8.0 DRAWINGS

7.01 Drawings List

DA - 011	Existing Site Plan
DA - 020	Proposed Site Plan
DA - 021	Site Plan - Northern Boundary
DA - 050	Site Diagram - Communal Open Space
DA - 051	Site Diagram - Deep Soil Zones
DA - 052	Site Diagram - Landscaped Area
DA - 100	Proposed Apartment Ground Floor Plan / Townhouse Garage Lower Level Floor Plan
DA - 101	Proposed Apartment First Floor Plan / Townhouse Lower Level Floor Plan
DA - 102	Proposed Apartment Second Floor Plan / Townhouse Mid Level Floor Plan
DA - 103	Proposed Apartment Roof Plan / Townhouse Upper Level Floor Plan
DA - 104	Proposed Overall Roof Plan
DA - 105	Proposed Basement 01 Plan
DA - 106	Proposed Basement 02 Plan
DA - 110	Typical Apartment Layouts
DA - 120	Typical Townhouse Layouts
DA - 121	Typical Townhouse Layouts
DA - 200	Proposed Elevations
DA - 201	Proposed Elevations
DA - 250	Proposed Sections
DA - 251	Proposed Sections
DA - 300	Shadow Diagrams



REV: C

VIAARCHITECTS. COM.AU

EXISTING FEATURE LAND SURVEY INFORMATION AS SHOWN PREPARED BY NO GLAND DEVELOPMENT SOLUTIONS. DATE OF SURVEY: 2801/2016 SURVEY REF. 6882 SURVEY PLAN NOT SHOWN TO TRUE NORTH ORIGINATION. REFER TO NORTH POINT AS SHOWN.



WARRIEWOOD RESIDENTIAL DEVELOPMENT

25 - 27 WARRIEWOOD ROAD, NSW 2102

EXISTING SITE PLAN

KNOWLES GROUP

DEVELOPMENT APPLICATION



PROJECT No. 1510121 PROJECT DATE

PROJECT DATE
NOVEMBER 2018

SCALE (BIA1) DRAWING No. 1:500 DA-011



COUNCIL RECLAIMED CREEK CORRIDOR ZONE 25 METRE LANDSCAPED BUFFER ZONE

PROPOSED NEIGHBOURING BUILDINGS EXISTING NEIGHBOURING BUILDINGS

TREE - PROPOSED REFER TO LANDSCAPE PLAN FOR DETAILS

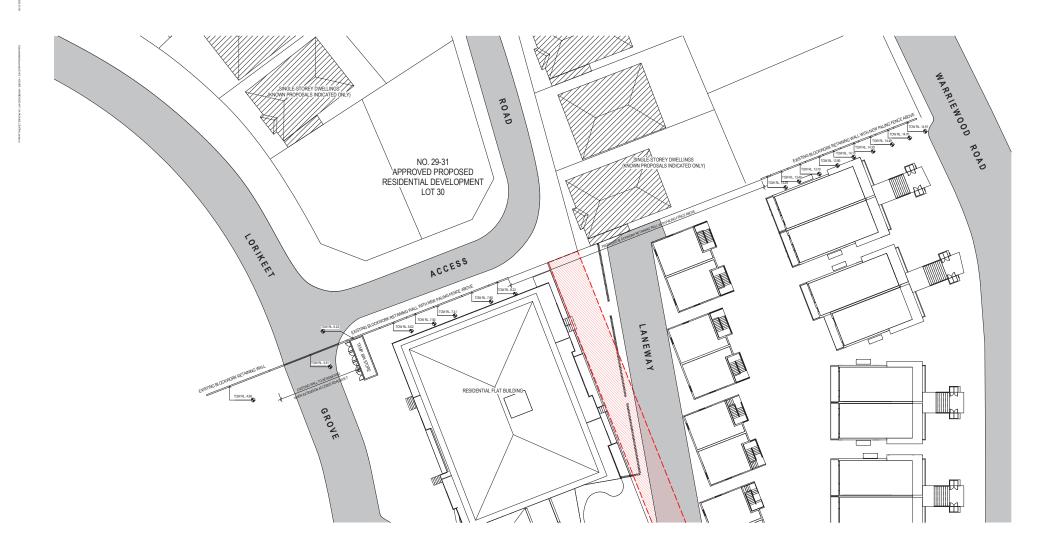
NOTE: THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE 'DRAFT PLAN OF SUBDIVISION SUBJECT TO FINAL SURVEY' PREPARED FOR APPROVED DEVELOPMENT CONSENT N0611/16 RELATING

TO THE DEVELOPMENT OF THE RESIDUAL SUPER LOT (LOT 2).

WARRIEWOOD RESIDENTIAL DEVELOPMENT

25 - 27 WARRIEWOOD ROAD, NSW 2102

PROPOSED SITE PLAN KNOWLES GROUP



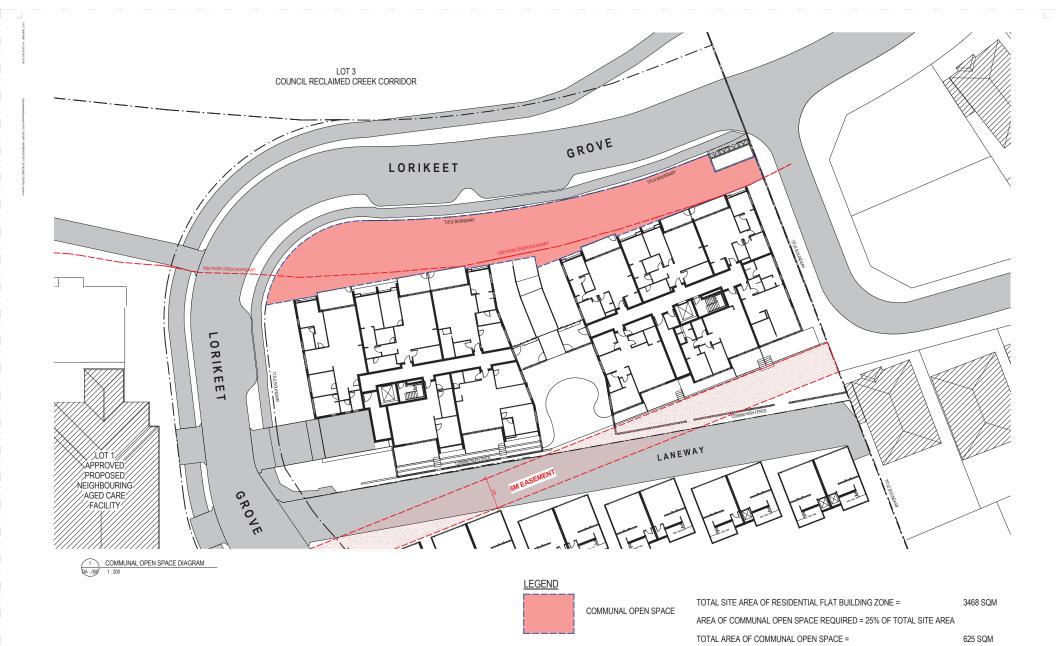
ADDRESS 25 - 27 WARRIEWOOD ROAD, NSW 2102

SITE PLAN - NORTHERN BOUNDARY

KNOWLES GROUP







ADDRESS
27 WARRIEWOOD ROAD, NSW 2102
DRAWING TITLE
SITE DIAGRAM - COMMUNAL OPEN SPACE

KNOWLES GROUP

DEVELOPMENT APPLICATION



AREA OF COMMUNAL OPEN SPACE PROVIDED = 18% OF TOTAL SITE AREA





25 - 27 WARRIEWOOD ROAD, NSW 2102

SITE DIAGRAM - DEEP SOIL ZONES

KNOWLES GROUP







LANDSCAPED AREA (AS PER CLAUSE C6.7 OF DCP) LANDSCAPED AREA REQUIRED = 41% OF TOTAL SITE AREA TOTAL LANDSCAPED AREA = 229 SQM LANDSCAPED AREA PROVIDED = 57.5% OF TOTAL SITE AREA

TOTAL SITE AREA OF LOT 22 = 7785 SQM LANDSCAPED AREA REQUIRED = 41% OF TOTAL SITE AREA TOTAL LANDSCAPED AREA = 3288 SQM

LANDSCAPED AREA PROVIDED = 42.2% OF TOTAL SITE AREA

WARRIEWOOD RESIDENTIAL DEVELOPMENT

25 - 27 WARRIEWOOD ROAD, NSW 2102 SITE DIAGRAM - LANDSCAPED AREA

KNOWLES GROUP

DEVELOPMENT APPLICATION



LEGEND



LANDSCAPED AREA OF MINIMUM DIMENSION 3-METRE WIDE (AS PER CLAUSE D16.5 OF DCP)

TOTAL SITE AREA OF LOT 21 = LANDSCAPED AREA REQUIRED = 25% OF TOTAL SITE AREA TOTAL LANDSCAPED AREA =

LANDSCAPED AREA PROVIDED = 57.5% OF TOTAL SITE AREA

TOTAL SITE AREA OF LOT 22 = LANDSCAPED AREA REQUIRED = 25% OF TOTAL SITE AREA TOTAL LANDSCAPED AREA = LANDSCAPED AREA PROVIDED = 41% OF TOTAL SITE AREA





229 SQM

7785 SQM

3192 SQM



PROPOSED OVERALL ROOF PLAN

KNOWLES GROUP



DATE 14.11.2018





25 - 27 WARRIEWOOD ROAD, NSW 2102 PROPOSED BASEMENT 01 PLAN

KNOWLES GROUP

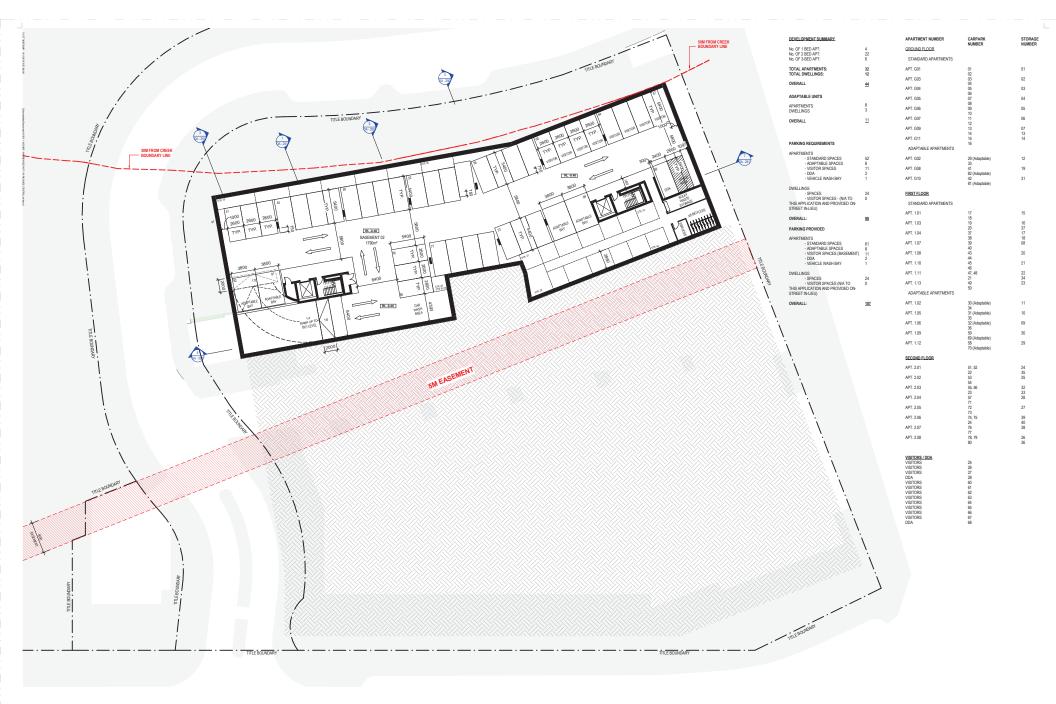
DEVELOPMENT APPLICATION





DATE 14.11.2018





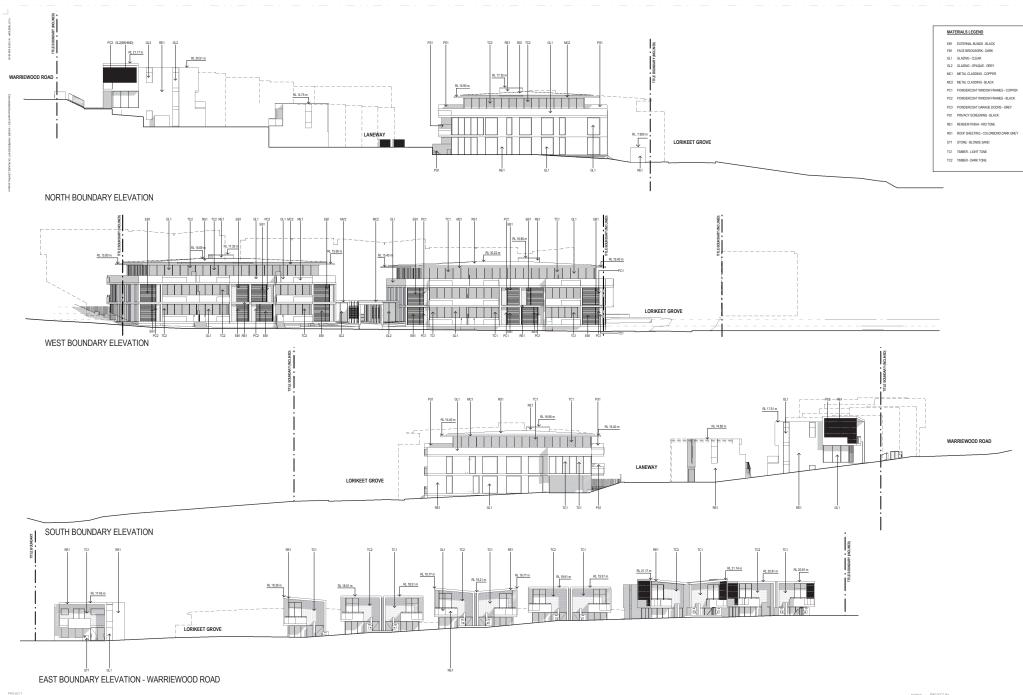
25 - 27 WARRIEWOOD ROAD, NSW 2102 PROPOSED BASEMENT 02 PLAN

KNOWLES GROUP









ADDRESS 25 - 27 WARRIEWOOD ROAD, NSW 2102

PROPOSED ELEVATIONS

KNOWLES GROUP

DEVELOPMENT APPLICATION





1510121

PROJECT DATE

NOVEMBER 2018

SCALE (g/A1) DRAWING No. REV

1: 200 DA - 200 H

DATE



APT ENTRY COURTYARD ELEVATION 4





MATERIALS LEGEND EB1 EXTERNAL BLINDS - BLACK FB1 FACE BRICKWORK - DARK GL1 GLAZING - CLEAR GL2 GLAZING - OPAQUE - GREY MC1 METAL CLADDING - COPPER MC2 METAL CLADDING - BLACK

PS1 PRIVACY SCREENING - BLACK

ST1 STONE - BLONDE SAND

APT ENTRY COURTYARD ELEVATION 3



25 - 27 WARRIEWOOD ROAD, NSW 2102

PROPOSED SECTIONS

KNOWLES GROUP







