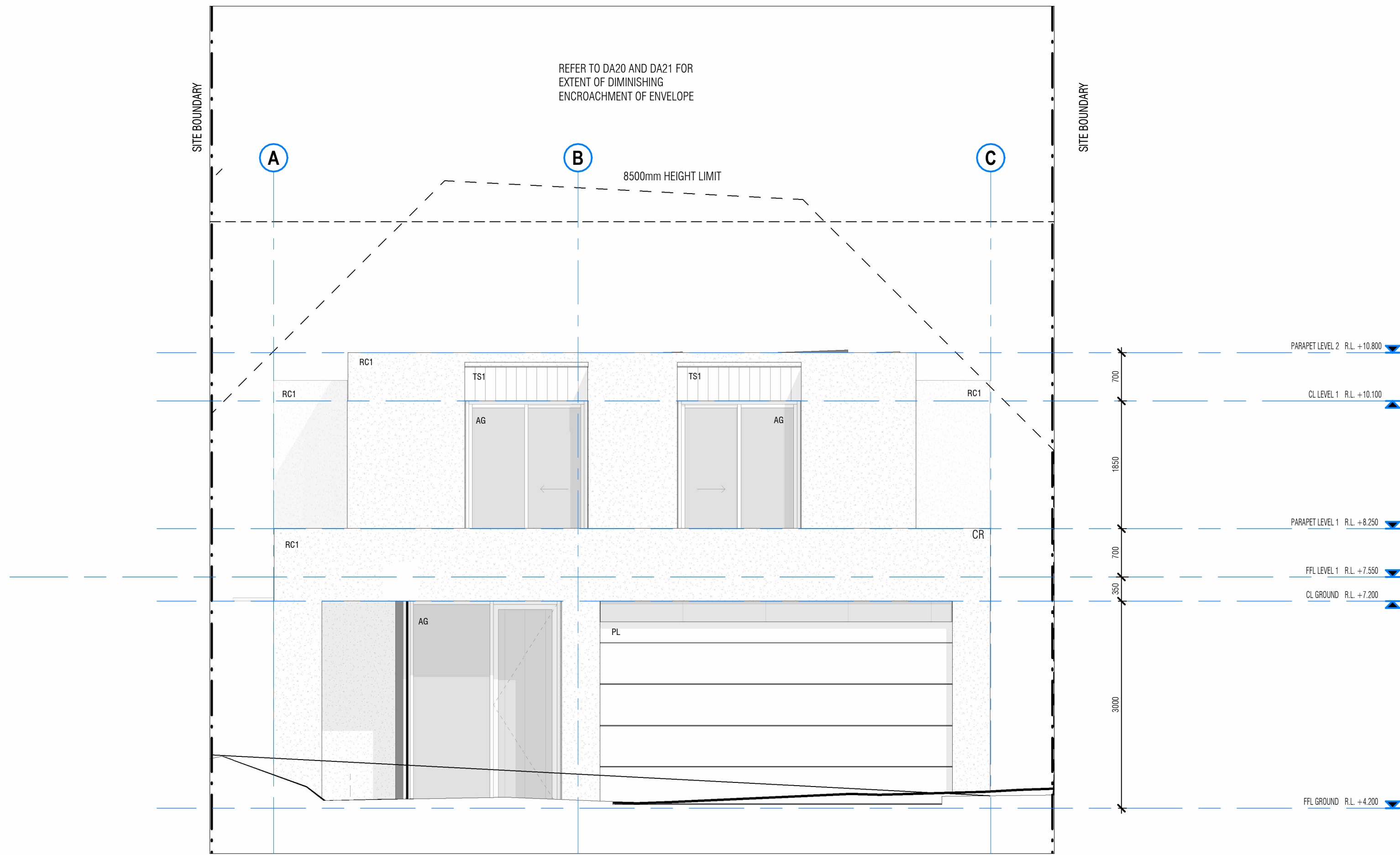
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ROOF PLAN

14 STEWART AVE
CURL CURL, NSW 2096



AD	ALUMINIUM FRAMED GLASS DOOR
AW	ALUMINIUM FRAMED WINDOW
CR	CEMENTED RENDER
GD	GARAGE DOOR
SS	STEEL SUNSHADE
TD	TIMBER DOOR

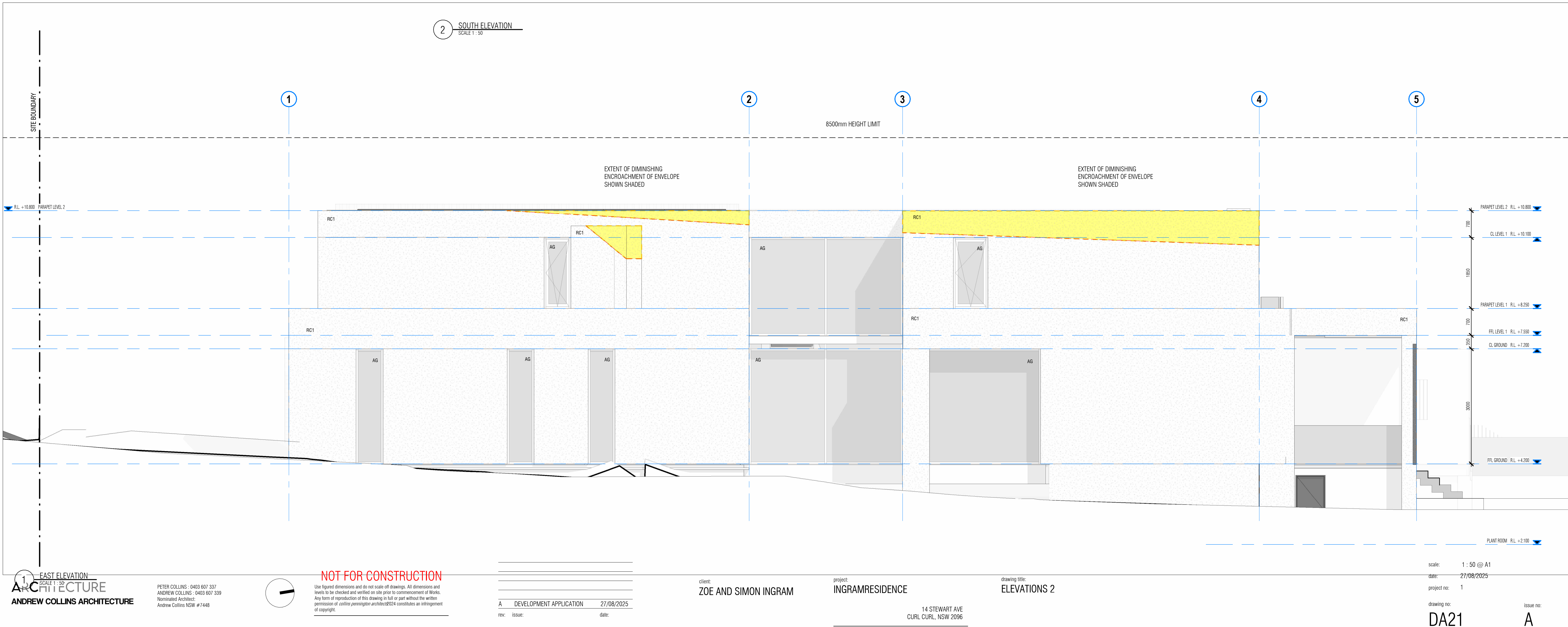




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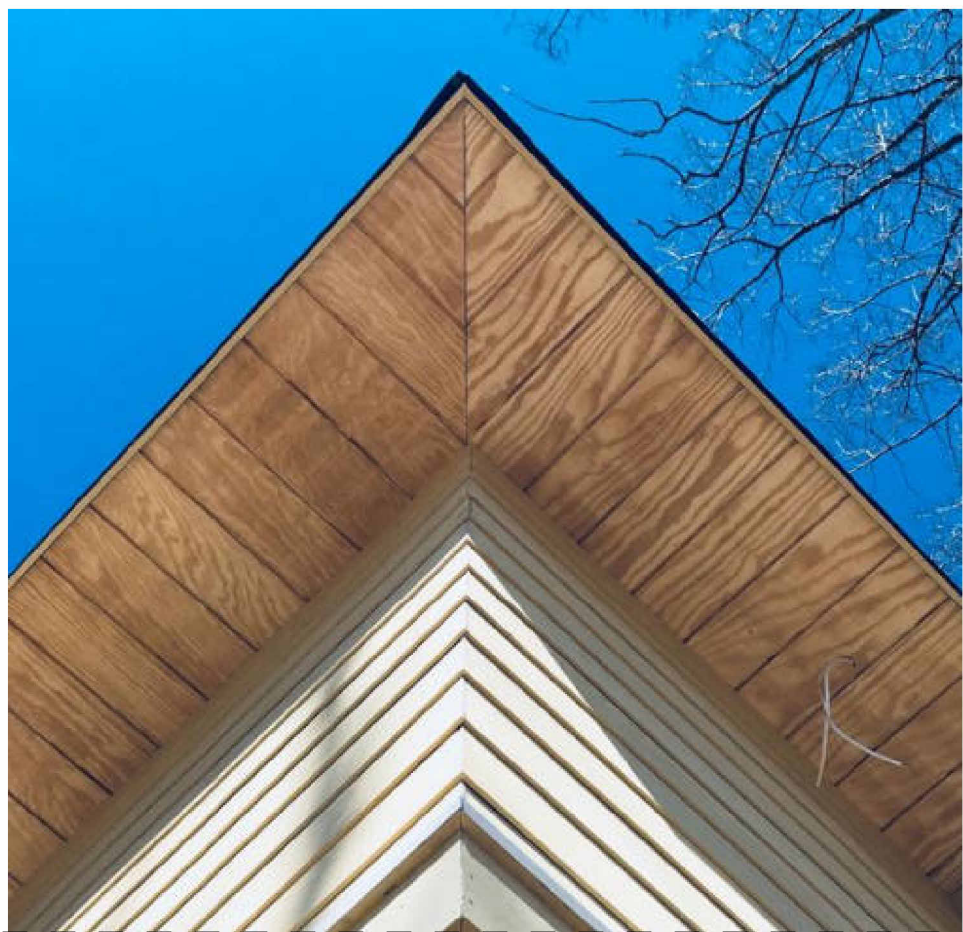
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- PL PANEL LIFT DOOR
- RC1 RENDERED CLADDING TYPE 1
- TS1 TIMBER SOFFIT TYPE 1



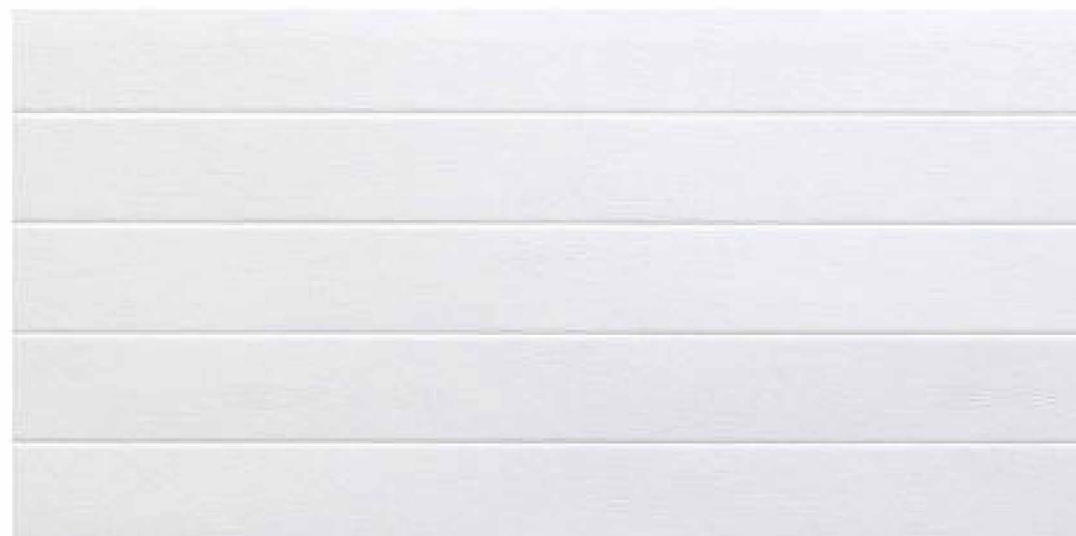
RC1
RENDERED CLADDING
COLOUR - OFF WHITE



AG
ALUMINIUM FRAMED GLAZING
COLOUR - WHITE

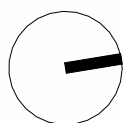


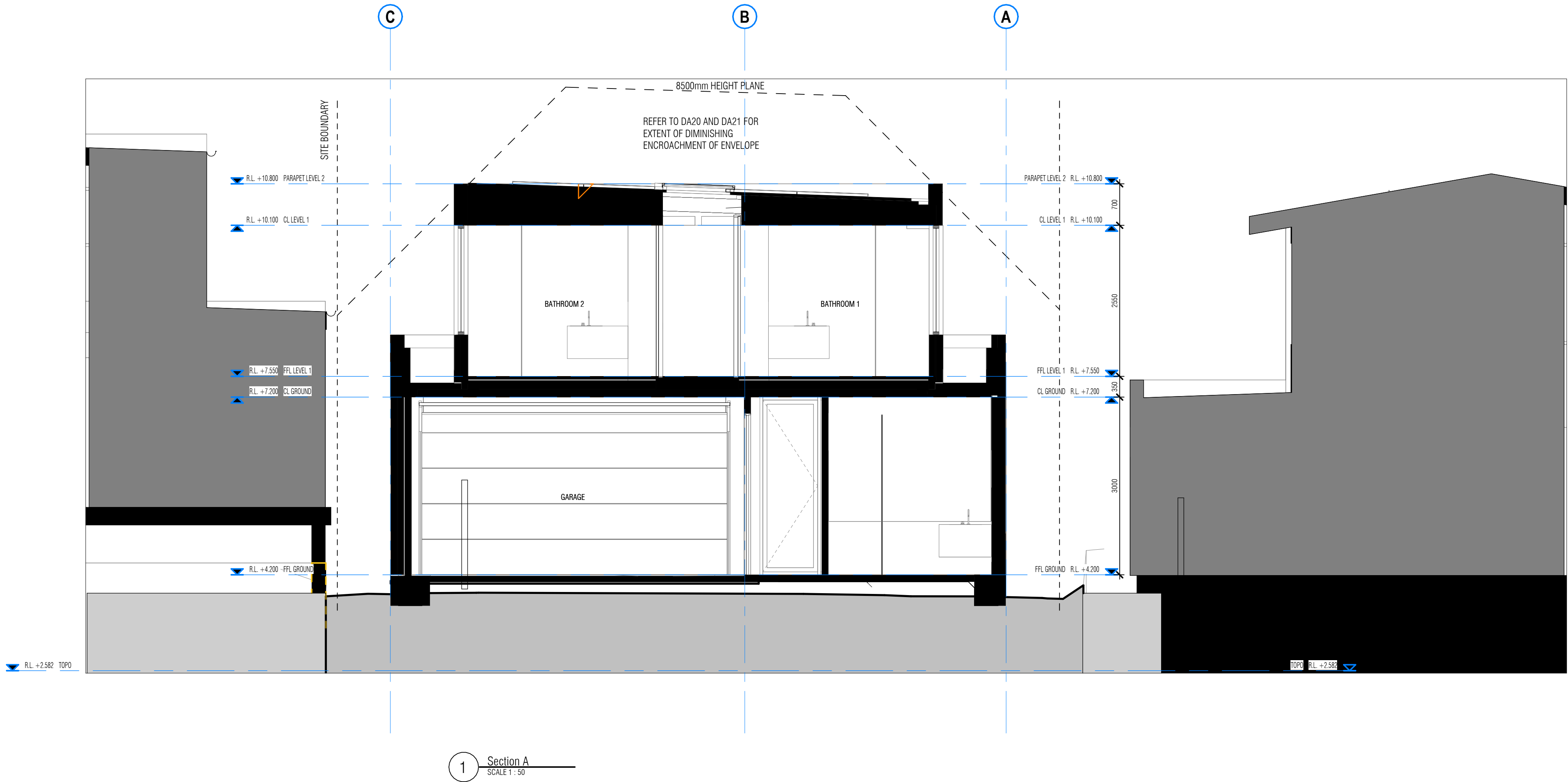
TS1
TIMBER SOFFIT
COLOUR - NATURAL STAIN



PL
PANEL LIFT DOOR
COLOUR - WHITE

MATERIALS
1 : 50

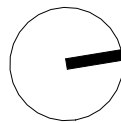
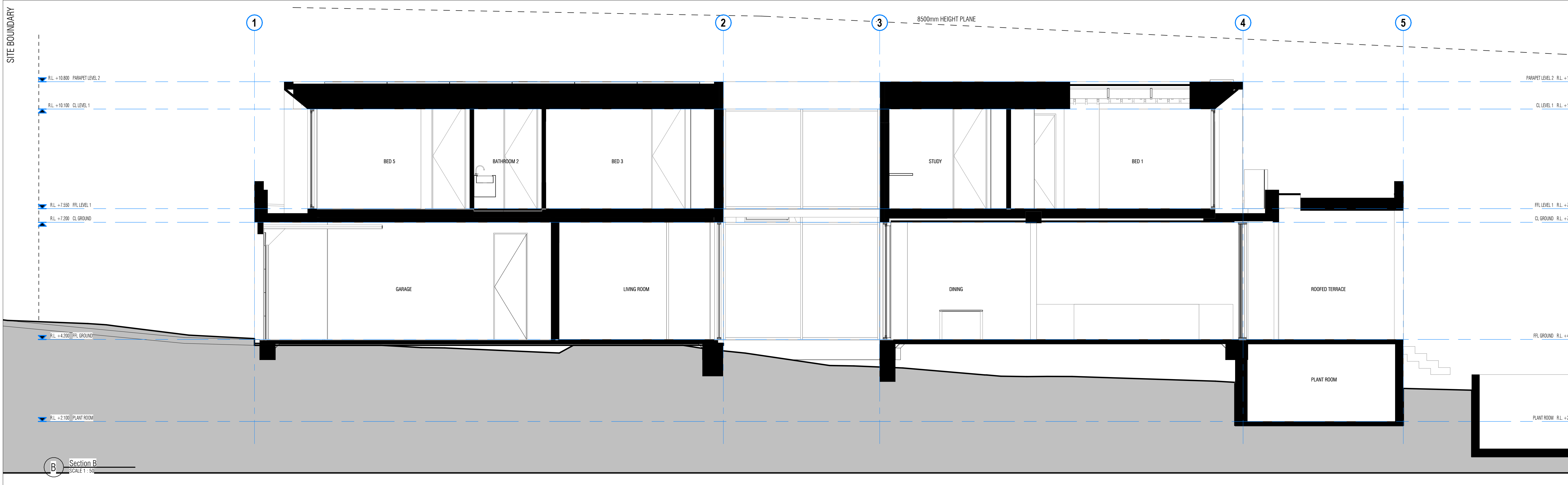


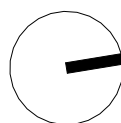
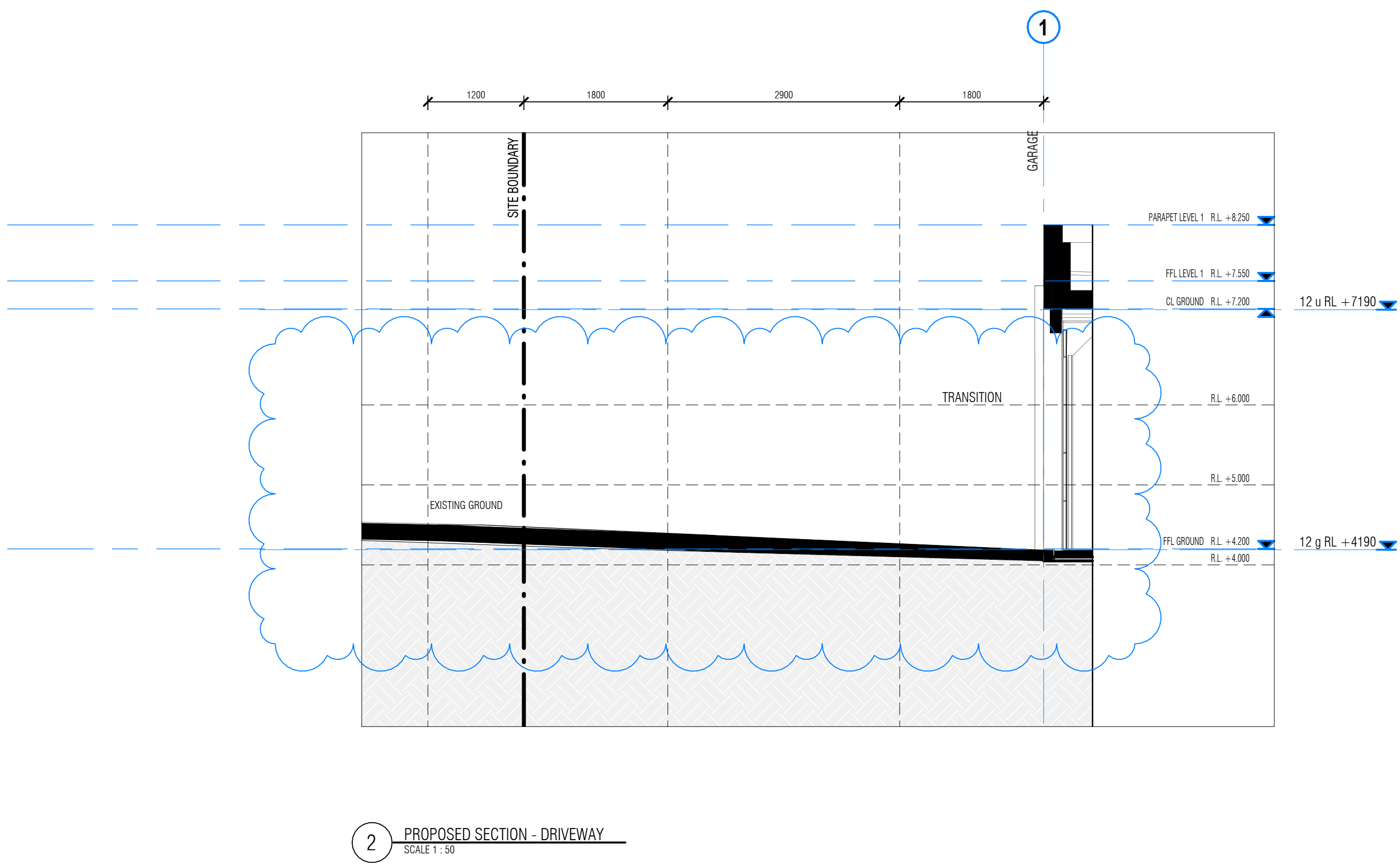
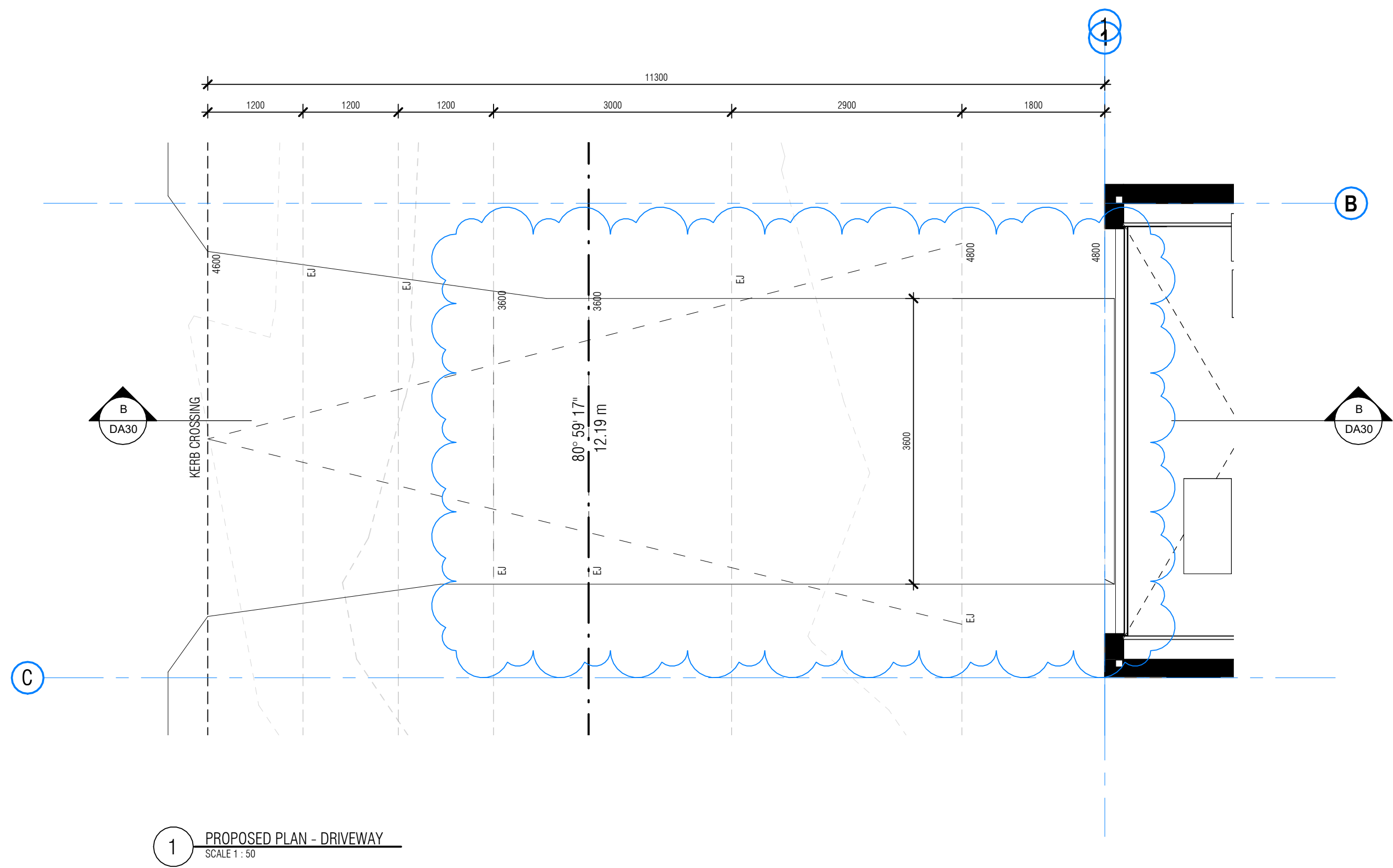


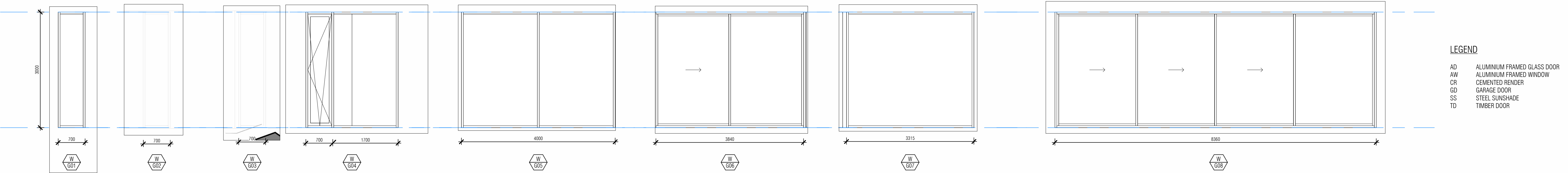
LEGEND

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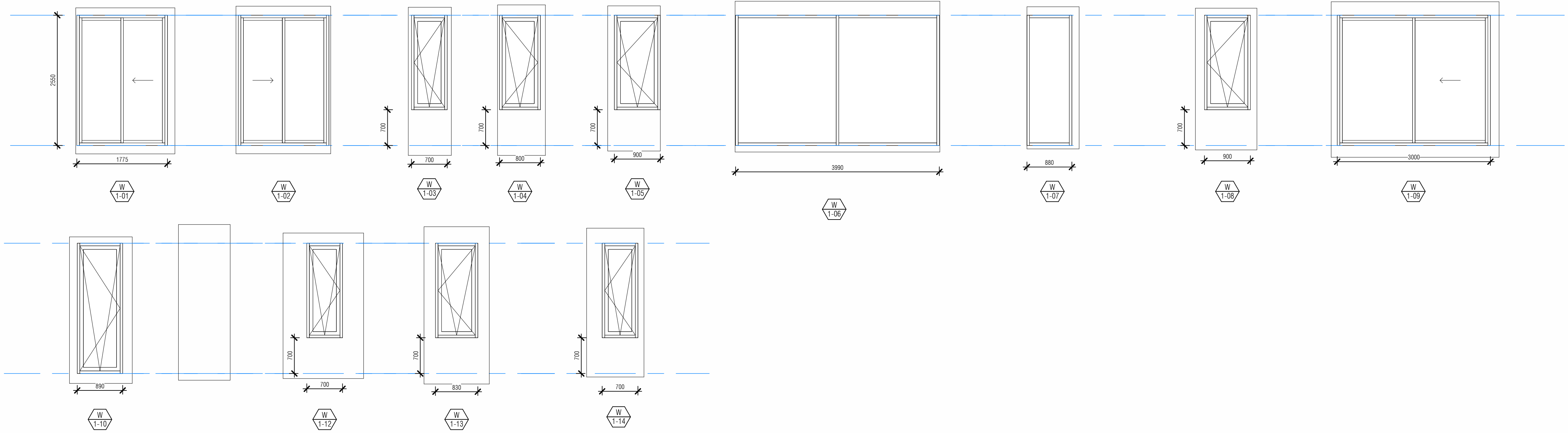
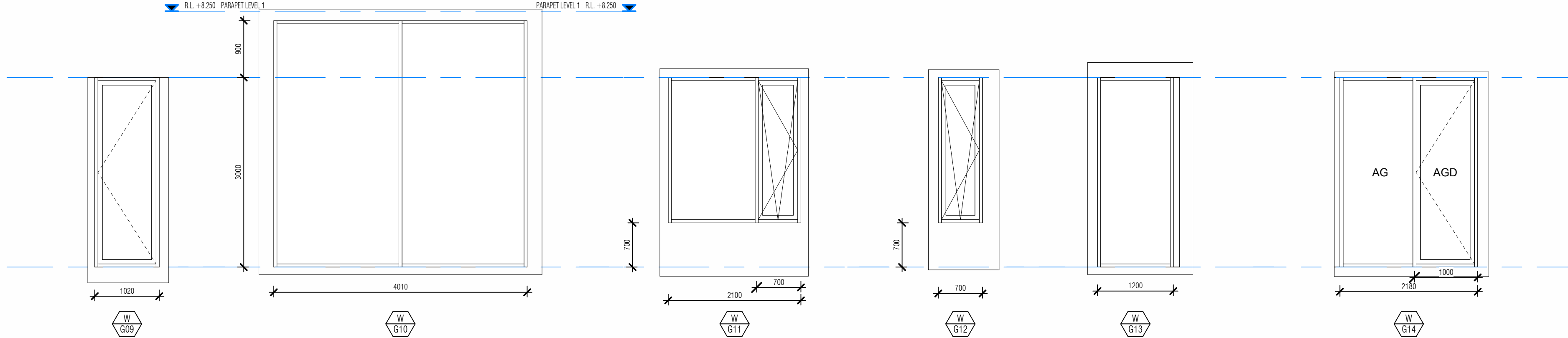
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- LEGEND
- AD ALUMINIUM FRAMED GLASS DOOR
 - AW ALUMINIUM FRAMED WINDOW
 - CR CEMENTED RENDER
 - GD GARAGE DOOR
 - SS STEEL SUNSHADE
 - TD TIMBER DOOR



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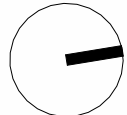
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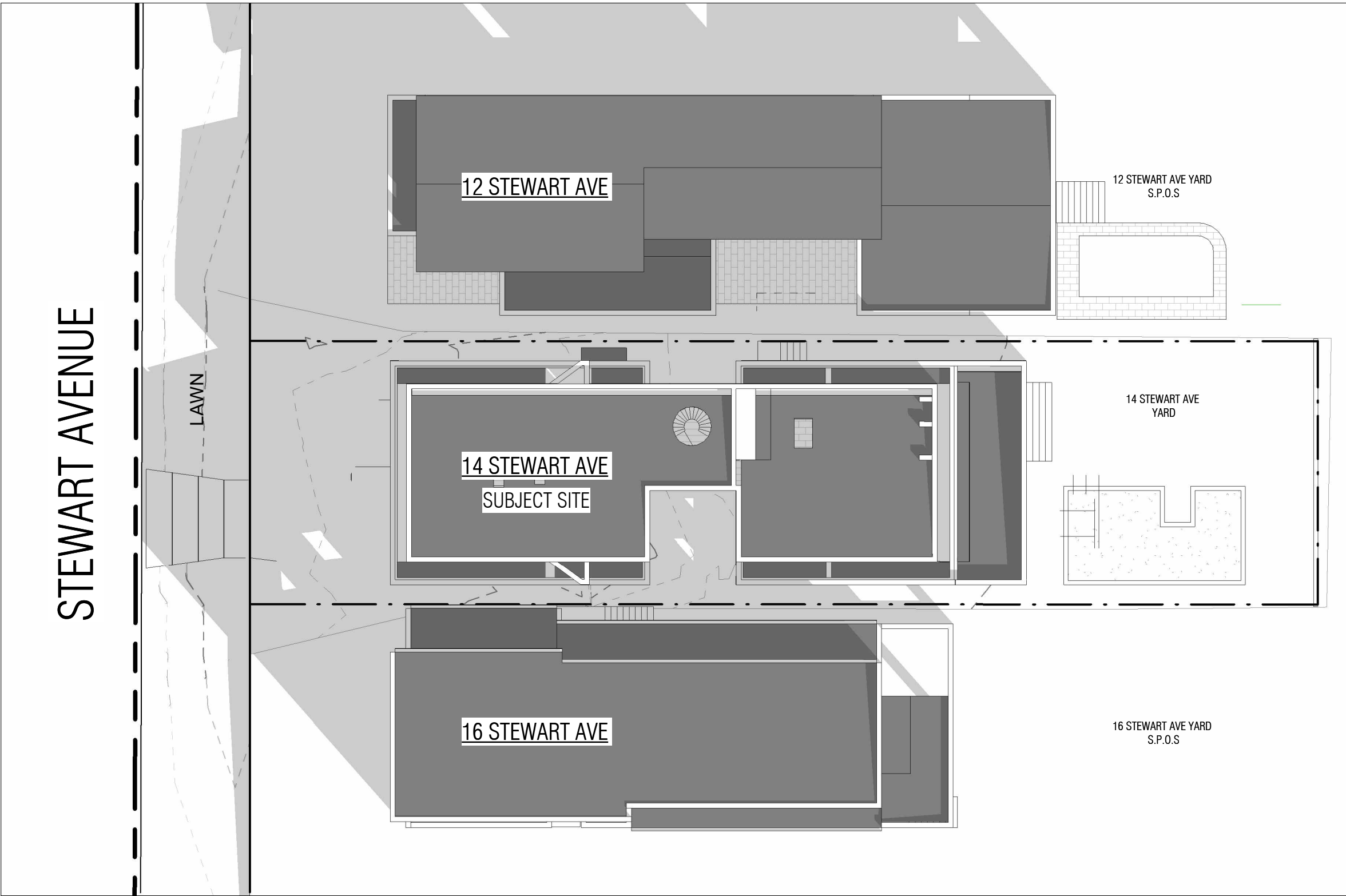
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drawing title:
WINDOW SCHEDULE

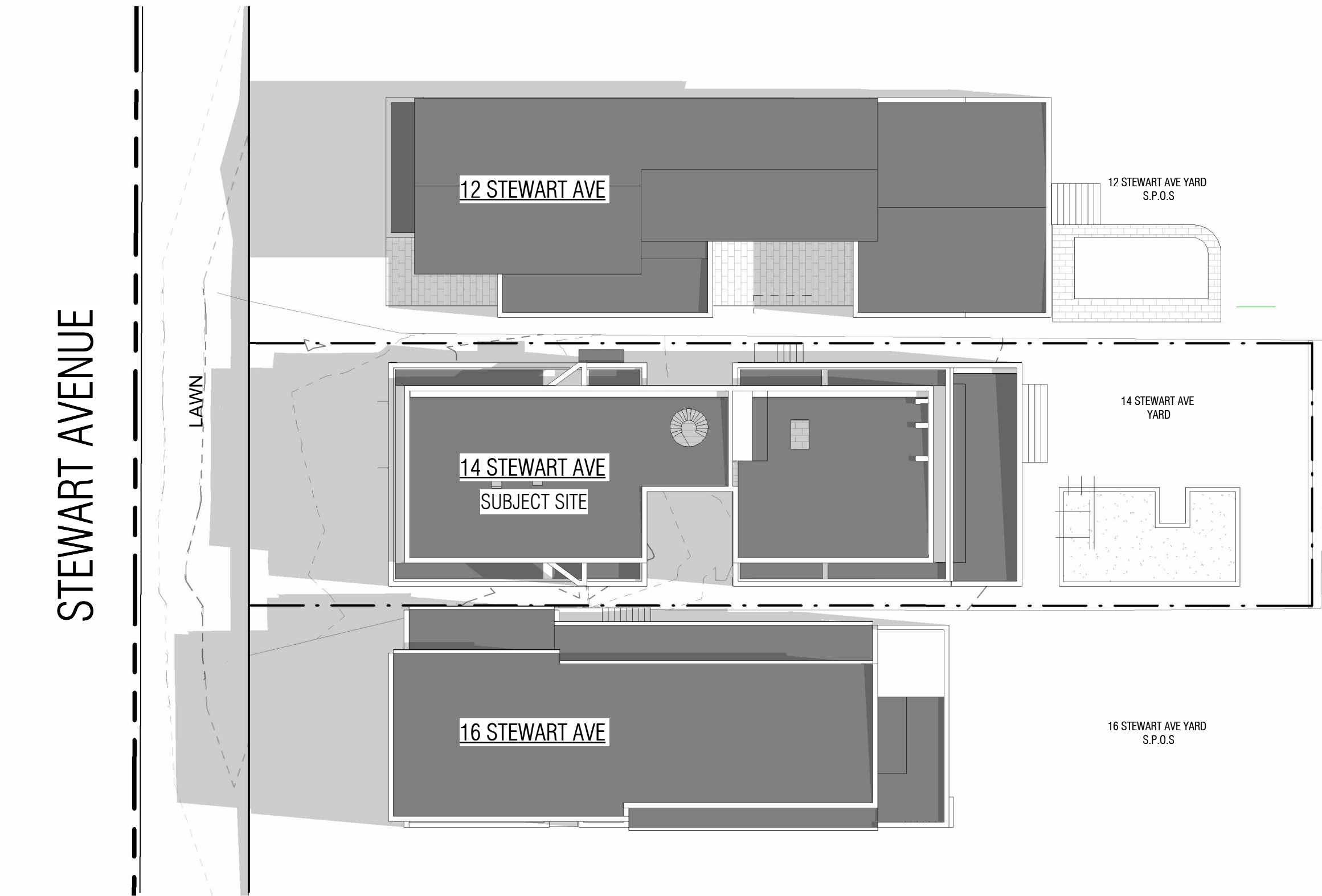
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DA80

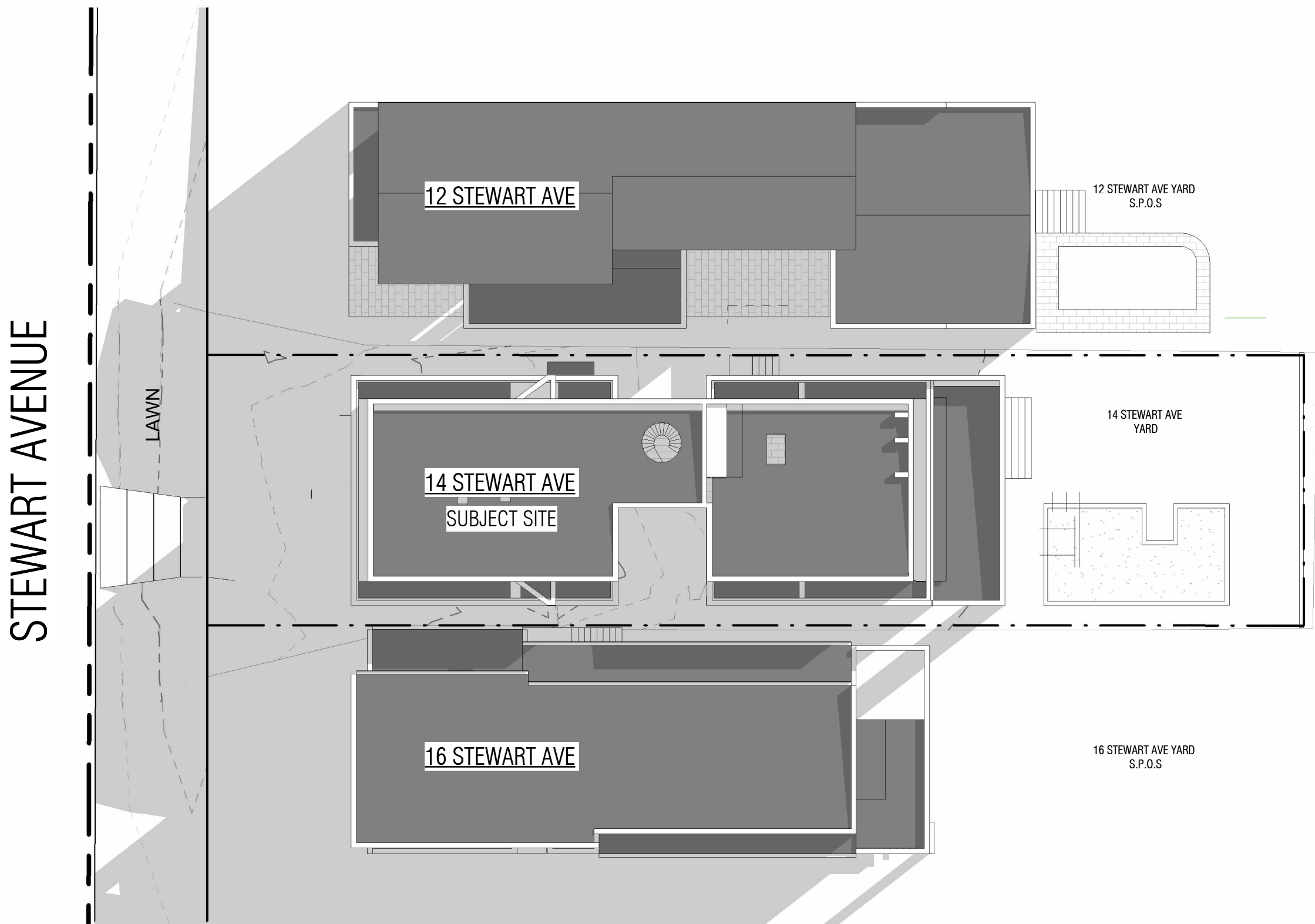
issue no:
A



OVERLAID SHADOW DIAGRAM - 9AM JUN 21
1 : 200



PROPOSED SHADOW DIAGRAM - 12 NOON JUN 21
1 : 200



PROPOSED SHADOW DIAGRAM - 3PM JUN 21
1 : 200

