

BCA ASSESSMENT REPORT

Unit 12/ 14 Inman Road, CROMER NSW 2099

Client:	Strength Tribe
Reference:	20053
Revision:	01
Date:	13/08/2021

DAVIS
GROUP

CONDITIONS OF USE

This report has been prepared specifically for this project and solely for the use of our client, with the understanding that all information contained within this report is to be regarded and treated as strictly confidential. No reliance should be placed on the information contained within this Report by any other person or third party. While all due care has been taken in the preparation of this report, no warranty is given, nor liability accepted (except that required by law) in relation to the information contained within this report.

To the extent permitted by law, all rights are reserved and no part of this report covered by copyright may be reproduced, copied or transmitted in any form or by any means without the written permission of Davis Group Pty Ltd.

This report represents the opinions of Davis Group Pty Ltd based on the facts and matters known at the time of preparation. Opinions, judgements and recommendations detailed in this report, which are based on our understanding and interpretation of current statutory and regulatory documents and should not be construed as legal opinions.

CONTACT INFORMATION

Davis Group Pty Ltd

PO Box 7293

Norwest NSW 2153

E: info@davisgroup.com.au

ABN 49 620 478 248

REVISION HISTORY

DATE	REVISION	STATUS	AUTHOR
13/08/2021	01	Issued to client	JD

Prepared by:



Jad Davis

Director, for and on behalf of Davis Group Pty Ltd

Building Surveyor – Unrestricted – BDC2399 (NSW)

Building Surveyor Practitioner Level 1 – BSP 2249 (WA)

TABLE OF CONTENTS

EXECUTIVE SUMMARY	4
1. INTRODUCTION.....	5
1.1 BACKGROUND.....	5
1.2 PURPOSE OF REPORT	5
1.3 DOCUMENTATION.....	5
1.4 LIMITATIONS AND EXCLUSIONS	5
2. DEVELOPMENT SUMMARY	6
2.1 LOCATION.....	6
2.2 DESCRIPTION OF DEVELOPMENT	6
2.3 PRINCIPAL BUILDING CHARACTERISTICS.....	6
3. BCA ASSESSMENT	7
3.1 SECTION C: FIRE RESISTANCE	7
3.2 SECTION D: ACCESS AND EGRESS	14
3.3 SECTION E: SERVICES AND EQUIPMENT	21
3.4 SECTION F: HEALTH AND AMENITY	25
APPENDIX A – PLANS	31
APPENDIX B – TEST REPORT – FLOOR LINING	34
APPENDIX C – SHOWER FACILITIES AGREEMENT.....	37

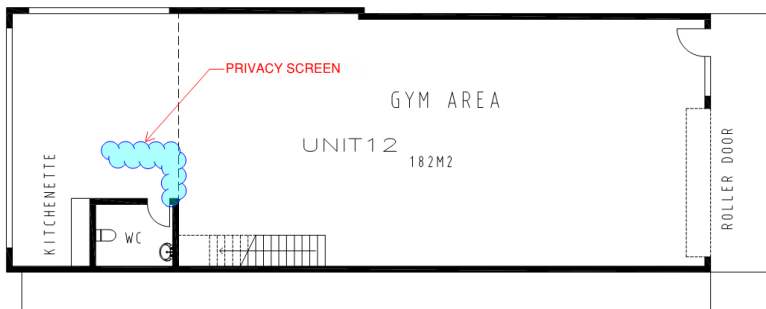
EXECUTIVE SUMMARY

Davis Group has been engaged by Strength Tribe to prepare a BCA Assessment Report to assess the proposed change of use to a gymnasium at 12/ 14 Inman Road, Cromer. The report is intended to be submitted to Northern Beaches Council as part of a development application for the proposed development.

Engagement involved assessment of the proposed development against Parts C, D1, D2, E and F of the Building Code of Australia 2019 (Amendment 1) (BCA).

The purpose of this report is to document the assessment of the proposed development against the relevant Deemed-to-Satisfy Provisions of the BCA and to make recommendations how compliance with the BCA may be achieved or demonstrated.

The following is a summary of the key BCA compliance issues which require attention. It is important to note that these comments should be read in conjunction with the full BCA assessment contained in Section 3.

CLAUSE	PROVISION	COMMENT
E4.2	Emergency lighting requirements	Works Required Emergency lighting must be provided throughout the tenancy (every room which is accessible to the public).
E4.5	Exit signs	Works Required An additional exit sign must be provided above or adjacent to the doorway forming part of the required exit from the top storey.
F4.8	Restriction on location of sanitary compartments	Works Required The existing sanitary compartment opens directly into a workplace normally occupied by more than one person. Refer to the comments in F4.9 of this report.
F4.9	Airlocks	Works Required <p>The existing unisex sanitary sanitary compartment is provided with mechanical exhaust ventilation, however, the doorway to the room is not adequately screened from view.</p> <p>It is recommended the doorway to the sanitary compartment be adequately screened from view in accordance with F4.9(b)(ii) of the BCA. This can be achieved by providing a privacy screen, partition or similar. Refer to the marked up floor plan below showing the approximate location of the privacy screen.</p>  <p>The floor plan shows Unit 12 (182M2) with a Gym Area, Kitchenette, and WC. A blue cloud-like shape labeled 'PRIVACY SCREEN' is positioned at the doorway of the WC. A 'ROLLER DOOR' is indicated on the right side of the unit.</p>

1. INTRODUCTION

1.1 BACKGROUND

Davis Group has been engaged by Strength Tribe to prepare a BCA Assessment Report to assess the proposed change of use to a gymnasium at Unit 12/ 14 Inman Street, Cromer. The report is intended to be submitted to Northern Beaches Council as part of a development application.

Engagement involved assessment of the proposed development against Parts C, D1, D2, E and F of the Building Code of Australia 2019 (Amendment 1) (BCA).

1.2 PURPOSE OF REPORT

The purpose of this report is to document the assessment of the proposed development against the relevant Deemed-to-Satisfy Provisions of the BCA and to make recommendations how compliance with the BCA may be achieved or demonstrated.

1.3 DOCUMENTATION

The following legislation and documentation has been reviewed, referenced and/or relied upon in the formulation of this report:

- Environmental Planning and Assessment Act 1979 (NSW) (EP&A Act)
- Environmental Planning and Assessment Regulation 2000 (EP&A Regulation)
- Building Code of Australia 2019 (Amendment 1) – Volume One (BCA)
- Architectural plans prepared by Corona Projects:

TITLE	REFERENCE	REVISION	DATE
Site Plan	01	B	June 2021
Existing Floor Plan	02	B	June 2021
Mezzanine Floor Plan	03	B	June 2021

1.4 LIMITATIONS AND EXCLUSIONS

This report does not include or imply that any assessment has been undertaken to address matters in relation to the following:

- Construction Safety Act, Disability Discrimination Act, Local Government Act and Work Health and Safety Act.
- Requirements of other Regulatory Authorities, including, but not limited to, Telstra, Sydney Water, Electricity Supply Authority, WorkCover, RTA or the like.
- Part D, Section J or any other part of the BCA not specifically noted.
- The design, maintenance or operation of any electrical, mechanical, hydraulic or fire services

This report does not incorporate a detailed assessment of the Australian Standards referenced in the BCA. Structural and services documentation have not been reviewed. This report considered matters of a significant nature and should not be considered an exhaustive list.

This report does not relieve a Registered Certifier or Council of their statutory obligations under the EP&A Act or Building and Development Certifiers Act and they are to be satisfied that the proposal meets their requirements prior to approval.

Davis Group Pty Ltd cannot guarantee acceptance of this report by the Council, Fire Brigade or any other approval authority.

2. DEVELOPMENT SUMMARY

2.1 LOCATION

The subject tenancy is located at Unit 12/ 14 Inman Road, Cromer. The property is bound by Inman Road to the west, Orlando Road to the south and existing buildings to the north and east.

The site is located within the Local Government Area of the Northern Beaches Council.

2.2 DESCRIPTION OF DEVELOPMENT

A development application is intended to be submitted to Northern Beaches Council. The proposed development involves a change of building use from an industrial unit to a gymnasium.

2.3 PRINCIPAL BUILDING CHARACTERISTICS

The following is summary of the principal building characteristics for the purpose of the BCA.

BCA CLASSIFICATION	Lower storey - Class 9b (gymnasium) Upper storey – Class 5 (office – physiotherapy)
RISE IN STOREYS	Four (4)
STOREYS CONTAINED	Four (4)
EFFECTIVE HEIGHT	Approximately 8.5 m
FLOOR AREA LIMITATIONS	8,000 m ²
VOLUME LIMITATIONS	48,000 m ³
TYPE OF CONSTRUCTION	Type A
CLIMATE ZONE	Zone 5

3. BCA ASSESSMENT

The following is a detailed clause by clause assessment of the proposed development against the relevant Deemed-to-Satisfy Provisions of Section C, D1, D2, E and F of the BCA.


The following abbreviations have been used:


ABBREVIATION	MEANING
Not Relevant	The Deemed-to-Satisfy Provision is not relevant to the proposed development.
Noted	The relevant parts of the Deemed-to-Satisfy Provision have been noted and considered.
Details Required	Compliance with the relevant parts of the Deemed-to-Satisfy Provision is unable to be determined. Additional construction documentation or details are required to determine compliance.
Compliance Achievable	Compliance with the relevant parts of the Deemed-to-Satisfy Provision are capable of being satisfied based on the information available. Construction details are to be provided as part of the construction certificate application.
Works Required	Compliance with the relevant parts of the Deemed-to-Satisfy Provision has not been achieved. It is recommended upgrade works be carried out to achieve compliance.
Performance Solution	Compliance with the relevant parts of the Deemed-to-Satisfy Provision has not been achieved. It is recommended compliance with the BCA be satisfied via a Performance Solution.

3.1 SECTION C: FIRE RESISTANCE

Section C of the BCA relates to fire resistance and stability, compartmentation and separation and protection of openings.

C1 – FIRE RESISTANCE AND STABILITY			
CLAUSE	PROVISION	COMMENT	STATUS
C1.1	Type of construction required	The existing building is required to be Type A construction. The proposed development does not result in a change to the required Type of construction.	Noted
C1.2	Calculation of rise in storeys	The existing building has a rise in storeys of 4. The proposed development does not change the rise in storeys.	Noted

C1.3	Buildings of multiple classification	<p>In a building of multiple classifications, the Type of construction required for the building is the most fire-resisting Type resulting from the application of Table C1.1 on the basis that the classification applying to the top storey applies to all storeys</p> <p>The existing building is required to be of Type A construction and the proposed development does not change the required Type of construction.</p>	Noted
C1.4	Mixed types of construction	The building is only required to be of Type A construction.	Not Relevant
C1.5	Two storey Class 2, 3 or 9c buildings	The proposed development does not include a Class 2, 3 or 9c part.	Not Relevant
C1.6	Class 4 parts of buildings	The proposed development does not include a Class 4 part.	Not Relevant
C1.7	Open spectator stands and indoor sports stadiums	The proposed development does not include an open spectator stand or indoor sports stadium.	Not Relevant
C1.8	Lightweight construction	The proposed development does not include the use of lightweight construction.	Not Relevant
C1.9	Non-combustible building elements	The proposed development does not include any alterations to the existing external walls, fire-resisting walls, common walls or lift pits and no new walls are proposed as part of this development.	Not Relevant
C1.10	Fire hazard properties	<p>A new floor lining has been installed throughout the tenancy.</p> 	Complies

		The lining achieves a critical heat flux of at least 2.2kW/m ² and a smoke development rate of less than 750 percent-minutes. A copy of the test report supplied by the installer and manufacturer is attached in Appendix B.	
C1.11	Performance of external walls in fire	The existing building has a rise in storeys of more than two.	Not Relevant
C1.12	*****	This clause has been deliberately left blank in the BCA.	Noted
C1.13	Fire protected timber: concession	-	Not Relevant
C1.14	Ancillary elements	<p>A new sign has been fixed to the external wall in the carpark.</p> <p>The sign does not extend beyond one storey, does not extend beyond a single fire compartment and is not vertically located near any other signs.</p> 	Complies

C2 – COMPARTMENTATION AND SEPARATION			
CLAUSE	PROVISION	COMMENT	STATUS
C2.1	Application of part	C2.2, C2.3 and C2.4 do not apply to a carpark provided with a sprinkler system complying with Specification E1.5, an open-deck carpark or an open spectator stand.	Noted
C2.2	General floor area and volume limitations	The top two storeys appear to be a single fire compartment. The existing fire compartment does not exceed 8,000m ² or 48,000m ³ .	Compliance Achievable
C2.3	Large isolated buildings	The building is not a large isolated building.	Not Relevant
C2.4	Requirements for open spaces and vehicular access	The building is not a large isolated building.	Not Relevant
C2.5	Class 9a and 9c buildings	The proposed development does not include a Class 9a or 9c part.	Not Relevant
C2.6	Vertical separation of openings in external walls	The proposed development does not include any alterations to existing spandrel separation and no new openings in the external wall are proposed as part of this development.	Not Relevant
C2.7	Separation by fire walls	The proposed development does not include any alterations to a fire wall and no new fire walls are proposed as part of this development.	Not Relevant
C2.8	Separation of classifications in the same storey	<p>As a result of the proposed development, different classifications will be located alongside one another in the same storey.</p> <p>The existing building was approved for an industrial use, which has a higher required FRL (240/240/240) than that required by a Class 5/ 9b (120/120/120).</p> <p>The existing FRL prescribed in Specification C1.1 of the BCA is higher than the proposed use. Therefore, no separation is required in accordance with C2.8(a) of the BCA.</p>	Noted


C2.9	Separation of classification in different storeys	The existing building was approved for use as an industrial building, which requires an FRL of 240/240/240 for floors. The proposed development results in a lower FRL of 120/120/120 being require for the floors.	Noted
C2.10	Separation of lift shafts	The proposed development does not include any alterations to a lift shaft and no new lift shaft is proposed as part of this development.	Not Relevant
C2.11	Stairways and lifts in one shaft	The existing tenancy does not include a lift shaft. The proposed development does not include a lift shaft.	Not Relevant
C2.12	Separation of equipment	The proposed development does not include alteration to or the construction or alterations to lift motors, emergency generators fire services operating in emergency mode, smoke control plant, large batteries, boilers or on-site fire hydrant pumps.	Not Relevant
C2.13	Electricity supply system	The proposed development does not include alteration to or construction of a sub-station or equipment required to operate in emergency mode such as fire hydrant pumps, sprinkler pumps, emergency lifts, EWIS or smoke exhaust etc.	Not Relevant
C2.14	Public corridors in Class 2 and 3 buildings	The proposed development does not include a Class 2 or 3 building.	Not Relevant
C3 – PROTECTION OF OPENINGS			
CLAUSE	PROVISION	COMMENT	STATUS
C3.1	Application of part	C3 does not apply to control joints, weep holes and the like in external walls of masonry construction.	Noted
C3.2	Protection of openings in external walls	<p>The existing tenancy includes multiple openings in the external wall that are protected by existing fire resisting windows (glass blocks).</p> <p>The proposed development does not include any alterations to the existing fire windows and no new openings are proposed as part of this development.</p>	Not Relevant

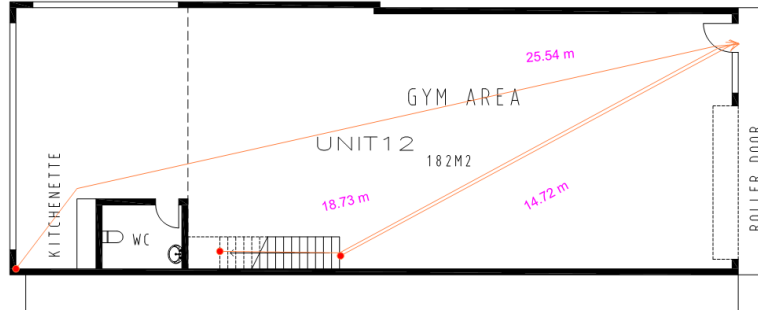
C3.3	Separation of external walls and associated openings in different fire compartments	The proposed development does not include any alterations to the existing fire compartments and no alterations to any existing external walls are proposed as part of this development.	Not Relevant
C3.4	Acceptable methods of protection	The proposed development does not include the construction of any new openings that are required to be protected against the spread of fire.	Not Relevant
C3.5	Doorways in fire walls	The proposed development does not include any alterations to a doorway in a fire wall and no new fire walls or doorways are proposed as part of this development.	Not Relevant
C3.6	Sliding fire doors	The proposed development does not include any alterations to a sliding fire door and no new sliding fire doors are proposed as part of this development.	Not Relevant
C3.7	Protection of doorways in horizontal exits	The proposed development does not include the construction of a horizontal exit and not alterations to a horizontal exit are proposed as part of this development.	Not Relevant
C3.8	Openings in fire-isolated exits	The proposed development does not include any alterations to the existing fire-isolated exits serving the building	Not Relevant
C3.9	Service penetrations in fire-isolated exits	The proposed development does not include any alterations to the existing fire-isolated exits serving the building	Not Relevant
C3.10	Openings in fire-isolated lift shafts	The proposed development does not include the construction of a new lift and a lift is not proposed as part of this development.	Not Relevant
C3.11	Bounding construction: Class 2 and 3 buildings and Class 4 parts	The proposed development does not include a Class 2, 3 or 4 part.	Not Relevant
C3.12	Openings in floors and ceilings for services	The proposed development does not include any new services that will pass through a floor that is required to have an FRL with respect to integrity and insulation; nor a ceiling required to have a resistance to the incipient	Not Relevant

		spread of fire. No alterations to existing openings are proposed as part of this development.	
C3.13	Openings in shafts	The proposed development does not include the construction of a new shaft and no alterations to any existing fire-resisting shafts are proposed as part of this development.	Not Relevant
C3.14	* * * * *	This clause has been deliberately left blank in the BCA.	Noted
C3.15	Openings for service installations	The proposed development does not include any new services that will pass through or penetrate fire-resisting construction and no alterations to any existing penetrations are proposed as part of this development.	Not Relevant
C3.16	Construction joints	The proposed development does not include the construction of new construction joints between fire-resisting building elements and no alterations to existing construction joints are proposed as part of this development.	Not Relevant
C3.17	Columns protected with lightweight construction to achieve an FRL	The proposed development does not include the construction of any columns protected by lightweight construction and no alterations are proposed to any columns protected by lightweight construction are proposed as part of this development.	Not Relevant


3.2 SECTION D: ACCESS AND EGRESS

Section D of the BCA contains provisions relating to access and egress, provision for escape, construction of exits and access for people with a disability.

D1 – PROVISION FOR ESCAPE			
CLAUSE	PROVISION	COMMENT	STATUS
D1.1	Application of part	D1 does not apply to the internal parts of a sole-occupancy unit in a Class 2 or 3 building or a Class 4 part of a building.	Noted
D1.2	Number of exits required	The client has indicated the maximum population for the tenancy is proposed to be 10 persons. The building does not have an effective height of more than 25m or a rise in storeys of more than 6. Every storey of the tenancy is provided with access to at least one exit.	Complies
D1.3	When fire-isolated stairways and ramps are required	The existing stairway located in the tenancy is not required to be fire-isolated as it does not connect more than two consecutive storeys.	Not Relevant
D1.4	Exit travel distances	<p>The maximum travel distance to the exit from the top storey is approximately 11 m.</p> 	Noted – Existing

		<p>The maximum travel distance to an exit on the lower storey in the tenancy is approximately 26 m. The proposed development does not include any alterations to the existing travel distance to an exit.</p> 	
D1.5	Distance between alternative exits	The tenancy is provided with a single exit that discharges to the open space (carpark that is open to the sky).	Not Relevant
D1.6	Dimensions of exits and paths of travel to exits	<p>No alterations are proposed to the existing dimensions of the exits or paths of travel to an exit as part of this development.</p> <p>A required exit or path of travel to an exit is required to have a minimum unobstructed height of not less than 2m and minimum width of 1m (except doorways which are permitted to be 1980mm and 750mm).</p>	Complies
D1.7	Travel via fire-isolated exits	The proposed development does not include the construction of a new fire-isolated exit and no alterations to the existing fire-isolated exits are proposed as part of this development.	Not Relevant
D1.8	External stairways or ramps in lieu of fire-isolated exits	The proposed development does not include the use of an external stairway or ramp in lieu of a fire-isolated exit.	Not Relevant
D1.9	Travel by non-fire-isolated stairways or ramps	<p>Egress from the top storey to the open space is provided by a continuous non-fire-isolated stairway.</p> <p>The total travel distance from the top storey to the open space is approximately 30m, which is less than 80 m.</p>	Complies

		The non-fire-isolated exit discharges approximately 15 m from the door that leads to the open space, which is less than 20 m.	
D1.10	Discharge from exits	The proposed development does not include any alterations to the existing dimensions of the path of travel to the road or the existing door serving as an exit from the tenancy.	Noted
D1.11	Horizontal exits	The proposed development does not include the construction of a new horizontal exit and no alterations are proposed to an existing horizontal exit as part of this development.	Not Relevant
D1.12	Non-required stairways, ramps or escalators	The proposed development does not include the construction of a new escalator, moving walkway or non-required non fire-isolated stairway or pedestrian ramp and none are proposed to be altered as part of this development.	Not Relevant
D1.13	Number of persons accommodated	The client has advised a maximum of 10 persons are proposed to occupy the tenancy at any time.	Noted
D1.14	Measurement of distances	-	Noted
D1.15	Method of measurement	-	Noted
D1.16	Plant rooms, lift machine rooms and electricity network substations: concession	The proposed development does not include a plant room or Class 8 electricity network substation.	Not Relevant
D1.17	Access to lift pits	The proposed development does not include a lift.	Not Relevant
D1.18	Egress from early childhood centres	The proposed development does not include an early childhood centre.	Not Relevant
D2 - CONSTRUCTION OF EXITS			
CLAUSE	PROVISION	COMMENT	STATUS
D2.1	Application of part	D2 does not apply to the internal parts of a sole-occupancy unit in a Class 2 building or Class 4 part of a	Noted

		building except for D2.13, D2.14(a), D2.16, D2.17(d), D2.17(e), D2.18 and D2.24.	
D2.2	Fire-isolated stairways and ramps	The proposed development does not include the construction of a new fire-isolated stairway or any alterations to an existing fire-isolated stairway.	Not Relevant
D2.3	Non-fire-isolated stairways and ramps	<p>The existing non-fire-isolated stairway in the tenancy is constructed from steel.</p>  <p>The proposed development does not include the construction of a new non-fire-isolated stairway or ramp or alterations to the existing non-fire-isolated stairway.</p>	Not Relevant
D2.4	Separation of rising and descending stair flights	The proposed development does not include the construction of a new fire-isolated stairway or any alterations to an existing fire-isolated stairway.	Not Relevant
D2.5	Open access ramps and balconies	An open access ramp or balcony is not required to be provided to meet the smoke hazard management requirements of Table E2.2a.	Not Relevant


D2.6	Smoke lobbies	The proposed development does not include the construction of a smoke lobby or any alterations to a smoke lobby.	Not Relevant
D2.7	Installations in exits and paths of travel	The proposed development does not include the installation of any new electrical meters, distribution boards, electrical motors, telecommunications distribution boards, gas services, or other services in a fire-isolated exit.	Not Relevant
D2.8	Enclosure of space under stairs and ramps	The space below the non-fire-isolated stairways serving as an exit is not currently and is not proposed to be enclosed to form a cupboard or other enclosed space as part of this development.	Not Relevant
D2.9	Width of required stairways and ramps	The existing non-fire-isolated stairway in the tenancy is not more than 2m wide.	Not Relevant
D2.10	Pedestrian ramps	The door of the tenancy discharges into a carpark (open space) that is connected to the road by an existing ramp that has a not steeper than 1:8.	Noted
D2.11	Fire-isolated passageways	No alterations are proposed to the existing fire-isolated passageways in the building as part of this development.	Not Relevant
D2.12	Roof as open space	The existing building appears to rely upon the driveway/ carpark as open space. The driveway/ carpark is the roof of the storey below. No alterations to the existing roof are proposed as part of this development.	Not Relevant
D2.13	Goings and risers	No alterations are proposed to the existing stairways in the building as part of this development.	Not Relevant
D2.14	Landings	No alterations are proposed to the existing landings in the building as part of this development.	Not Relevant
D2.15	Thresholds	The existing external door from the tenancy contains a small threshold of less than 190 mm.	Compliance Achievable


D2.16	Barriers to prevent falls	<p>The existing non-fire-isolated stairway is provided with a balustrade. The existing top storey within the tenancy is provided with an existing fixed panel glazed wall.</p> <p>The proposed development does not include any alterations to the existing barriers to prevent falls.</p>	Noted
D2.17	Handrails	No alterations are proposed to the existing handrails in the building as part of this development.	Not Relevant
D2.18	Fixed platforms, walkways, stairways and ladders	No fixed platforms, walkways, stairways or ladders are proposed as part of this development.	Not Relevant
D2.19	Doorways and doors	The existing door serving as the exit from the tenancy is not fitted with a roller shutter, a revolving door or a power-power operated door.	Not Relevant
D2.20	Swinging doors	The existing door from the tenancy that serves as an exit swings against the direction of egress. The door is fitted with an existing hold-open device and appears to have been originally constructed in this way. No alterations to the existing door are proposed as part of this development.	Noted - Existing
D2.21	Operation of latch	<p>All doors throughout the tenancy are provided with single downward action lever style door handles that are readily openable without a key from the side that faces a person seeking egress.</p> <p>No alterations to the existing handles or latches are proposed as part of this development.</p>	Noted
D2.22	Re-entry from fire-isolated exits	The proposed development does not include a Class 9a health-care building, 9c building or a building with an effective height in excess of 25m.	Not Relevant
D2.23	Signs on doors	No alterations are proposed to any fire doors in the building as part of this development.	Not Relevant
D2.24	Protection of openable windows	The proposed development does not include a Class 2, 3 or 4 part.	Not Relevant


D2.25	Timber stairways: concession	The existing non-fire-isolated stairway is constructed from steel. No new stairway is proposed as part of this development.	Not Relevant
NSW D2.101	Doors in path of travel in an entertainment venue	The proposed development does not include an entertainment venue.	Not Relevant

3.3 SECTION E: SERVICES AND EQUIPMENT

Section E of the BCA contains provisions relating to fire fighting equipment, smoke hazard management, lift installations and visibility in an emergency, exit signs and warning systems.

E1 – FIRE FIGHTING EQUIPMENT			
CLAUSE	PROVISION	COMMENT	STATUS
E1.1	*****	This clause has been deliberately left blank in the BCA.	Noted
E1.2	*****	This clause has been deliberately left blank in the BCA.	Noted
E1.3	Fire hydrants	<p>The tenancy is provided with existing fire hydrant coverage by the external hydrant that is located directly outside the tenancy. All parts of the tenancy are located within 60 m of the existing external fire hydrant.d</p> 	Complies
E1.4	Fire hose reels	The existing tenancy is provided with existing fire hose reel coverage by the fire hose reel located adjacent to the tenancy doorway.	Complies

		 <p>Note: the single fire hose reel can serve the upper storey within the tenancy as it is within a sole-occupancy unit in a Class 9 building and is capable of providing coverage to the whole sole-occupancy in accordance with E1.4(c)(ii) of the BCA.</p>	
E1.5	Sprinklers	The existing tenancy is not provided with sprinkler protection and no alterations to sprinkler system serving the car park are proposed as part of this development.	Not Relevant
E1.6	Portable fire extinguishers	The tenancy is provided with an existing portable fire extinguisher that is located adjacent to the entry/ exit door.	Complies
E1.7	* * * * *	This clause has been deliberately left blank in the BCA.	Noted
E1.8	Fire control centres	-	Not Relevant
E1.9	Fire precautions during construction	During construction not less than one fire extinguisher to suit Class A, B and C fires and electrical fires must be provided at all times adjacent to each required exit or temporary stairway or exit.	Noted
E1.10	Provisions for special hazards	No information have been provided to suggest the building would be considered a special hazard.	Not Relevant

E2 – SMOKE HAZARD MANAGEMENT			
CLAUSE	PROVISION	COMMENT	STATUS
E2.1	Application of part	The smoke exhaust and smoke-and-heat vent provisions of this Part do not apply to any area not used by occupants for an extended period of time such as a storeroom with a floor area less than 30m ² , sanitary compartment, plant room or the like.	Noted
E2.2	General requirements	No alterations are proposed to the existing smoke detection and alarm system as part of this development.	Noted
E2.3	Provisions for special hazards	No information have been provided to suggest the building would be considered a special hazard.	Not Relevant
E3 – LIFT INSTALLATIONS			
CLAUSE	PROVISION	COMMENT	STATUS
E3.1	Lift installations	The proposed development does not include any alterations to an existing lift or the construction of a new lift.	Not Relevant
E4 – VISABILITY IN AN EMERGENCY, EXIT SIGNS AND WARNING SYSTEMS			
CLAUSE	PROVISION	COMMENT	STATUS
E4.1	* * * * *	This clause has been deliberately left blank in the BCA.	Noted
E4.2	Emergency lighting requirements	<p>Emergency lighting is provided over the existing non-fire-isolated stairway.</p> 	Works Required

		Emergency lighting must be provided throughout the tenancy (every room which is accessible to the public). Construction details are required to be provided with the Construction Certificate application.	
E4.3	Measurement of distance	Distances, other than vertical rise, must be measured along the shortest path of travel whether by straight lines, curves or a combination of both.	Noted
E4.4	Design and operation of emergency lighting	All new emergency lighting must be installed to comply with AS2293.1-2018. Construction details are required to be provided with the Construction Certificate application.	Compliance Achievable
E4.5	Exit signs	An existing exit sign is provided above the doorway serving as an exit from the tenancy. An additional exit sign must be provided above or adjacent to the doorway forming part of the required exit from the top storey. Construction details are required to be provided with the Construction Certificate application.	Works Required
NSW E4.6	Direction signs	As the location of the exits would be readily apparent to an occupant of the building, directional exit signage is not required to be provided throughout the tenancy.	Not Relevant
E4.7	Class 2 and 3 buildings and Class 4 parts: exemptions	The proposed development does not include a Class 2, 3 or 4 part of a building.	Not Relevant
E4.8	Design and operation of exit signs	All new exit signage must be installed to comply with AS2293.1-2018. Construction details are required to be provided with the Construction Certificate application.	Compliance Achievable
E4.9	Emergency warning and intercom systems	The proposed development does not include a building with an effective height of more than 25m, Class 3, 9a, school, theatre, public hall.	Not Relevant

3.4 SECTION F: HEALTH AND AMENITY

Section F of the BCA contains provisions relating to damp and weatherproofing, sanitary and other facilities, room heights, light and ventilation, sound transmission and insulation and condensation management.

F1 – DAMP AND WEATHERPROOFING			
CLAUSE	PROVISION	COMMENT	STATUS
F1.0	Deemed-to-Satisfy provisions	The proposed development does not include any alterations to the existing external walls of the building.	Noted
F1.1	Stormwater drainage	The proposed development does not include any alterations to the existing stormwater drainage of the existing base building and no new stormwater drainage is proposed as part of this development.	Not Relevant
F1.2	*****	This clause has been deliberately left blank in the BCA.	Noted
F1.3	*****	This clause has been deliberately left blank in the BCA.	Noted
F1.4	External above ground membranes	The proposed development does not include any alterations to the existing above ground membranes and new no above ground membranes are proposed as part of this development.	Not Relevant
F1.5	Roof coverings	The proposed development does not include any alterations to the existing roof coverings of the base building and no new roof coverings are proposed as part of this development.	Not Relevant
F1.6	Sarking	The proposed development does not include any alterations to the existing sarking of the base building and no new sarking is proposed as part of this development.	Not Relevant
F1.7	Waterproofing of wet areas in buildings	The proposed development does not include any alterations to the existing wet areas and no new wet areas are proposed as part of this development.	Not Relevant
F1.8	*****	This clause has been deliberately left blank in the BCA.	Noted

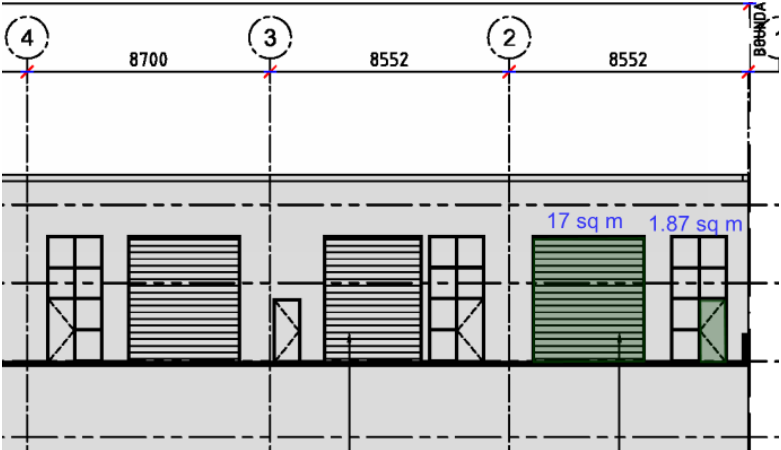
F1.9	Damp-proofing	The proposed development does not include any alterations to the existing damp-proofing of the existing base building and no new damp-proofing is proposed as part of this development.	Not Relevant
F1.10	Damp-proofing of floors on the ground	The proposed development does not include any alterations to the existing concrete slab of the base building (laid on the ground) and no new concrete slab is proposed as part of this development.	Not Relevant
F1.11	Provision of floor wastes	The proposed development does not include a Class 2, 3 or 4 part.	Not Relevant
F1.12	Sub-floor ventilation	The existing building has been constructed on a concrete slab on the ground. No new floors are proposed as part of this development.	Not Relevant
F1.13	Glazed assemblies	The proposed development does not include any alterations to the existing glazed assemblies in the external wall or the construction of a new glazed external wall.	Not Relevant
F2 – SANITARY AND OTHER FACILITIES			
CLAUSE	PROVISION	COMMENT	STATUS
F2.1	Facilities in residential buildings	The proposed development does not include a Class 2, 3 or 4 part.	Not Relevant
F2.2	Calculation of number of occupants and facilities	-	Noted
F2.3	Facilities in Class 3 to 9 buildings	<p>The existing tenancy is provided with one unisex accessible sanitary compartment located within the tenancy.</p> <p>A shower facility is available for use by the occupants within the building. Formal arrangements have been made for the participants of the gymnasium to access and use the existing (non-required) shower facilities in an adjoining part of the building on the same storey. A copy</p>	Noted - Existing

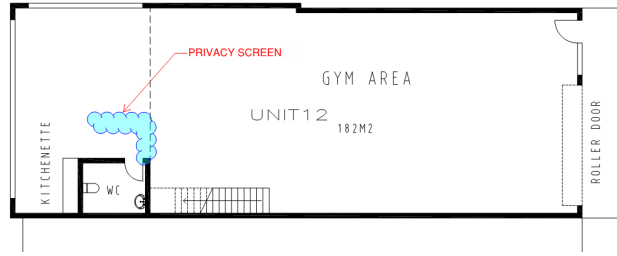
		of the formal agreement is attached in Appendix C. The proposed development does not include the construction of any new sanitary facilities and no alterations to the existing sanitary facilities are proposed.	
F2.4	Accessible sanitary facilities	The existing tenancy is provided with an existing accessible unisex sanitary compartment. The proposed development does not include any alterations to the existing sanitary facilities.	Noted - Existing
F2.5	Construction of sanitary facilities	The existing sanitary compartment is provided with at least 1.2m clear space measured between the closet pan and the doorway. No alterations to the existing sanitary compartment are proposed and no new sanitary facilities are proposed as part of this development.	Noted
F2.6	Interpretation: urinals and washbasins	-	Noted
F2.7	Microbial (legionella) control	Not applicable in NSW, as the installation of hot water, warm water and cooling water systems (and their operation and maintenance) is regulated in the Public Health Act and Regulation.	Not Relevant
F2.8	Waste management	The proposed development does not include a Class 9a or 9c building.	Not Relevant
F2.9	Accessible adult change facilities	-	Not Relevant
F3 – ROOM HEIGHTS			
CLAUSE	PROVISION	COMMENT	STATUS
F3.1	Height of rooms and other spaces	The existing tenancy is provided with a height in excess of 2.4 m throughout. The existing unisex accessible sanitary compartment is provided with a height in excess of 2.1 m. The existing non-fire-isolated stairway in the tenancy is proposed with a height in excess of 2 m.	Complies

--	--	--	--

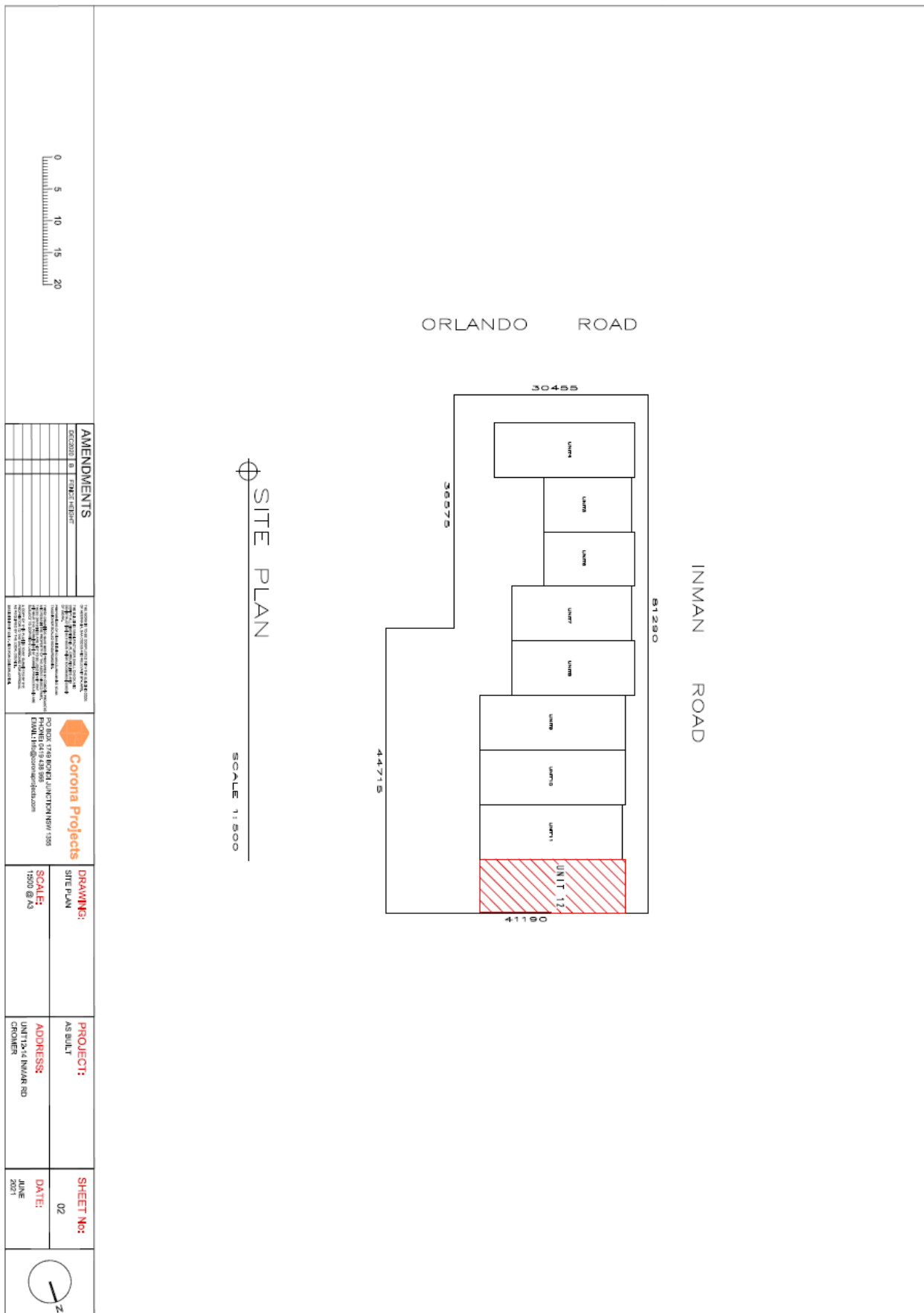
F4 – LIGHT AND VENTILATION

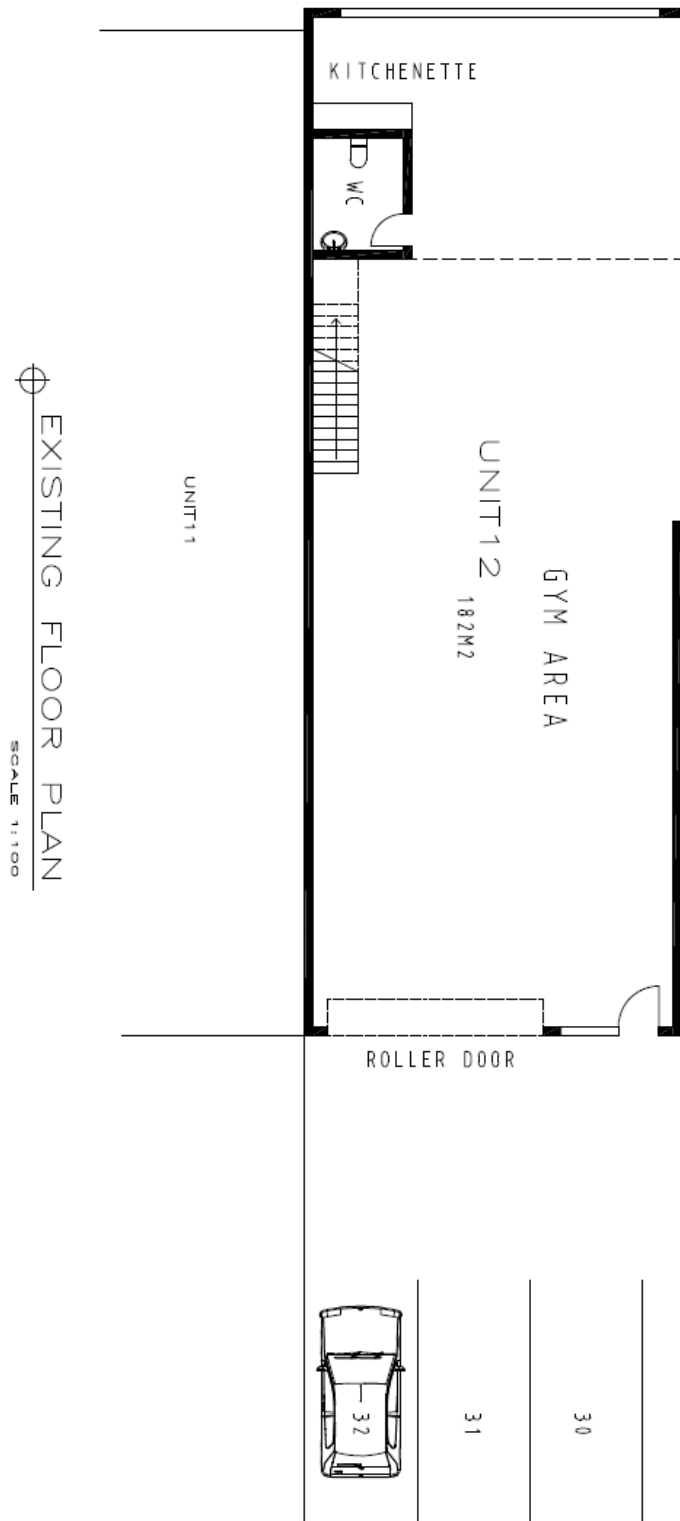
CLAUSE	PROVISION	COMMENT	STATUS
F4.1	Provision of natural light	Natural light is not required to be provided as the proposed tenancy are it is not a Class 2, 3, 4, 9a, 9b school or 9c building	Not Relevant
F4.2	Methods and extent of natural light	-	Not Relevant
F4.3	Natural light borrowed from adjoining room	-	Not Relevant
F4.4	Artificial lighting	The proposed development does not include any alterations to the existing artificial lighting system that is provided throughout the tenancy (including over the existing non-fire-isolated stairway) and no new artificial lighting is proposed as part of this development.	Not Relevant
F4.5	Ventilation of rooms	<p>The top storey (office) is provided with an existing air-conditioning system that appears to comply with AS 1668.2-2012.</p> <p>The unisex accessible sanitary compartment is provided with an existing mechanical ventilation system that</p>	Complies

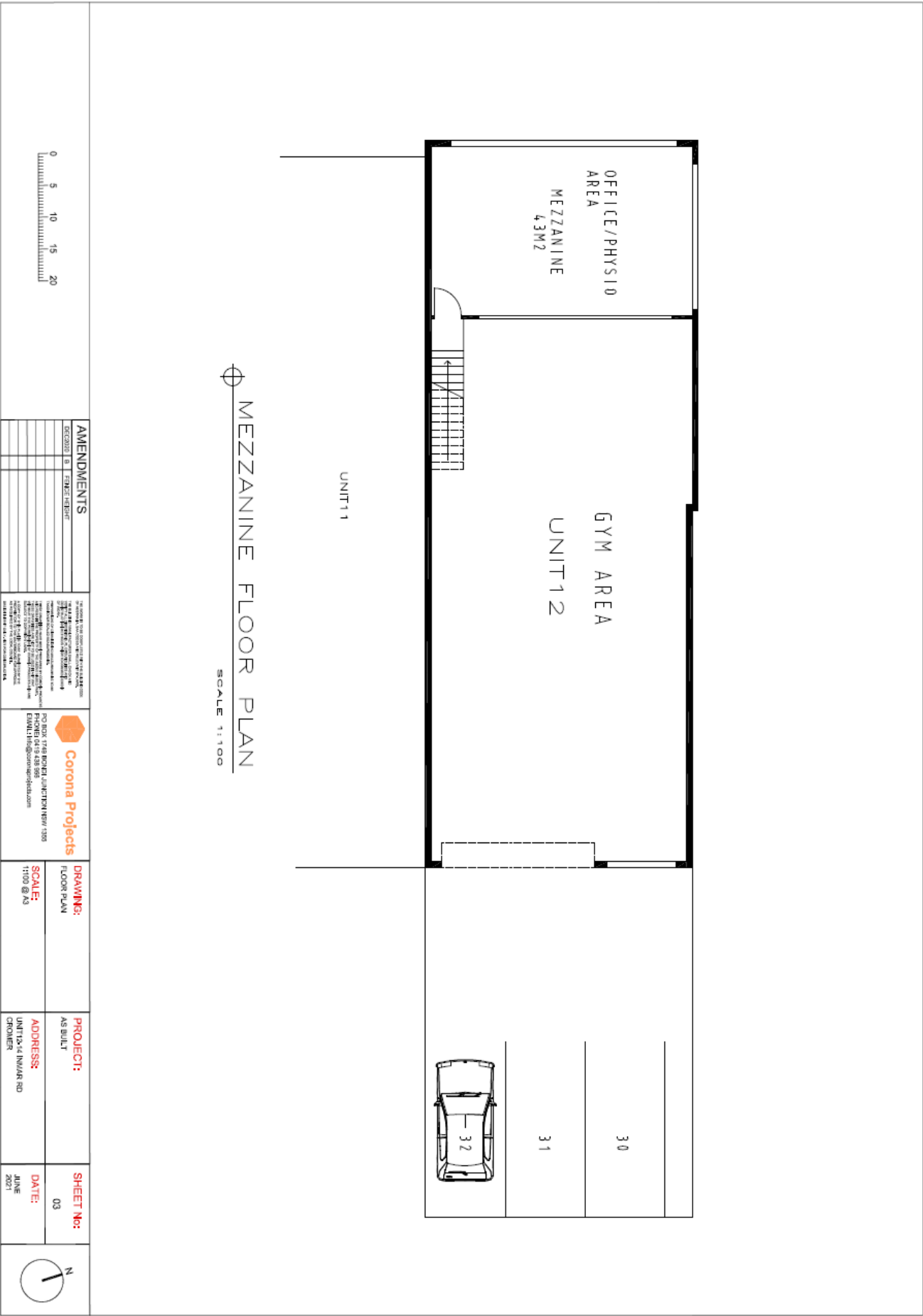
		<p>appears to comply with AS 1668.2-2012.</p> <p>The ground storey is provided with natural ventilation in accordance with F4.6 of the BCA. Refer to the comments in F4.6.</p> <p>The proposed development does not include any alterations to the existing air-conditioning system or mechanical ventilation system. No new air-condition system or mechanical ventilation system is proposed as part of this development.</p>	
F4.6	Natural ventilation	<p>The existing tenancy is provided with natural ventilation via the roller door and pedestrian door that achieve a ventilating area not less than 5% (approximately 18.87m²) of the floor area of the ground storey.</p> 	Complies
F4.7	Ventilation borrowed from adjoining room	-	Not Relevant
F4.8	Restriction on location of sanitary compartments	The existing sanitary compartment opens directly into a workplace normally occupied by more than one person. Refer to the comments in F4.9 of this report.	Works Required
F4.9	Airlocks	The existing unisex sanitary sanitary compartment is provided with mechanical exhaust ventilation, however,	Works Required

		<p>the doorway to the room is not adequately screened from view.</p> <p>It is recommended the doorway to the sanitary compartment be adequately screened from view in accordance with F4.9(b)(ii) of the BCA. This can be achieved by providing a privacy screen, partition or similar. Refer to the marked up floor plan below showing the approximate location of the privacy screen.</p>  <p>The floor plan shows a rectangular unit labeled 'UNIT 12 182M2'. On the left side, there is a 'KITCHENETTE' and a 'D WC'. A blue cloud-like shape representing a 'PRIVACY SCREEN' is positioned between the kitchenette and the main area. A 'GYM AREA' is labeled in the center. On the right side, there is a 'ROLLER DOOR'.</p>	
F4.10	*****	This clause has been deliberately left blank in the BCA.	Noted
F4.11	Carparks	The proposed development does not include any alterations to the existing carpark or the construction of a new carpark.	Not Relevant
F4.12	Kitchen local exhaust ventilation	The proposed development does not include the construction of a new commercial kitchen.	Not Relevant
F5 – SOUND TRANSMISSION AND INSULATION			
CLAUSE	PROVISION	COMMENT	STATUS
F5.1	Application of part	The proposed development does not include a Class 2, 3 or 9c part.	Not Relevant
F6 – CONDENSATION MANAGEMENT			
CLAUSE	PROVISION	COMMENT	STATUS
F6.1	Application of part	The proposed development does not include a sole-occupancy unit in a Class 2 or 4 part of a building.	Not Relevant

APPENDIX A – PLANS



[illegible]



APPENDIX B – TEST REPORT – FLOOR LINING



TEST REPORT

No. : XMIN2005003779CM

Date : May 29, 2020

Page: 1 of 3



CUSTOMER NAME: COMPETITOR INDUSTRIES
ADDRESS: 68 ARMSTRONG RD, MCCRAE, VICTORIA, AUSTRALIA, 3038

Sample Name : PRO TILE 15
Product Specification : 1x1mtrs tile, 15mm thickness
Material and Mark : Recycled Rubber with Polyurethane Binder

Above information and sample(s) was/were submitted and confirmed by the client. SGS, however, assumes no responsibility to verify the accuracy, adequacy and completeness of the sample information provided by client.

SGS Ref. No. : SDFS2005002841FF
Date of Receipt : May 18, 2020
Testing Start Date : May 18, 2020
Testing End Date : May 29, 2020
Test result(s) : For further details, please refer to the following page(s)
(Unless otherwise stated the results shown in this test report refer only to the sample(s) tested)

Signed for
SGS-CSTC Standards Technical
Services Co., Ltd Xiamen Branch
Testing Center

Bryan Hong
Authorized signatory



Unless otherwise agreed in writing, this document is issued by the Company subject to its General Conditions of Service printed overleaf, available on request or accessible at <http://www.sgs.com/sgs/terms-and-conditions.aspx> and, for electronic format documents, subject to Terms and Conditions for Electronic Documents at <http://www.sgs.com/sgs/terms-and-conditions/e-document.aspx>. Attention is drawn to the limitation of liability, indemnification and jurisdiction issues defined therein. Any holder of this document is advised that information contained hereon reflects the Company's findings at the time of its intervention only and within the limits of Client's instructions, if any. The Company's sole responsibility is to its Client and this document does not exonerate parties to a transaction from exercising all their rights and obligations under the transaction documents. This document cannot be reproduced except in full, without prior written approval of the Company. Any unauthorized alteration, forgery or falsification of the content or appearance of this document is unlawful and offenders may be prosecuted to the fullest extent of the law. Unless otherwise stated the results shown in this test report refer only to the sample(s) tested and such sample(s) are retained for 30 days only.

Attention: To check the authenticity of testing / inspection report & certificate, please contact us at telephone: (86-755) 8387 1443, or email: CN.Doccheck@sgs.com

No. 31 Jiangfeng Road, Jiangfeng Industrial Zone, Xiamen, Fujian Province, China. 361101 t: (86-592) 5765857 f: (86-592) 5755380 www.sgs.com.cn
中国·福建·厦门·火炬(翔安)产业区翔虹路31号 邮编: 361101 t: (86-592) 5765857 f: (86-592) 5755380 e: sgs.china@sgs.com

Member of the SGS Group (SGS SA)

TEST REPORT

No. : XMIN2005003779CM

Date : May 29, 2020

Page: 2 of 3

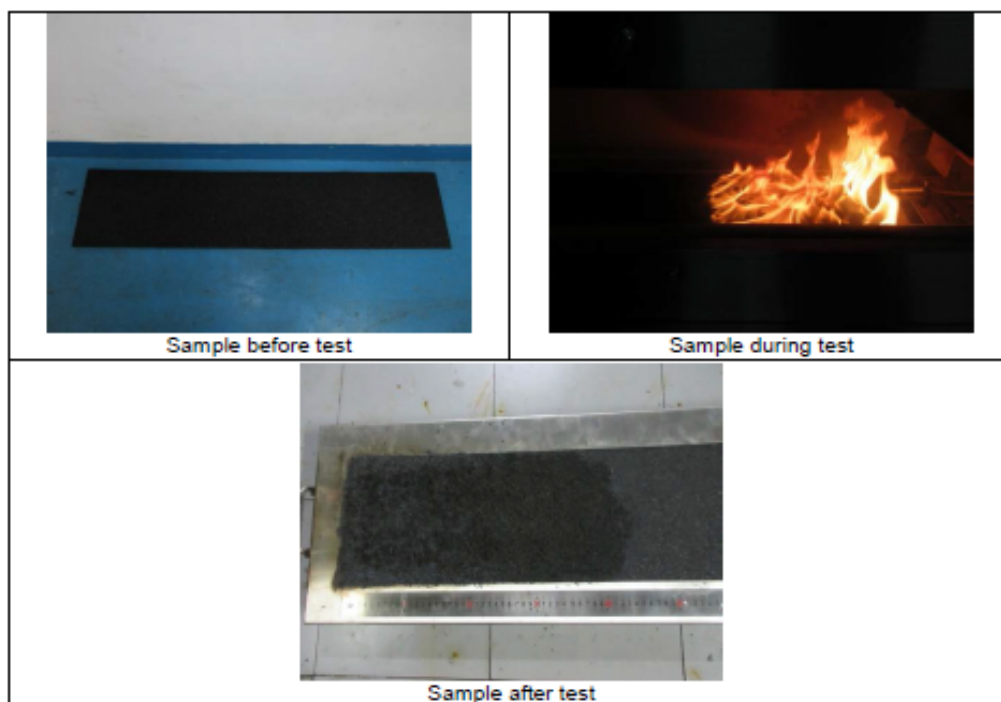
Test Result Summary

No.	Test(s) Requested	Result(s)	Comments
1	AS ISO 9239.1:2003 Reaction to fire tests for floorings Part 1: Determination of the burning behaviour using a radiant heat source	Refer to next page(s).	/

For further details, please refer to the following page(s)

Note: The above test was carried out by SGS-CSTC Standards Technical Services Co., Ltd. Shunde Branch.

Photo Appendix:



SGS-CSTC Standards Technical Services Co., Ltd.
Xinhe Street, Tanyuan, Xiamen, Fujian, China

Unless otherwise agreed in writing, this document is issued by the Company subject to its General Conditions of Service printed overleaf, available on request or accessible at <http://www.sgs.com/sgs/Terms-and-Conditions.docx> and, for electronic format documents, subject to Terms and Conditions for Electronic Documents at <http://www.sgs.com/sgs/Terms-and-Conditions/sgs-e-Documents.docx>. Attention is drawn to the limitation of liability, indemnification and jurisdiction issues defined therein. Any holder of this document is advised that information contained herein reflects the Company's findings at the time of its intervention only and within the limits of Client's instructions, if any. The Company's sole responsibility is to its Client and this document does not exonerate parties to a transaction from exercising all their rights and obligations under the transaction documents. This document cannot be reproduced except in full, without prior written approval of the Company. Any unauthorized alteration, forgery or falsification of the content or appearance of this document is unlawful and offenders may be prosecuted to the fullest extent of the law. Unless otherwise stated, the results shown in this test report refer only to the sample(s) tested and such sample(s) are retained for 30 days only.

Attention: To check the authenticity of testing / inspection report & certificate, please contact us at telephone: (86-755) 8387 1443, or email: CR.Douccheck@sgs.com

No. 31 Nanhang Road, Nanhang Technology Zone, Xiamen, Fujian Province, China. 361101 t: (86-592) 5768657 f: (86-592) 5765380 www.sgs.com.cn
中国·福建·厦门·火炬(翔安)产业区南虹路31号 邮编: 361101 t: (86-592) 5768657 f: (86-592) 5765380 e: sgs.china@sgs.com

Member of the SGS Group (SGS SA)



TEST REPORT

No. : XMIN2005003779CM

Date : May 29, 2020

Page: 3 of 3

Test Conducted:

AS ISO 9239.1:2003 Reaction to fire tests for floorings Part 1: Determination of the burning behaviour using a radiant heat source

General Information:

Area density:	About 12.8kg/m ²
Thickness:	About 15 mm
Conditioning of test specimen:	Before the test, specimens shall be conditioned to constant mass at an ambient temperature of (23 ± 3) °C and a relative humidity of (50 ± 5) % in accordance with EN 13238 (24 h, weight do not differ by more than 0,1 % of the mass of the specimen or 0,1 g, whichever is the greater.)
Mounting and fixing:	Fibre cement board, with its density about 1800kg/m ³ , thickness about 8mm, is as the substrate. The specimens were fixed mechanically to the substrate.

Test Result:

Specimen No.	Furthest extent of spread of flame(mm)	Critical Heat Flux (CHF or HF-30) kW/m ²	Comments and Observation
1	430	4.8	Charring
2	390	5.5	Charring
3	420	4.9	Charring
The mean value for the critical heat flux (CHF and/or HF-30) from the three specimens from the same orientation: 5.1kW/m ²			
Smoking measurement Integrated smoke value of mean: 474.2%-min			

Remark:

Calculate the mean value for the critical flux (CHF and/or HF-30) from the three specimens from the same orientation: (S1/S2+S3+S4)/3

Statements:

The test results relate to the behaviour of the test specimens of a product under the particular conditions of the test; they are not intended to be the sole criterion for assessing the potential fire hazard of the product in use.

***** End of report*****



Unless otherwise agreed in writing, this document is issued by the Company subject to its General Conditions of Service printed overleaf, available on request or accessible at <http://www.sgs.com/very/terms-and-conditions.aspx> and, for electronic format documents, subject to Terms and Conditions for Electronic Documents at <http://www.sgs.com/very/terms-and-conditions/terms-e-document.aspx>. Attention is drawn to the limitation of liability, indemnification and jurisdiction issues defined therein. Any holder of this document is advised that information contained herein reflects the Company's findings at the time of its intervention only and within the limits of Client's instructions, if any. The Company's sole responsibility is to its Client and this document does not exonerate parties to a transaction from exercising all their rights and obligations under the transaction documents. This document cannot be reproduced except in full, without prior written approval of the Company. Any unauthorized alteration, forgery or falsification of the content or appearance of this document is unlawful and offenders may be prosecuted to the fullest extent of the law. Unless otherwise stated the results shown in this test report refer only to the sample(s) tested and such sample(s) are retained for 30 days only.

Attention: To check the authenticity of testing / inspection report & certificate, please contact us at telephone: (86-755) 8387 1443, or email: CN.Doccheck@sgs.com

SGS-CTC (Shanghai) Inspection & Testing Co., Ltd.
Xiamen Branch Testing Zone Customer Service Representative

No.31 Rongsheng Road, Xiang'an Tech Industrial Zone, Xiamen, Fujian Province, China. 361101 t: (86-592) 5706857 f: (86-592) 5706380 www.sgsgroup.com.cn
中国·福建·厦门·火炬(翔安)产业区祥虹路31号 邮编:361101 t: (86-592) 5706857 f: (86-592) 5706380 e: sgs.china@sgs.com

Member of the SGS Group (SGS SA)

APPENDIX C – SHOWER FACILITIES AGREEMENT



STRENGTH TRIBE
9/21 Orlando Road
Cromer
NSW 2099
Strengthtribe.com.au
9972 2163

To whom it may concern,

Please find below the arrangements for unit 9/21 Orlando road, Cromer NSW 2099 and unit 8/21 Orlando road, Cromer NSW 2099 shower agreement.

The Occupant of unit 8 Fabio Sa Alves has given permission to Director of Strength Tribe Thomas Brideson of unit 9, to allow members and clients of Strength Tribe to use the shower facility within unit 8.

Stamped plans provided has the architectural layout and specifications of unit 8 shower and bathroom complex.

Below are the signatures and contact details of both parties involved in this agreement.

Fabio Sa Alves

Thomas Brideson