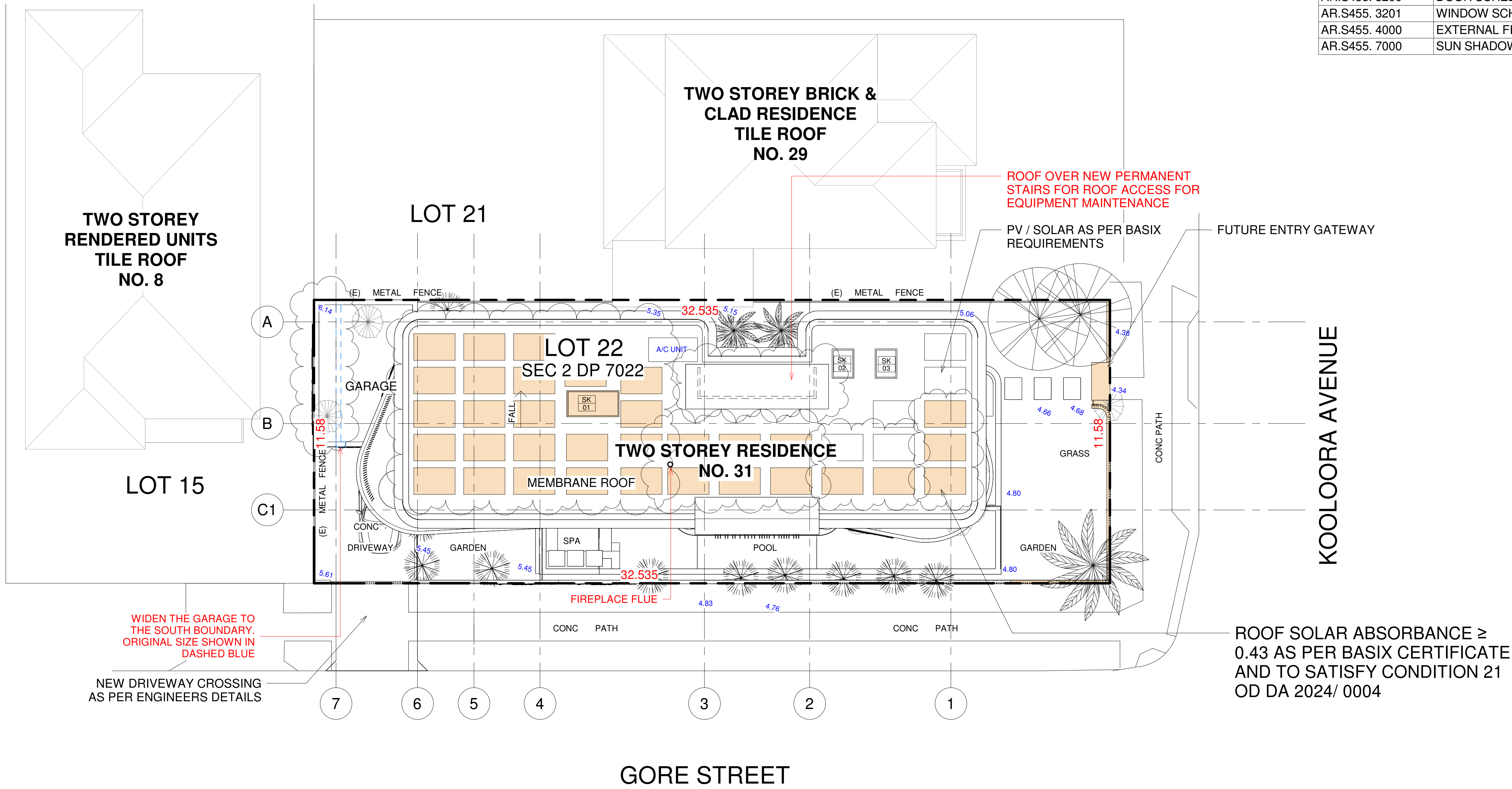
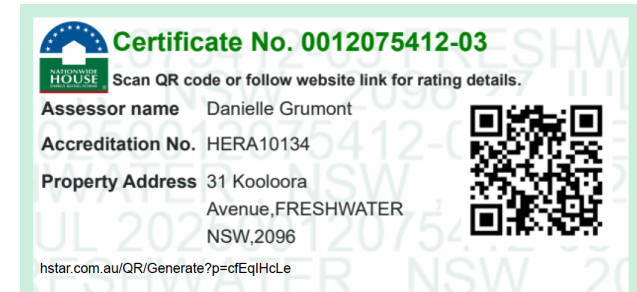


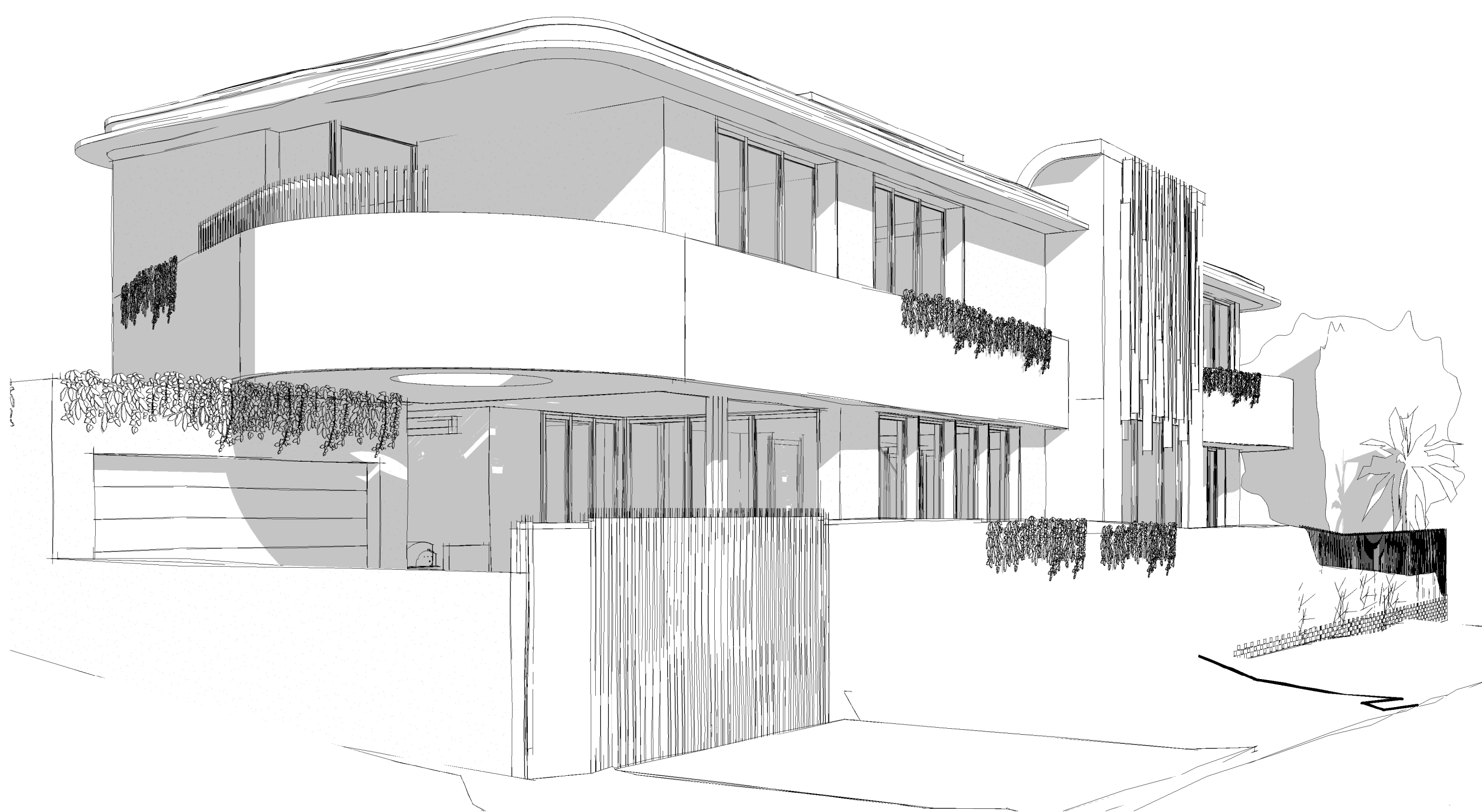
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AR.S455. 0001	PERSPECTIVE VIEWS
AR.S455. 1100	PROPOSED GROUND FLOOR PLAN
AR.S455. 1101	PROPOSED FIRST FLOOR
AR.S455. 3000	(N) ELEVATIONS
AR.S455. 3100	(N) SECTIONS
AR.S455. 3200	DOOR SCHEDULE
AR.S455. 3201	WINDOW SCHEDULE
AR.S455. 4000	EXTERNAL FINISHES
AR.S455. 7000	SUN SHADOWS STUDIES



1 (N) SITE AND ROOF PLAN  
1 : 100



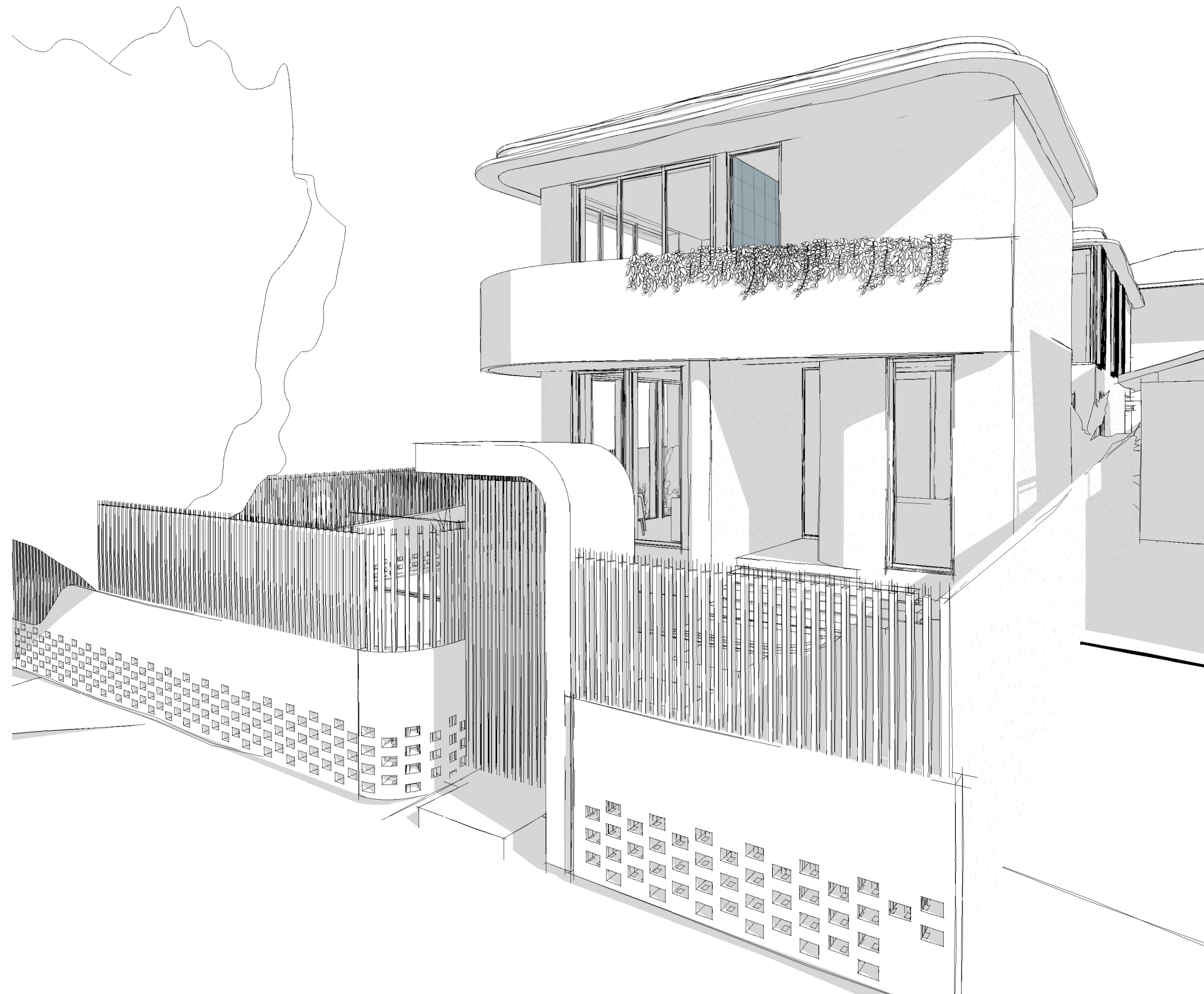




3D View 1

3D View 3

Thermal Comfort Specifications	
Glazing: Doors/windows	You can use any brand/manufacturer and type of glass and frame; these are maximum U-values, and there is a flexibility of +/- 5% (as stated below) with the SHGC value. Given values are AFRIC, total window system values (glass and frame). Fixed windows: Alspec ecoFRAMEplus ALS-043-014: U-Value: 2.6 (equal to or lower than) SHGC: 0.51 (±5%) Sliding doors: Reynaers Slimline Patio REY-026-001: U-Value: 2.0 (equal to or lower than) SHGC: 0.48 (±5%) Hinged doors: Alspec ALS-045-013: U-Value: 3.1 (equal to or lower than) SHGC: 0.41 (±5%)
Skylights	Double glazed with metal frame
Roof	Concrete roof with waterproof membrane Stair/Access walls and roof/ceiling: Formed concrete with R1.5 insulation (insulation only value) Colour: Medium (SA: 0.475-0.7)
Ceiling	Plasterboard ceiling with R4.0 insulation (insulation only value) where roof above No insulation required to Garage ceiling Ground Floor ceiling is concrete between levels
Ceiling penetrations	Sealed LED downlights, modelled; One per 3m² Exhaust fans to bedrooms and Laundry Fireplace Flue to have damper
External Walls	Cavity brick with R2.5 insulation (insulation only value), or Total wall construction value RT2.86 (wall and insulation total value) Stair/Access walls and roof/ceiling: Formed concrete with R1.5 insulation (insulation only value) Rammed Earth walls with no insulation No insulation required to Garage walls Default Medium colour modelled (0.475-SA<0.7)
Internal walls	Plasterboard on studs
Floors	Concrete slab on ground with R1.8 under-slab insulation (insulation only value) Concrete to First Floor (between levels) with R2.0 insulation (insulation only value) to any suspended floor with open subfloor Floor coverings: Tiles to Ground Floor and the wet areas of First Floor, carpet to upstairs bedrooms, timber elsewhere upstairs
Ceiling fans	Three Ceiling Fans: one to Upper Sitting Room, one to Casual Dining Room, and one to either the GF Living/Dining Room
External Shading	Covered Alfresco and Balconies. Shading screens to Bathroom and Study windows. Eaves as shown on drawings
BASIX Water Commitments	
Fixtures	Install showerheads minimum rating of 4 stars (≥6.0 and ≤7.5 Litres/min) Install toilet flushing system with a minimum rating of 4 stars in each toilet Install taps with minimum rating of 4 stars in the kitchen Install taps with minimum rating of 4 stars in each bathroom
Alternative Water	Install rainwater tank with minimum 10,000L capacity, connected to – At least one outdoor tap and toilets, and used to top up spa and pool (Rainwater harvest) collected from a min. 215m² roof area
Pool and Spa	Volume of Pool: 70kL, Volume of Spa: 4.5kL. Both Pool and Spa are to have a cover.
BASIX Energy Commitments	
Hot water System	Gas instantaneous with minimum performance of 6 Stars
Cooling system	3 phase air conditioning to living areas and bedrooms: EER 3.0-3.5
Heating system	3 phase air conditioning to living areas and bedrooms: EER 3.0-3.5
Ventilation	Kitchen - Individual fan, externally ducted to roof or facade, manual on/off switch Bathrooms - Individual fan, externally ducted to roof or facade, manual on/off switch Laundry - Individual fan, externally ducted to roof or facade, manual on/off switch
Pool and Spa	Pool Heating System: solar (electric boosted), controlled by timer, dual speed pool pump with minimum performance of 6 Stars Spa Heating System: solar (electric boosted), controlled by timer
Alternative Energy	Minimum 6.5kW of solar/PV, with panels sloped between >0° to ≤10°, and facing Northwest
Other	Gas cooktop & electric oven Outdoor clothes drying line



3D View 2

CLIENT

HSIU-HUI HSU &  
CHRIS HUDSON

DESIGN ARCHITECT  
R SQUARED STUDIOS

PLANNER  
VMDC PLANNING

LANDSCAPE CONSULTANT  
TCGD

SURVEYOR  
CMS SURVEYORS

STRUCTURAL & HYDRAULIC ENGINEER  
VANGUARD ENGINEERS

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C	23.07.2025	ISSUE FOR SUBMISSION	TI	RR

LEGEND

Proj. Arch

RR

Date

JULY 2025

Do not scale drawings. Verify All dimensions on site. Notify architect of all discrepancies.

Drawn

TI

Scale

Project

FRESHWATER HOUSE

31 Kooloora Avenue, Freshwater

Drawing Title

PERSPECTIVE VIEWS

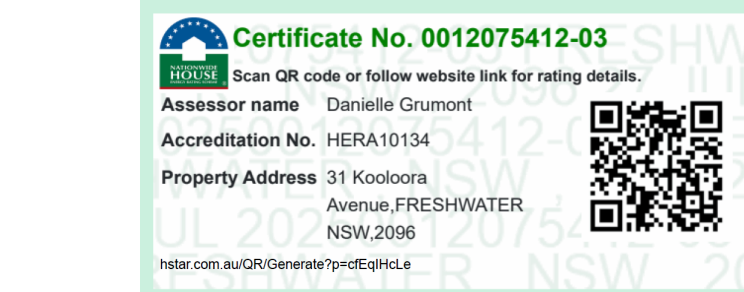
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AR.S455. 0001

Project Architect

Revision

C



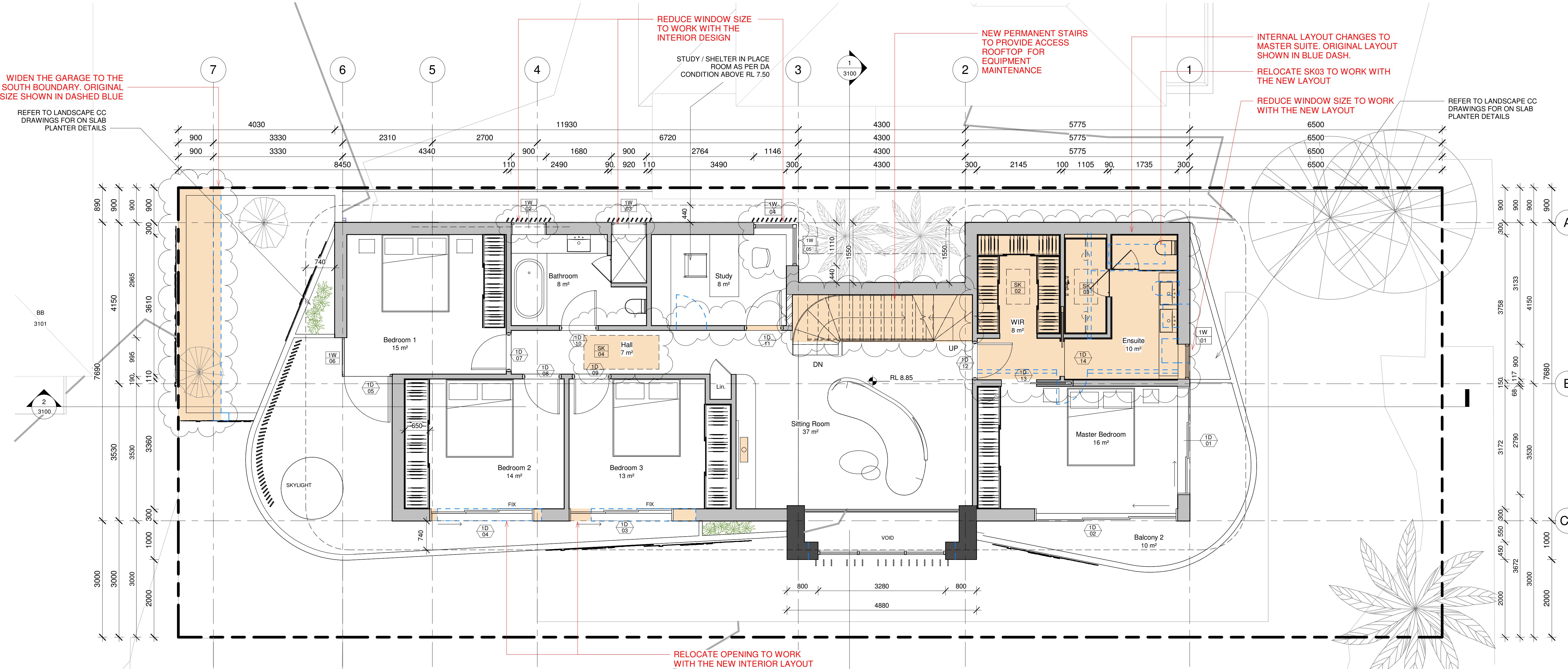
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**NATHERS AND BASIX COMMITMENTS**

Glazing: Doors/Default codes modelled which are not brand specific. You can use any brand/manufacturer and type of glass and frame, these are maximum U-values, and there is a flexibility of +/- 10% (as stated below) with the SHGC value.

Group A - blind and casement doors: PVC-005-01: U-Value: 2.60 (equal to or lower than) SHGC: 0.50 (± 10%)

Group B - sliding doors/windows - fixed glazing: PVC-005-01: U-Value: 2.60 (equal to or lower than) SHGC: 0.53 (± 10%)

Skylights: Double glazed with timber or aluminium frame values (glass and concrete roof with waterproof membrane) Colour: Light/0475-SA Plasterboard ceiling with R4.0 insulation (insulation only value) where roof above

Roof: No insulation required to Garage ceiling Ground Floor ceiling is concrete between levels Sealed LED downlights to Ground Floor, modelled: One per 3m²

Ceiling: Concrete with R2.7 insulation (insulation only value) No insulation required to Garage walls Concrete slab on ground with R1.8 under-slab insulation (insulation only value) on study

External walls: Concrete to First Floor (between levels) with R2.0 insulation (insulation only value) to any suspended floor with open subfloor floor coverings: Tiles to Ground Floor and the west areas of First Floor

Floors: Three Ceiling Fans: one to Upper Sitting Room, one to Dining Room, and one to either the GR Sitting Room or Living Room

Ceiling: Covered Alfresco and Balconies. Shading screens to Ensuite 1 and Balcony 2

External: Covered Alfresco and Balconies. Shading screens to Ensuite 1 and Balcony 2

**BASIX Water Commitments** - Volume of Spa: 6kL. Both Pool and Spa are

Fixtures: Install showerheads minimum rating of 4 stars (<6.0 and <= 7.5 Litres/min) Install toilet flushing system with a minimum rating of 4 stars in each toilet Install tap with minimum rating of 4 stars in each bathroom Alternative: Install rainwater tank with minimum 10,000L capacity, connected to - At least one outdoor tap and toilets, and used to top up spa and pool Rainwater harvest collected from a min. 215m² roof area

**BASIX Energy Commitments** - Volume of Spa: 6kL. Both Pool and Spa are

Hot water: Gas instantaneous with minimum performance of 6 Stars

System: 3 phase air conditioning to living areas and bedrooms: EER 3.0 - 3.5

Cooling: 3 phase air conditioning to living areas and bedrooms: EER 3.0 - 3.5

Heating: Kitchen - Individual fan, externally ducted to roof or facade, manual on/off switch

Ventilation: Bathrooms - Individual fan, externally ducted to roof or facade, manual on/off switch Laundry - Individual fan, externally ducted to roof or facade, manual on/off switch

Pool and Spa: Pool Heating System: solar (electric boosted), controlled by timer, dual speed pool pump with minimum performance of 6 Stars. Alternative: Spa Heating System: solar (electric boosted), controlled by timer Minimum 5.5kW of solar PV, with panels sloped between >0 to <=10 and facing North West Gas cooktop & electric oven Outdoor clothes drying line

## PROPOSED FIRST FLOOR

1 : 50

<b>CLIENT</b> HSIU-HUI HSU & CHRIS HUDSON	<b>DESIGN ARCHITECT</b> R SQUARED STUDIOS	<b>SURVEYOR</b> CMS SURVEYORS	<b>Rev</b> A B C	<b>Date</b> 24.06.2025 15.07.2025 23.07.2025	<b>Description</b> ISSUE FOR COORDINATION ISSUE FOR COORDINATION ISSUE FOR SUBMISSION	<b>Drawn</b> TI TI TI	<b>Auth.</b> RR RR RR	<b>LEGEND</b> - - - - - DA 2024/ 004 APPROVED	<b>Proj. Arch</b> RR Date JULY 2025	<b>Drawn</b> TI Scale As indicated	<b>Project</b> FRESHWATER HOUSE 31 Kooloora Avenue, Freshwater	<b>Project Architect</b>	
	<b>PLANNER</b> VMDC PLANNING	<b>STRUCTURAL &amp; HYDRAULIC ENGINEER</b> VANGUARD ENGINEERS										<b>Drawing Title</b> PROPOSED FIRST FLOOR	
	<b>LANDSCAPE CONSULTANT</b> TCGD	<b>ENERGY CONSULTANT</b> GREEN FUTURE GROUP										<b>Drawing No.</b> AR.S455. 1101	<b>Revision</b> C

**Certificate No. 0012075412-03**

Scan QR code or follow website link for rating details.

Assessor name: Danielle Grumont

Accreditation No: HERA10134

Property Address: 31 Kooloora Avenue, FRESHWATER NSW, 2096

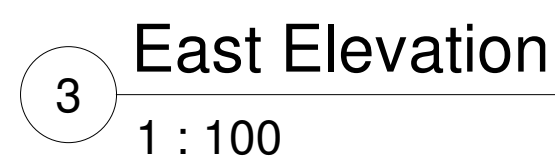
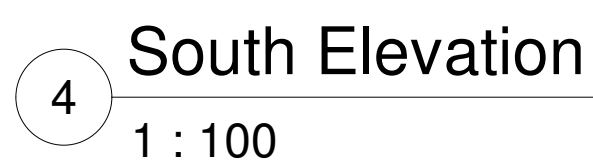
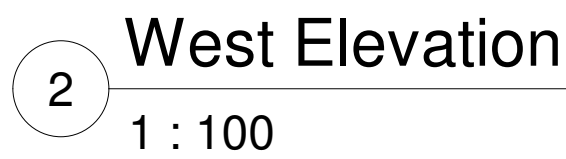
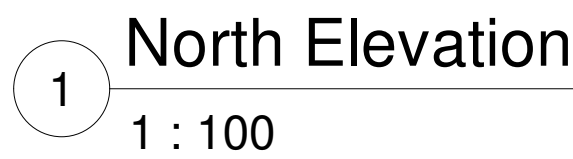
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## Certificate No. 0012075412-03

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**Assessor name** Danielle Grumont

**Accreditation No.** HERA10134

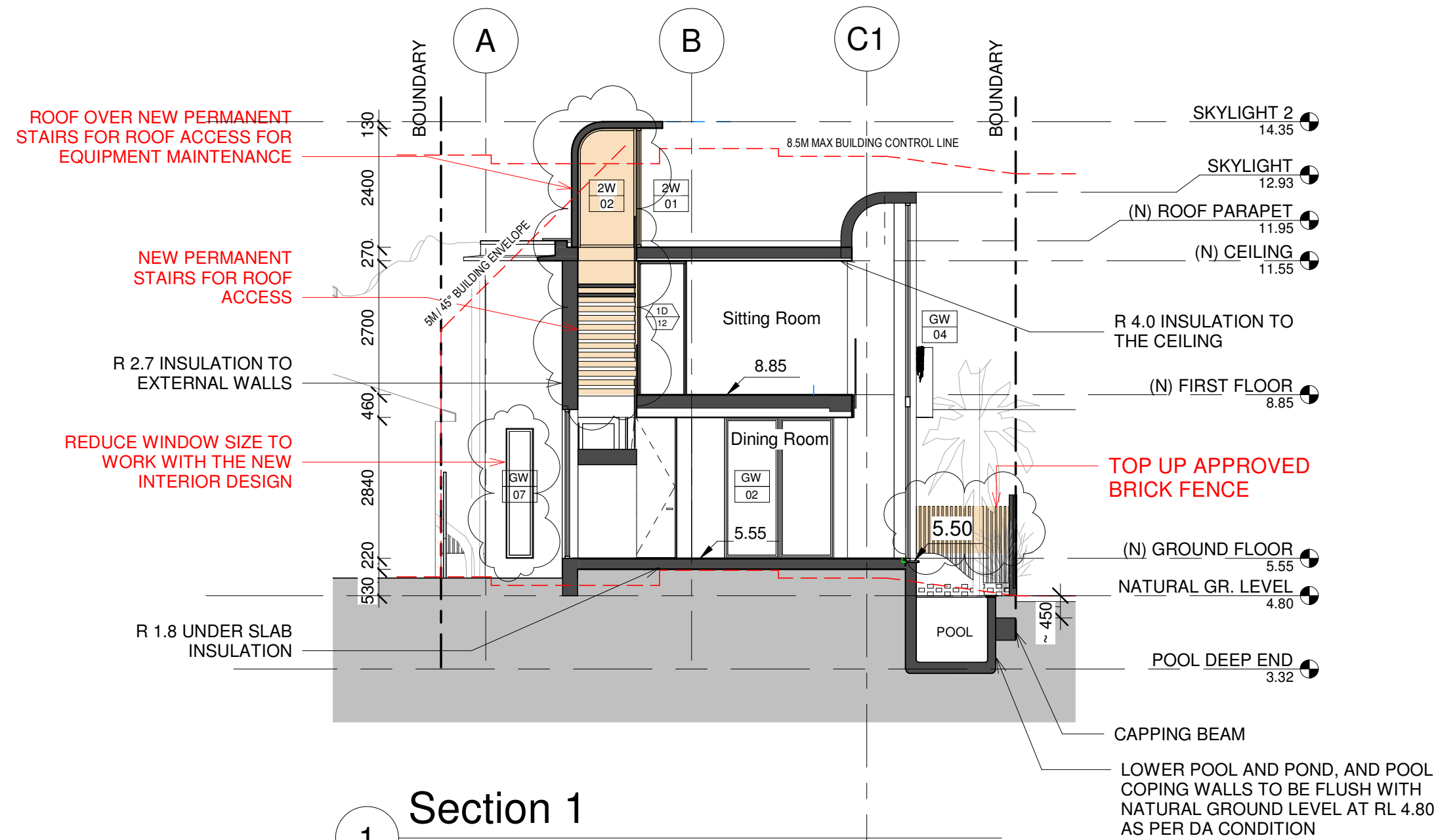
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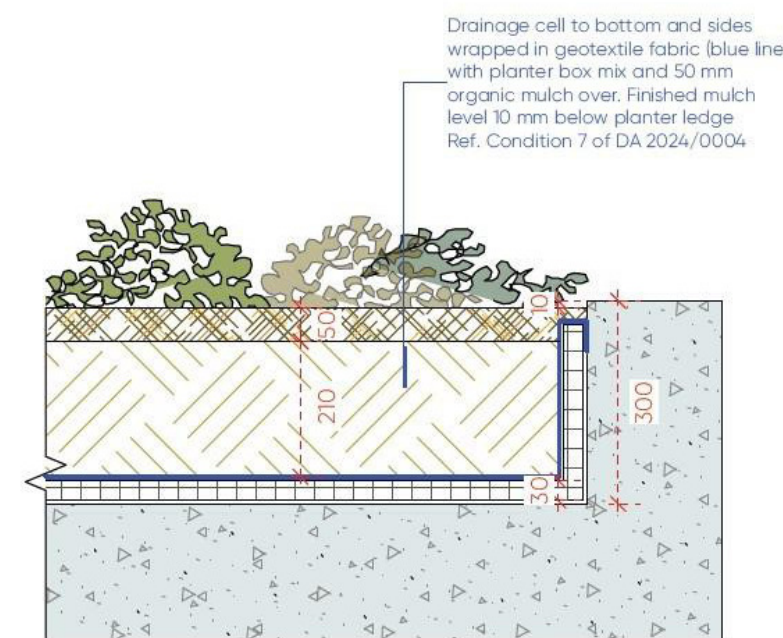
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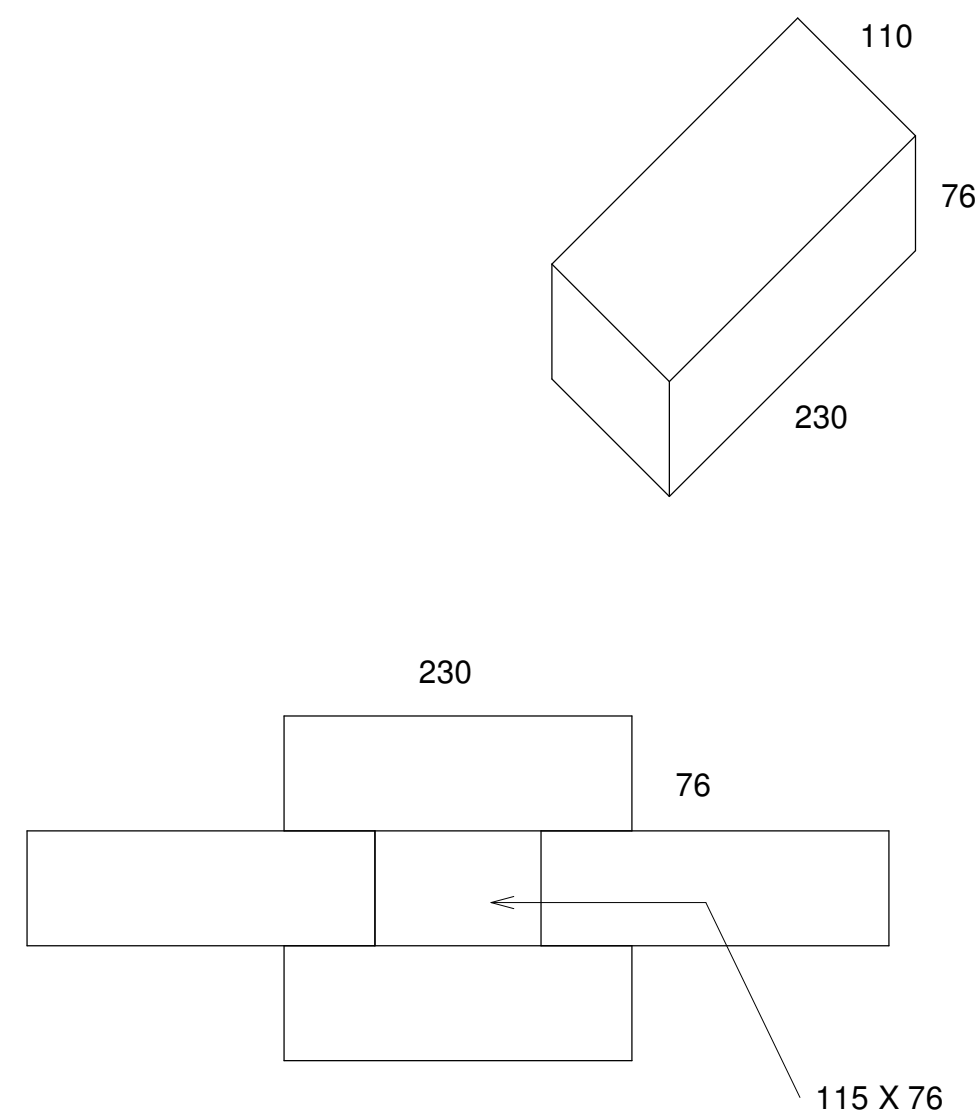




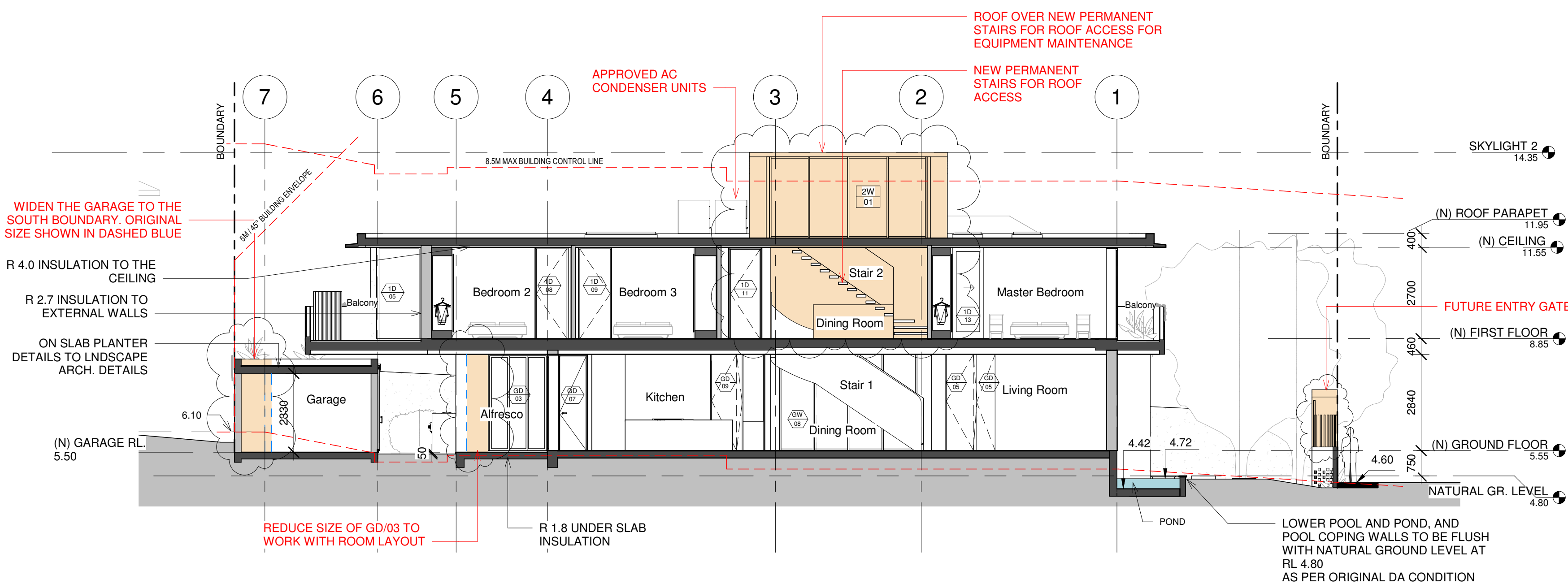
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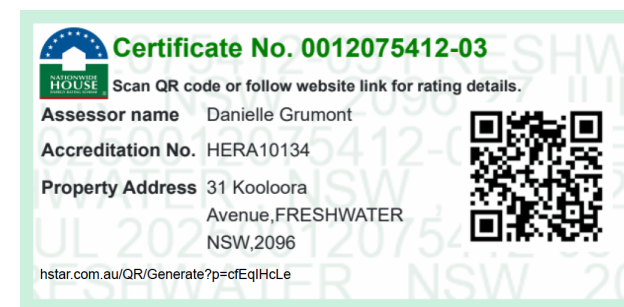


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2 Section 2  
1 : 100

NATHERS AND BASIX COMMITMENTS	
Glazing:	Doors: Default codes modelled which are not brand specific. You can use any brand/manufacture and type of glass and frame, these are maximum U-values, and there is a flexibility of +/- 10% (as stated below) with the SHGC value.
Windows:	Group A - bi-fold and casement doors: PVCU 005-01: U-Value: 2.60 (equal to or lower than) SHGC: 0.50 (+/- 10%)
Skylights:	Group B - sliding doors/windows - fixed glazing: PVCU 006-01: U-Value: 2.60 (equal to or lower than) SHGC: 0.53 (+/- 10%)
Roof:	Double glazed with timber or aluminium frame values (glass and concrete roof with waterproof membrane Colour: LIGHT0475-SA
Ceiling:	Plasterboard ceiling with R4.0 insulation (insulation only value) where roof above
Garage:	No insulation required to Garage ceiling
Ground Floor:	Ground Floor ceiling is concrete between levels
Ceiling penetrations:	Sealed LED downlights to Ground Floor, modelled: One per 3m2
External walls:	Concrete with R2.7 insulation (insulation only value)
Internal walls:	No insulation required to Garage walls
Floors:	Concrete slab on ground with R1.8 under slab insulation (insulation only value) on studs
Roof:	Concrete to First Floor between levels with R2.0 insulation (insulation only value) to any suspended floor with open subfloor
Ceiling:	Three Ceiling Fans: one to Upper Sitting Room, one to Dining Room, and one to either the GF Sitting Room or Living Room
External:	Covered Alfresco and Balconies. Shading screens to Ensuite 1 and where shown on drawings
BASIX Water Commitments:	Install showerheads minimum rating of 4 stars (<6.0 and <= 7.5 Litres/min)
Figures:	Install toilet flushing system with a minimum rating of 4 stars in each toilet
Alternative Water:	Install tap with minimum rating of 4 stars in the kitchen
Hot water:	Install rainwater tank with minimum 10,000L capacity connected to - At least one outdoor tap and toilets, and used to top up spa and pool
System Cooling:	Rainwater harvest collected from a min. 215m2 roof area
Heating:	Gas Heating System: solar (electric boosted), controlled by timer, dual speed pool pump with minimum performance of 6 Stars.
Pool and Spa:	Gas Heating System: solar (electric boosted), controlled by timer, dual speed pool pump with minimum performance of 6 Stars.
Alternative Energy:	Minimum 5.5kW of solar (PV) with panels sloped between >10 to <150 and facing North West
Other:	Gas cooking & electric oven
	Outdoor clothes drying line



CLIENT  
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CHRIS HUDSON

DESIGN ARCHITECT  
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A	24.06.2025	ISSUE FOR COORDINATION	TI	RR
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C	23.07.2025	ISSUE FOR SUBMISSION	TI	RR

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Date  
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Do not scale drawings. Verify All dimensions on site. Notify architect of all discrepancies.

Project  
FRESHWATER HOUSE

31 Kooloora Avenue, Freshwater

Drawing Title  
(N) SECTIONS

Drawing No.  
AR.S455. 3100

Revision  
C

Project Architect

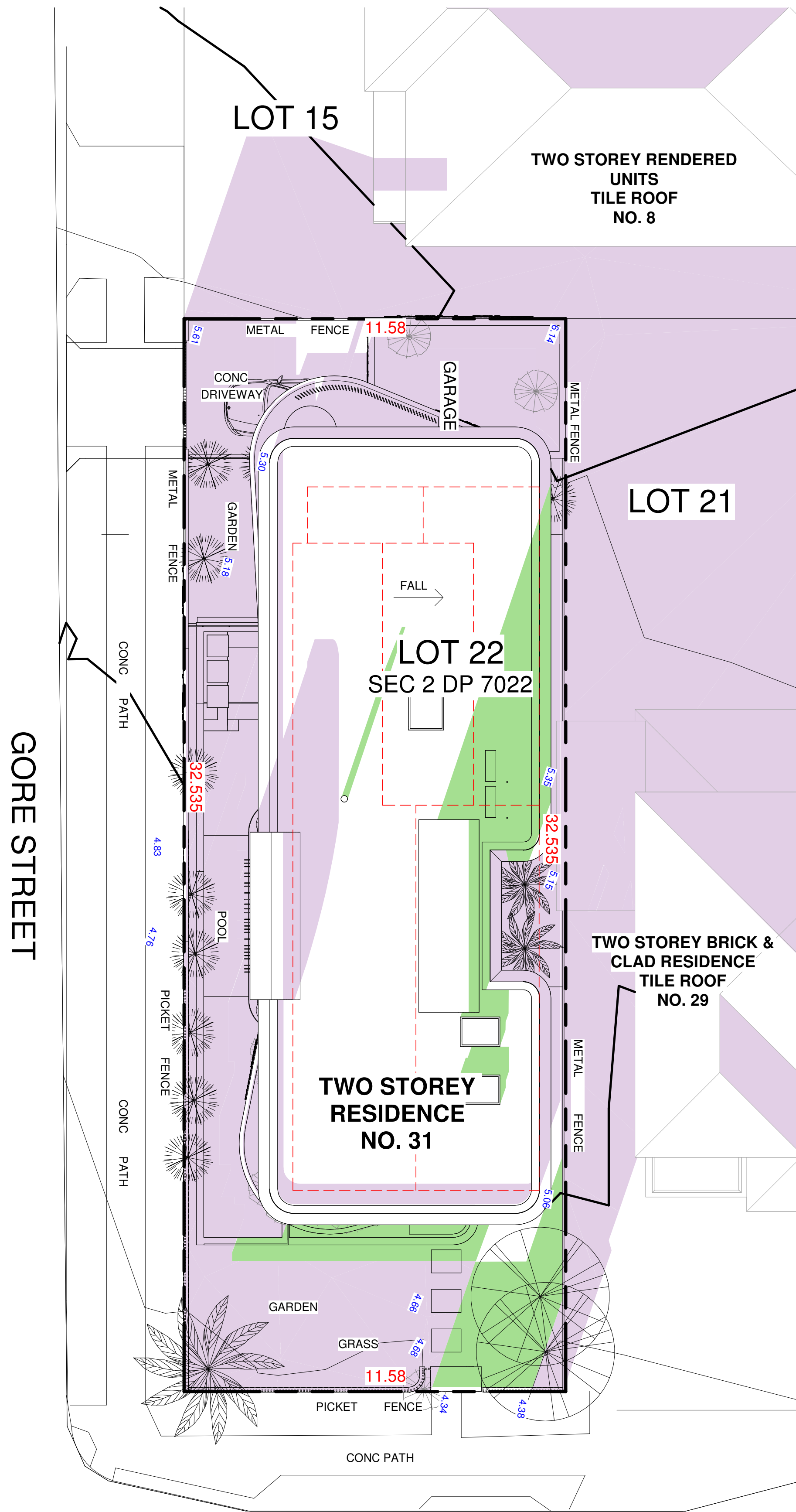
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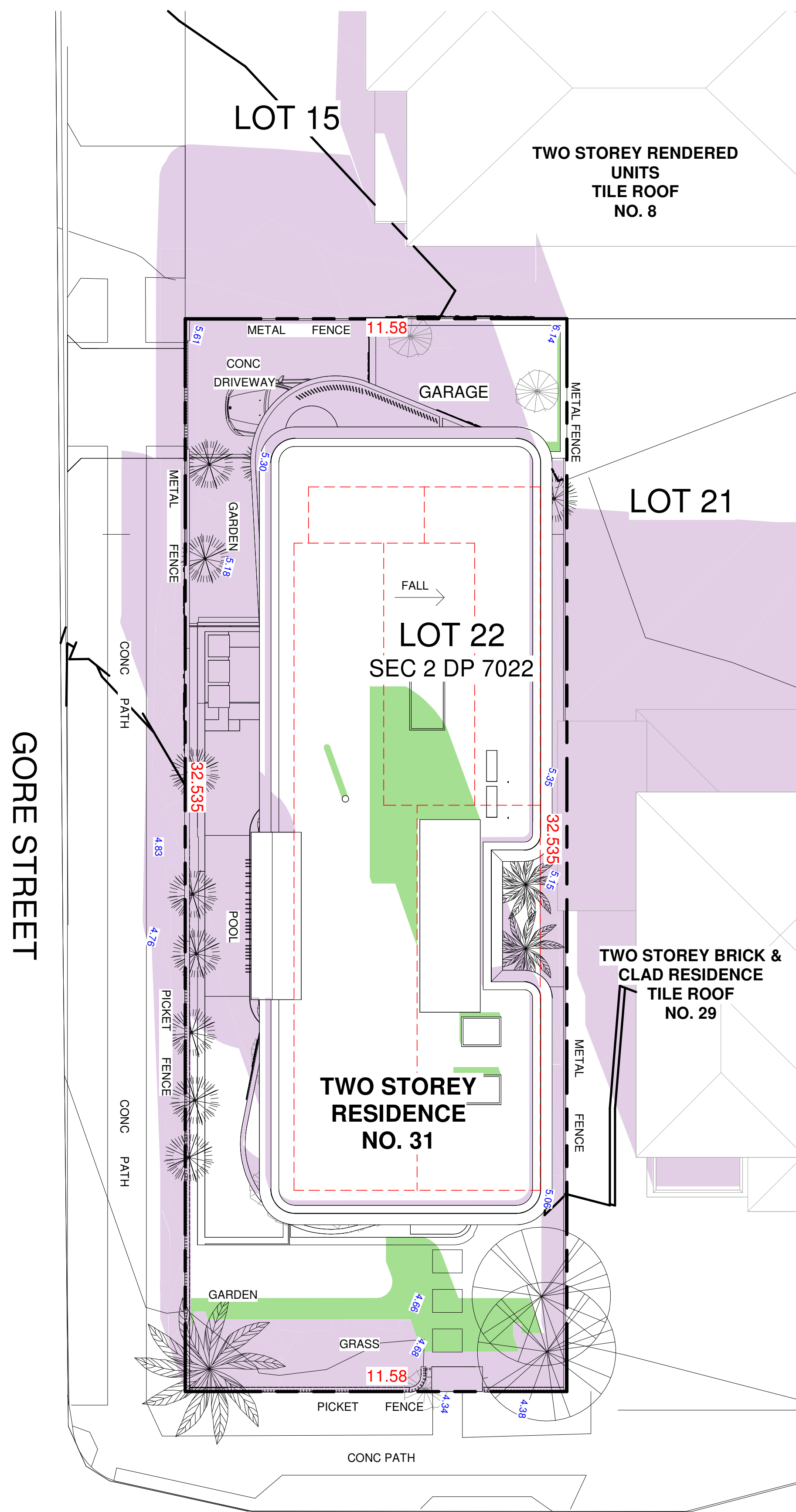






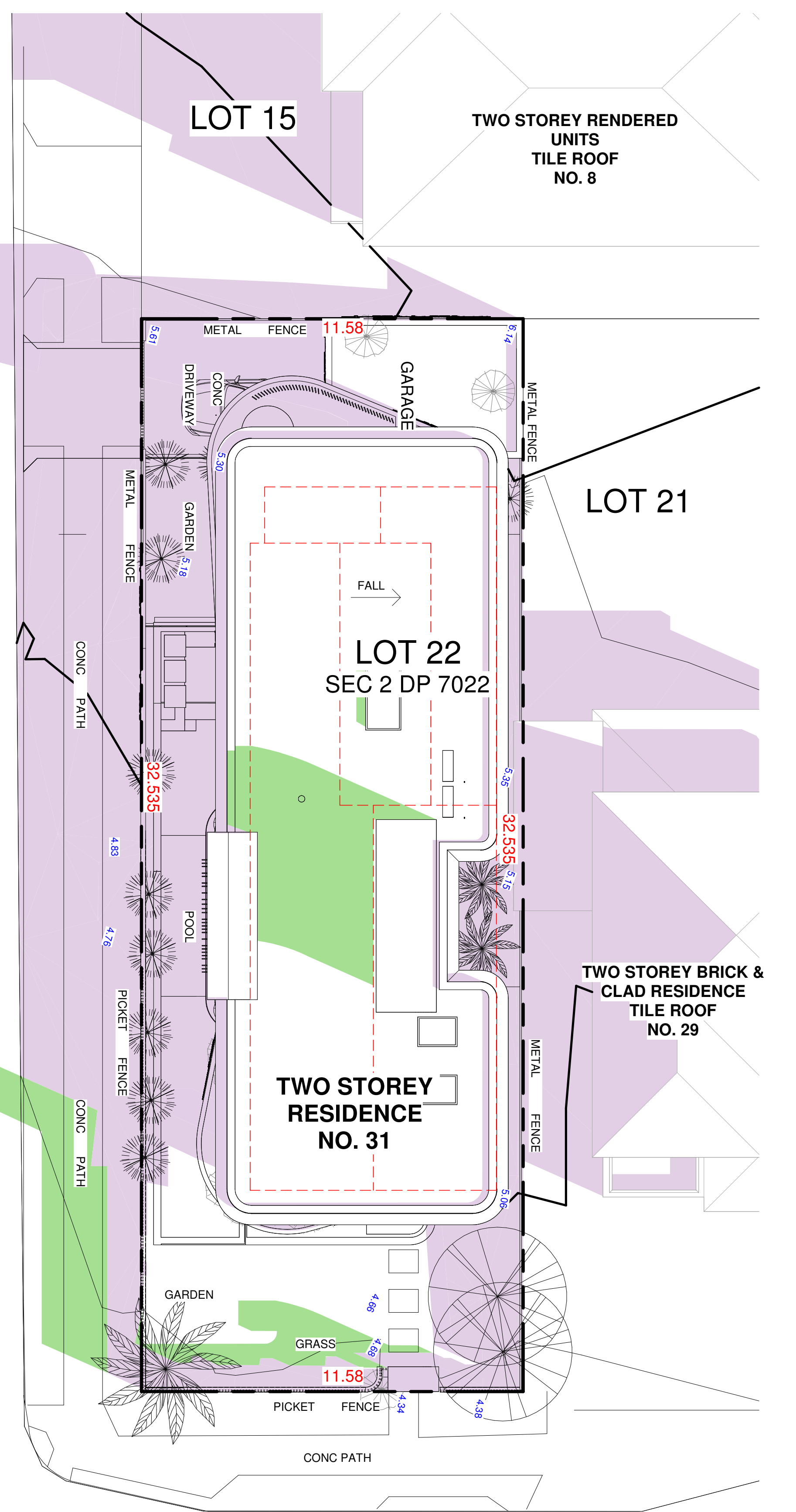
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BUILDING SHADOW - 21.06 - 9.00AM



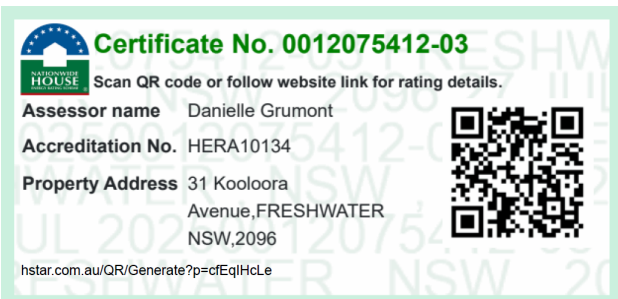
KOOLOORA AVENUE

BUILDING SHADOW - 21.06 - 12.00PM



KOOLOORA AVENUE

BUILDING SHADOW - 21.06 - 3.00PM



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DONOVAN ASSOCIATES

STRUCTURAL & HYDRAULIC ENGINEER  
BMY BUILDING CONSULTANTS

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LEGEND

- EXISTING SHADOWS
- INCREASE SHADOWS
- DECREASE SHADOWS

Proj. Arch	Drawn
RR	TI
Date	Scale
JULY 2025	As indicated

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Project  
FRESHWATER HOUSE

31 Kooloora Avenue, Freshwater

Drawing Title  
SUN SHADOWS STUDIES

Drawing No.  
AR.S455. 7000

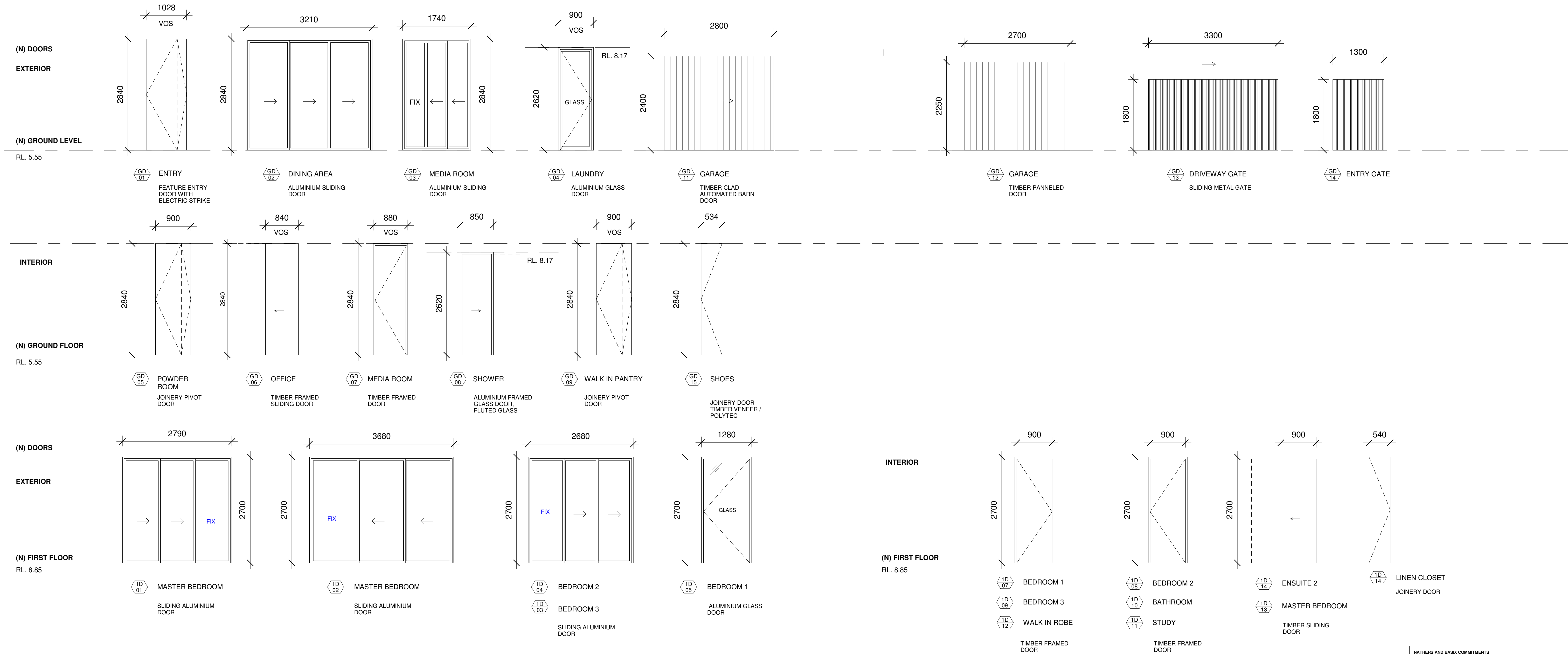
Revision  
C

Project Architect

R Squared Studios Pty Ltd  
contact@r2studios.com.au  
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**NATHERS AND BASIX COMMITMENTS**

Glazing: Doors/Default codes modelled which are not brand specific. You can use any brand/manufacturer and type of glass and frame; these are maximum U-values, and there is a flexibility of +/- 10% (as stated below) with the SHGC value.

Group A – bi-fold and casement doors:  
PVC-005-01: U-Value: 2.60 (equal to or lower than) SHGC: 0.50 (± 10%)  
PVC-006-01: U-Value: 2.60 (equal to or lower than) SHGC: 0.53 (± 10%)

Group B – sliding doors/windows = fixed glazing:  
PVC-005-01: U-Value: 2.60 (equal to or lower than) SHGC: 0.50 (± 10%)  
PVC-006-01: U-Value: 2.60 (equal to or lower than) SHGC: 0.53 (± 10%)

Skylights: Double glazed with timber or aluminium frame  
Colour: Light/D475-5A  
Roof: Concrete roof with waterproof membrane  
Ceiling: Plasterboard ceiling with R4.0 insulation (insulation only value) where roof above  
No insulation required to Garage ceiling  
Ground Floor ceiling is concrete between levels  
Sealed LED downlights to Ground Floor, modelled: One per 3m2

Ceiling penetrations:  
Concrete with R2.7 insulation (insulation only value)  
No insulation required to Garage walls  
Concrete slab on ground with R1.8 under-slab insulation (insulation only value) on studs

Internal walls:  
(insulation only value) to any suspended floor with open outdoor  
Floors: Three Ceiling Fans: one to Upper Sitting Room, one to Dining Room, and one to either the GP Sitting Room or Living Room  
Ceiling: Covered Alfresco and Balconies. Shading screens to Ensuite 1 and  
External: Covered Alfresco and Balconies. Shading screens to Ensuite 1 and

**BASIX Water Commitments**  
Features:  
Install showerheads minimum rating of 4 stars (>6.0 and <= 7.5 Litres/min)  
Install toilet flushing system with a minimum rating of 4 stars in each toilet  
Install tap with minimum rating of 4 stars in the kitchen  
Install taps with minimum rating of 4 stars in each bathroom  
Alternative: Install rainwater tank with minimum 10,000L capacity, connected to ~ At least one outdoor tap and toilets, and used to top up spa and pool  
Rainwater harvest collected from a min. 215m2 roof area

**BASIX Energy Commitments**, Volume of Spa: 60L. Bath Pool and Spa are  
Hot water: Gas instantaneous with minimum performance of 6 Stars  
System: 3 phase air conditioning to living areas and bedrooms: EER 3.0 - 3.5  
Cooling: 3 phase air conditioning to living areas and bedrooms: EER 3.0 - 3.5  
Heating: 3 phase air conditioning to living areas and bedrooms: EER 3.0 - 3.5  
Ventilation: Kitchen - Individual fan, externally ducted to roof or facade, manual on/off switch  
Bathrooms - Individual fan, externally ducted to roof or facade, manual on/off switch  
Laundry - Individual fan, externally ducted to roof or facade, manual on/off switch  
Pool Heating System: solar (electric boosted), controlled by timer, dual speed pool pump with minimum performance of 6 Stars  
Spa Heating System: solar (electric boosted), controlled by timer  
Alternative: Minimum 5.5kW of solar/PV, with panels sloped between >10 to <= 10o and facing North West  
Gas cooktop & electric oven  
Outdoor clothes drying line

CLIENT

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CHRIS HUDSON

DESIGN ARCHITECT

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CMS SURVEYORS

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LEGEND

Proj. Arch

RR

Date

JULY 2025

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TI

Scale

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Project

FRESHWATER HOUSE

31 Kooloora Avenue, Freshwater

Drawing Title

DOOR SCHEDULE

Drawing No.

AR.S455. 3200

Revision

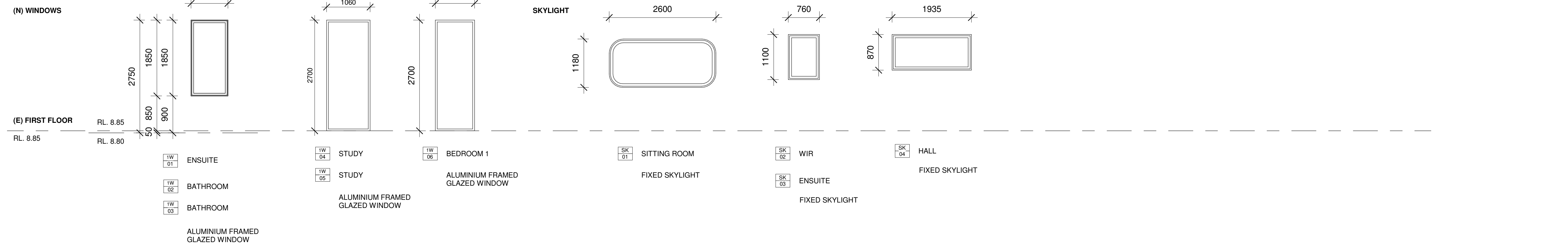
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Project Architect

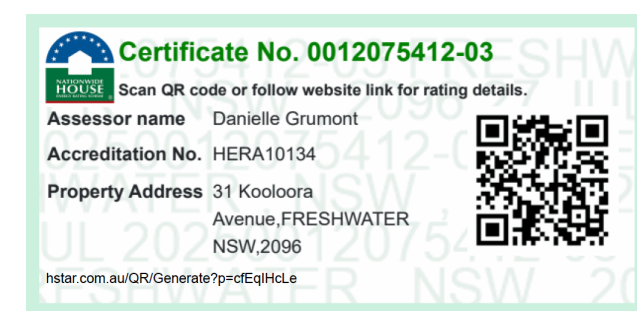
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NOMINATED ARCHITECT RENAISSANCE NSW AHS 8007  
@r2studios.com.au







NATHAN'S AND BASIC COMMUNITIES	
Glaazing Doors/Windows:	Cases modelled which are not brand specific. You can use any brand/fabricator/manufacturer and type of glass and frame; these are based on minimum U-Value of 1.6 and a flexibility of +/- 10% (these are below) with the SHGC value.
Airflow:	A-B: mixed and controlled PVC-U=05:01 U-Value: 2.60 (equal to or lower than) SHGC = 0.50 (+/- 10%) Group B – sliding doors/windows + fixed glazing: Rough: glass and aluminium frame U-Value: 2.80 (equal to or lower than) SHGC: 0.53 (equal to or lower than) Polysiloxane coated glass/aluminium frame values (glass and frame combined)
Skylights	Rough: glass and aluminium frame U-Value: 2.80 (equal to or lower than) SHGC: 0.53 (equal to or lower than)
Floor	Colour: Light/0475-Sa Roof: Roof insulation required with R9.0 insulation (insulation only value)
Poor Ceiling	Where no light above Insulation required with G4 grade ceiling Ground Floor ceiling is concrete between levels Sealed LED downlighting to Ground Floor, modelled: One per 3m <sup>2</sup>
Ceiling partitions	
External walls	Concrete with R12.5 insulation (insulation only value) Insulation not required on external wall Concrete slab on ground with R1.0 under-slab insulation (insulation only value)
Internal Walls	Concrete separating spaces Concrete First Floor (between levels) with R2.0 insulation (insulation only value) Other internal walls: Timber
Floors	First floor: Polystyrene Floor coverings: Tiles, To Ground/Floor and the wet areas of First floor Second floor: Carpet
Partitions	Room, and one to either of the Gift Stirling Room or Living Room Kitchen Adjoined Kitchen Area <b>BASIC Water Commitments</b> were shown as donations
Figures	Installed showstuds maximum rating of 4 stars (>+6.0 and <<.7.5 across entire room) Install toilet flushing system with a minimum rating of 4 stars in each toilet Install tap with minimum rating of 4 stars in the kitchen Minimum water consumption: 10 litres per person per day Install rainwater tank with minimum 10,000L capacity, connected to roofline At least one outdoor showerhead installed for up to six cup and pool. Water from harvested collected from a min. 215cld roof area
BASIC Energy Commitments:	Volume, of kSA. Both Pool and Spa are Gas instantaneous with minimum performance of 6 Stars
Hair Dryer	
Hot water System	
Cooling system	3 phase air conditioning to living areas and bedrooms: EER 3.0 - 3.5
Ventilation	
Heating	3 phase air conditioning to living areas and bedrooms: EER 3.0 - 3.5
Kitchen	Kitchen - Individual fan, externally ducted to roof or facade, Laundry - built-in off-rooftop Bathrooms - Individual fan, externally ducted to roof or facade, Bedroom - built-in off-rooftop
Pool and spa	Laudry - Individual fan, externally ducted to roof or facade, Shower - built-in off-rooftop Pool Heating System: solar (electric boosted), controlled by timer, dual speed pump with minimum performance of 6 Stars
Alternative Energy	Electricity: Electric (electric boosted), controlled by timer Minimum 5 kWhV of solar PV, with panels sloped between -5o and +10o
Drying	Gas cooktop & electric oven Wardrobes drying rack



CLIENT

HSIU-HUI HSU & CHRIS HUDSON

DESIGN ARCHITECT

R SQUARED STUDIOS

PLANNER

VMDC PLANNING

LANDSCAPE CONSULTANT

TCGD

SURVEYOR

CMS SURVEYORS

STRUCTURAL & HYDRAULIC ENGINEER

VANGUARD ENGINEERS

ENERGY CONSULTANT

GREEN FUTURE GROUP

Rev

Date

Description

Drawn

Auth.

A

24.06.2025

ISSUE FOR COORDINATION

TI

RR

B

15.07.2025

ISSUE FOR COORDINATION

TI

RR

C

23.07.2025

ISSUE FOR SUBMISSION

TI

RR

LEGEND

Proj. Arch

RR

Date

JULY 2025

Do not scale drawings. Verify All dimensions on site. Notify architect of all discrepancies.

Drawn

TI

Scale

As indicated

Project

FRESHWATER HOUSE

31 Kooloora Avenue, Freshwater

Drawing Title

WINDOW SCHEDULE

Drawing No.

AR.S455. 3201

Project Architect

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