

07 October 2025

**Warwick Bowyer**

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SYDNEY NSW 2000

Email: [Warwick.Bowyer@iriscapital.com.au](mailto:Warwick.Bowyer@iriscapital.com.au)

Dear Warwick,

**RE: STATEMENT OF HERITAGE IMPACT FOR SECTION 4.55 MODIFICATION APPLICATION TO DA2022/1526 (ALTERATIONS AND ADDITIONS TO AN EXISTING PUB) TO 23 THE CORSO, MANLY NSW 2095**

**1. INTRODUCTION**

This Statement of Heritage Impact (SOHI) has been commissioned by Forma Projects to assess the impacts of the proposed Section 4.55 (s4.55) Modification Application to the development application (DA) DA2022/1526, approved on 18 November 2022, for 19 - 23, 25 & 27 The Corso, Manly NSW 2095 (subject site) under the *Environmental Planning and Assessment Act 1979*.

The DA2022/1526 for 'alterations and additions to an existing pub,' included changes to the shopfront and an internal fit-out of the bottleshop at 23 The Corso (subject of the current s4.55), in addition to works at 25, 19-21, and 27 The Corso, Manly NSW 2095. The approved works involved internal reconfiguration, new lift and stair installations, roof and lightwell additions, façade and window replacements, retail fit-out, compliance upgrades, and rooftop solar panels.

The DA2022/1526 sought to amend the approved layout of the premises, along with some minor modifications to the approved elevations of both The Corso and Market Lane (condition 1. *Approved Plans and Supporting Documentation*). The Section 6 of the HIS submitted with the DA concluded:

*... the proposed works, including reconfiguration of the internal layouts, relocation of various uses and paces across The Ivanhoe Hotel buildings comprising (part) 19-23, 25 & 27-29 The Corso will result in no adverse impacts to the heritage significance of The Ivanhoe Hotel, its group commercial heritage buildings and the Town Centre Heritage Conservation Area or the nearby heritage items.*

The current s4.55 to modify the approved DA2022/1526 involves minor modifications to the approved ground-floor façade and internal fit-out of the bottle shop (23 The Corso) only. The works are described in detail in Section 3. *Scope of Works* of this statement and assessed at Section 7. *Assessment of Heritage Impact* against the relevant provisions of the Manly Local Environmental Plan (LEP) 2013 and the Manly Development Control Plan 2013.

All recommendations have been developed in line with statutory requirements and recognised best practice in cultural heritage management.

## 2. ESTABLISHED HERITAGE SIGNIFICANCE

The subject site forms part of the heritage item, *Group of commercial buildings* (Item I106), listed in Schedule 5 Part 1 Heritage items, of the LEP 2013. The group comprises all numbers in The Corso. (Figure 1)

In addition, the site is within the *Town Centre Conservation Area* (C2) (HCA) listed under of Schedule 5 Part 2 Heritage conservation areas, of the *Manly LEP 2013*. (Figure 1)

### local heritage items: **Environmental Planning and Assessment Act, 1979**

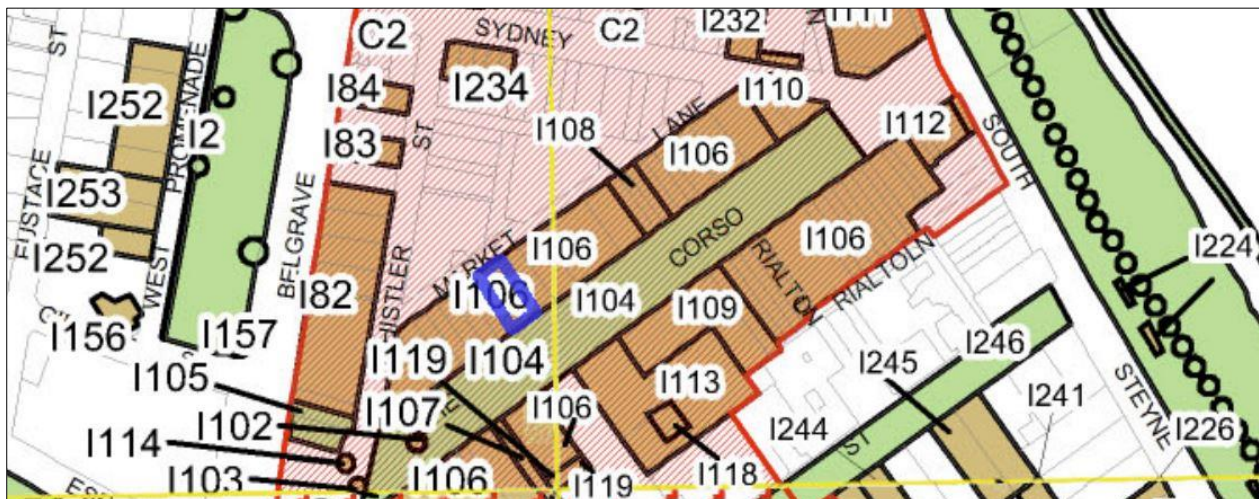
#### Manly Local Environmental Plan (LEP) 2013, Part 1 Heritage items

*St. Matthew's Church and Church Hall*, Item I113, located at 44 The Corso (corner The Corso and Darley Road);

*Street trees*, Item I104, located at The Corso (from Whistler Street to Sydney Road);

*Commercial Building*, Item I107, located at 36 The Corso; and

*Group of commercial buildings*, Item I109, located at 46–64 The Corso.



*to continue. It's role as the pedestrian link between harbour and ocean, city and sea – for the tourist, is fundamental to Manly's status as a resort.<sup>1</sup>*

The SHI form provides the following statement of significance for the *Town Centre Conservation Area (C2)*:

*The Manly Town Centre Conservation Area (TCCA) is of local heritage significance as a reflection of the early development of Manly as a peripheral harbor and beachside village in the fledgling colony of New South Wales. This significance is enhanced by its role as a day-trip and holiday destination during those early years, continuing up to the present time, and its association with H G Smith, the original designer and developer of the TCCA as it is today. The physical elements of the TCCA reflect this early development and its continued use for recreational purposes, most notably the intact promenade quality of The Corso and its turn of the century streetscape, as well as key built elements such as hotels, and remaining original commercial and small scale residential buildings.*

*The beautiful natural setting of the TCCA has provided a solid foundation for its picturesque qualities. The cultural landscape, including plantings, monuments and open spaces, reflects the continued enhancement of the TCCA over time, in order to attract and sustain visitors to the area, which in turn has provided great support to the local economy. The many historic vistas which remain to this day enhance the visitor experience of the TCCA and assist with providing an interpretation of the TCCA as it has changed over time.*

*The TCCA maintains a high level of social significance, as a popular destination for local, national and international tourists, as well as through its encapsulation of the Australian beach culture.<sup>2</sup>*

The subject property is located within a Special Character Area, for which the Manly DCP 2013 establishes clear guidelines for development and maintain the area's historic and urban qualities as considered under Section 7.2 below.

### 3. SCOPE OF WORKS

The following works are proposed:

- Minor alterations to the internal fit-out, including an increased footprint with the addition of a cool room to the rear of the bottle shop. The fit-out comprises a counter near the entry, new shelving, and relocated existing fridges along the wall adjacent to the entry, additional fridges along the centre of the room and new shelving units along the opposite wall.
- Provision of access from the street frontage.
- Replacement of the existing equal sized 5-panelled fixed shopfront with a transom (of small windowpanes) at head height to allow for a new reconfigured 4 panelled black powder coated aluminium shopfront incorporating a sliding door. The proposed new shopfront excludes the transom (of small windowpanes), and the sliding door access is wider than the other three panels, which are of equal width.
- Installation of a new Carrara marble step at the recessed entry.

<sup>1</sup> State Heritage Inventory, "Group of Commercial Buildings (Item I106) – The Corso, Manly." Accessed September 26, 2025. <https://www.hms.heritage.nsw.gov.au/App/Item/ViewItem?itemId=2020001>

<sup>2</sup> State Heritage Inventory, "Town Centre Conservation Area (Item C2) – Manly." Accessed September 26, 2025. <https://www.hms.heritage.nsw.gov.au/App/Item/ViewItem?itemId=2020838>.

The following drawings prepared by Tachara Group have been considered in preparation of this SOHI:

Drawing No	Drawing Title	Date	Rev
A100	COVER SHEET & LOCATION PLAN	17 October 2025	01
A101	LOCATION OF NEW WORKS	17 October 2025	01
A102	DA APPROVED FLOOR PLAN	01 October 2025	02
A103	PROPOSED FLOOR PLAN	01 October 2025	02
A104	DA APPROVED EXTERNAL ELEVATION	17 October 2025	01
A105	ALTERATION TO DA APPROVED	02 October 2025	04
A106	SECTIONS	17 October 2025	01

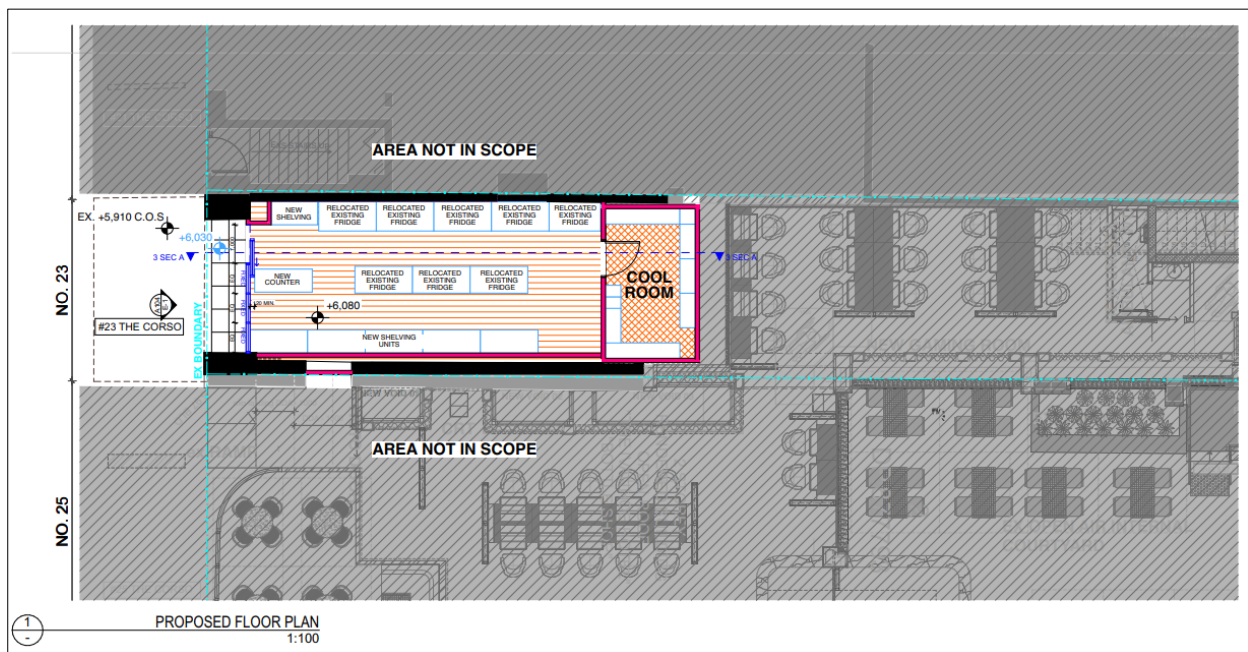


Figure 2: Proposed ground floor plan.



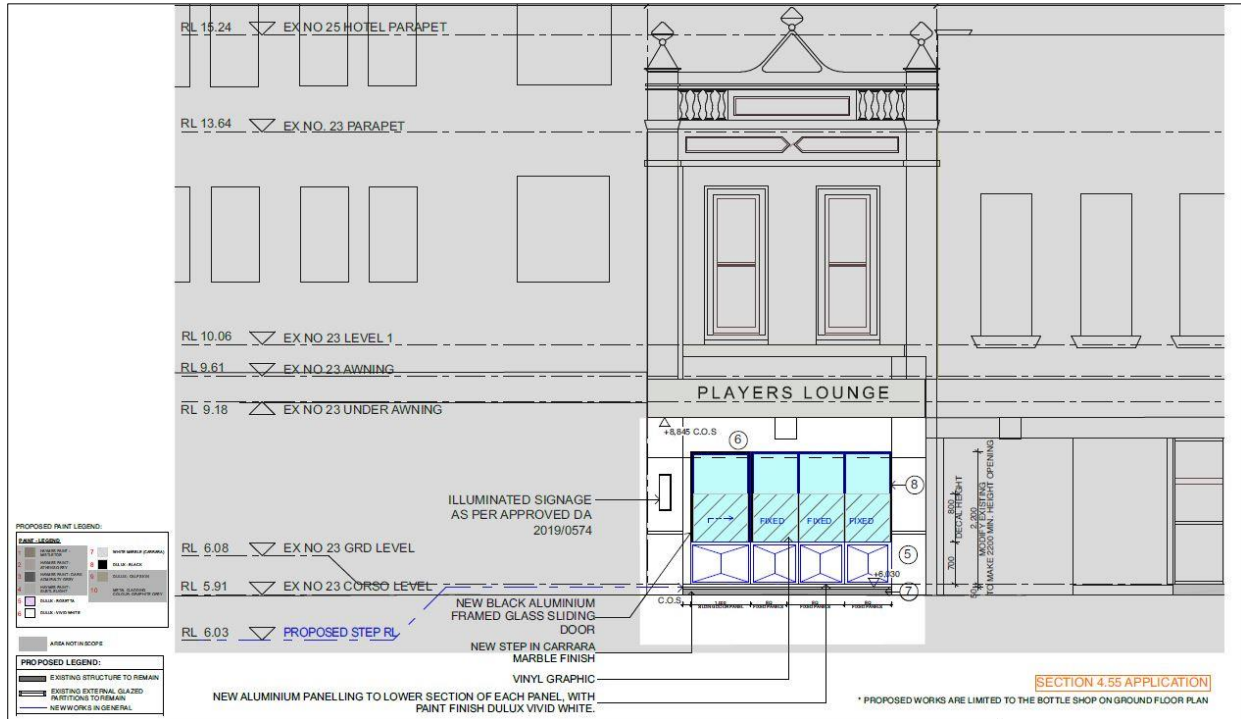


Figure 3: Proposed front elevation.

## Relevant Reports

The following studies and reports were reviewed in preparing this report. Relevant information has been incorporated and referenced as appropriate:

- *Statement of Heritage Impact: The Ivanhoe Hotel, 23 The Corso, Manly*, prepared by NBRS & Partners Pty Ltd, 3 June 2019, submitted in support of DA2019/0574;
- Development Application Assessment Report for DA2019/0574, Northern Beaches Council;
- Notice of Determination DA 2019/0574 issued by Northern Beaches Council on 03 June 2019;
- *Heritage Impact Statement The Ivanhoe Hotel Alterations & Additions*, City Plan, dated August 2022, submitted in support of DA2022/1526;
- Notice of Determination DA 2022/1526 issued by Northern Beaches Council on 18 November 2022; and
- Development Application Assessment Report for DA2022/1526, Northern Beaches Council.

## 4. CONSTRAINTS AND LIMITATIONS

- Accurate measured drawings do not form part of this assessment.
- This SOHI relates to the proposed works and documentation described in Section 3. Scope of Works of this statement. It does not relate to any additional or revised documentation by any party.
- CPH was not involved in the design process.

## 5. SITE CONTEXT AND DESCRIPTION

The subject site is located on the north-western side of The Corso, Manly (No 23 The Corso). It has a regular lot shape, with a frontage of approximately 23.4 m along The Corso, a depth of 29.7 m, and a total site area of approximately 697 m<sup>2</sup>. The site falls within the B2 Local Centre zone under Manly LEP 2013 and accommodates a mix of retail premises and a pub. The site is level and contains no significant vegetation.

The site comprises a small two-storey late 20th-century infill commercial building, set slightly back from Market Place to the rear. The adjoining building at 19-21 The Corso is currently under construction with the works to the subject shop pending application of the current s4.55 modifications (Figure 5).



Figure 4: Front elevation of 23 The Corso, 2022 indicated by red circle. (Source: City Plan Heritage).

The Corso forms a low-scale pedestrian corridor linking Manly Wharf to Manly Beach. The street is characterised by predominantly 2–3 storey commercial buildings dating from the late 19th and early 20th centuries, with generally intact upper-level façades. Footpath awnings, mature street planting, and through-block arcades enhance the pedestrian environment, contributing to a cohesive and visually appealing streetscape.

Key visual landmarks include St Matthew's Church tower and oblique intersections such as Sydney Road, which interrupt the linear form of the street and provide spatial variety. At both ends, The Corso opens to the ocean and harbour, offering long vistas to Manly Cove, Shelley Beach, Queenscliff, and the Pacific Ocean, framed by Norfolk Pines and other mature vegetation.

Adjoining and surrounding development is characterised by mixed-use and commercial premises. To the south-west, the site adjoins 19–21 The Corso, a four-storey early 20th-century apartment block with ground-floor retail. To the north-east, it adjoins the Ivanhoe Hotel, a prominent and historically significant hotel building that contributes to the streetscape through its scale, detailing, and presence as a long-standing

social and commercial hub. Other adjoining 2–3 storey shops form part of the *Group of Commercial Buildings* (Manly LEP 2013 Schedule 5 Part 1, Item I106). Collectively, these buildings contribute to the low-scale, historically coherent streetscape of The Corso and the Manly *Town Centre Conservation Area* (Manly LEP 2013 Schedule 5 Part 2, Item C2).

The Corso retains a strong historic character, reflecting the gradual evolution of low-scale commercial development and the spatial continuity of horizontal and vertical elements, which contribute to its heritage significance.

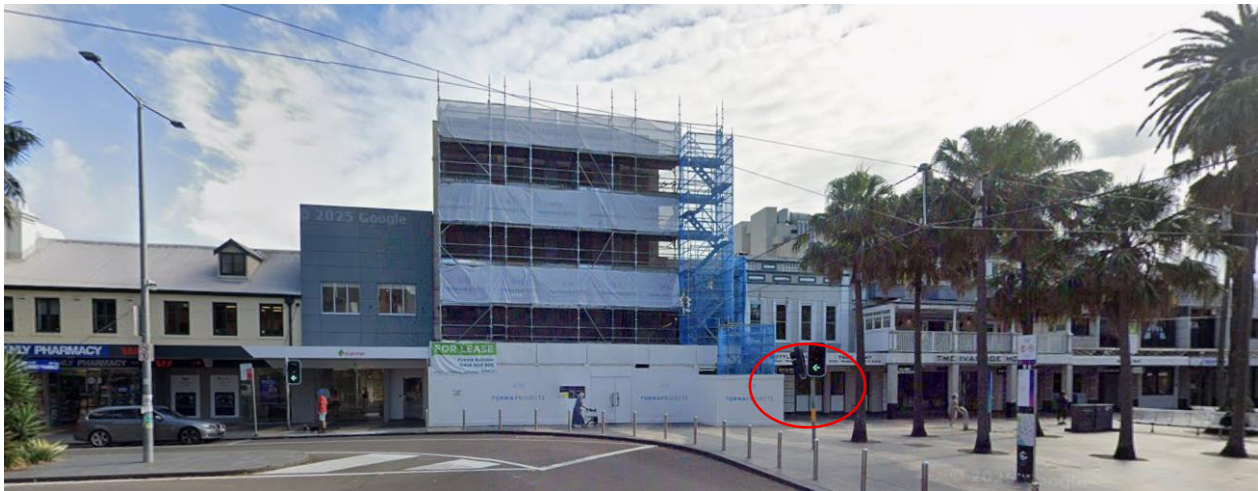


Figure 5: 23 The Corso in relation to the adjoining buildings, 2022. The subject shopfront is indicated by red circle. (Source: Google Street View).

## 6. BRIEF HISTORY

The following history of 23 The Corso, Manly, has been extracted from the *Statement of Heritage Impact: The Ivanhoe Hotel, 23 The Corso, Manly*, prepared by NBR & Partners Pty Ltd, 3 June 2019, submitted in support of DA2019/0574 for a change of use to a pub, including alterations and additions, internal fit-out, and signage.

The subject site at 23 The Corso forms part of a larger allotment historically occupied by commercial and residential buildings. The adjacent 19–21 The Corso contains the four-storey Exeter Flats, constructed in 1922. Prior to this, the site was occupied by a chemist operated by C. J. Carroll from 1896, which also included a dentist's practice. Photographs of the premises were published in the Australian Town and Country Journal in 1899, illustrating the chemist shop and its interior.<sup>3</sup>

During World War II, Carroll sold his chemist business to W. G. Fegent Ltd, and a chemist has remained on the site since. By this time, Exeter Flats had replaced the original chemist building at 19–21 The Corso, comprising front flats with three rooms and a kitchen, and rear flats with two rooms and a kitchen. Exeter

<sup>3</sup> NBR & Partners Pty Ltd. *Statement of Heritage Impact: The Ivanhoe Hotel, 23 The Corso, Manly*. 3 June 2019, <https://eservices.northernbeaches.nsw.gov.au/ePlanning/live/Common/Output/LoadAppPropDoc.aspx?id=!!1qG1IGNUFhGywpKA44qS1W5cB93eJVuJtrYekg%253d%253dDHXmD5XkTgA%253d>.



Flats extended only over part of the allotment, leaving the older double-storey building at 23 The Corso intact.<sup>4</sup>

The building at 23 The Corso originally featured a shop front with an awning, an upper-floor balcony with two doors, and a decorative parapet with a gabled end. By the late 1930s, the building was occupied by Dickinson, photographers, while the adjacent ground floor of Exeter Flats was occupied by chemist W. G. Fegent. Subsequently, the building at 23 The Corso became home to Norton-Trevaire, a prominent photography business specialising in wedding portraiture and photographic reproductions. Photographic evidence from 1970 shows the business still operating at the site.<sup>5</sup>

In August 1989, the shops at 19–23 The Corso were offered for sale. Following the sale, the building at 23 The Corso was substantially altered. By 1999, the original parapet had been removed, the gabled roof replaced with a flat roof, and the upper-floor windows replaced with a horizontal aluminium-framed window. The ground-floor shops at 19–23 The Corso later became unified under Soul Pattinson Chemist, including a connected medical surgery.<sup>6</sup>



Figure 6: Late 1930s photograph showing the double-storey building at 23 The Corso (right), occupied by Dickinson, photographers. (Source: NBRS & Partners Pty Ltd. *Statement of Heritage Impact: The Ivanhoe Hotel, 23 The Corso, Manly*. 3 June 2019, p.6)

<sup>4</sup> NBRS & Partners Pty Ltd. *Statement of Heritage Impact: The Ivanhoe Hotel, 23 The Corso, Manly*. 3 June 2019, p.4-6.

<sup>5</sup> NBRS & Partners Pty Ltd. *Statement of Heritage Impact: The Ivanhoe Hotel, 23 The Corso, Manly*. 3 June 2019, p.4-6.

<sup>6</sup> NBRS & Partners Pty Ltd. *Statement of Heritage Impact: The Ivanhoe Hotel, 23 The Corso, Manly*. 3 June 2019, p.4-6.





Figure 7: 23 The Corso, Manly, said to be dated c.1960s. (Source: (Source: NBRS & Partners Pty Ltd. Statement of Heritage Impact: The Ivanhoe Hotel, 23 The Corso, Manly. 3 June 2019, p.8).



*Figure 8: – 1970 photograph of the Ivanhoe Hotel and adjacent premises. (Source: NBRS & Partners Pty Ltd. Statement of Heritage Impact: The Ivanhoe Hotel, 23 The Corso, Manly. 3 June 2019, p.14)*

This historical evolution reflects the site's longstanding role in Manly's commercial corridor, demonstrating continuity of retail and service uses while adapting to changing architectural and functional demands over time.

## 7. ASSESSMENT OF POTENTIAL HERITAGE IMPACT

Due to the known heritage values of the subject site, the potential impact of the proposed works is subject to the heritage controls in the Manly LEP 2013 and the Manly Development Control Plan (DCP) 2013.

Note: Only the relevant heritage provisions and objectives of the Manly LEP 2013 and the Manly DCP 2013 have been included in the following sections.

As noted above, the subject building is listed as part of the *Group of Commercial Buildings* (Item I106) and encompassed within the *Town Centre Conservation Area* (Item C2). The SHI form notes the *Group of Commercial Buildings* is significant for its cohesive low-scale streetscape, horizontal and vertical continuity, and contribution to The Corso's historic character, particularly its role as the pedestrian link between harbour and ocean. The Manly DCP 2013 identifies The Corso as a Special Character Area, where development should respect the streetscape's low-scale, pedestrian-oriented character, maintain the rhythm and proportion of façades, and ensure visual compatibility between buildings while accommodating diverse architectural expression, including appropriate use of colours consistent with the heritage context.

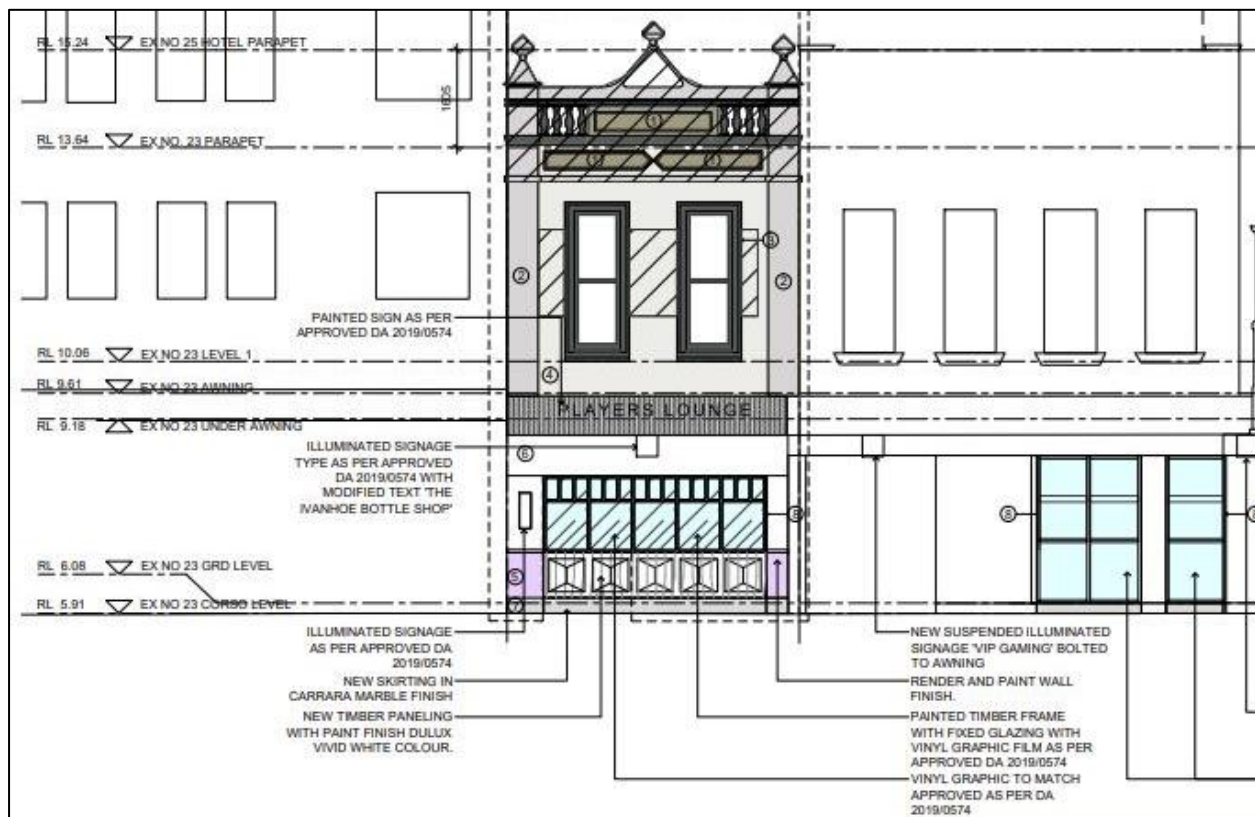


Figure 9: Shopfront design approved under DA2022/1526.

The previous approval (Figure 9) for 23 The Corso (DA2022/1526) included the reconstruction and alteration of the shopfront façade. This was in turn based on the previously approved design under the DA2019/0574.

This design under DA2019/0574 (Figure 10) was guided in part by a 1970 photograph of the building.<sup>7</sup> (Figure 5) This image was used as inspiration for the works, recognising that the ground-floor shopfront had been extensively modified over time and retained little original fabric. The design was then considered appropriate given the building's altered state, the absence of original plans or detailed photographic documentation, and the objective of producing a façade compatible with the heritage significance of the site, the Group of Commercial Buildings, and the conservation area.

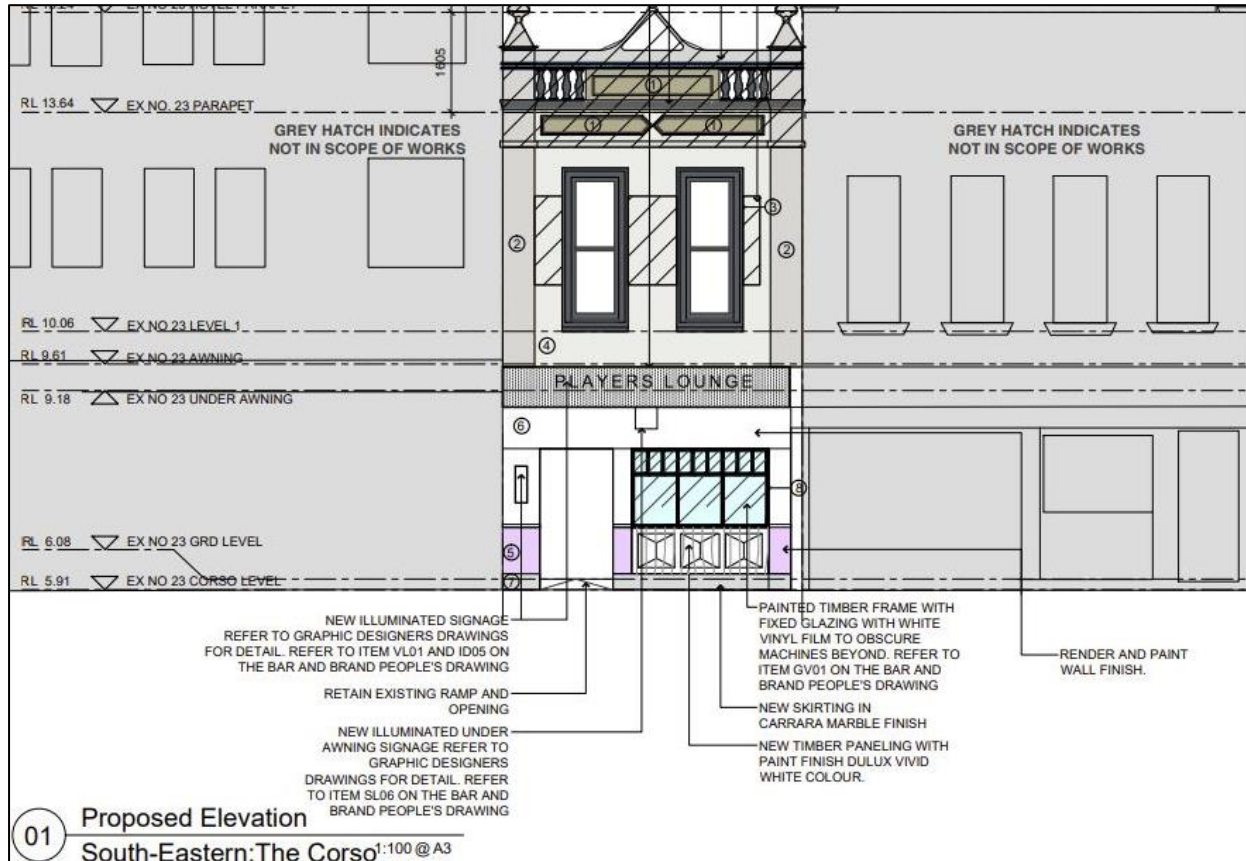


Figure 10: Shopfront design approved under DA2019/0574.

Additional historical images include a late 1930s photograph (Figure 3) and a c.1960s image (Figure 4). These provide some insight into the historic shopfront configuration; however, they do not allow the original windows, joinery, or architectural details to be viewed holistically. It is also unclear whether the same shopfront was retained into the 1960s, although the overall outlook may have been similar and may have informed the 1970s photograph. Observations of the 1930s shopfront suggest two fixed glazed display windows, possibly without a stallboard, flanking a recessed two-door entry with a transom above the windows and doors extending along the façade. The exact arrangement cannot be confirmed in the absence of original plans and elevations, as well as clear photographs of the shopfront from the 1930s.

<sup>7</sup> NBRS & Partners Pty Ltd. *Statement of Heritage Impact: The Ivanhoe Hotel, 23 The Corso, Manly*. 3 June 2019, p.22.



The proposed shopfront façade addresses the functional requirements of the bottleshop and improves its visibility and recognition along The Corso. The wider sliding panel provides practical street access, while the removal of the transom, with vertical members not visible in available historic images, allows for the completion of the previously part-reconstructed design. The shift from timber and aluminium to predominantly aluminium achieves a more consistent and durable expression across the ground floor facades of the Ivanhoe Hotel of which the subject shopfront is recognised as part. This approach prioritises a functional design and increased visibility while also ensuring the new work is clearly identifiable and remaining sympathetic to the historic streetscape. The variation in panel widths maintains the established rhythm and proportions of the façade and does not detract from the reconstructed elements above the awning.

Within the streetscape, the approved façade complemented the building's historic gabled form, respected the scale and rhythm of adjoining structures, and reinforced the overall streetscape character. The current minor modifications maintain continuity with the historic streetscape while allowing the façade to accommodate functional needs, respond to contemporary use, and retain visual compatibility with the with the adjoining heritage buildings and broader town centre context of The Corso.

Overall, the proposed modifications, including minimal internal fit-out changes and the addition of a cool room, do not detract from the heritage significance of the site or surrounding streetscape. They are changes to that of previously reconstructed and approved internal layout with no heritage fabric being modified. The approved colour scheme remains the same under the current proposed s4.55 modification. By building on previously approved works, the proposal balances functional adaptation with heritage conservation, ensuring the building continues to enhance the commercial and architectural character, as well as the visual coherence, of The Corso.

## 7.1. MANLY LEP 2013

The proposal is addressed below in relation to the relevant clauses of the LEP:

<b>Clause 5.10 Heritage Conservation</b>	<b><i>This proposal relates to these matters as follows:</i></b>
<p><b><i>(2) Requirement for consent</i></b></p> <p><i>Development consent is required for any of the following:</i></p> <p><i>(a) demolishing or moving any of the following or altering the exterior of any of the following (including, in the case of a building, making changes to its detail, fabric, finish or appearance):</i></p> <p><i>(i) a heritage item,</i></p> <p><i>(ii) an Aboriginal object,</i></p> <p><i>(iii) a building, work, relic or tree within a heritage conservation area,</i></p> <p><i>(b) altering a heritage item that is a building by making structural changes to its interior or by making changes</i></p>	<p>As the proposed works involve alterations to a heritage item located within a heritage conservation area, development consent is required under Clause 5.10(2)(a)(i) and (iii), and 5.10(2)(b). A s4.55 modification application will be made to the Council by the applicant.</p>

<b>Clause 5.10 Heritage Conservation</b>	<b>This proposal relates to these matters as follows:</b>
<p>to anything inside the item that is specified in Schedule 5 in relation to the item,</p> <p>...</p> <p>....</p>	
<p><b>(4) Effect of proposed development on heritage significance</b></p> <p><i>The consent authority must, before granting consent under this clause in respect of a heritage item or heritage conservation area, consider the effect of the proposed development on the heritage significance of the item or area concerned. This subclause applies regardless of whether a heritage management document is prepared under subclause (5) or a heritage conservation management plan is submitted under subclause (6).</i></p>	<p>In accordance with this clause, the proposed works have been designed to conserve the heritage significance of the building and its streetscape context, respect the rhythm and character of The Corso, and avoid any adverse impact on nearby heritage items. Further discussion and assessment of this impact have been provided within this SOHI above and under the relevant controls of the Manly DCP 2013.</p>
<p><b>(5) Heritage assessment</b></p> <p><i>The consent authority may, before granting consent to any development:</i></p> <p><i>(a) on land on which a heritage item is located, or</i></p> <p><i>(b) on land that is within a heritage conservation area, or</i></p> <p><i>(c) on land that is within the vicinity of land referred to in paragraph (a) or (b),</i></p> <p><i>require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item or heritage conservation area concerned.</i></p>	<p>This SOHI has been prepared in accordance with this clause, as the subject site is a heritage item situated within the vicinity of several other heritage items identified in Section 2 of this report. It has been guided by methodology laid out in the Heritage NSW publications <i>Statement of Heritage Impact, 2002</i> and <i>Assessing Heritage Significance, 2001</i>.</p>
<p><b>(7) Archaeological sites</b></p>	<p>Not applicable to the current s4.55 application.</p>
<p><b>(8) Aboriginal places of heritage significance</b></p>	<p>Not applicable to the current s4.55 application.</p>

## 7.2. MANLY DCP 2013

The following table addresses the relevant controls of the DCP.

3.2 Heritage Considerations	This proposal relates to these matters as follows:
<p><b>3.2.1 Consideration of Heritage Significance</b></p> <p><b>3.2.1.1 Development in the vicinity of heritage items, or conservation areas</b></p> <p><i>b) Proposed development in the vicinity of a heritage item or conservation area must ensure that:</i></p> <p><i>i) it does not detract or significantly alter the heritage significance of any heritage items, conservation area or place;</i></p> <p><i>ii) the heritage values or character of the locality are retained or enhanced; and</i></p> <p><i>iii) any contemporary response may not necessarily seek to replicate heritage details or character of heritage buildings in the vicinity, but must preserve heritage significance and integrity with complementary and respectful building form, proportions, scale, style, materials, colours and finishes and building/street alignments.</i></p>	
	<p>The subject site at 23 The Corso, Manly, forms part of the <i>Group of Commercial Buildings</i> (Manly LEP 2013, Item I106) within the <i>Town Centre Conservation Area</i> (Item C2). The group contributes to The Corso's cohesive low-scale streetscape and historic character.</p> <p>The proposal involves minor modifications to the approved ground-floor façade including adjustments to the glazing and panel configuration, installation of a marble step at the recessed entry, and minor internal fit-out alterations. These works retain the previously approved proportions, alignment, and materials, maintaining consistency with the established streetscape character.</p> <p>As detailed in Section 7 above, the proposed design represents a contemporary yet respectful response that remains compatible in scale, form, and materiality. The simplified and durable façade treatment complements the existing building and surrounding heritage fabric, ensuring visual coherence with the broader conservation area.</p> <p>Overall, the works will not detract from the heritage significance of the site, the <i>Group of Commercial Buildings</i>, or the <i>Town Centre Conservation Area</i>. The proposal retains and reinforces the heritage character and values of the locality while providing a sympathetic and functional contemporary intervention.</p>

3.2 Heritage Considerations	This proposal relates to these matters as follows:
<p>c) <i>The impact on the setting of a heritage item or conservation area is to be minimised by:</i></p> <p>i) <i>providing an adequate area around the building to allow interpretation of the heritage item;</i></p> <p>ii) <i>retaining original or significant landscaping (including plantings with direct links or association with the heritage item);</i></p> <p>iv) <i>retaining and respecting significant views to and from the heritage item.</i></p>	<p>The proposed works are minimal and limited to the reconfiguration of the previously approved ground floor shopfront, and therefore maintain opportunities for heritage interpretation, and provide an active, visually compatible façade. No significant landscaping exists on the site that requires retention. No views or vistas will be affected by the proposed new design of the shopfront.</p>
3.2.2 Alterations or Additions to Heritage Items or Conservation Areas	
<p><b>3.2.2.1 Complementary Form and Scale that Distinguishes Heritage Significance</b></p> <p>a) <i>Alterations or additions to heritage items or buildings within a conservation area will not necessarily seek to replicate, overwhelm, dominate or challenge heritage details or character of the building or structure of heritage significant buildings. However, a contemporary response which complements and respects the form and scale of the original buildings may be considered if the heritage significance is retained...</i></p>	<p>The proposed façade modifications at 23 The Corso adopt a contemporary approach that complements, rather than replicates, the historic building. The works maintain the established rhythm, proportions, and alignment of the previously approved ground-floor façade while respecting the scale and form of the upper heritage elements. By using durable, visually compatible materials and a simplified panel layout, the design ensures the building's heritage significance is retained without overwhelming or dominating the streetscape.</p>
<p><b>3.2.2.2 Retaining Significant Features and Landscape Setting</b></p> <p><i>Alterations or additions to heritage items or buildings within a conservation area must:</i></p> <p>a) <i>Retain original and traditional roof form, roof pitch with any alterations to the roofs to be sympathetic to the style of the heritage item or building within a conservation area;</i></p> <p>b) <i>Retain original architectural detailing such as barge board, finial trim, window awnings and front verandas. New detailing must be complementary to the character of the item or place;</i></p> <p>c) <i>Retain original wall treatments and original cladding (including slate). Modifications to face brick dwellings must use the original style of bricks, window heads, mortar joints and other building details...</i></p>	<p>The proposed works at 23 The Corso involve minor façade and internal alterations and do not affect the original roof form, architectural detailing, or wall treatments. No significant fabric or landscaping will be removed, ensuring the integrity, character, and heritage significance of the building and the surrounding conservation area are retained.</p>



3.2 Heritage Considerations	This proposal relates to these matters as follows:
f) avoid removal of original fabric in order to retain the integrity of the heritage item or conservation area...	
<p><b>5.1 Manly Town Centre and The Corso</b></p> <p><b>5.1.2 The Corso</b></p> <p><b>The Corso Guidelines</b></p> <p><i>5.1.2.1 Most existing buildings are significant and are to be conserved, not redeveloped</i></p> <p><i>5.1.2.2 Internal changes are important</i></p> <p><i>5.1.2.3 Significance is more than the depth of a façade: thus new development is to be to the rear.</i></p> <p><i>5.1.2.4 Parapets to be read against the sky</i></p> <p><i>5.1.2.5 Critical Views to be Kept Open</i></p> <p><i>5.1.2.6 New buildings to maintain and express the existing narrow fronted subdivision pattern</i></p> <p>....</p> <p><i>5.1.2.13 Shop-fronts are to be Reinstated</i></p> <p><i>5.1.2.14 New buildings to have a clear contemporary design idiom;</i></p> <p><i>5.1.2.15 External building colours are important to the overall presentation of The Corso;</i></p> <p><i>5.1.2.16 New residential development to be constrained and to incorporate noise abatement measures</i></p> <p><i>5.1.2.17 External details for plant, exhausts, ducts and other services as part of the overall building structure</i></p> <p><i>5.1.2.18 The impact of new development on rear lane-ways and on adjacent development is important</i></p> <p><i>5.1.2.19 Site specific controls</i></p>	<p>The proposed works at 23 The Corso conserve the heritage significance of the Manly Town Centre and The Corso. Original roof forms, parapet, and wall detailing above the awning are retained, maintaining key views and the established streetscape character.</p> <p>The new shopfront is an active, transparent frontage that enhances the liveliness of The Corso (Guideline 5.1.2.12). In the absence of evidence to guide an accurate reconstruction, a contemporary yet sympathetic design has been adopted. The wider sliding panel and removal of a non-original transom from the previously approved design provide practical access and increase visibility of the shop as bottleshop along The Corso.</p> <p>The aluminium frames, finished in black and white, provide a cohesive appearance consistent with Guideline 5.1.2.15 on colour and materiality. Overall, the proposal complements adjoining development and respects the heritage character of The Corso.</p>

### 7.3. NSW Heritage Manual Guidelines

The following 'Matters for Consideration' are drawn from the Department of Planning and Environment, *Guidelines for preparing a statement of heritage impact* (2023). The questions have been noted in italic with responses provided below each:

- *Do the proposed works include removal of unsympathetic alterations and additions? How does this benefit or impact the heritage item and its significance?*

The proposed works are limited to a reconstructed infill building and previously approved ground floor shopfront design in a simpler and more practical manner but similar to that of the previously approved design. Therefore, it does not detract from the historic character of the site or the conservation area.

- *Do the proposed works affect the setting of the heritage item, including views and vistas to and from the heritage item and/or a cultural landscape in which it is sited? Can the impacts be avoided and/or mitigated?*

The proposed façade changes are minor and maintain the previously approved rhythm, proportions, and alignment. Significant views to and from the south and southwest are preserved, ensuring the visual connection between the building, The Corso, and surrounding heritage items is maintained. The works have been designed to avoid any adverse impacts on the setting.

- *Are the proposed works part of a broader scope of works?*

The works form part of the ongoing adaptation of 23 The Corso, following previous approvals (DA2019/0574 and DA2022/1526) for façade reconstruction and alteration of the ground-floor shopfront. The current proposal represents a minor, functional update for the bottleshop.

- *Does this proposal relate to any previous or future works? If so, what cumulative impact (positive and/or adverse) will these works have on the heritage significance of the item?*

The current s4.55 proposal modifies the approved DA2022/1526 with minor changes to the ground-floor façade and internal fit-out to accommodate a bottleshop. These works retain the previously approved internal layout, circulation, and functional adaptations, ensuring continuity with prior approvals. Collectively, these successive works at 23 The Corso maintain and reinforce the heritage significance of the site, its group commercial buildings, and the *Town Centre Conservation Area*, without adversely affecting the broader heritage context.

- *Are the proposed works to a heritage item that is also significant for its Aboriginal cultural heritage values? If so, have experts in Aboriginal cultural heritage been consulted?*

Not applicable to the current s4.55 application.

- *Has the applicant checked if any other approvals or a separate process to evaluate the potential for impacts is required?*

The proposal has been reviewed in accordance with Manly LEP 2013 Clause 5.10 and the Manly DCP 2013 heritage controls. No additional approvals or separate processes are required, and the applicant will submit a modification application to the Council.

- *Do the proposed works trigger a change of use classification under the National construction code that may result in prescriptive building requirements? If so, have options that avoid impact on the heritage values been investigated?*

Not applicable to the current s4.55 application.

- *If the proposed works are to a local heritage item, are the requirements of the development control plans or any local design guidelines that may apply to the site considered?*

The works comply with the Manly DCP 2013 heritage provisions, including façade rhythm, alignment, materiality, colour palette, and street-level activation. The proposal also aligns with the Corso Guidelines to preserve streetscape character and maintain key views.

- *Will the proposed works result in adverse heritage impact? If so, how will this be avoided, minimised or mitigated?*

No adverse heritage impacts are expected. The subject building is an infill building and does not contain any significant fabric. Notwithstanding, the proposed modifications retains the significant fabric of the adjoining shopfronts/buildings, preserves key views, complements the streetscape, and is reversible.

## 8. CONCLUSION AND RECOMMENDATIONS

In conclusion, it is considered by City Plan Heritage that the proposed works at 23 The Corso (part of Heritage Item I106 – *Group of Commercial Buildings*), including minor modifications to the approved ground-floor façade, reconfiguration of the entry, refinement of glazing panels, installation of a Carrara marble step, and internal fit-out for the bottleshop, will result in no adverse impacts to the heritage significance of the building, the *Group of Commercial Buildings* (Item I106), the *Town Centre Conservation Area* (Item C2), or nearby heritage items.

The ground floor façade modifications retain the established rhythm, proportions, and alignment of the previously approved design, providing a contemporary yet sympathetic response that complements the historic streetscape. Key views to and from the site are preserved, and no significant fabric or landscaping will be removed.

The new shopfront enhances the active street frontage of 23 The Corso and improves its visibility and recognition as a bottleshop, while also continues to support the pedestrian-oriented character of the conservation area. The contemporary powder coated aluminium framing and simplified panel layout provide a durable, visually compatible expression consistent with the ground floor façade of the Ivanhoe Hotel and with the Manly DCP 2013 guidelines. The works build on previously approved designs (DA2022/1526 and DA2019/0574) and are reversible, reflecting best-practice heritage management.

The proposal demonstrates compliance with the relevant controls in the Manly LEP 2013 and Manly DCP 2013, maintaining the intent of conserving and enhancing the streetscape qualities along The Corso while accommodating a functional contemporary adaptation of the ground-floor space. Accordingly, approval of the application is recommended to Northern Beaches Council.

Should you have any questions or wish to discuss the matter further, please do not hesitate to contact the undersigned on 02 8270 3500 or at [kerimed@cityplan.com.au](mailto:kerimed@cityplan.com.au)

Yours sincerely,



**Kerime Danis**  
Director - Heritage