

DA DRAWINGS

GENERAL SPECIFICATION

(for more detail refer to main Specification provided with CC Documents)

Demolition works to be carried out in accordance with AS 2601.

All general construction to conform to the current NCC 2022-BCA and Local Govt conditions of Development Consent.

All masonry work in accordance with AS 3700.

All roof water and storm-water runoff to be connected to a Council approved system of collection and/or disposal.

All carpentry work to conform to AS1684 for Light Timber Framing.

All pre-fabricated timber trusses and frames to utilize sustainable plantation timbers installed to the manufacturer's detail and specification.

Termite protection to be installed in accordance with AS 3660.1 and the current BCA.

All concrete slabs, retaining walls, structural steel, foundations and footings to be designed & specified by the consulting structural engineer and built strictly in accordance with such details, as approved.

All sewer waste to be connected to the existing mains service in accordance with AS 3500.

Plumbing services to be carried out only by licenced tradespersons and in accordance with AS 3500.3.2, AS 3500.2.2, AS 3500.1.2, AG 601 and other associated standards and codes.

All electrical services to be installed by licenced electricians and in accordance with AS3000. Telecommunications cabling to be installed in accordance with AS/ACIF S009:2000 and associated standards and guidelines. Upgrade safety switches & smoke alarms as required to meet relevant standards.

All insulation to be provided and installed in accordance with AS4859.1, AS3999 (bulk insul'n), AS1904 (foil insul'n) and associated standards and codes.

Contractor to ensure selected tiles, fittings, etc, are appropriate and suitable for each application.

Any proposed variations to the details supplied in these documents must be discussed with and approved by Duktig Design in writing, before the Contractor orders or installs the relevant materials or systems. The Contractor must ensure that all proprietary systems and materials used in the construction of these works will be compatible with the details provided by Duktig Design.

All measurements shown and scheduled are nominal. The contractor shall check all measurements on site before ordering materials and check any anomalies with Duktig Design before proceeding.

Nibs to internal doorways to allow 50mm min. clearance to architrave and where this is not possible discuss approved alternative.

Provide matching insect screens as approved to all opening window sashes.

If shown, louvre windows to be 'Breezeway Altair' units or approved equal.

Provide approved in-built extension controls to operable clerestory windows if shown.

DRAWING REGISTER		Issue Date			
		day	19		
		month	5		
		year	25		
Drawing Number	Drawing Title	Revision			
DA00	Cover Page & Drawing Schedule	A			
DA01	Site analysis	A			
DA02	Site plan	A			
DA03	Lower Ground Floor Plan Existing	A			
DA04	Ground Floor Plan Existing	A			
DA05	Roof Plan Existing	A			
DA06	Lower Ground Floor Plan	A			
DA07	Ground Floor Plan	A			
DA08	First Floor Plan	A			
DA09	Roof Plan	A			
DA10	Existing East and North Elevations	A			
DA11	South and West Elevations	A			
DA12	North and East Elevations	A			
DA14	Section B-B	A			
DA15	Section A-A	A			
DA16	Landscape Calculations	A			
DA17	Concept Landscape Plan	A			
DA18	Shadow Analysis Winter Solistice 9am, 12pm, 3pm	A			
DA19	Shadow Analysis Winter Solistice 9am, 12pm, 3pm	A			
DA20	Shadow Analysis Winter Solistice 9am, 12pm, 3pm	A			
DA21	External Finishes	A			
DA22	Window Schedule	A			
DA23	Model	A			
Document Distribution:					
Client		X			
Builder					
Structural Engineer					
Hydraulic Engineer					
Landsc. Consultant					
Certifier					
Approval Authority		X			
Tenderers					
Type of Issue:					
H	Hard copy sent				
E	Electronic copy sent				
B	Both Hard and Electronic copies sent				



LOCATION PLAN

909 Pittwater Road

Collaroy NSW

A	19/5/2025	Development Application					
No.	Date	REVISION	By	No.	Date	ISSUE	By

DEVELOPMENT APPLICATION DRAWINGS ISSUED FOR APPROVALS ONLY - NOT FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY ARCHITECT. DO NOT SCALE THE DRAWINGS. THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS WITH THE ARCHITECT.

Duktig

Duktig Design Pty Ltd

Cover Page

Studio 2, 118A Sailors Bay Road Northbridge NSW 2063
T+61 466606717
E alex@duktig.com.au

Nominated Architects- Alexandra Warrenen- 12541

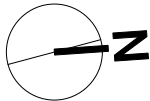
This drawing is copyright of Duktig design. It may not be used without written consent. All our work will be showing our logo and drawings only. No other drawings or work.

© Duktig Design Pty Ltd

909 Pittwater Road Collaroy NSW 2097

909 Pittwater Road Collaroy NSW 2097

Mr Vern and Lynne Jackson



Status
DEVELOPMENT APPLICATION

Project No.

24003

SCALE 1:100

ORIGINAL DRAWING: A1 SIZE. A4 REDUCTION: 35.33%.

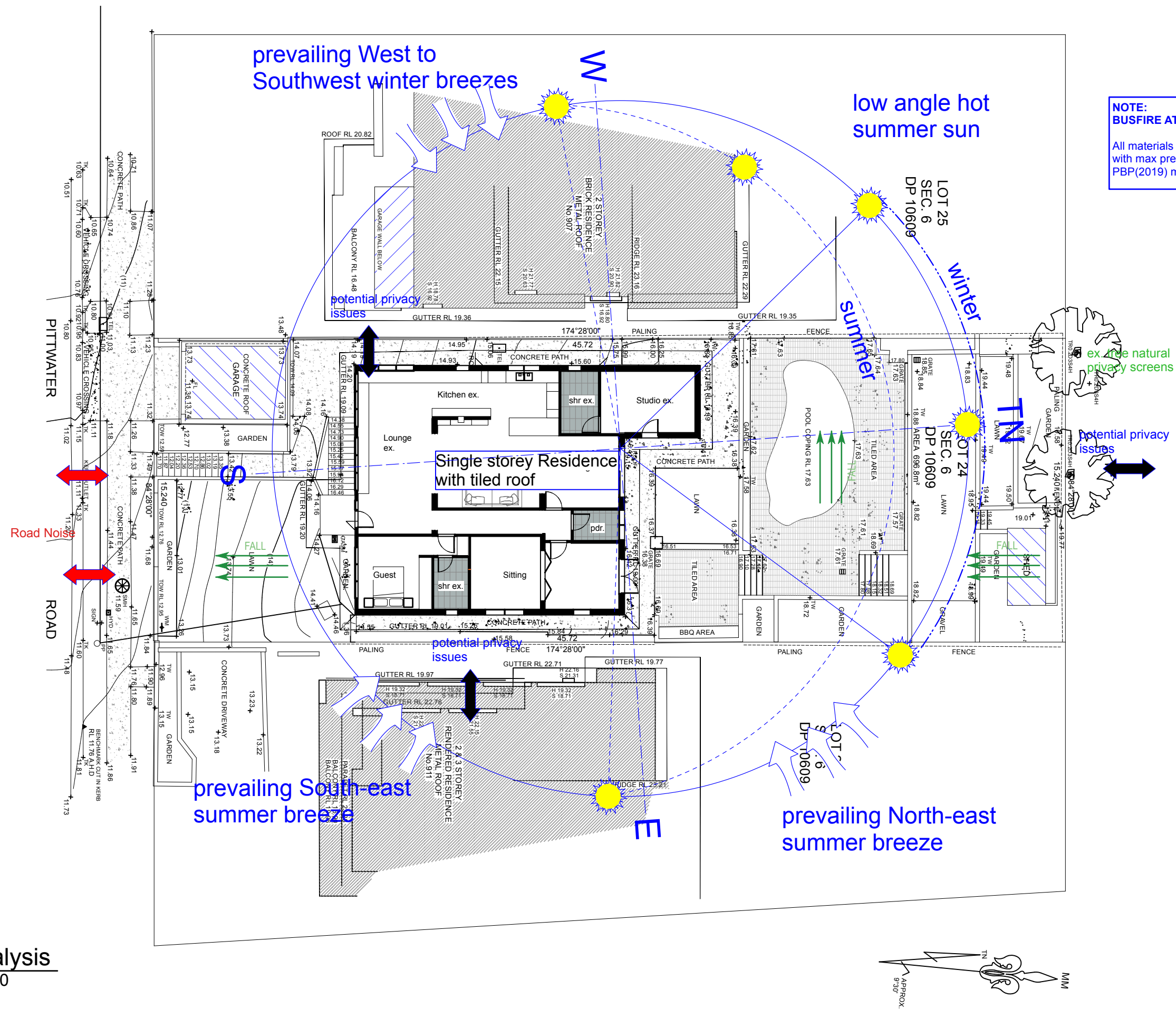
Drawn By | AW Dwg Date: | 19.05.25

Checked By | AW Plot Date: |

CAD File Name | 909 Pittwater Road DA Final 19.05.25.vcx |

Drawing No. Rev #

DA00 A



NOTE:
BUSFIRE ATTACK LEVEL 12.5 & 19

All materials and construction methods and requirements to comply with max predicted BAL as assessed Wayne Tucker using the PBP(2019) method as outlined in AS3959:2018.

ex. tree natural
privacy screens

potential privacy issues

Single storey Residence
with tiled roof

potential privacy issues

prevailing South-east
summer breeze

prevailing North-east
summer breeze

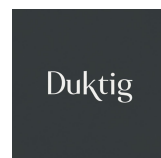
1

Site Analysis

Scale: 1:200

A	19/5/2025	Development Application				
No.	Date	REVISION	By	No.	Date	ISSUE

DEVELOPMENT APPLICATION DRAWINGS ISSUED FOR APPROVALS ONLY - NOT FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY ARCHITECT. DO NOT SCALE THE DRAWINGS. THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS WITH THE ARCHITECT.



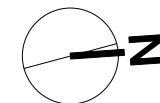
Dukting Design Pty Ltd

Site Analysis

909 Pittwater Road Collaroy NSW 2097

909 Pittwater Road Collaroy NSW 2097

Mr Vern and Lynne Jackson



Status
DEVELOPMENT APPLICATION
SCALE 1:100

Drawn By	AW	Dwg Date:	19.05.25
Checked By	AW	Plot Date:	
CAD File Name	909 Pittwater Road DA Final 19.05.25.vwx		

Subject No.
4003

Drawing No. _____ Rev # _____

A01 A

PRESERVE AND PROTECT ALL PROPERTY, SERVICES, ROAD AND FOOTPATH FINISHES. PROVIDE A DETAILED DILAPIDATION REPORT PRIOR TO COMMENCEMENT ON SITE TO COUNCIL AND THE ARCHITECT. MAKE GOOD ANY DAMAGE RESULTING FROM CONSTRUCTION OF THE WORKS AT NIL COST TO THE PROPRIETOR.

existing driveway and cross-over proposed to be relocated in accordance with Council requirements & AS 2890.1 as per engineers details.

- NOTE: BASIX & NCC
- 1) Smoke alarms compliant with AS3786/2023. Smoke alarm to be installed in accordance with Parts 9.5.2 & 9.5.4 of the NCC ABCB Housing Provisions
 - 2) Windows to be protected from childhood falls in accordance with Part 11.3 of the NCC ABCB Housing provisions
 - 3) All surface water run off from uncovered new paved areas shall be directed away from neighbours properties & connected into the drainage system where possible.
 - 4) Privacy screens provided to any part of a window to a habitable room in accordance with Clause 3.15 of the SEPP code if applicable
 - 5) All new showerheads, toilets and taps to have minimum 3 star rating.
 - 6) Hot water system to solar electric boosted hot water unit as outlined in BASIX Certificate.
 - 7) All glazing and screening devices to windows in accordance with Basix Certificate.
 - 8) Minimum 40% of new or altered lighting fixtures to be fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
 - 9) Concrete slab on ground with in slab heating system. R1.0 (slab edge)
 - 10) Suspended floor to have minimum insulation value of R0.8 down or R1.5 including construction
 - 11) Raked ceiling R 1.24 (up), roof foil backed blanket (100mm) and medium (solar absorbance 0.475-0.70).
 - 12) External framed wall (metal/weatherboard clad) R1.3 (or R1.7 including construction)
 - 13) All glass balustrades, barriers and handrails to comply with AS1288 Section 7 and Part 11.3 of the ABCB Housing Provisions
 - 14) Wall Dimensions are exclusive of cladding thickness or plasterboard
 - 15) All works to comply with NCC Housing Provisions and applicable Australian Standards.

NOTE:-

REFER TO LANDSCAPE PLAN FOR ALL LANDSCAPE WORKS.

PROVIDE ALL NECESSARY TEMPORARY SUPPORT FOR EXISTING STRUCTURES TO BE RETAINED OR MAINTAINED. ALLOW FOR ANY ENGINEERING COSTS ASSOCIATED WITH THE PROVISION OF SUCH STRUCTURES.

NOTE:

Colorbond standing seam cladding, such as Lysaght SNAPSEAM™ or equivalent and fibre cement cladding, shall be installed in accordance with BAL-12.5 & 19 requirements, featuring non-combustible 0.55mm-0.75mm steel, concealed fixings, ≤3mm joint gaps, non-combustible sarking, ember-resistant mesh (≤2mm aperture) for vents, and fire-rated sealants at junctions, ensuring compliance with AS 3959:2018 and NCC regulations.

All materials and construction methods and requirements to comply with max predicted BAL as assessed Wayne Tucker using the PBP(2019) method as outlined in AS3959:2018.

- WALL TYPES:-
- 90mm Stud frame wall. Insulation as spec for external walls.
 - 130mm feature cladding and timber stud wall
 - New brick/block walls.
 - Existing brick walls.

1 Site Plan
Scale: 1:200

No.	Date	REVISION	By	No.	Date	ISSUE	By
A	19/5/2025	Development Application					

DEVELOPMENT APPLICATION DRAWINGS ISSUED FOR APPROVALS ONLY - NOT FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY ARCHITECT. DO NOT SCALE THE DRAWINGS. THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS WITH THE ARCHITECT.



Duktig Design Pty Ltd

Studio 2, 138A Sailors Bay Road Northbridge NSW 2063
T: +61 466606717
E: alex@duktig.com.au

Nominated Architects: Alexandra Warrenen: 12541

This drawing is copyright of Duktig Design. It may not be used without written consent. We warrant that this drawing complies with all applicable laws and regulations.

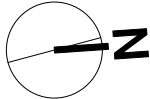
© Duktig Design Pty Ltd

Site Plan

909 Pittwater Road Collaroy NSW 2097

909 Pittwater Road Collaroy NSW 2097

Mr Vern and Lynne Jackson



Status
DEVELOPMENT APPLICATION

SCALE
1:100

ORIGINAL DRAWING: AT A3 SIZE. A4 REDUCTION: 35.35%.

Drawn By	AW	Dwg Date:	19.05.25
Checked By	AW	Plot Date:	
CAD File Name	909 Pittwater Road DA Final 19.05.25.vex		

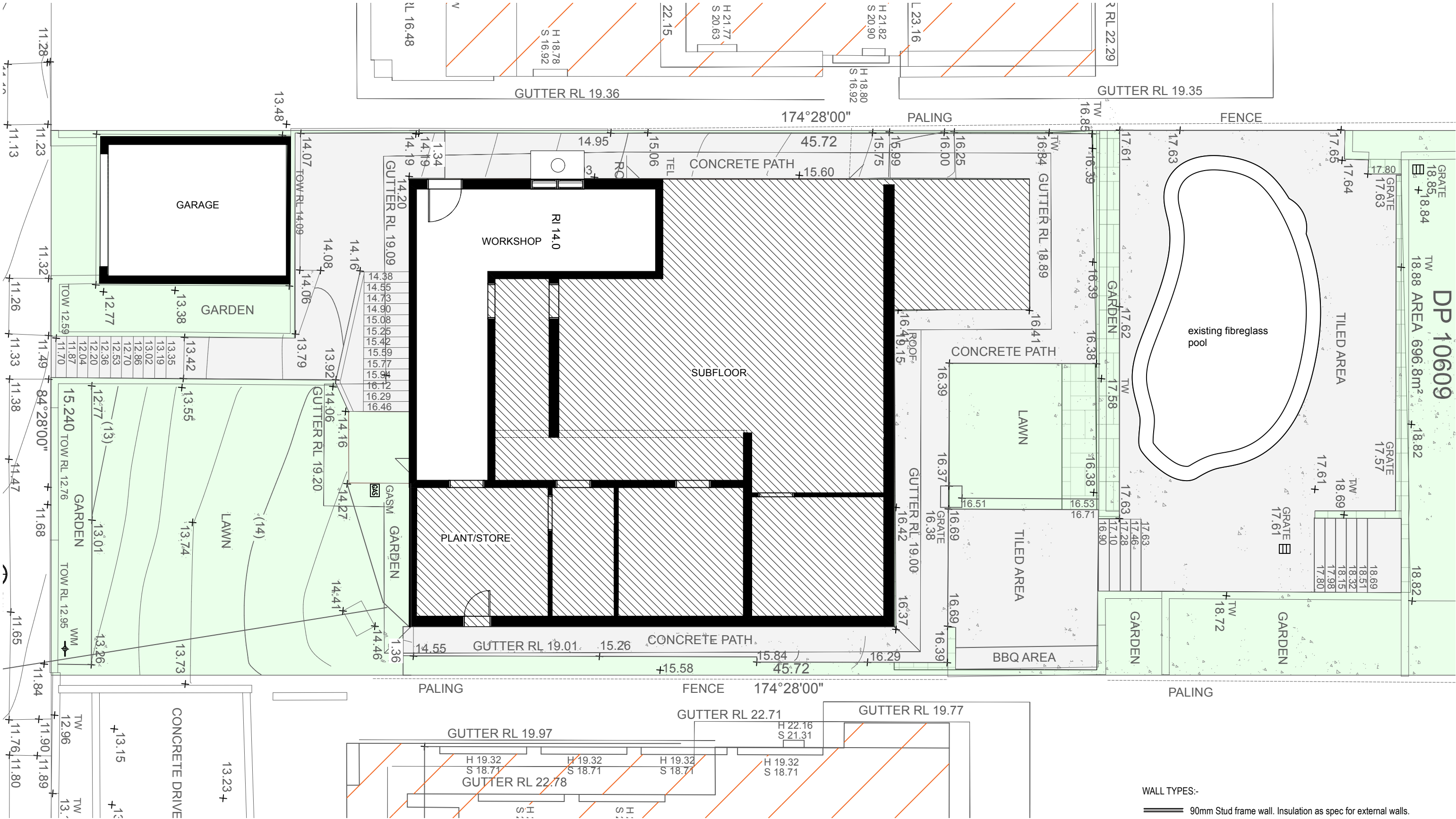
Project No.

24003

Drawing No.

Rev #

DA02 A



- WALL TYPES:-
- 90mm Stud frame wall. Insulation as spec for external walls.
 - 130mm feature cladding and timber stud wall
 - New brick/block walls.
 - Existing brick walls.

Lower Ground Existing

Scale: 1:100

A		19/5/2025	Development Application						
No.		Date	REVISION	By	No.	Date	ISSUE	By	

DEVELOPMENT APPLICATION DRAWINGS ISSUED FOR APPROVALS ONLY - NOT FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY ARCHITECT. DO NOT SCALE THE DRAWINGS. THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS WITH THE ARCHITECT.



Duktig Design Pty Ltd

Studio 2, 118A Sailors Bay Road Northbridge NSW 2063
T +61 466606717
E alex@duktig.com.au

Nominated Architects- Alexandra Warrenen- 12541

This drawing is copyright of Duktig design. It may not be used without written consent. We warrant that this drawing contains no errors or omissions or any.

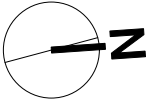
©Duktig Design Pty Ltd

Lower ground floor plan existing

909 Pittwater Road Collaroy NSW 2097

909 Pittwater Road Collaroy NSW 2097

Mr Vern and Lynne Jackson



Status
DEVELOPMENT APPLICATION

SCALE 1:100

ORIGINAL DRAWING: A3 SIZE. A4 REDUCTION: 35.35%.

Drawn By | AW Dwg Date: | 19.05.25

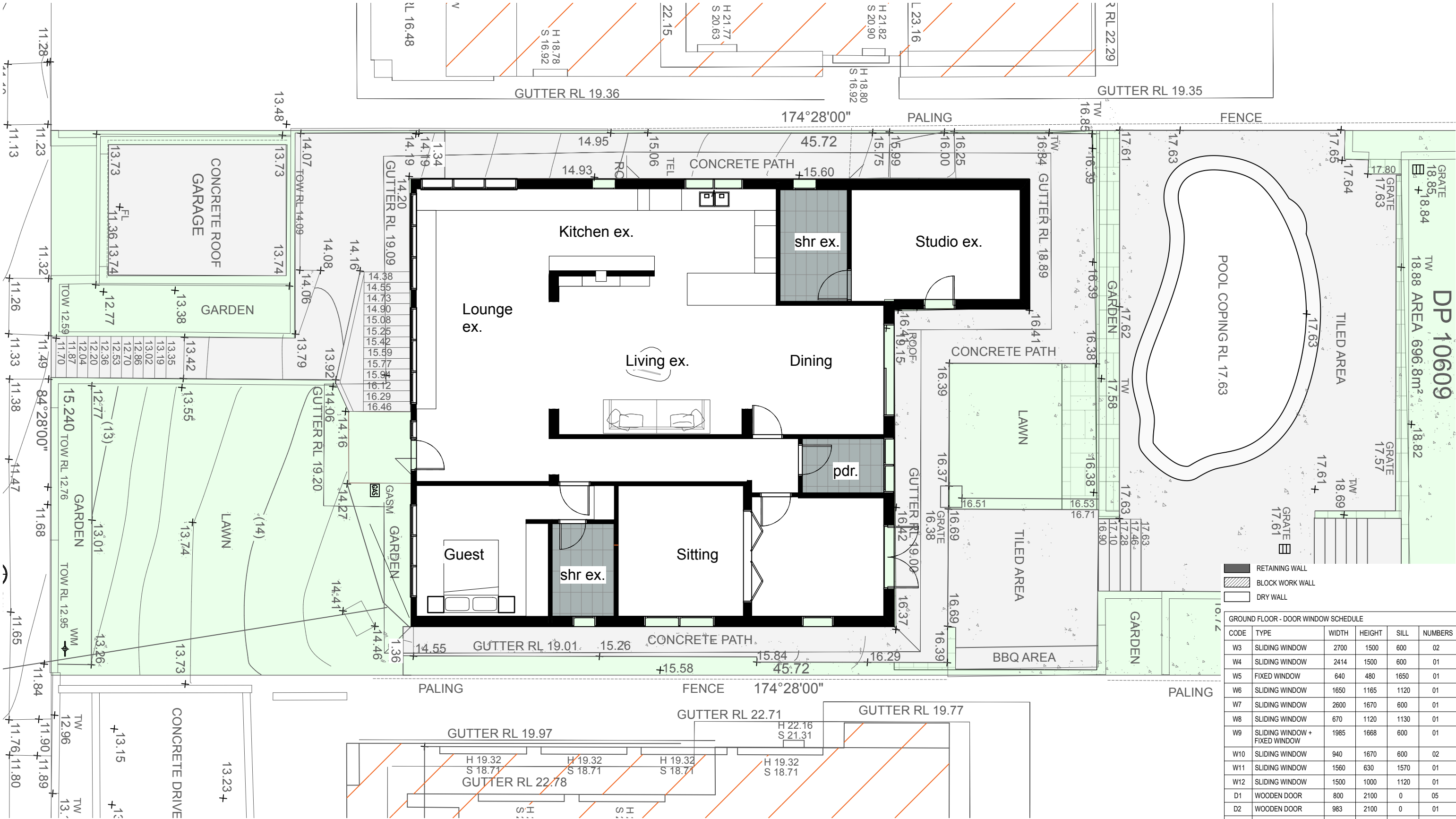
Checked By | AW Plot Date: |

CAD File Name | 909 Pittwater Road DA Final 19.05.25.vex |

Project No.
24003

Drawing No. Rev #

DA03 A



GROUND FLOOR - DOOR WINDOW SCHEDULE					
CODE	TYPE	WIDTH	HEIGHT	SILL	NUMBERS
W3	SLIDING WINDOW	2700	1500	600	02
W4	SLIDING WINDOW	2414	1500	600	01
W5	FIXED WINDOW	640	480	1650	01
W6	SLIDING WINDOW	1650	1165	1120	01
W7	SLIDING WINDOW	2600	1670	600	01
W8	SLIDING WINDOW	670	1120	1130	01
W9	SLIDING WINDOW + FIXED WINDOW	1985	1668	600	01
W10	SLIDING WINDOW	940	1670	600	02
W11	SLIDING WINDOW	1560	630	1570	01
W12	SLIDING WINDOW	1500	1000	1120	01
D1	WOODEN DOOR	800	2100	0	05
D2	WOODEN DOOR	983	2100	0	01
D3	WOODEN DOOR	770	2100	0	02
D4	WOODEN DOOR + FIXED GLASS PANEL	1450	2100	0	02

1

Ground Floor Existing

Scale: 1:100

A		19/5/2025	Development Application	By	No.	Date	ISSUE	By
No.	Date	REVISION		By	No.	Date	ISSUE	By

DEVELOPMENT APPLICATION DRAWINGS ISSUED FOR APPROVALS ONLY - NOT FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY ARCHITECT. DO NOT SCALE THE DRAWINGS. THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS WITH THE ARCHITECT.

Duktig

Duktig Design Pty Ltd

Studio 2, 118A Sailors Bay Road Northbridge NSW 2063
T +61 466606717
E alex@duktig.com.au

Nominated Architects- Alexandra Warrenen- 12541
This drawing is copyright of Duktig design. It may not be used without written consent.
We warrant that this drawing contains no errors or omissions or any.

©Duktig Design Pty Ltd

Ground floor plan Existing

909 Pittwater Road Collaroy NSW 2097

909 Pittwater Road Collaroy NSW 2097

Mr Vern and Lynne Jackson

Status

Project No.

24003

SCALE

1:100

ORIGINAL DRAWING AT A3 SIZE.

A4 REDUCTION: 35.33%.

Drawn By

AW

Dwg Date:

19.05.25

Checked By

AW

Plot Date:

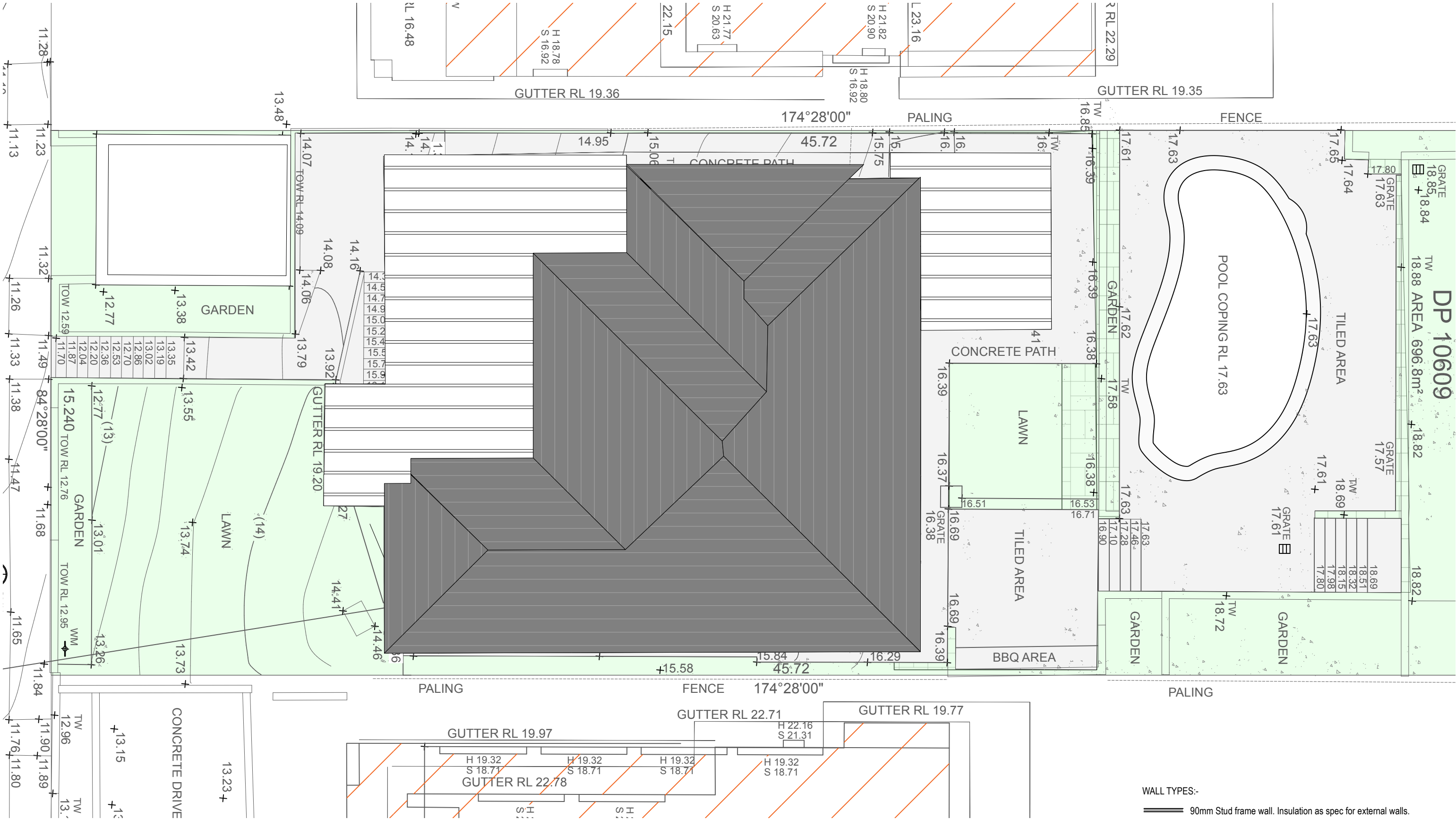
CAD File Name

909 Pittwater Road DA Final 19.05.25.vex

Drawing No.

Rev #

DA04 A



1 Roof Plan Existing
Scale: 1:100

- WALL TYPES:-
- 90mm Stud frame wall. Insulation as spec for external walls.
 - 130mm feature cladding and timber stud wall
 - New brick/block walls.
 - Existing brick walls.

A	19/5/2025	Development Application	By	No.	Date	ISSUE	By
		REVISION					

DEVELOPMENT APPLICATION DRAWINGS ISSUED FOR APPROVALS ONLY - NOT FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY ARCHITECT. DO NOT SCALE THE DRAWINGS. THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS WITH THE ARCHITECT.



Duktig Design Pty Ltd

Studio 2, 138A Sailors Bay Road Northbridge NSW 2063
T: +61 466606737
E: alex@duktig.com.au

Nominated Architects- Alexandra Warrenen- 12541

This drawing is copyright of Duktig design. It may not be used without written consent. We warrant that this drawing complies with all applicable laws and regulations in force.

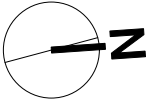
©Duktig Design Pty Ltd

Roof plan existing

909 Pittwater Road Collaroy NSW 2097

909 Pittwater Road Collaroy NSW 2097

Mr Vern and Lynne Jackson



Status
DEVELOPMENT APPLICATION

SCALE 1:100

ORIGINAL DRAWING: A3 SIZE. A4 REDUCTION: 35.33%.

Drawn By | AW Dwg Date: | 19.05.25

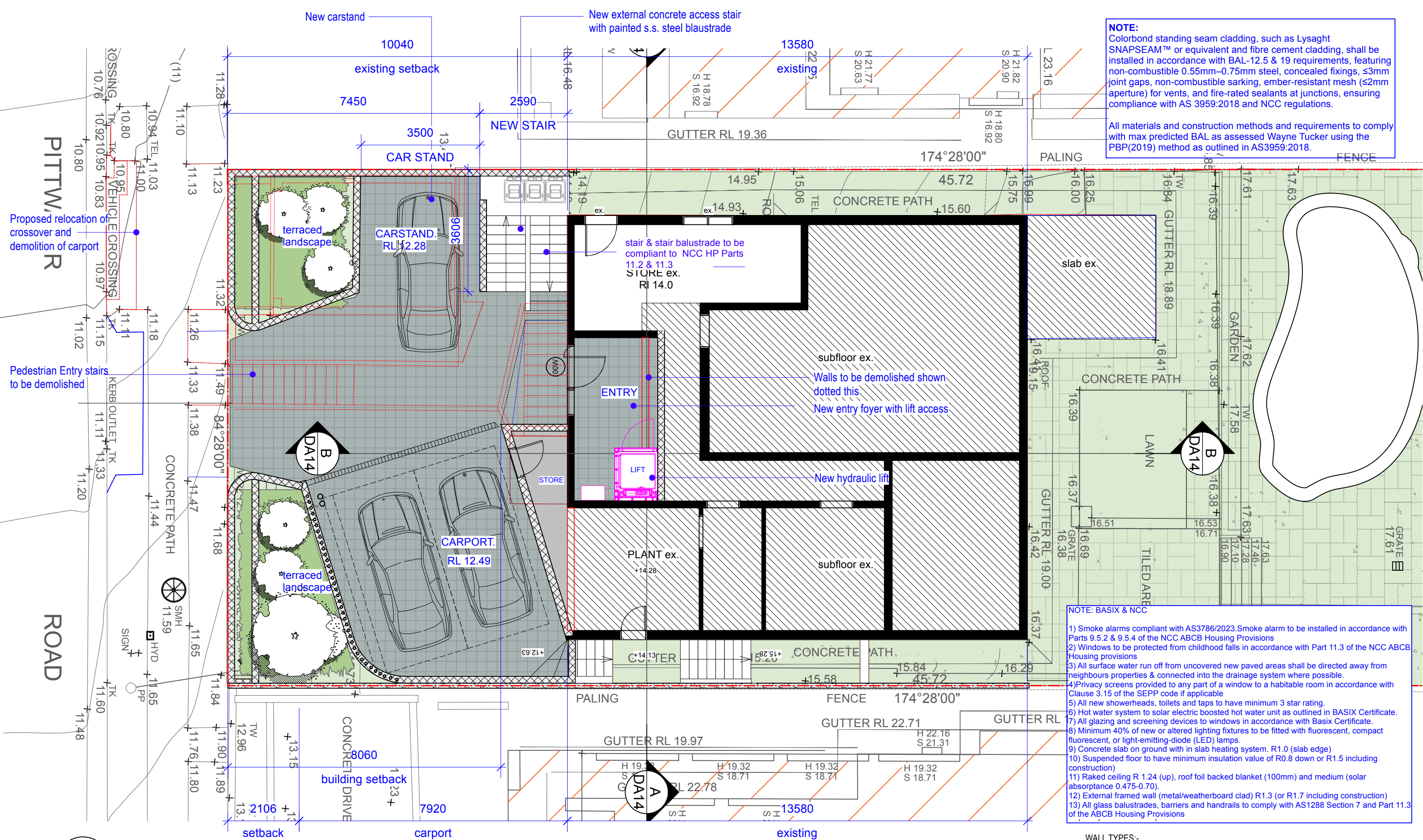
Checked By | AW Plot Date: |

CAD File Name | 909 Pittwater Road DA Final 19.05.25.dwg |

Project No.
24003

Drawing No. Rev #

DA05 A



NOTE:
Colorbond standing seam cladding, such as Lysaght SNAPSEAM™ or equivalent and fibre cement cladding, shall be installed in accordance with BAL-12.5 & 19 requirements, featuring non-combustible 0.55mm-0.75mm steel, concealed fixings, ≤3mm joint gaps, non-combustible sarking, ember-resistant mesh (≤2mm aperture) for vents, and fire-rated sealants at junctions, ensuring compliance with AS 3959:2018 and NCC regulations.

All materials and construction methods and requirements to comply with max predicted BAL as assessed Wayne Tucker using the PBP(2019) method as outlined in AS3959:2018.

- NOTE: BASIX & NCC**
- 1) Smoke alarms compliant with AS3786/2023. Smoke alarm to be installed in accordance with Parts 9.5.2 & 9.5.4 of the NCC ABCB Housing Provisions
 - 2) Windows to be protected from childhood falls in accordance with Part 11.3 of the NCC ABCB Housing provisions
 - 3) All surface water run off from uncovered new paved areas shall be directed away from neighbours properties & connected into the drainage system where possible.
 - 4) Privacy screens provided to any part of a window to a habitable room in accordance with Clause 3.15 of the SEPP code if applicable
 - 5) All new showerheads, toilets and taps to have minimum 3 star rating.
 - 6) Hot water system to solar electric boosted hot water unit as outlined in BASIX Certificate.
 - 7) All glazing and screening devices to windows in accordance with BASIX Certificate.
 - 8) Minimum 40% of new or altered lighting fixtures to be fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
 - 9) Concrete slab on ground with in slab heating system. R1.0 (slab edge)
 - 10) Suspended floor to have minimum insulation value of R0.8 down or R1.5 including construction)
 - 11) Raked ceiling R 1.24 (up), roof foil backed blanket (100mm) and medium (solar absorptance 0.475-0.70).
 - 12) External framed wall (metal/weatherboard clad) R1.3 (or R1.7 including construction)
 - 13) All glass balustrades, barriers and handrails to comply with AS1288 Section 7 and Part 11.3 of the ABCB Housing Provisions

- WALL TYPES:-**
- 90mm Stud frame wall. Insulation as spec for external walls.
 - 130mm feature cladding and timber stud wall
 - New brick/block walls.
 - Existing brick walls.

1 Lower Ground Plan
Scale: 1:100

A	19/5/2025	Development Application	By	No.	Date	ISSUE	By
	No.	REVISION					

DEVELOPMENT APPLICATION DRAWINGS ISSUED FOR APPROVALS ONLY - NOT FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY ARCHITECT. DO NOT SCALE THE DRAWINGS. THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS WITH THE ARCHITECT.



Duktig Design Pty Ltd

Studio 2, 138A Sailors Bay Road Northbridge NSW 2063
T +61 466606737
E alex@duktig.com.au

Nominated Architects- Alexandra Warrenen- 12541

This drawing is copyright of Duktig design. It may not be used without written consent. All work must be done in accordance with the relevant standards and codes of practice.

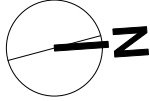
©Duktig Design Pty Ltd

Lower ground floor plan

909 Pittwater Road Collaroy NSW 2097

909 Pittwater Road Collaroy NSW 2097

Mr Vern and Lynne Jackson



Status
DEVELOPMENT APPLICATION

SCALE 1:100

ORIGINAL DRAWING: AT A3 SIZE. A4 REDUCTION: 35.33%.

Drawn By | AW Dwg Date: | 19.05.25

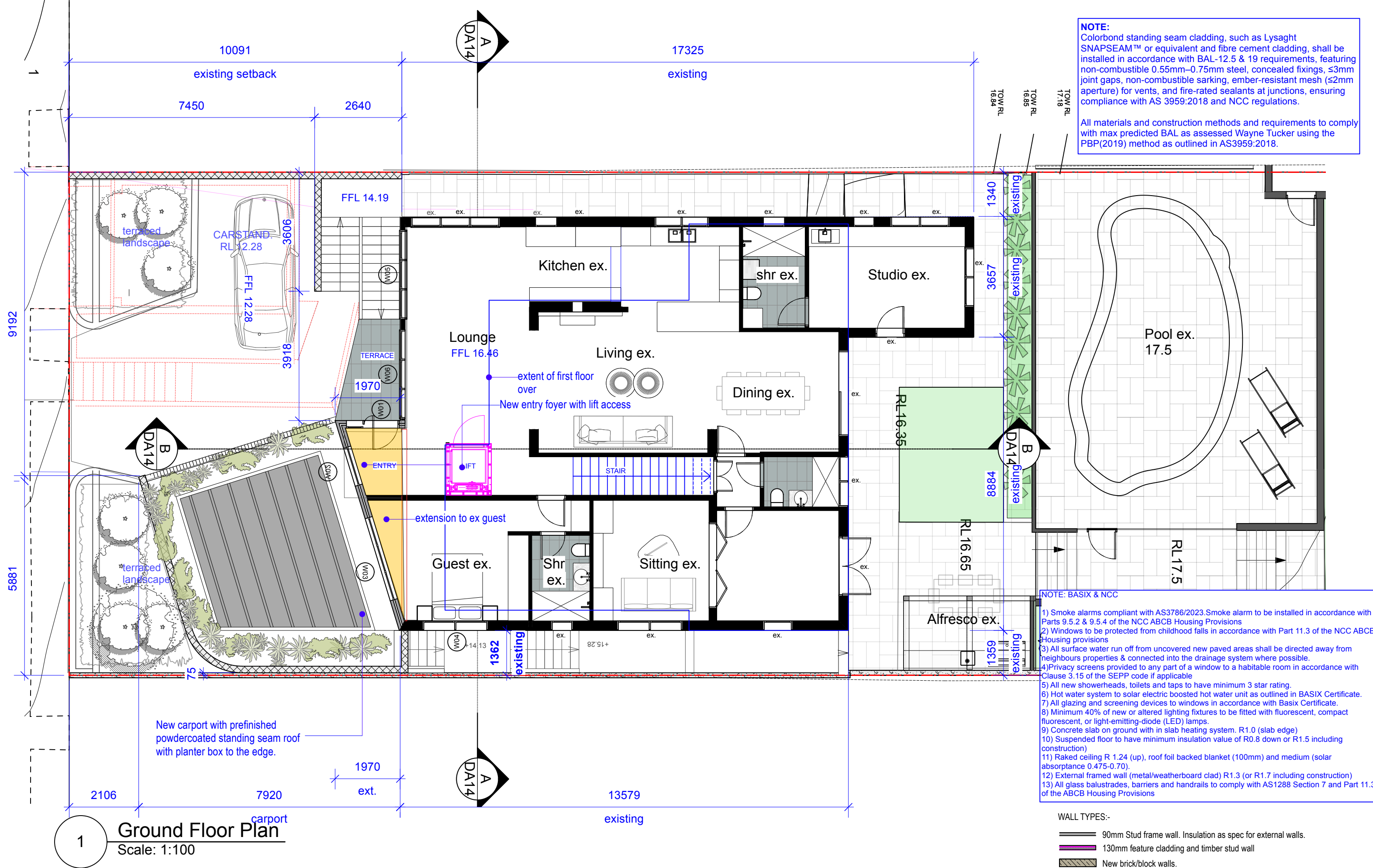
Checked By | AW Plot Date: |

CAD File Name | 909 Pittwater Road DA Final 19.05.25.vex |

Project No.
24003

Drawing No. Rev #

DA06 A



NOTE:
Colorbond standing seam cladding, such as Lysaght SNAPSEAM™ or equivalent and fibre cement cladding, shall be installed in accordance with BAL-12.5 & 19 requirements, featuring non-combustible 0.55mm–0.75mm steel, concealed fixings, ≤3mm joint gaps, non-combustible sarking, ember-resistant mesh (≤2mm aperture) for vents, and fire-rated sealants at junctions, ensuring compliance with AS 3959:2018 and NCC regulations.

All materials and construction methods and requirements to comply with max predicted BAL as assessed Wayne Tucker using the PBP(2019) method as outlined in AS3959:2018.

- NOTE: BASIX & NCC**
- 1) Smoke alarms compliant with AS3786/2023. Smoke alarm to be installed in accordance with Parts 9.5.2 & 9.5.4 of the NCC ABCB Housing Provisions
 - 2) Windows to be protected from childhood falls in accordance with Part 11.3 of the NCC ABCB Housing Provisions
 - 3) All surface water run off from uncovered new paved areas shall be directed away from neighbours properties & connected into the drainage system where possible.
 - 4) Privacy screens provided to any part of a window to a habitable room in accordance with Clause 3.15 of the SEPP code if applicable
 - 5) All new showerheads, toilets and taps to have minimum 3 star rating.
 - 6) Hot water system to solar electric boosted hot water unit as outlined in BASIX Certificate.
 - 7) All glazing and screening devices to windows in accordance with Basix Certificate.
 - 8) Minimum 40% of new or altered lighting fixtures to be fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
 - 9) Concrete slab on ground with in slab heating system. R1.0 (slab edge)
 - 10) Suspended floor to have minimum insulation value of R0.8 down or R1.5 including construction)
 - 11) Raked ceiling R 1.24 (up), roof foil backed blanket (100mm) and medium (solar absorptance 0.475-0.70).
 - 12) External framed wall (metal/weatherboard clad) R1.3 (or R1.7 including construction)
 - 13) All glass balustrades, barriers and handrails to comply with AS1288 Section 7 and Part 11.3 of the ABCB Housing Provisions

- WALL TYPES:-**
- 90mm Stud frame wall. Insulation as spec for external walls.
 - 130mm feature cladding and timber stud wall
 - New brick/block walls.
 - Existing brick walls.

A		19/5/2025	Development Application	By	No.	Date	ISSUE	By
No.	Date	REVISION		By	No.	Date	ISSUE	

DEVELOPMENT APPLICATION DRAWINGS ISSUED FOR APPROVALS ONLY - NOT FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY ARCHITECT. DO NOT SCALE THE DRAWINGS. THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS WITH THE ARCHITECT.



Duktig Design Pty Ltd

Studio 2, 138A Sailors Bay Road Northbridge NSW 2063
T: +61 466606737
E: alex@dunktig.com.au

Nominated Architects: Alexandra Warrenen: 12541

This drawing is copyright of Duktig Design. It may not be used without written consent. All work shall be done in accordance with the relevant standards and codes of practice.

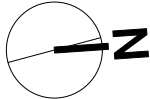
©Duktig Design Pty Ltd

Ground floor plan

909 Pittwater Road Collaroy NSW 2097

909 Pittwater Road Collaroy NSW 2097

Mr Vern and Lynne Jackson



Status
DEVELOPMENT APPLICATION

SCALE 1:100

ORIGINAL DRAWING: AT A3 SIZE. A4 REDUCTION: 35.33%.

Drawn By | AW Dwg Date: | 19.05.25

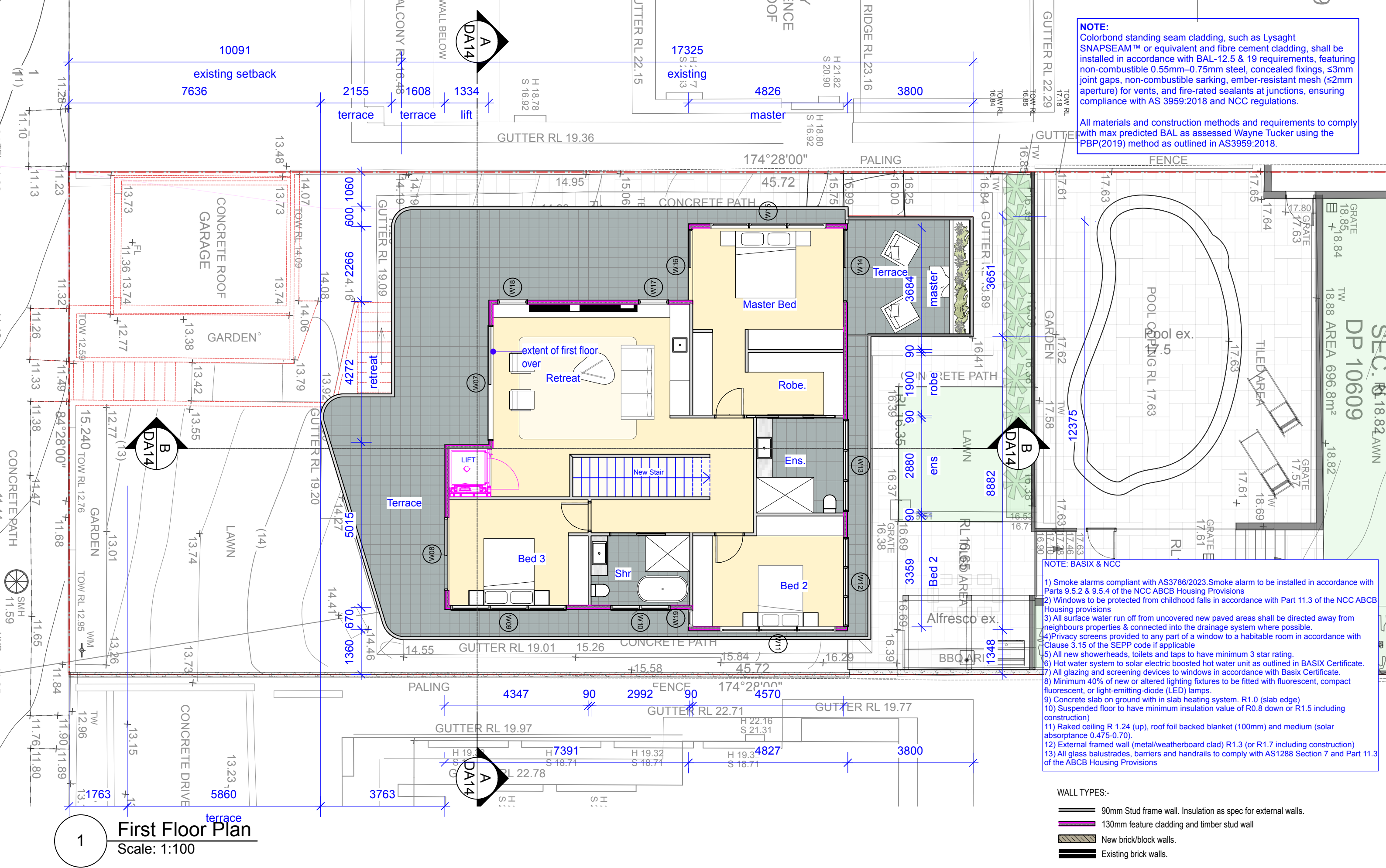
Checked By | AW Plot Date: |

CAD File Name | 909 Pittwater Road DA Final 19.05.25.vex |

Drawing No. Rev #

DA07 A

Project No.
24003



A		19/5/2025	Development Application						
No.	Date	REVISION		By	No.	Date	ISSUE		By

DEVELOPMENT APPLICATION DRAWINGS ISSUED FOR APPROVALS ONLY - NOT FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY ARCHITECT. DO NOT SCALE THE DRAWINGS. THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS WITH THE ARCHITECT.



Duktig Design Pty Ltd

Studio 2, 138A Sailors Bay Road Northbridge NSW 2063
T: +61 466606717
E: alex@dunktig.com.au

Nominated Architects: Alexandra Warrenen - 12541

This drawing is copyright of Duktig design. It may not be used without written consent. All work must be done in accordance with the relevant standards and codes of practice.

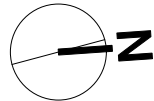
©Duktig Design Pty Ltd

First Floor plan

909 Pittwater Road Collaroy NSW 2097

909 Pittwater Road Collaroy NSW 2097

Mr Vern and Lynne Jackson



Status
DEVELOPMENT APPLICATION

SCALE 1:100

ORIGINAL DRAWING: AT A3 SIZE. A4 REDUCTION: 35.35%.

Drawn By | AW Dwg Date: | 19.05.25

Checked By | AW Plot Date: |

CAD File Name | 909 Pittwater Road DA Final 19.05.25.vex |

Drawing No. Rev #

DA08 A

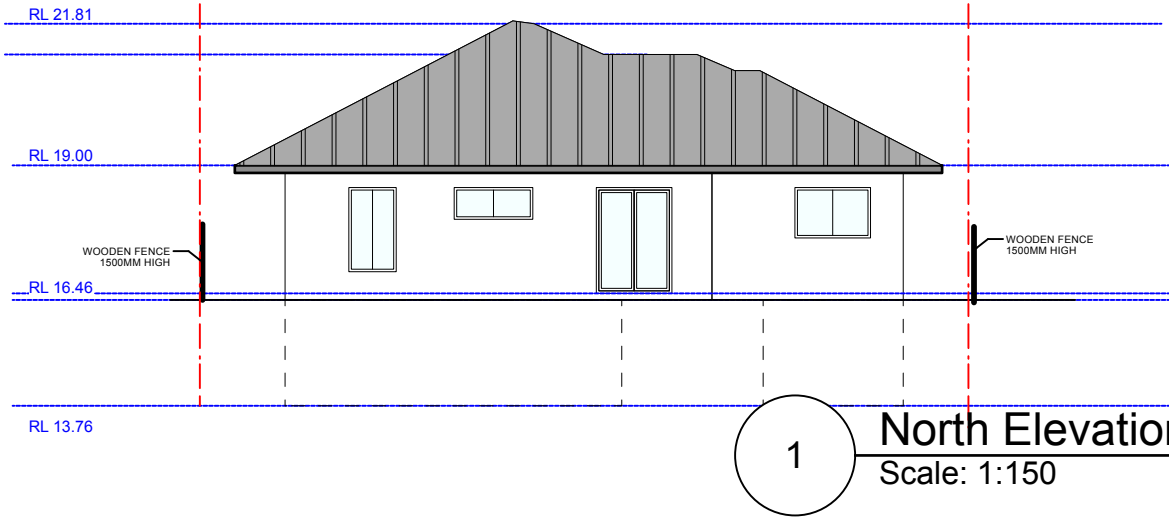
Project No.
24003

Colorbond standing seam cladding, such as Lysaght SNAPSEAM™ or equivalent and fibre cement cladding, shall be installed in accordance with BAL-12.5 & 19 requirements, featuring non-combustible 0.55mm–0.75mm steel, concealed fixings, ≤3mm joint gaps, non-combustible sarking, ember-resistant mesh (≤2mm aperture) for vents, and fire-rated sealants at junctions, ensuring compliance with AS 3959:2018 and NCC regulations.

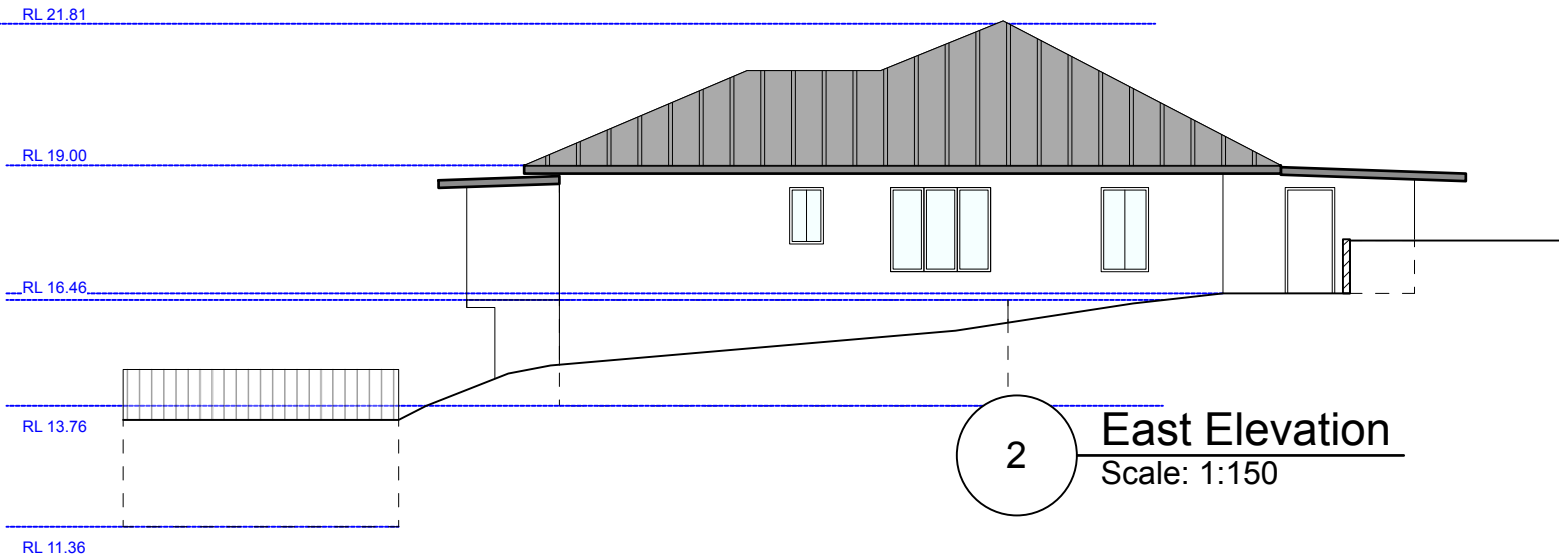
ALL GUTTERING, FLASHING AND WATERPROOFING RELATING TO ALL ROOFING SYSTEMS TO COMPLY WITH REQUIREMENTS OF THE B.C.A. 2008 AND RELEVANT AUSTRALIAN STANDARDS INCLUDING AS/NZS 3500: 2003 "PLUMBING AND DRAINAGE".

SOLAR WITH GAS BOOSTED HOT WATER SYSTEM TO BE INSTALLED WITH MAXIMUM SOLAR ACCESS TO FUTURE DETAIL

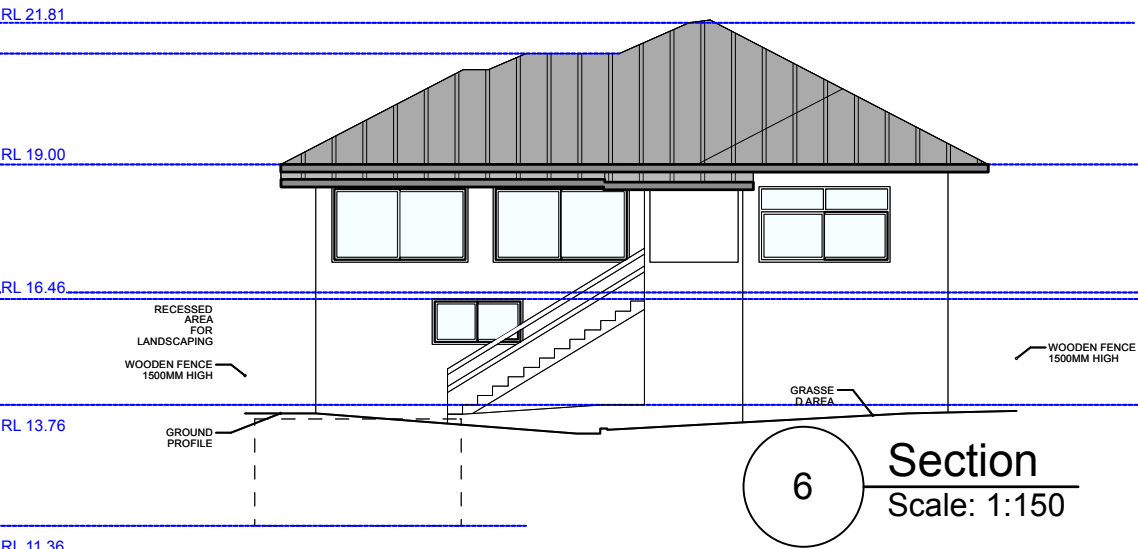




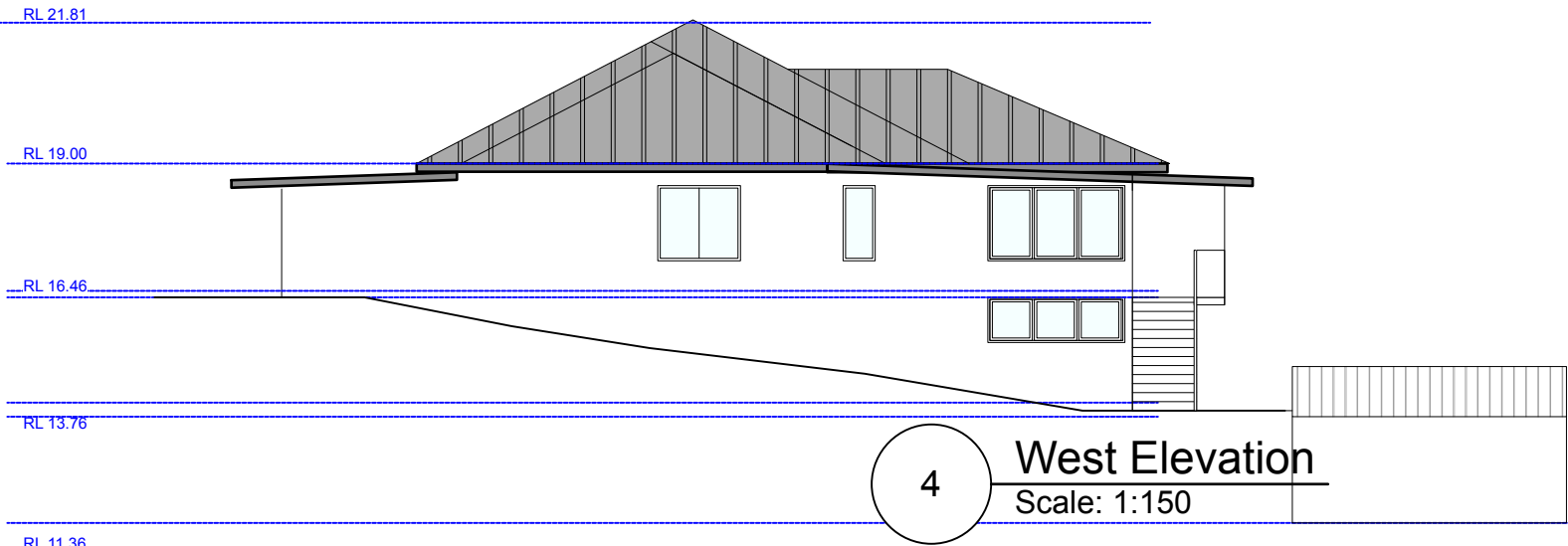
North Elevation
Scale: 1:150



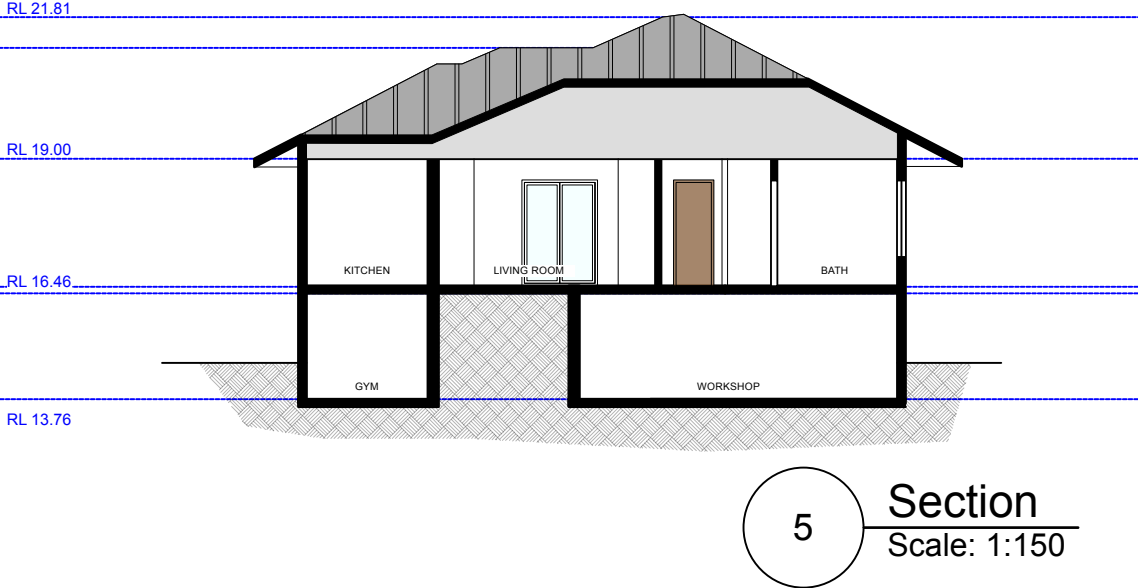
East Elevation
Scale: 1:150



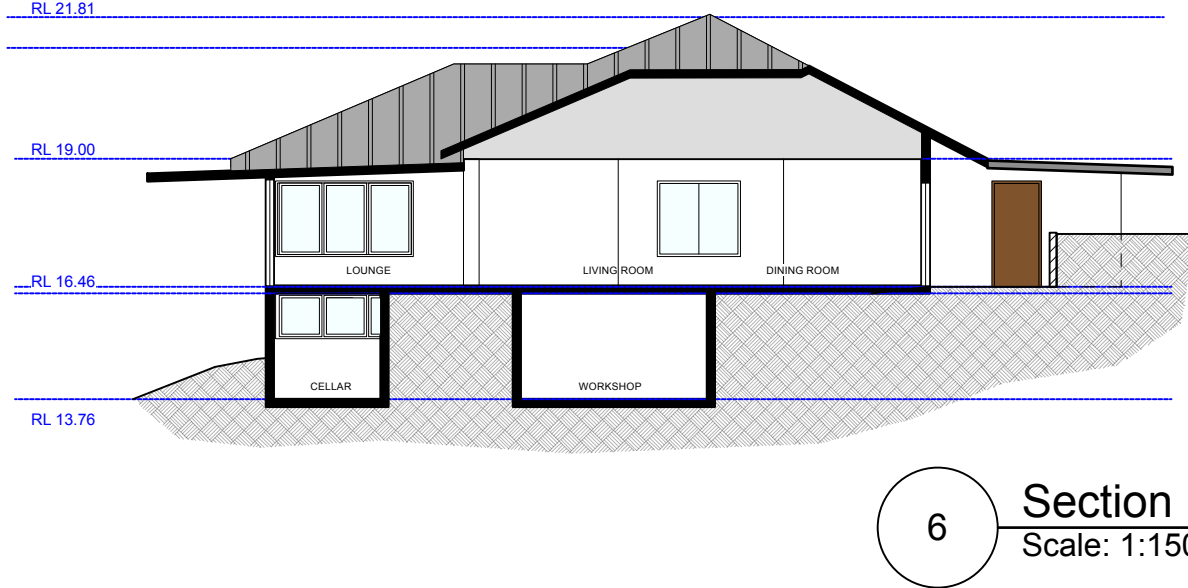
Section
Scale: 1:150



West Elevation
Scale: 1:150



Section
Scale: 1:150



Section
Scale: 1:150

A	19/5/2025	Development Application	By	No.	Date	ISSUE	By
	Date	REVISION					

DEVELOPMENT APPLICATION DRAWINGS ISSUED FOR APPROVALS ONLY - NOT FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY ARCHITECT. DO NOT SCALE THE DRAWINGS. THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS WITH THE ARCHITECT.



Duktig Design Pty Ltd

Studio 2, 118A Sailors Bay Road Northbridge NSW 2063
T+61 166606737
E: alex@dunktig.com.au

Nominated Architect: Alexandra Warrenner: 12541
This drawing is copyright of Duktig Design. It may not be used without written consent. Do not scale off this drawing. Use figures dimensions only. Verify all dimensions on site.

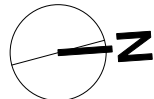
©Duktig Design Pty Ltd

Elevations Existing

909 Pittwater Road Collaroy NSW 2097

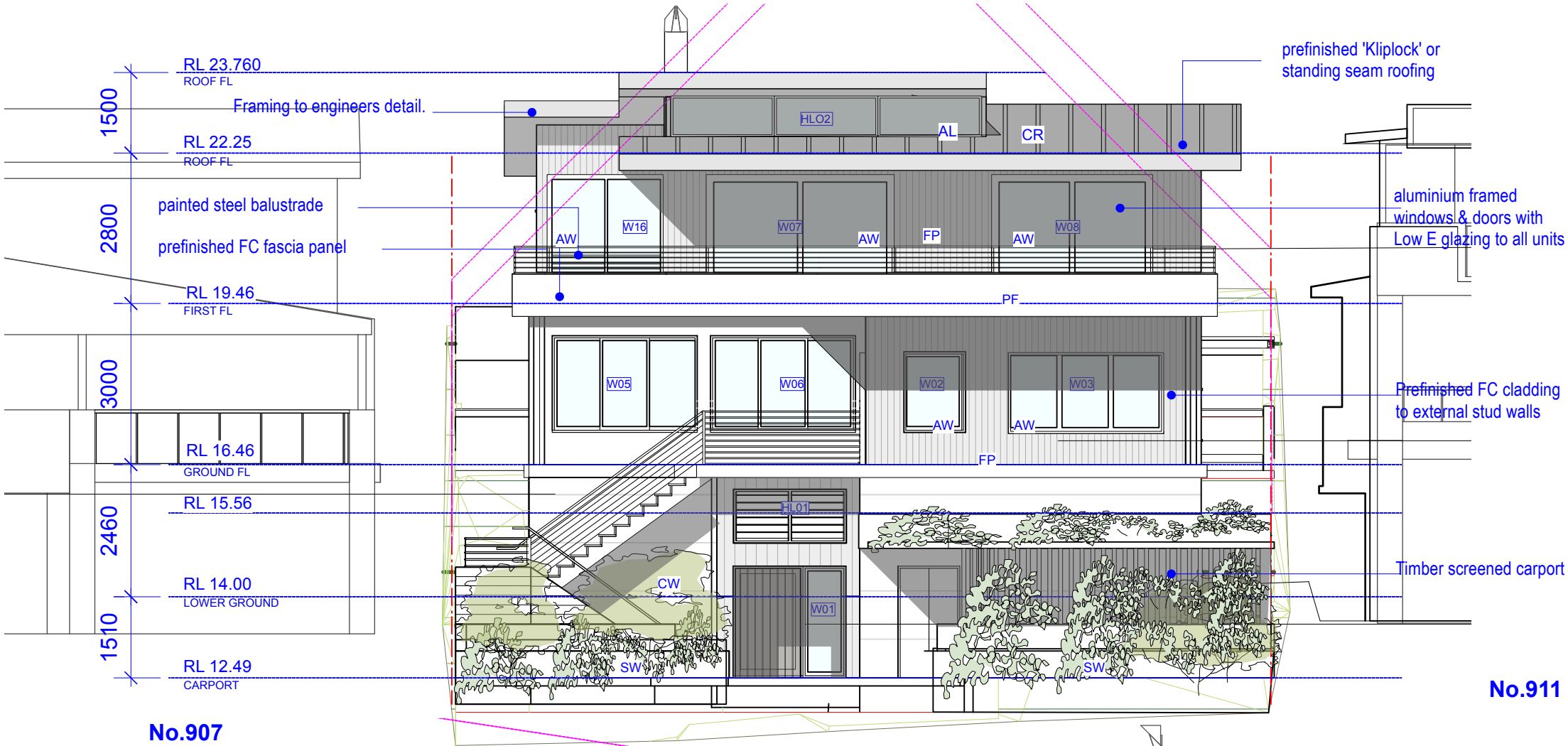
909 Pittwater Road Collaroy NSW 2097

Mr Vern and Lynne Jackson



Status
DEVELOPMENT APPLICATION
SCALE 1:100
ORIGINAL DRAWING AT A3 SIZE A4 REDUCTION: 35.33%
Drawn By | AW
Checked By | AW
CAD File Name | 909 Pittwater Road DA Final 19.05.25.vwx
Dwg Date | 19.05.25
Plot Date |

Project No.
24003
Drawing No.
Rev #
DA10 A



- NOTE: BASIX & NCC
- 1) Smoke alarms compliant with AS3786/2023. Smoke alarm to be installed in accordance with Parts 9.5.2 & 9.5.4 of the NCC ABCB Housing Provisions
 - 2) Windows to be protected from childhood falls in accordance with Part 11.3 of the NCC ABCB Housing provisions
 - 3) All surface water run off from uncovered new paved areas shall be directed away from neighbours properties & connected into the drainage system where possible.
 - 4) Privacy screens provided to any part of a window to a habitable room in accordance with Clause 3.15 of the SEPP code if applicable
 - 5) All new showerheads, toilets and taps to have minimum 3 star rating.
 - 6) Hot water system to solar electric boosted hot water unit as outlined in BASIX Certificate.
 - 7) All glazing and screening devices to windows in accordance with Basix Certificate.
 - 8) Minimum 40% of new or altered lighting fixtures to be fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
 - 9) Concrete slab on ground with in slab heating system. R1.0 (slab edge)
 - 10) Suspended floor to have minimum insulation value of R0.8 down or R1.5 including construction)
 - 11) Raked ceiling R 1.24 (up), roof foil backed blanket (100mm) and medium (solar absorptance 0.475-0.70).
 - 12) External framed wall (metal/weatherboard clad) R1.3 (or R1.7 including construction)
 - 13) All glass balustrades, barriers and handrails to comply with AS1288 Section 7 and Part 11.3 of the ABCB Housing Provisions

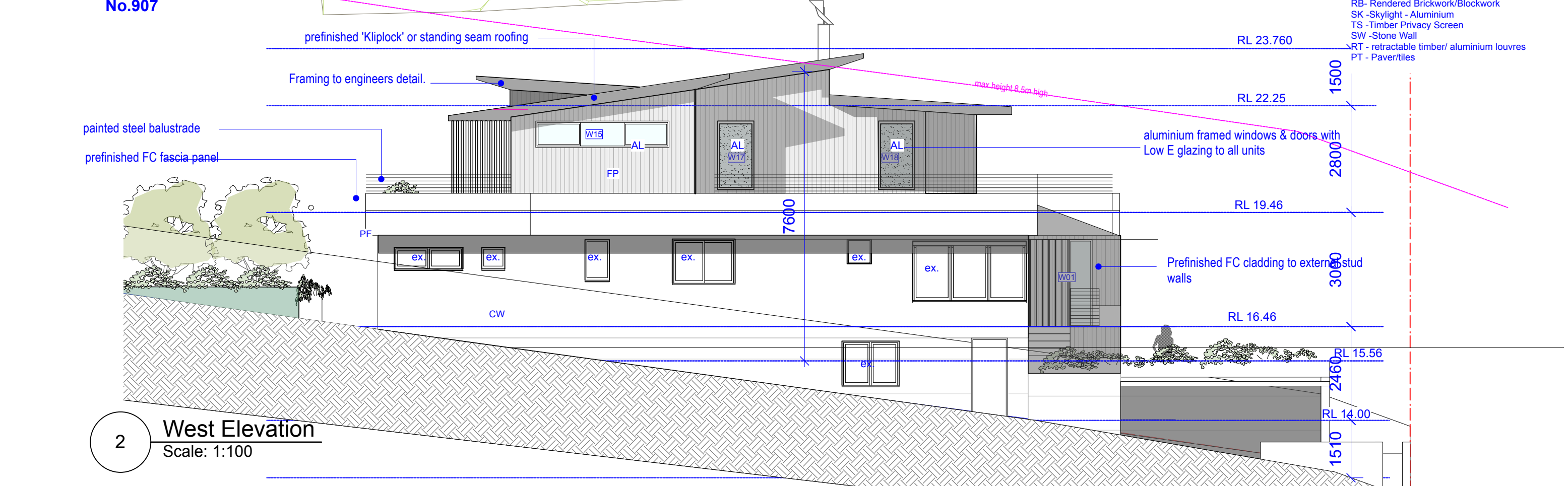
NOTE:
Colorbond standing seam cladding, such as Lysaght SNAPSEAM™ or equivalent and fibre cement cladding, shall be installed in accordance with BAL-12.5 & 19 requirements, featuring non-combustible 0.55mm-0.75mm steel, concealed fixings, ≤3mm joint gaps, non-combustible sarking, ember-resistant mesh (≤2mm aperture) for vents, and fire-rated sealants at junctions, ensuring compliance with AS 3959:2018 and NCC regulations.

All materials and construction methods and requirements to comply with max predicted BAL as assessed Wayne Tucker using the PBP(2019) method as outlined in AS3959:2018.

MATERIALS AND FINISHES

- FB -Existing Face brickwork
- FP - Prefinished Feature cladding as selected
- CR -Colorbond roofing (Monument)- non reflective
- DP -Colorbond downpipe (Monument)
- CW - Rendered Concrete wall
- AW-Aluminium windows & doors
- OG -Opaque glazing
- PF - Painted FC Fascia
- RB- Rendered Brickwork/Blockwork
- SK -Skylight - Aluminium
- TS -Timber Privacy Screen
- SW -Stone Wall
- RT - retractable timber/ aluminium louvres
- PT - Paver/tiles

1 South Elevation
Scale: 1:100



2 West Elevation
Scale: 1:100

A				19/5/2025	Development Application					DEVELOPMENT APPLICATION				Project No. 24003			
No.				Date	REVISION	By				SCALE 1:100				Drawing No. Rev #			
										ORIGINAL DRAWING AT A3 SIZE A4 REDUCTION: 35.33%							
										Drawn By AW Dwg Date: 19.05.25							
										Checked By AW Plot Date:				DA11 A			
										CAD File Name: 909 Pittwater Road DA Final 19.05.25.vwx							

DEVELOPMENT APPLICATION DRAWINGS ISSUED FOR APPROVALS ONLY - NOT FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY ARCHITECT. DO NOT SCALE THE DRAWINGS. THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS WITH THE ARCHITECT.

Duktig Design Pty Ltd

Studio 2, 138A Sailors Bay Road Northbridge NSW 2063
T+61 144609737
E: alex@duktig.com.au

Nominated Architect: Alexandra Warren - 12541

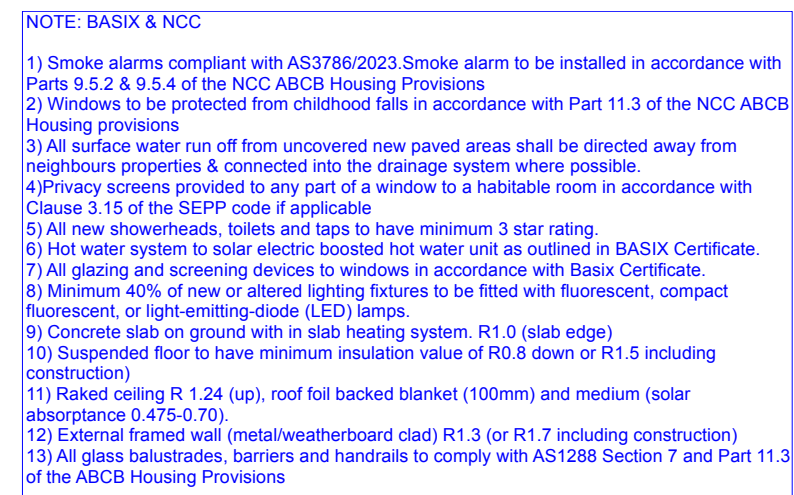
This drawing is the property of Duktig Design. It may not be used without written consent. Do not scale off this drawing. Use Special dimensions only. Verify all dimensions on site.

©Duktig Design Pty Ltd

South and West Elevation

909 Pittwater Road Collaroy NSW 2097

Mr Vern and Lynne Jackson



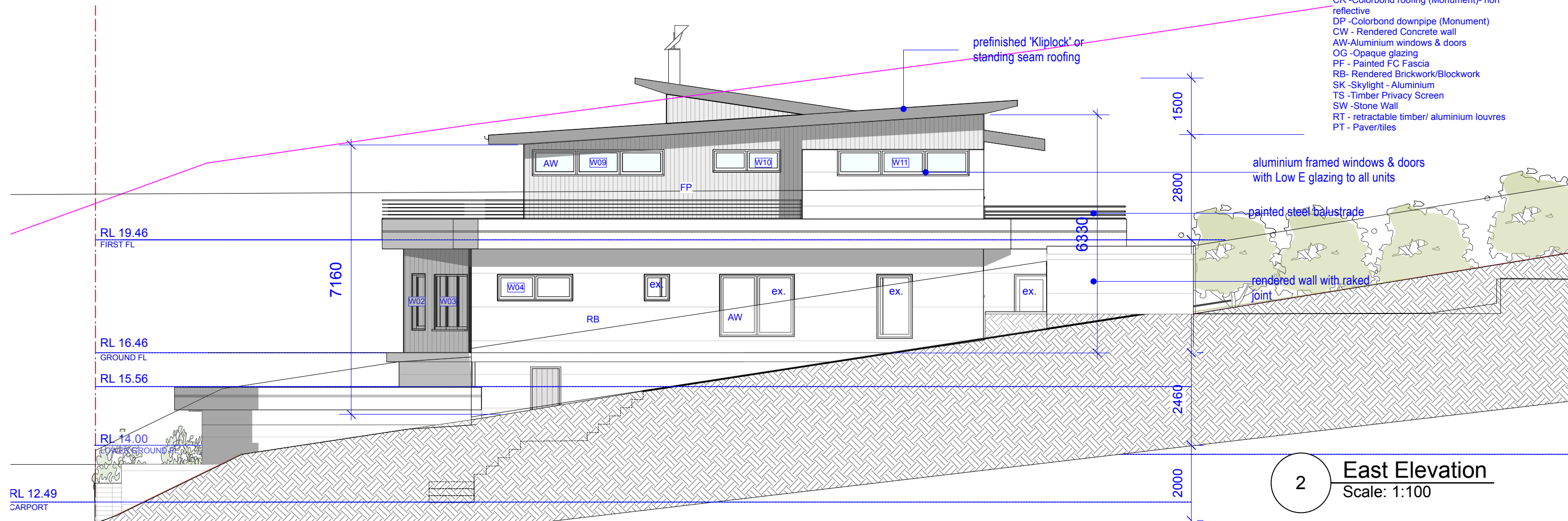
NOTE: Colorbond standing seam cladding, such as Lysaght SNAPSEAM™ or equivalent and fibre cement cladding, shall be installed in accordance with BAL-12.5 & 19 requirements, featuring non-combustible 0.55mm–0.75mm steel, concealed fixings, ≤3mm joint gaps, non-combustible sarking, ember-resistant mesh (≤2mm aperture) for vents, and fire-rated sealants at junctions, ensuring compliance with AS 3959:2018 and NCC regulations.

All materials and construction methods and requirements to comply with max predicted BAL as assessed Wayne Tucker using the PBP(2019) method as outlined in AS3959:2018.

1 North Elevation
Scale: 1:100

MATERIALS AND FINISHES

- FB- Existing Face brickwork
- FP - Prefinished Feature cladding as selected
- CR - Colorbond roofing (Monument)- non reflective
- DP -Colorbond downpipe (Monument)
- CW - Rendered Concrete wall
- AW-Aluminium windows & doors
- OG -Opaque glazing
- PF - Painted FC Fascia
- RB- Rendered Brickwork/Blockwork
- SK -Skylight - Aluminium
- TS -Timber Privacy Screen
- SW -Stone Wall
- RT - retractable timber/ aluminium louvres
- PT - Paver/tiles



2 East Elevation
Scale: 1:100

A	19/5/2025	Development Application				
No.	Date	REVISION	By	No.	Date	ISSUE

DEVELOPMENT APPLICATION DRAWINGS ISSUED FOR
APPROVALS ONLY - NOT FOR CONSTRUCTION PURPOSES
UNTIL ISSUED BY ARCHITECT. DO NOT SCALE THE DRAWINGS
THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS
AND VERIFY ALL ERRORS AND OMISSIONS WITH THE
ARCHITECT.



D u k t i g D e s i g n P t y L t d

North and East Elevation

909 Pittwater Road Collaroy NSW 2097

909 Pittwater Road Collaroy NSW 2097

Mr Vern and Lynne Jackson

Status	DEVELOPMENT APPLICATION
SCALE	1:100

ORIGINAL DRAWING AT A3 SIZE. A4 REDUCTION: 35.35%.

Drawn By: | AW | Dwg Date: | 19.05.25

Checked By: | AW | Plot Date: |

CAD File Name | 909 Pittwater Road DA Final 19.05.25.vwx

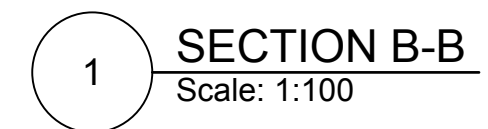
Project No.
24003

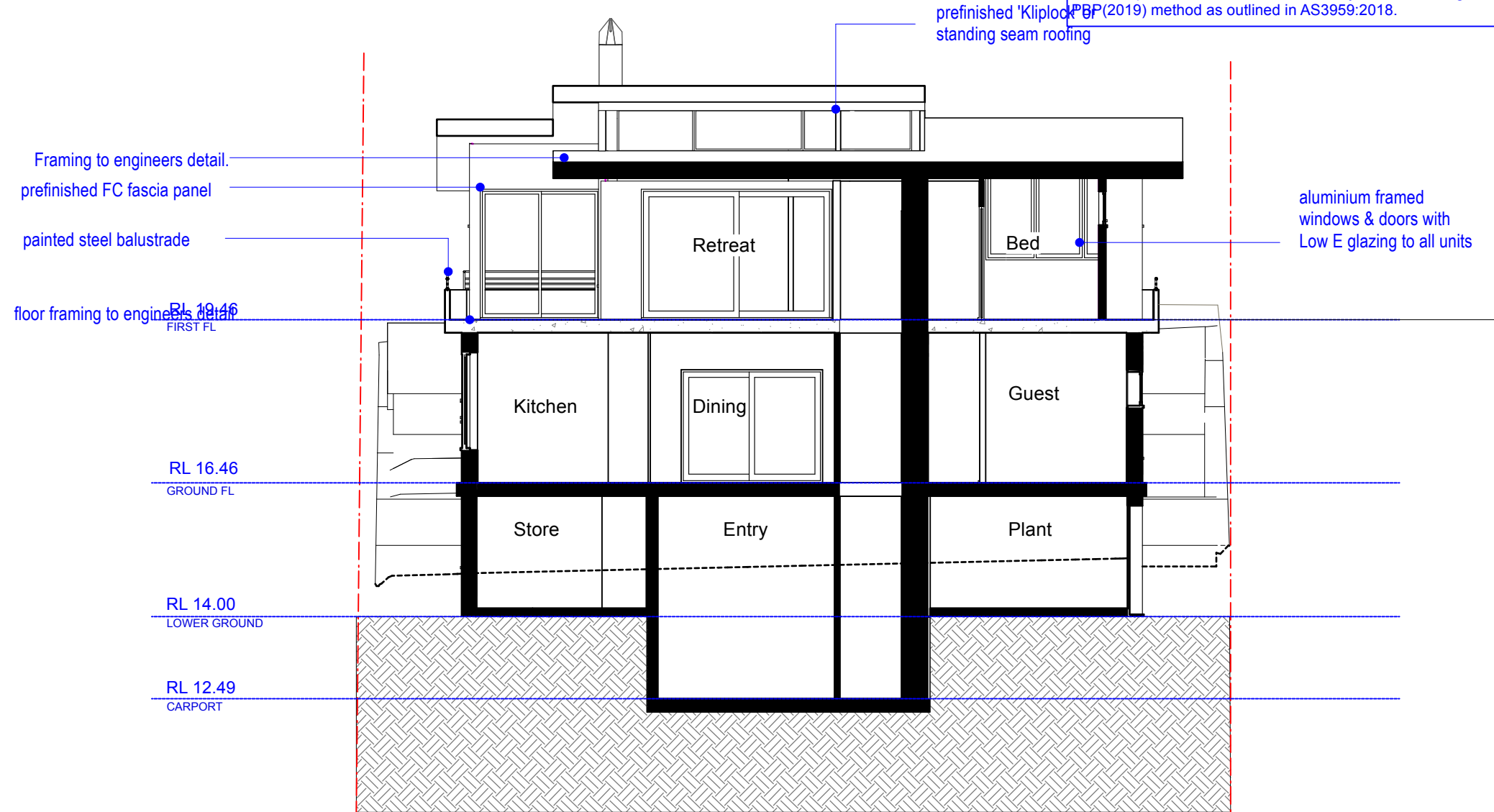
Drawing No.	Rev #
-------------	-------

DA12 A

Colorbond standing seam cladding, such as Lysaght SNAPSEAM™ or equivalent and fibre cement cladding, shall be installed in accordance with BAL-12.5 & 19 requirements, featuring non-combustible 0.55mm–0.75mm steel, concealed fixings, ≤3mm joint gaps, non-combustible sarking, ember-resistant mesh (≤2mm aperture) for vents, and fire-rated sealants at junctions, ensuring compliance with AS 3959:2018 and NCC regulations.

- 1) Smoke alarms compliant with AS3786/2023. Smoke alarm to be installed in accordance with Parts 9.5.2 & 9.5.4 of the NCC ABCB Housing Provisions
- 2) Windows to be protected from childhood falls in accordance with Part 11.3 of the NCC ABCB Housing provisions
- 3) All surface water run off from uncovered new paved areas shall be directed away from neighbours properties & connected into the drainage system where possible.
- 4) Privacy screens provided to any part of a window to a habitable room in accordance with Clause 3.15 of the SEPP code if applicable
- 5) All new showerheads, toilets and taps to have minimum 3 star rating.
- 6) Hot water system to solar electric boosted hot water unit as outlined in BASIX Certificate.
- 7) All glazing and screening devices to windows in accordance with Basix Certificate.
- 8) Minimum 40% of new or altered lighting fixtures to be fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
- 9) Concrete slab on ground with in slab heating system. R1.0 (slab edge)
- 10) Suspended floor to have minimum insulative value of R0.8 down or R1.5 including construction)
- 11) Raked ceiling R 1.24 (up), roof foil backed blanket (100mm) and medium (solar absorbance 0.475-0.70).
- 12) External framed wall (metal/weatherboard clad) R1.3 (or R1.7 including construction)
- 13) All glass balustrades, barriers and handrails to comply with AS1288 Section 7 and Part 11.3 of the ABCB Housing Provisions

[illegible]



1 SECTION A-A
Scale: 1:100

NOTE:
Colorbond standing seam cladding, such as Lysaght SNAPSEAM™ or equivalent and fibre cement cladding, shall be installed in accordance with BAL-12.5 & 19 requirements, featuring non-combustible 0.55mm–0.75mm steel, concealed fixings, ≤3mm joint gaps, non-combustible sarking, ember-resistant mesh (≤2mm aperture) for vents, and fire-rated sealants at junctions, ensuring compliance with AS 3959:2018 and NCC regulations.

All materials and construction methods and requirements to comply with max predicted BAL as assessed Wayne Tucker using the PBP(2019) method as outlined in AS3959:2018.

- NOTE: BASIX & NCC
- 1) Smoke alarms compliant with AS3786/2023. Smoke alarm to be installed in accordance with Parts 9.5.2 & 9.5.4 of the NCC ABCB Housing Provisions
 - 2) Windows to be protected from childhood falls in accordance with Part 11.3 of the NCC ABCB Housing provisions
 - 3) All surface water run off from uncovered new paved areas shall be directed away from neighbours properties & connected into the drainage system where possible.
 - 4) Privacy screens provided to any part of a window to a habitable room in accordance with Clause 3.15 of the SEPP code if applicable
 - 5) All new showerheads, toilets and taps to have minimum 3 star rating.
 - 6) Hot water system to solar electric boosted hot water unit as outlined in BASIX Certificate.
 - 7) All glazing and screening devices to windows in accordance with Basix Certificate.
 - 8) Minimum 40% of new or altered lighting fixtures to be fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
 - 9) Concrete slab on ground with in slab heating system. R1.0 (slab edge)
 - 10) Suspended floor to have minimum insulation value of R0.8 down or R1.5 including construction)
 - 11) Raked ceiling R 1.24 (up), roof foil backed blanket (100mm) and medium (solar absorptance 0.475-0.70).
 - 12) External framed wall (metal/weatherboard clad) R1.3 (or R1.7 including construction)
 - 13) All glass balustrades, barriers and handrails to comply with AS1288 Section 7 and Part 11.3 of the ABCB Housing Provisions

A	19/5/2025	Development Application					
No.	Date	REVISION	By	No.	Date	ISSUE	By

DEVELOPMENT APPLICATION DRAWINGS ISSUED FOR APPROVALS ONLY - NOT FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY ARCHITECT. DO NOT SCALE THE DRAWINGS. THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS WITH THE ARCHITECT.



Duktig Design Pty Ltd

Studio 2, 138A Sailors Bay Road Northbridge NSW 2063
T+61 166606737
E: alex@dunktig.com.au

Nominated Architect: Alexandra Warrenner- 12541
This drawing is copyright of Duktig Design. It may not be used without written consent. Do not scale off this drawing. Use digital dimensions only. Verify all dimensions on site.

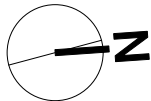
©Duktig Design Pty Ltd

Section A-A

909 Pittwater Road Collaroy NSW 2097

909 Pittwater Road Collaroy NSW 2097

Mr Vern and Lynne Jackson



Status
DEVELOPMENT APPLICATION

SCALE 1:100

ORIGINAL DRAWING AT A3 SIZE A4 REDUCTION: 35.33%

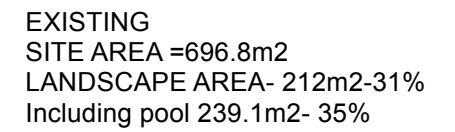
Drawn By | AW
Checked By | AW
CAD File Name | 909 Pittwater Road DA Final 19.05.25.vwx

Dwg Date: | 19.05.25
Plot Date: |

Project No.
24003

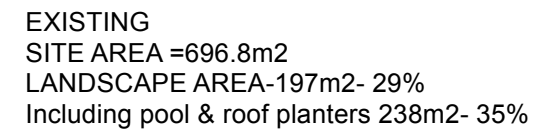
Drawing No. Rev #

DA15 A



 LANDSCAPED AREA: 31%

Scale: 1:200

 LANDSCAPED AREA

- 1) Smoke alarms compliant with AS3786/2023.Smoke alarm to be installed in accordance with Parts 9.5.2 & 9.5.4 of the NCC ABCB Housing Provisions
- 2) Windows to be protected from childhood falls in accordance with Part 11.3 of the NCC ABCB Housing provisions
- 3) All surface water run off from uncovered new paved areas shall be directed away from neighbours properties & connected into the drainage system where possible.
- 4) Privacy screens provided to any part of a window to a habitable room in accordance with Clause 3.15 of the SEPP code if applicable
- 5) All new showerheads, toilets and taps to have minimum 3 star rating.
- 6) Hot water system to solar electric boosted hot water unit as outlined in BASIX Certificate.
- 7) All glazing and screening devices to windows in accordance with Basix Certificate.
- 8) Minimum 40% of new or altered lighting fixtures to be fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
- 9) Concrete slab on ground with in slab heating system. R1.0 (slab edge)
- 10) Suspended floor to have minimum insulation value of R0.8 down or R1.5 including construction)
- 11) Raked ceiling R 1.24 (up), roof foil backed blanket (100mm) and medium (solar absorbance 0.475-0.70).
- 12) External framed wall (metal/weatherboard clad) R1.3 (or R1.7 including construction)
- 13) All glass balustrades, barriers and handrails to comply with AS1288 Section 7 and Part 11.3 of the ABCB Housing Provisions

Scale: 1:200

A16 A

Botanic Name	Common Name	Mature Height	Pot Size	Qty
Agave weberi	Magvey Liso	1m	300mm	11
Aloe 'Bush Baby Yellow'	Baby Bush Yellow	0.4m	200mm	t.b.a
Alpinia caerulea	Native Ginger	0.7m	200mm	t.b.a
Banksia integrifolia	Coastal Banksia	5-10m	200L	3
Carpobrotus glaucescens	Pig Face	0.3m	200mm	t.b.a
Ceratopetalum apetalum	Coachwood	2.5m	300L	2
Callistemon Citrus	Cromson bottlebrush	2.5m	2.5l	
Doryanthes excelsa	Gymea Lily	1-3m	400mm	6
Grevillea 'Robyn Gordon'	Robyn Gordon Grevillea	1.5m	200mm	t.b.c
Howea forsteriana	Kentia Palm	5-12m	Semi-mature	2
Hymenosporum flavum	Native Fragipani	4-10m	Semi Mature	1
Lomandra longifolia	Spiny Headed Matt Grass	1.2m	200mm	t.b.c.
Lomandra 'Tanika'	Matt Grass Fine	1.2m	200mm	t.b.c.
Monstera deliciosa	Fruit Salad Plant	0.5-1.5m	200mm	10
Philodendron selloum	Philodendron	1.5-2.5m	200mm	5
Plumeria acutifolia	Frangipani	3-5m	Adv	2
Rhapiolepis indica	Indian Hawthorn	2-3m	300mm	10
Westringia Jervis Gem	Coastal Rosemary	0.4m-0.6m	200mm	15
Syzygium 'Resilience'	Resilient Lilly Pilly	2-4m	400mm	10
Yucca filamentosa	Adam's Needle	2-3m	300mm	3

1/adv Plumeria acutifolia

5/400mm Doryanthes excelsa

5/400mm Agave weberi
2/400mm Doryanthes excelsa

1/adv Plumeria acutifolia

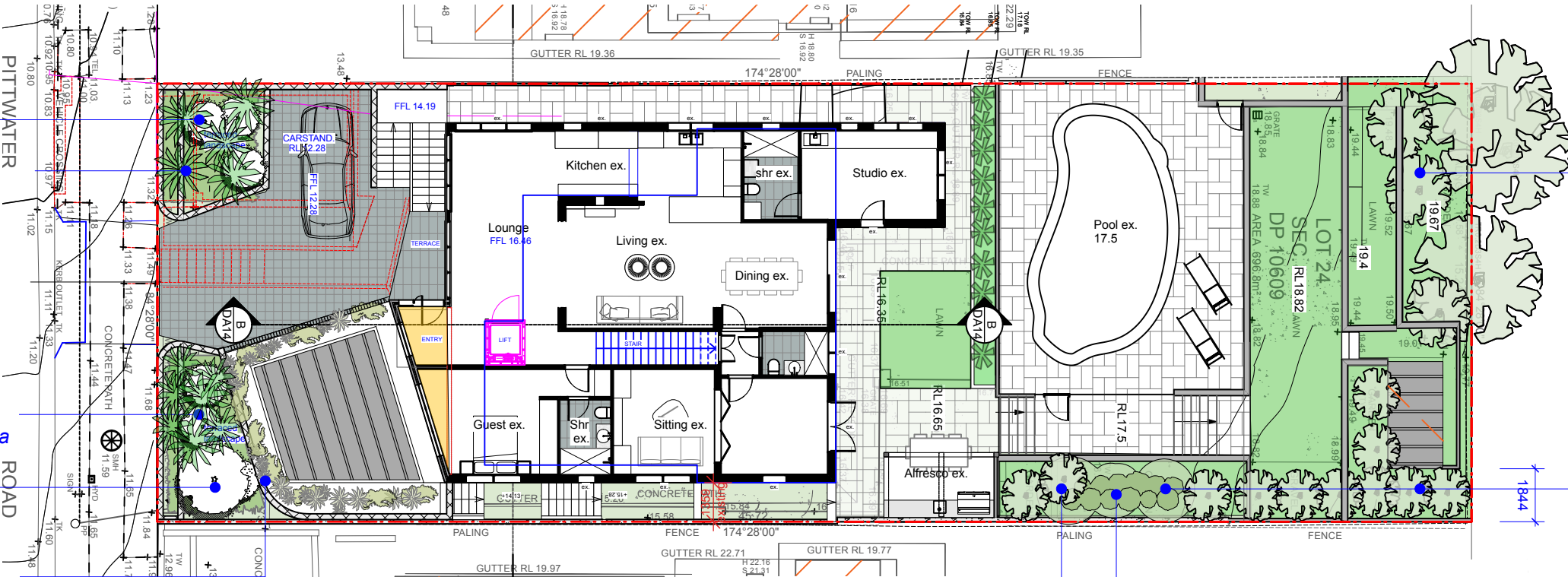
12/200mm casuarina glauca

10 /200mm Monstera deliciosa

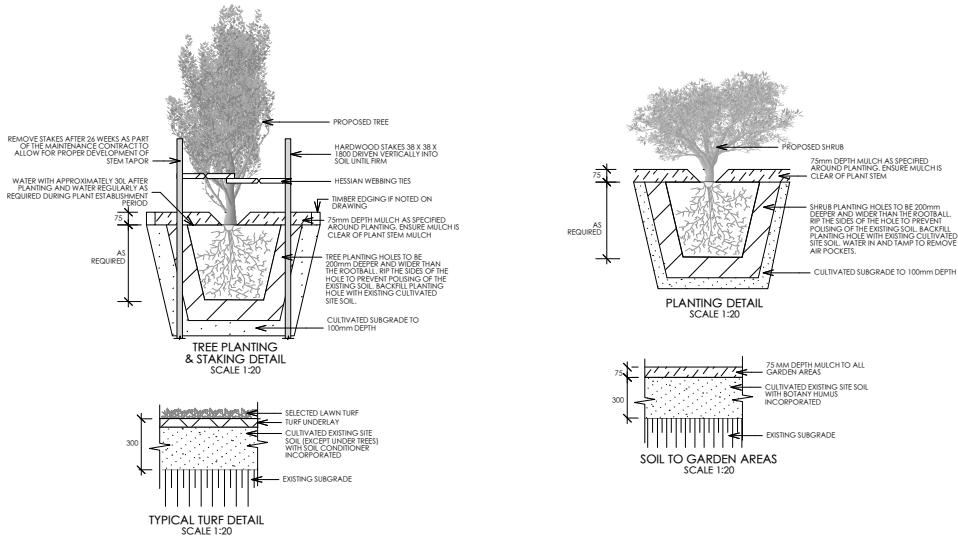
Aloe 'Bush Baby Yellow' or Native Ginger
6/400mm Agave weberi and Cissus antarctica

existing trees to be retained

existing trees and shrubs to be retained



LANDSCAPE DETAILS



No.	Date	Development Application	By	No.	Date	ISSUE	By
A	19/5/2025	Development Application					

DEVELOPMENT APPLICATION DRAWINGS ISSUED FOR APPROVALS ONLY - NOT FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY ARCHITECT. DO NOT SCALE THE DRAWINGS. THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS WITH THE ARCHITECT.



Duktig Design Pty Ltd

Studio 2, 118A Sailors Bay Road Northbridge NSW 2063
T: +61 466606717
E: alex@dktig.com.au

Nominated Architects- Alexandra Warrenen- 12541
This drawing is copyright of Duktig design. It may not be used without written consent.
We warrant that this drawing was prepared in accordance with the standards of the profession.

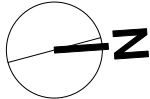
©Duktig Design Pty Ltd

Concept Landscape Plan

909 Pittwater Road Collaroy NSW 2097

909 Pittwater Road Collaroy NSW 2097

Mr Vern and Lynne Jackson



Status
DEVELOPMENT APPLICATION

SCALE 1:100

ORIGINAL DRAWING: AT A3 SIZE. A4 REDUCTION: 35.33%.

Drawn By | AW Dwg Date: | 19.05.25

Checked By | AW Plot Date: |

CAD File Name | 909 Pittwater Road DA Final 19.05.25.vex

Project No.

24003

Drawing No. Rev #

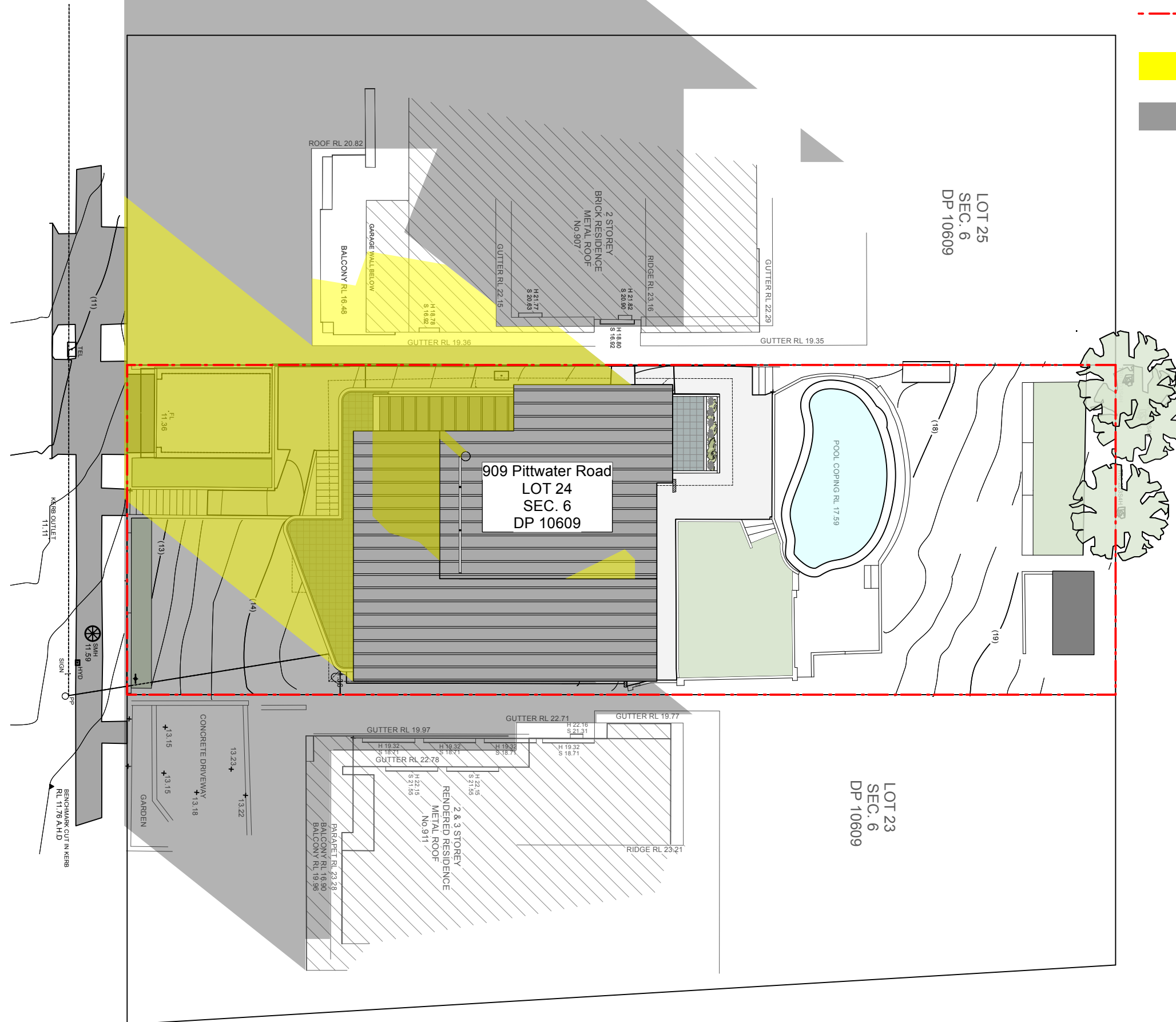
DA17 A

LEGEND

--- SITE BOUNDARY

NEW SHADOW GENERATED BY
PROPOSED BUILDING

EXISTING SHADOW

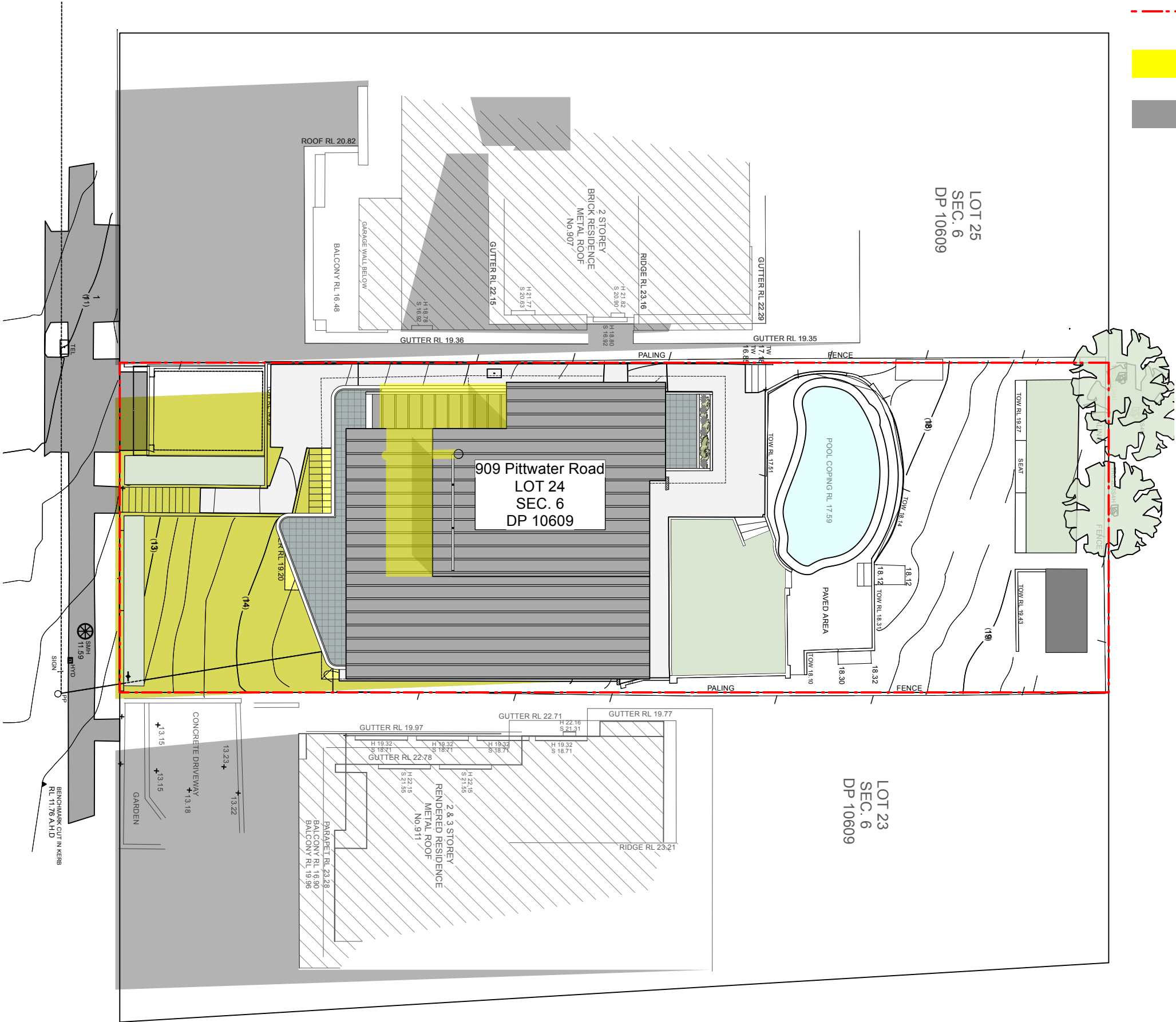
[illegible]

LEGEND

SITE BOUNDARY


NEW SHADOW GENERATED BY PROPOSED BUILDING

EXISTING SHADOW

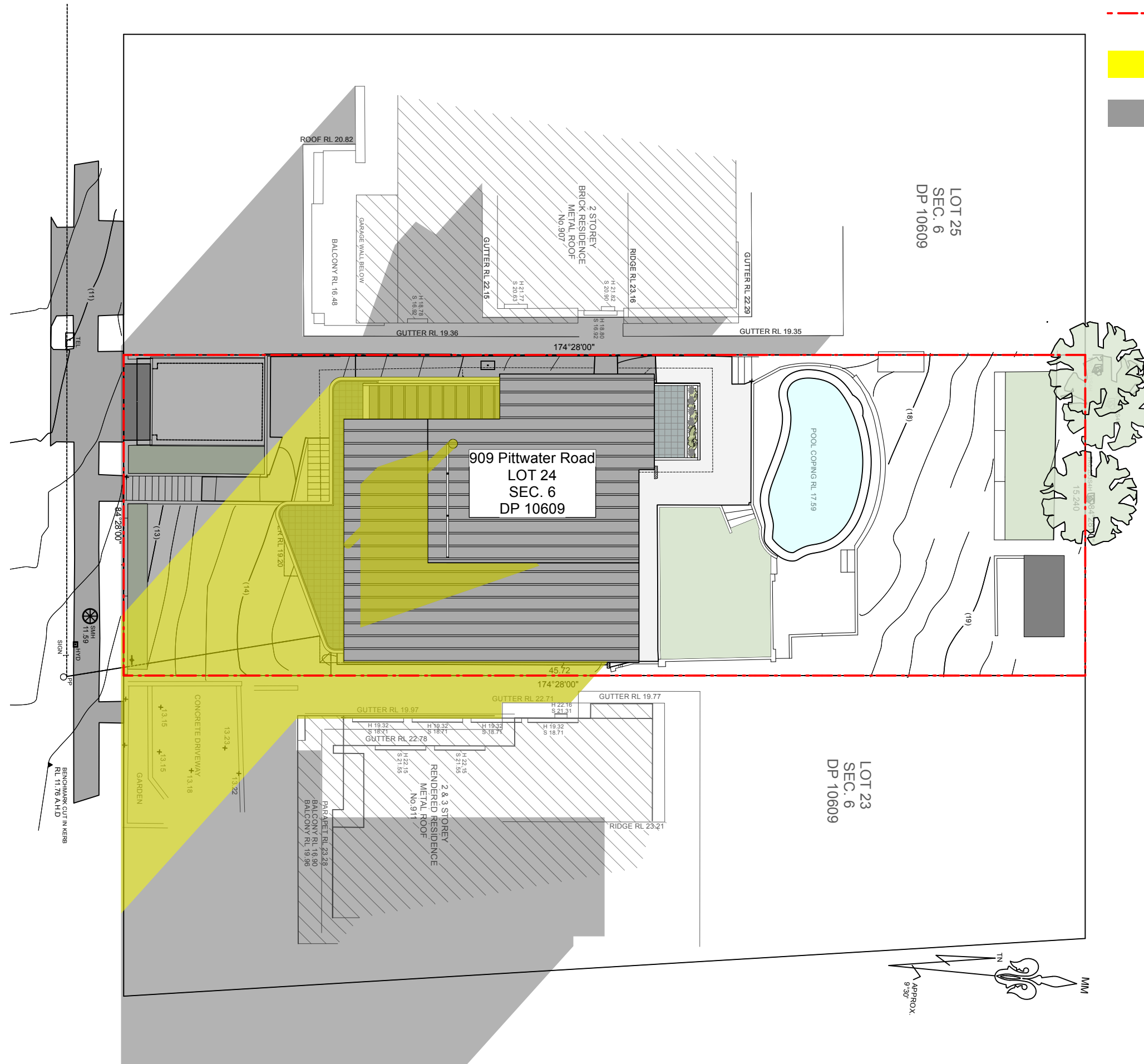


LEGEND

--- SITE BOUNDARY

 NEW SHADOW GENERATED BY
PROPOSED BUILDING

EXISTING SHADOW

[illegible]

Rended face Brick

External Facade

Prefinished Fibre Cement Wood Grained Finish wallcladding

Grey Ash/ Limed

External Facade [OBJ]



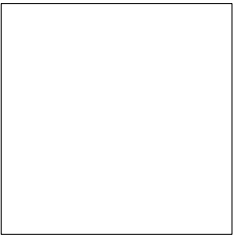
Planters and Roof garden



White painted steel internal balustrade



Standing Seam Metal roof cladding



Powdercoated aluminium
White/ greywhite

Doors and windows



Concrete Slab Edge & Rendered Concrete Finish Resene Eight Bison Hide

External Facade

Colorbond/ Shale Grey
Roofing material (non reflective)
Downpipes
Coping on parapets



Colour Palette



Aluminum glass windows and doors/Alfresco

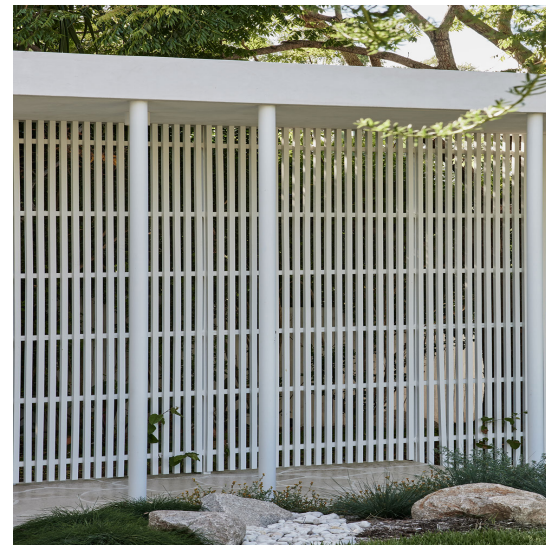


Powdercoated aluminum shade box window



Eco stone

Stone plinth
Feature Fencing



Aluminim screens and courtyards

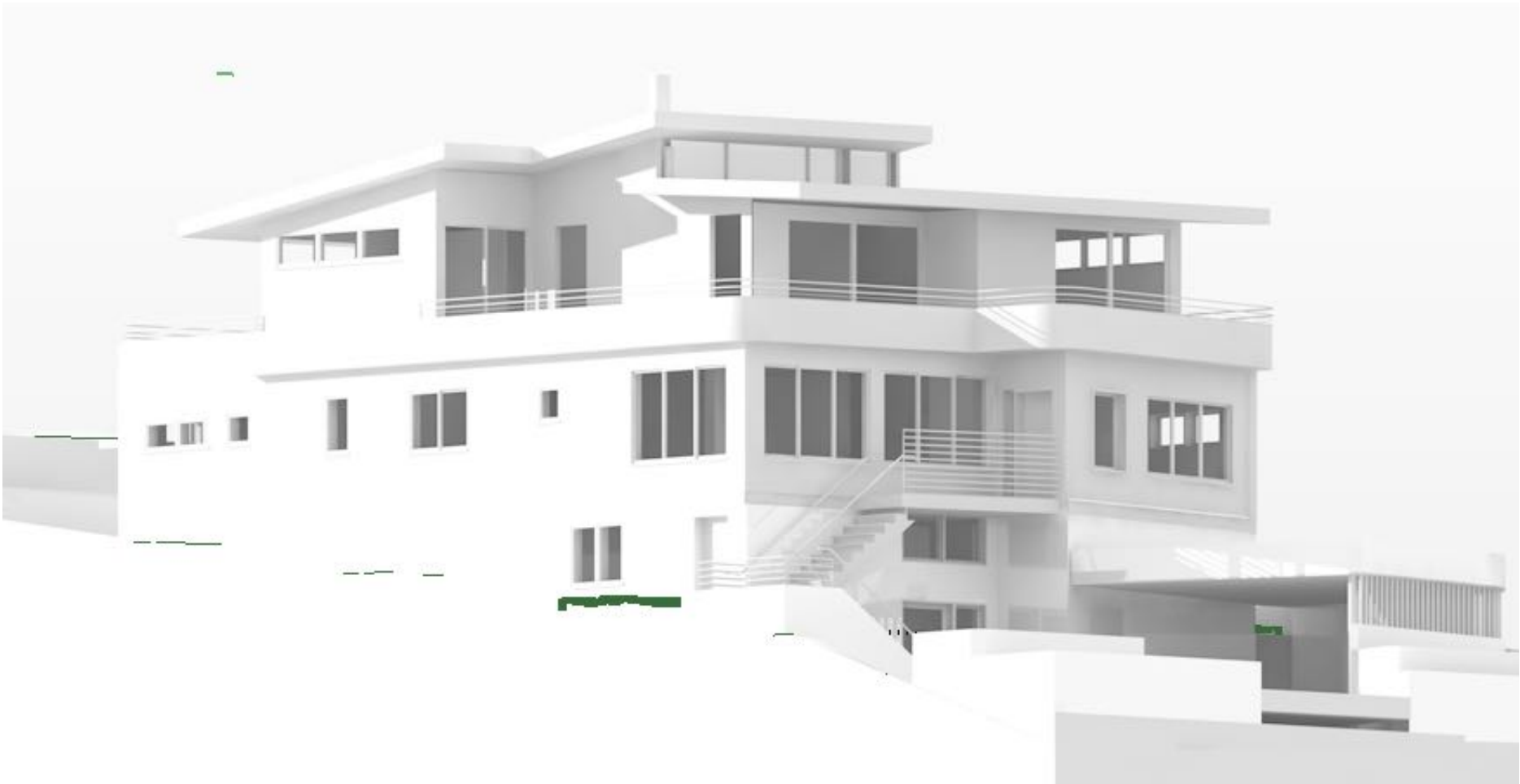


Prefinished wood grain cladding



Stone clad retaining wall/ planters

[illegible]



A	19/5/2025	Development Application					
No.	Date	REVISION	By	No.	Date	ISSUE	By

DEVELOPMENT APPLICATION DRAWINGS ISSUED FOR APPROVALS ONLY - NOT FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY ARCHITECT. DO NOT SCALE THE DRAWINGS. THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS WITH THE ARCHITECT.



Duktig Design Pty Ltd

Studio 2, 138A Sailors Bay Road Northbridge NSW 2063
T: +61 466606737
E: alex@duktig.com.au

Nominated Architect: Alexandra Warren - 12541

This drawing is copyright of Duktig Design. It may not be used without written consent. Do not scale off this drawing. Use specific dimensions only. Verify all dimensions on site.

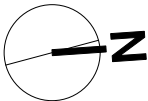
©Duktig Design Pty Ltd

Model

909 Pittwater Road Collaroy NSW 2097

909 Pittwater Road Collaroy NSW 2097

Mr Vern and Lynne Jackson



Status
DEVELOPMENT APPLICATION
SCALE 1:100

ORIGINAL DRAWING AT A3 SIZE A4 REDUCTION: 35.33%

Drawn By	AW	Dwg Date:	19.05.25
Checked By	AW	Plot Date:	
CAD File Name	909 Pittwater Road DA Final 19.05.25.vwx		

Project No.	24003
Drawing No.	Rev #
DA23 A	