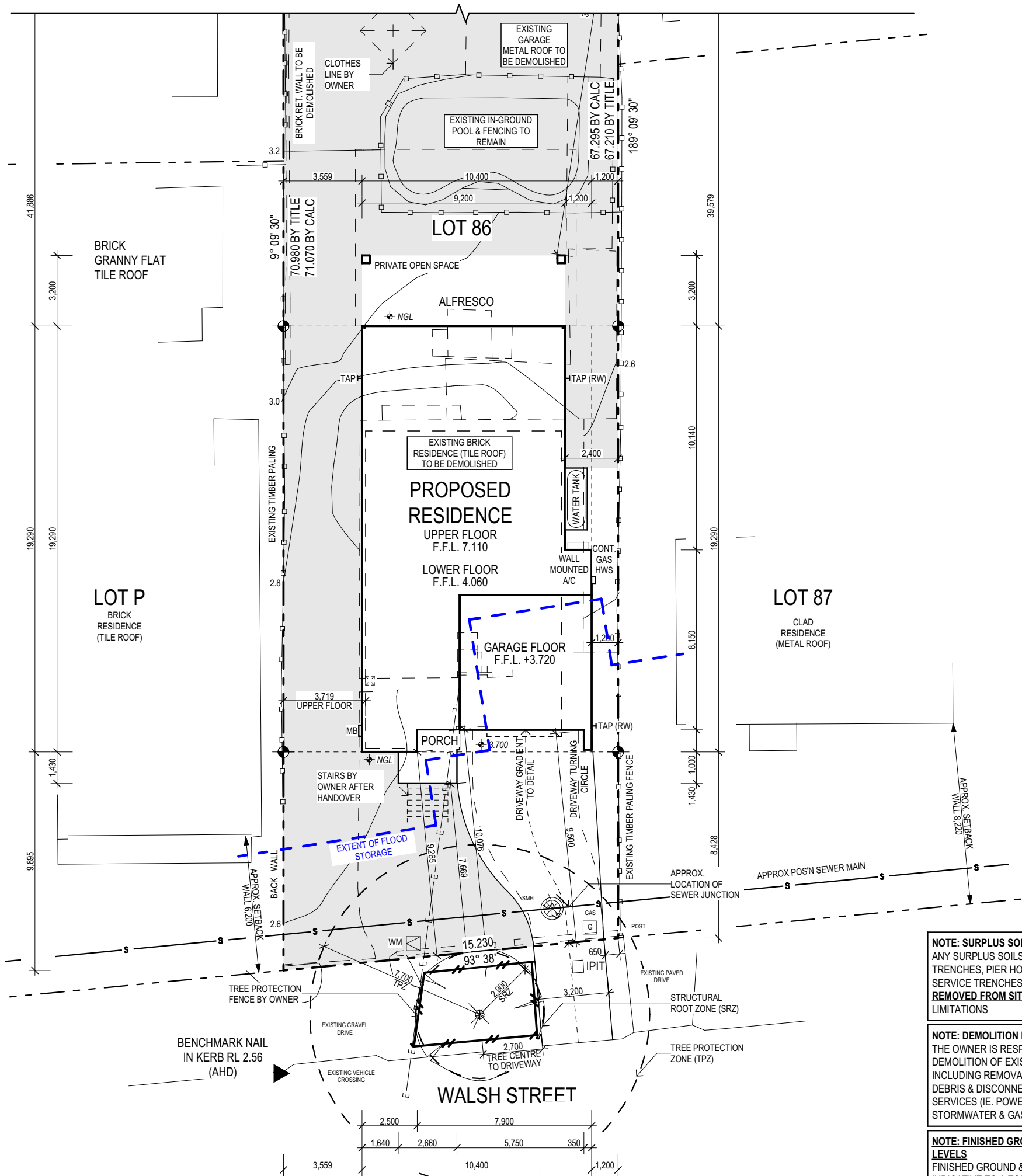


# SITE PLAN

SCALE 1:200 LOT 86 DP 11809 AREA 1048.60m<sup>2</sup>  
SURVEY INFORMATION OBTAINED FROM NASTASI 44681



**NOTE: SURPLUS SOIL**  
ANY SURPLUS SOILS FROM FOOTING TRENCHES, PIER HOLES AND/OR SERVICE TRENCHES ARE TO BE **REMOVED FROM SITE** DUE TO SITE LIMITATIONS

**NOTE: DEMOLITION BY OWNER**  
THE OWNER IS RESPONSIBLE FOR DEMOLITION OF EXISTING HOUSE, INCLUDING REMOVAL OF ALL BUILDING DEBRIS & DISCONNECTION OF SERVICES (IE. POWER, WATER, SEWER, STORMWATER & GAS)

**NOTE: FINISHED GROUND & FLOOR LEVELS**  
FINISHED GROUND & FLOOR LEVELS INDICATIVE TO A TOLERANCE OF **±100mm**. THEREFORE EXTENT OF CUT / FILL BATTERS IS TO BE DETERMINED ON SITE IN CONJUNCTION WITH VOLUME / DENSITY OF SOIL MATERIALS.

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## SITE PLAN LEGEND

| MARK                                                                                           | DESCRIPTION                                                              |                                                      |
|------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------|------------------------------------------------------|
|             | SURVEY SETOUT PEG                                                        |                                                      |
|             | METER BOX                                                                |                                                      |
| TAP                                                                                            | TOWNWATER TAP                                                            | NOTE: EXACT POSITION OF TAP TO BE DETERMINED ON SITE |
| TAP (RW)                                                                                       | RECYCLED / RAINWATER TAP                                                 |                                                      |
|             | ALL RETAINING WALLS BY OWNER U.N.O.                                      |                                                      |
|  S-         | APPROXIMATE SEWER LOCATION                                               |                                                      |
|  FGL XX.XXX | PROPOSED FINISHED GROUND LEVELS BY OWNER PRIOR TO OCCUPATION CERTIFICATE |                                                      |

SOIL CLASSIFICATION: M

WIND CLASSIFICATION: N2

GAS TYPE: NATURAL GAS

| SITE AREA TABLE    |                | FLOOR AREA TABLE |                |
|--------------------|----------------|------------------|----------------|
| AREA               | m <sup>2</sup> | AREA             | m <sup>2</sup> |
| SITE AREA          | 1,048.60       | UPPER FLOOR      | 124.47         |
| LANDSCAPED (SOFT)  | 717.27         | LOWER FLOOR      | 144.01         |
| DRIVEWAY           | 50.51          | GARAGE           | 36.54          |
| FOOTPRINT          | 189.61         | ALFRESCO         | 29.44          |
| PRIVATE OPEN SPACE | 80.00          | PORCH            | 5.71           |
| SITE COVERAGE      | 186.81         | DECK             | 4.00           |
| TOTAL FLOOR AREA   | 305.02         | ROOF AREA        | 277.00         |

NOTE: PROPOSED DRIVEWAY BY OWNER

WATER TANK - 1 x 3,000 LITRE (2.6m LONG x 0.8m WIDE x 1.5m HIGH)  
- SEPARATE WATER LINES / PIPING TO ALL TOILETS, WASHING MACHINE & 2 YARD TAPS

APPROVAL PROCESS: DA (NORTHERN BEACHES COUNCIL)

|        |        |                           |            |
|--------|--------|---------------------------|------------|
| GA     | 2G     | RE-ISSUE TO BASIX         | 27/08/2025 |
| GA     | 2F     | RE-ISSUE TO CERTIFIER     | 24/06/2025 |
| GA     | 2E     | RE-ISSUE TO CERTIFIER     | 16/06/2025 |
| GA     | 2D     | RE-ISSUE TO CERTIFIER     | 19/05/2025 |
| GA     | 2      | ISSUE TO BASIX & ENGINEER | 17/12/2024 |
| GA     | 1      | ISSUE TO SALES            | 17/12/2024 |
| Drawn: | Issue: | Description:              | Date:      |



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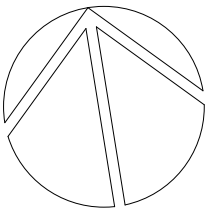
Job Address:

PROPOSED RESIDENCE  
Lot 86, No. 8 Walsh Street  
NORTH NARRABEEN

Design: The TRINITY 2 323 - Hamptons - 2024

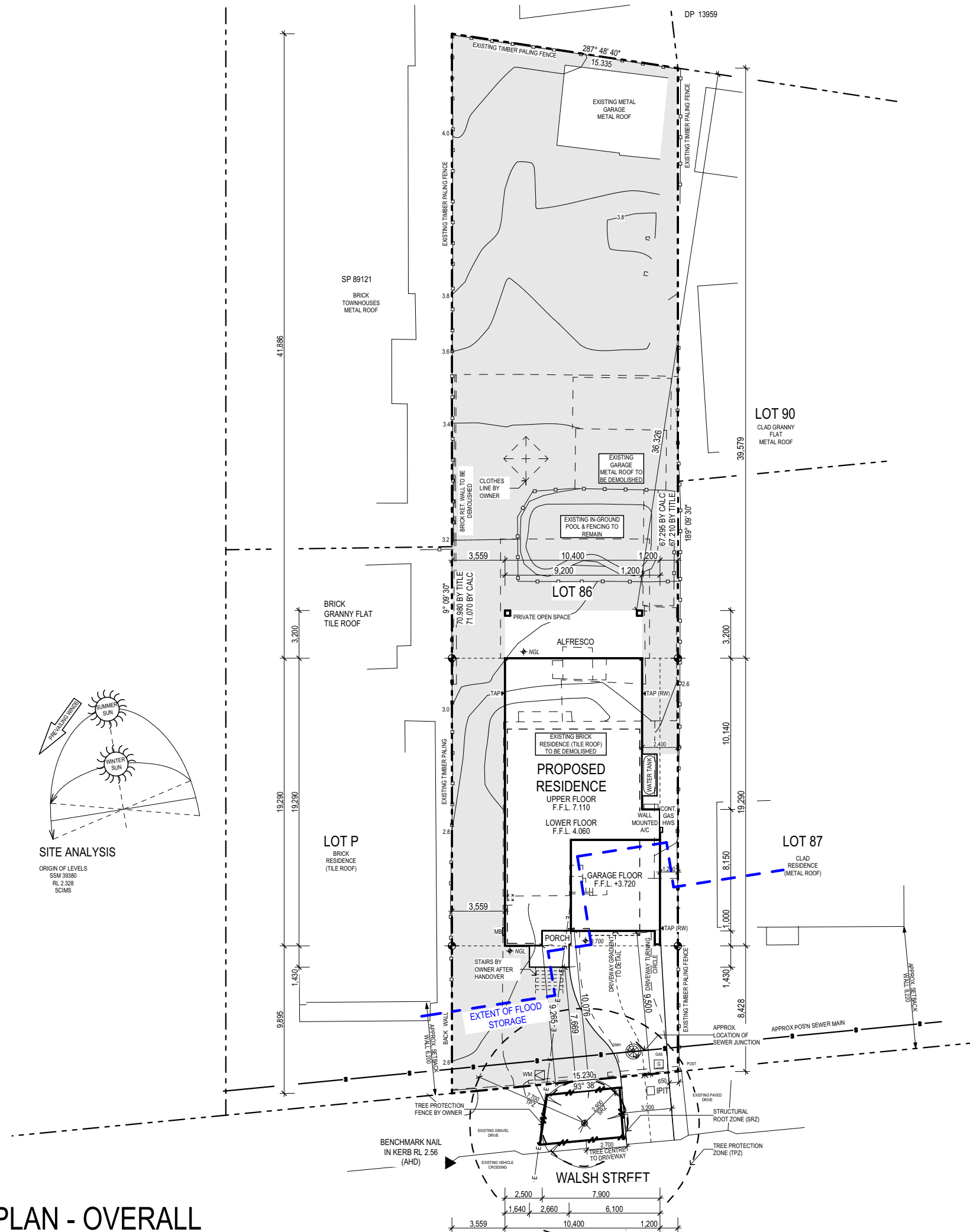
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| Current Drafter: |            | Sales/CLO: | Plot Date: |
| GA               | APOD       | SMC        | 27/08/2025 |
| Job No:          | Tender No: | Drp No:    | Revision:  |
| 3804             | 49         | A1 of 12   | 2G         |

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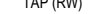
## SITE PLAN - OVERALL

SCALE 1:300 LOT 86 DP 11809 AREA 1048.60m<sup>2</sup>  
SURVEY INFORMATION OBTAINED FROM NASTASI 44681



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### SITE PLAN LEGEND

| MARK                                                                                           | DESCRIPTION                                                              |                                                      |
|------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------|------------------------------------------------------|
|             | SURVEY SETOUT PEG                                                        |                                                      |
|             | METER BOX                                                                |                                                      |
| TAP                                                                                            | TOWNWATER TAP                                                            | NOTE: EXACT POSITION OF TAP TO BE DETERMINED ON SITE |
| TAP (RW)                                                                                       | RECYCLED / RAINWATER TAP                                                 |                                                      |
|             | ALL RETAINING WALLS BY OWNER U.N.O.                                      |                                                      |
|             | APPROXIMATE SEWER LOCATION                                               |                                                      |
|  FGL XX.XXX | PROPOSED FINISHED GROUND LEVELS BY OWNER PRIOR TO OCCUPATION CERTIFICATE |                                                      |

SOIL CLASSIFICATION: M

WIND CLASSIFICATION: N2

GAS TYPE: NATURAL GAS

| SITE AREA TABLE    |                | FLOOR AREA TABLE |                |
|--------------------|----------------|------------------|----------------|
| AREA               | m <sup>2</sup> | AREA             | m <sup>2</sup> |
| SITE AREA          | 1,048.60       | UPPER FLOOR      | 124.47         |
| LANDSCAPED (SOFT)  | 717.27         | LOWER FLOOR      | 144.01         |
| DRIVEWAY           | 50.51          | GARAGE           | 36.54          |
| FOOTPRINT          | 189.61         | ALFRESCO         | 29.44          |
| PRIVATE OPEN SPACE | 80.00          | PORCH            | 5.71           |
| SITE COVERAGE      | 186.81         | DECK             | 4.00           |
| TOTAL FLOOR AREA   | 305.02         | ROOF AREA        | 277.00         |

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- SEPARATE WATER LINES / PIPING TO ALL TOILETS, WASHING MACHINE & 2 YARD TAPS

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Job Address:

PROPOSED RESIDENCE  
Lot 86, No. 8 Walsh Street  
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Design: The TRINITY 2 323 - Hamptons - 2024

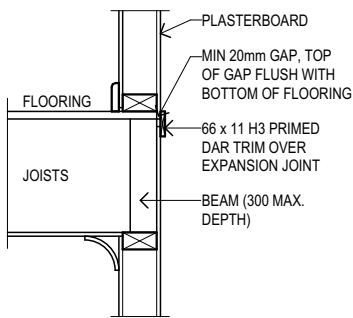
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| GA               | APOD       | SMC        | 27/08/2025 |
| Job No:          | Tender No: | Drp No:    | Revision:  |
| 3804             | 49         | A2 of 12   | 2G         |

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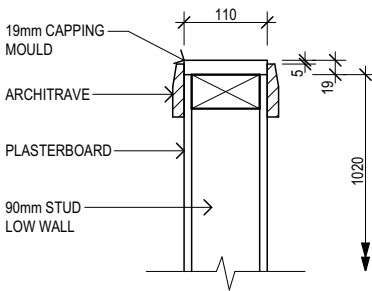
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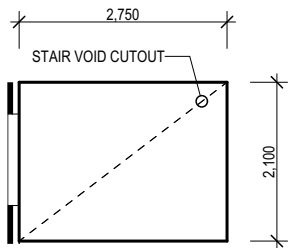
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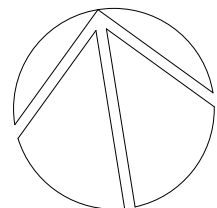
WALL EXPANSION  
JOINT DETAIL  
SCALE 1:20



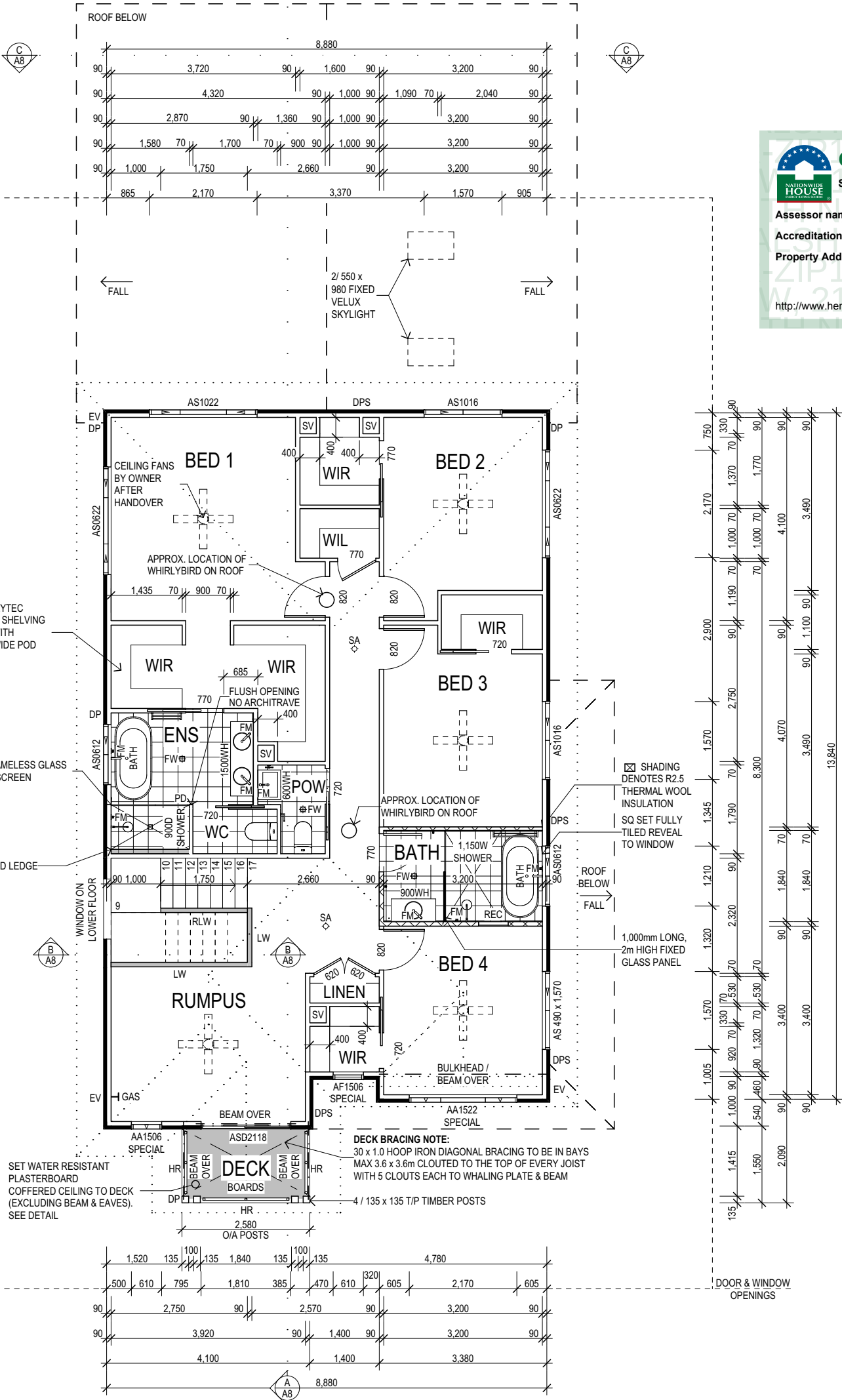
LOW WALL DETAIL  
SCALE 1:10



UPPER FLOOR  
STAIR VOID CUTOUT



UPPER FLOOR PLAN  
SCALE 1:100



**NOTE (BASIX REQUIREMENTS - UPGRADED INSULATION):**  
- R2.5 GLASS WOOL INSULATION BATTS TO WALLS ADJACENT TO BATHROOMS, LAUNDRY & ROOFSPACE  
- R3.0 GLASS WOOL INSULATION BATTS TO FLOORS ADJACENT TO GARAGE, FLOORS WHERE OPEN BELOW & ENCLOSED SUBFLOOR  
- R6.0 GLASS WOOL INSULATION BATTS TO ROOF TRUSSES

**NOTE (BASIX REQUIREMENTS):**  
7.0 STAR EQUIVALENT ENERGY RATING CONTINUOUS FLOW GAS HOT WATER SYSTEM

**NOTE (BASIX REQUIREMENTS - ENERGY EFFICIENT GLAZING):**  
MINIMUM 4mm SP10 CLEAR / 12mm ARGON / 4mm CLEAR DOUBLE GLAZING TO ALL WINDOWS, SLIDING DOORS & EXTERNAL HINGED DOORS

**NOTE:**  
2340H HIGH INTERNAL DOORS & SQUARE SET OPENINGS TO LOWER FLOOR ONLY

**NOTE:**  
SQUARE SET CEILING / WALL JUNCTION TO FAMILY, MEALS, KITCHEN (EXCLUDING WALK-IN-PANTRY), BATHROOM, BATHROOM 2, ENSUITE & POWDER ROOM ONLY

**NOTE:**  
92mm FINISH SKIRTING BOARDS THROUGHOUT ENTIRE HOUSE

**NOTE:**  
MELAMINE SHELVING TO REMAINING BEDROOM ROBES, WALK-IN LINEN & LINEN CUPBOARDS

**NOTE:**  
- TERMITE RESISTANT T2 FRAMING AND TRUSSES.  
- H2 TERMITE TREATED SHEET FLOORING (IF APPLICABLE)

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FLOOR PLAN LEGEND

| MARK | DESCRIPTION                                      | MARK  | DESCRIPTION    |
|------|--------------------------------------------------|-------|----------------|
| A/C  | AIR-CONDITIONING UNIT                            | WO    | WALL OVEN      |
| BB   | BREAKFAST BAR                                    | WP    | WATER POINT    |
| BH   | BULKHEAD                                         |       |                |
| CJ   | CONTROL JOINT                                    |       |                |
| CU   | CONTROL UNIT                                     |       |                |
| CP   | SEWER CONTROL PANEL                              |       |                |
| DP   | DOWNPIPE                                         |       |                |
| DPS  | DOWNPIPE WITH SPREADER                           |       |                |
| EPG  | EXPOSED PAINT GRADE                              | BR    | BROOM CUPBOARD |
| EV   | EAVE VENT                                        | ENS   | ENSUITE        |
| FM   | FLICKMIXER                                       | L'DRY | LAUNDRY        |
| FCO  | FOOT-CUT OUTLET                                  | PAN   | PANTRY         |
| FSO  | FREE STANDING OVEN                               | POW   | POWDER ROOM    |
| HR   | HANDRAIL                                         | WC    | WATER CLOSET   |
| HWS  | HOT WATER SYSTEM                                 | WIL   | WALK IN LINEN  |
| LP   | LOAD POINT                                       | WIP   | WALK IN PANTRY |
| LW   | LOW WALL                                         | WIR   | WALK IN ROBE   |
| MB   | METER BOX                                        |       |                |
| MRD  | MANUAL ROLLER DOOR                               |       |                |
| MW   | MICROWAVE                                        |       |                |
| O/S  | OPEN SHELVING                                    |       |                |
| PD   | PIVOT DOOR (SHOWER)                              |       |                |
| REC  | SQUARE SET RECESS                                |       |                |
| RLW  | RAKING LOW WALL                                  |       |                |
| SA   | SMOKE ALARM (LOCATIONS TO BE DETERMINED ON SITE) |       |                |
| SHR  | SHOWER                                           |       |                |
| SS   | SEWER STACK POINT                                |       |                |
| SV   | SERVICE VOID                                     |       |                |
| UBO  | UNDER BENCH OVEN                                 |       |                |
| VFS  | VENTILATED FRIDGE SPACE                          |       |                |
| WH   | WALL HUNG                                        |       |                |

|       |                                                      |
|-------|------------------------------------------------------|
| —EX—  | EXCAVATION LINE                                      |
| ===== | 200 HEBEL/WEATHERBOARD WALL (REFER TO DETAIL)        |
| ===== | 250 BRICK VENEER/WEATHERBOARD WALL (REFER TO DETAIL) |
| ===== | SHOWS EXTENT OF WET AREA FLOOR TILES                 |

|    |    |                           |            |
|----|----|---------------------------|------------|
| GA | 2G | RE-ISSUE TO BASIX         | 27/08/2025 |
| GA | 2F | RE-ISSUE TO CERTIFIER     | 24/06/2025 |
| GA | 2E | RE-ISSUE TO CERTIFIER     | 16/06/2025 |
| GA | 2D | RE-ISSUE TO CERTIFIER     | 19/05/2025 |
| GA | 2  | ISSUE TO BASIX & ENGINEER | 17/12/2024 |
| GA | 1  | ISSUE TO SALES            | 17/12/2024 |

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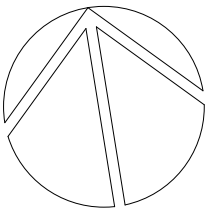
Job Address:  
**PROPOSED RESIDENCE  
Lot 86, No. 8 Walsh Street  
NORTH NARRABEEN**

Design: The TRINITY 2 323 - Hamptons - 2024

|                  |            |            |
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| Current Drafter: | Sales/CLO: | Plot Date: |
| GA               | APOD       | SMC        |
| Job No:          | Tender No: | Drng No:   |
| 3804             | 49         | A3 of 12   |
|                  |            | Revision:  |
|                  |            | 2G         |

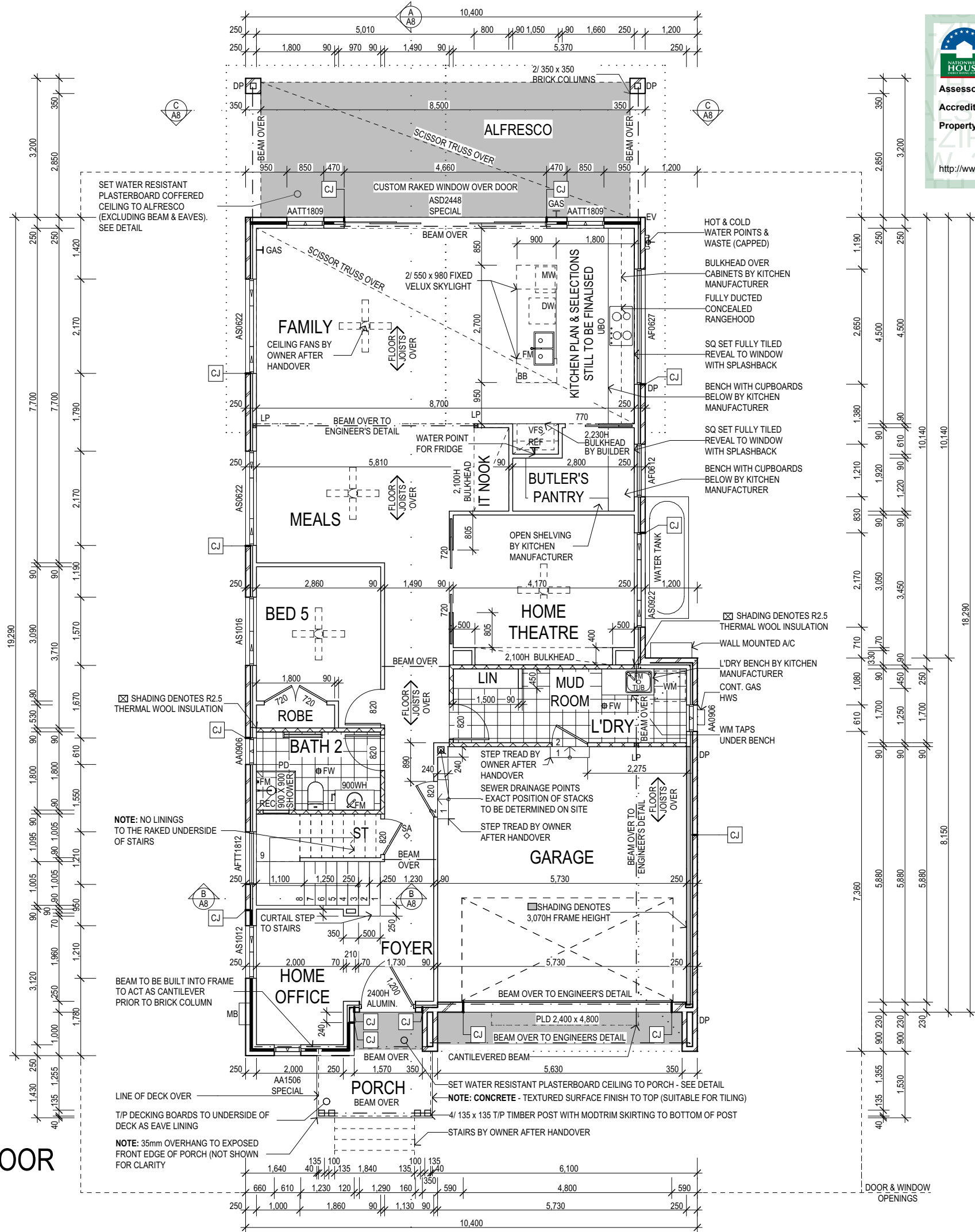
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# LOWER FLOOR PLAN

SCALE 1:100



Certificate No. #HR-ZIP1W1-02

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Krzysztof Kwiatkowski  
DMN/24/2214  
8 Walsh Street, North  
Narrabeen, NSW, 2101



## FLOOR PLAN LEGEND

| DESCRIPTION                          | MARK  | DESCRIPTION            |
|--------------------------------------|-------|------------------------|
| GENERAL                              |       | GENERAL                |
| CONDITIONING UNIT                    | WO    | WALL OVEN              |
| SEWER CONTROL PANEL                  | WP    | WATER POINT            |
| SCISSOR TRUSS OVER                   |       |                        |
| CONTROL UNIT                         |       |                        |
| SEWER CONTROL PANEL                  |       |                        |
| DOWNPIPE                             |       |                        |
| DOWNPIPE WITH SPREADER               |       |                        |
| EXPOSED PAINT GRADE                  | BR    | BROOM CUPBOARD         |
| EAVE VENT                            | ENS   | ENSUITE                |
| FLICKMIXER                           | L'DRY | LAUNDRY                |
| FOOT-CUT OUTLET                      | PAN   | PANTRY                 |
| FREE STANDING OVEN                   | POW   | POWDER ROOM            |
| HANDRAIL                             | WC    | WATER CLOSET           |
| HOT WATER SYSTEM                     | WIL   | WALK IN LINEN          |
| LOAD POINT                           | WIP   | WALK IN PANTRY         |
| LOW WALL                             | WIR   | WALK IN ROBE           |
| METER BOX                            |       |                        |
| MANUAL ROLLER DOOR                   |       |                        |
| MICROWAVE                            |       |                        |
| OPEN SHELVING                        |       |                        |
| PIVOT DOOR (SHOWER)                  |       |                        |
| SQUARE SET RECESS                    |       |                        |
| RAKING LOW WALL                      | AA    | AWNING WINDOW          |
| SMOKE ALARM                          | ATBF  | BI-FOLD DOORS          |
| (LOCATIONS TO BE DETERMINED ON SITE) | AD    | DOUBLE HUNG WINDOW     |
| SHOWER                               | AF    | FIXED WINDOW           |
| SEWER STACK POINT                    | AK    | SERVERY SLIDING WINDOW |
| SERVICE VOID                         | ALV   | LOUVRE WINDOW          |
| UNDER BENCH OVEN                     | AS    | SLIDING WINDOW         |
| VENTILATED FRIDGE SPACE              | ASD   | SLIDING DOOR           |
| WALL HUNG                            | ASSD  | STACKING SLIDING DOOR  |
|                                      | MRD   | MANUAL ROLLER DOOR     |
|                                      | PLD   | PANEL LIFT DOOR        |

|    |                                                      |
|----|------------------------------------------------------|
| EX | EXCAVATION LINE                                      |
|    | 200 HEBEL/WEATHERBOARD WALL (REFER TO DETAIL)        |
|    | 250 BRICK VENEER/WEATHERBOARD WALL (REFER TO DETAIL) |
|    | SHOWS EXTENT OF WET AREA FLOOR TILES                 |

**NOTE (BASIX REQUIREMENTS - UPGRADED INSULATION):**  
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Design: The TRINITY 2 323 - Hamptons - 2024

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|------------------|------------|------------|
| Current Drafter: | Sales/CLO: | Plot Date: |
| GA               | SMC        | 27/08/2025 |
| Job No:          | Tender No: | Drng No:   |
| 3804             | 49         | A4 of 12   |
|                  |            | Revision:  |
|                  |            | 2G         |

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Krzysztof Kwiatkowski

Accreditation No.

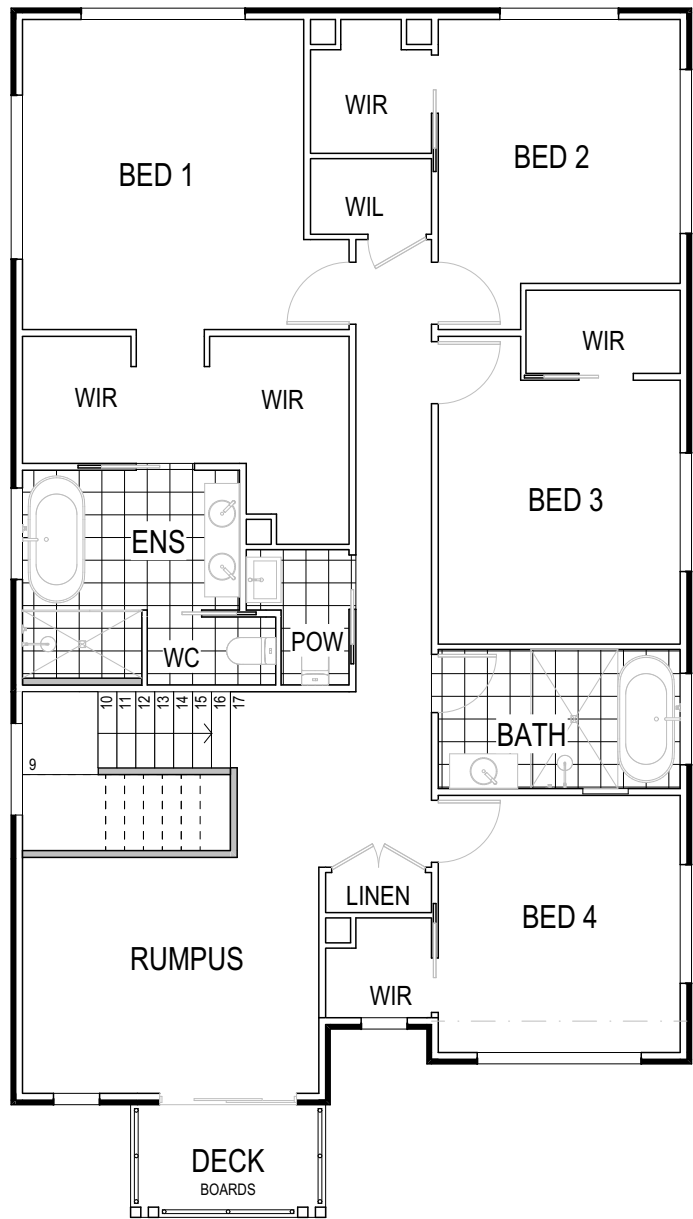
DMN/24/2214

Property Address

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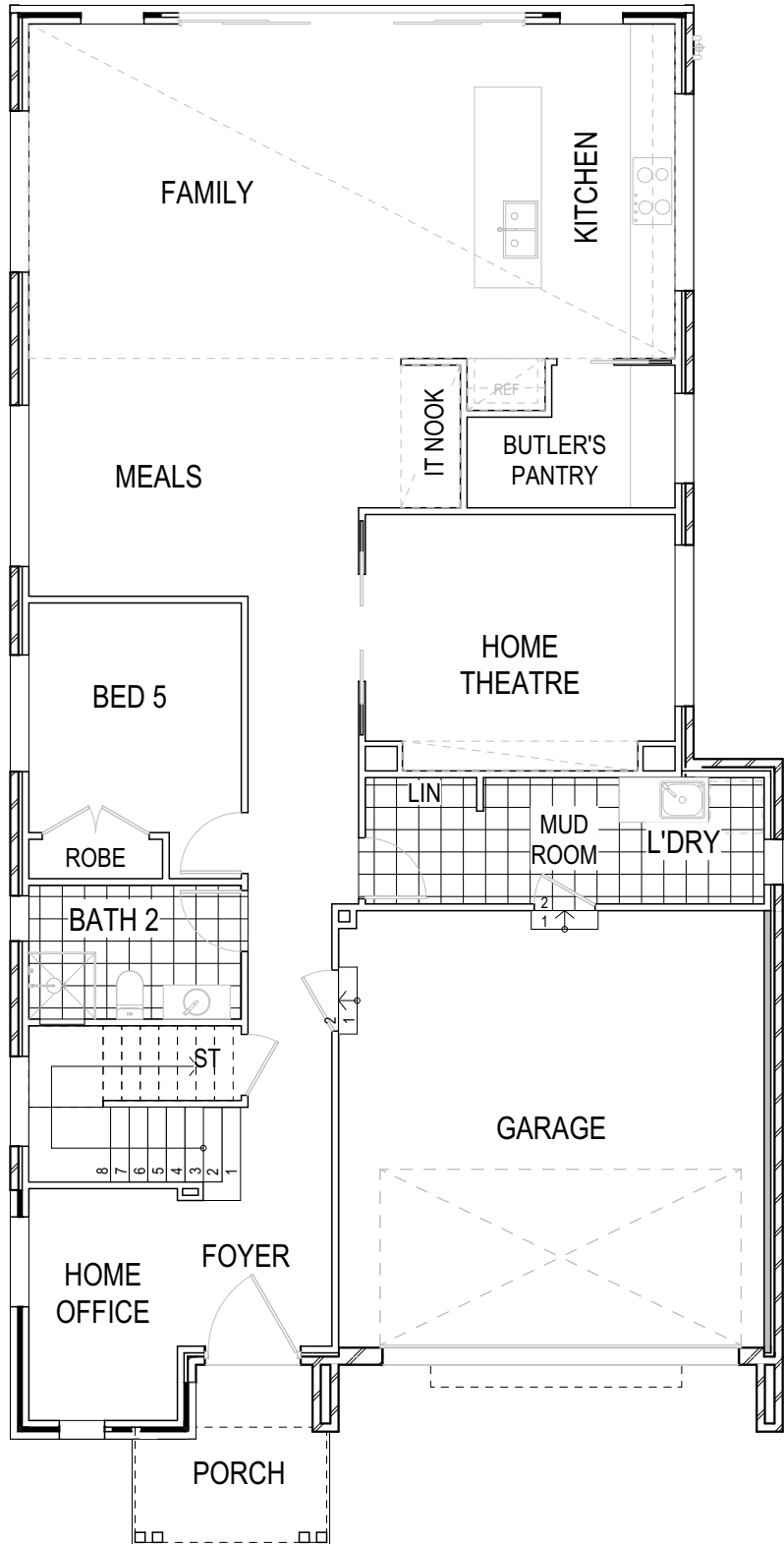


UPPER FLOORING PLAN

SCALE 1:100



ALFRESCO

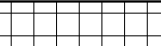
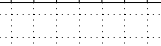
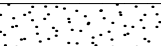
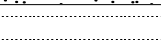
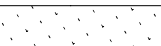


LOWER FLOORING PLAN

SCALE 1:100

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FLOORING PLAN LEGEND

|                                                                                     |                                              |
|-------------------------------------------------------------------------------------|----------------------------------------------|
|  | SHOWS EXTENT OF WET AREA FLOOR TILES         |
|  | SHOWS EXTENT OF FLOOR TILES                  |
|  | SHOWS EXTENT OF FLOATING / HYBRID #Xmm FLOOR |
|  | SHOWS EXTENT OF T & G FLOORING               |
|  | SHOWS EXTENT OF VINYL #Xmm FLOORING          |

|        |        |                           |            |
|--------|--------|---------------------------|------------|
| GA     | 2G     | RE-ISSUE TO BASIX         | 27/08/2025 |
| GA     | 2F     | RE-ISSUE TO CERTIFIER     | 24/06/2025 |
| GA     | 2E     | RE-ISSUE TO CERTIFIER     | 16/06/2025 |
| GA     | 2D     | RE-ISSUE TO CERTIFIER     | 19/05/2025 |
| GA     | 2      | ISSUE TO BASIX & ENGINEER | 17/12/2024 |
| GA     | 1      | ISSUE TO SALES            | 17/12/2024 |
| Drawn: | Issue: | Description:              | Date:      |



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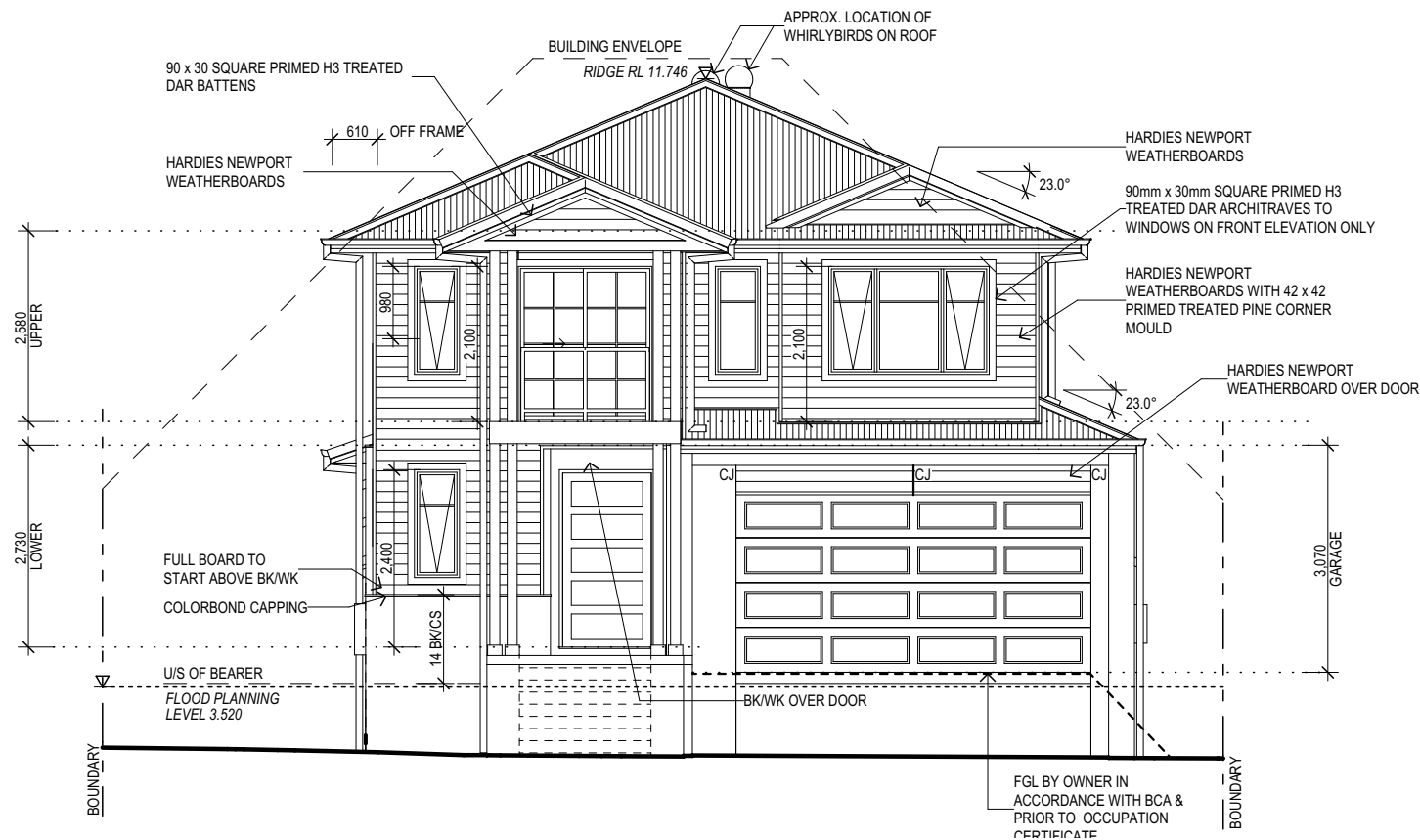
Client Name:  
**SPINKS, D & L**

Job Address:  
**PROPOSED RESIDENCE  
Lot 86, No. 8 Walsh Street  
NORTH NARRABEEN**

|                                             |            |            |            |
|---------------------------------------------|------------|------------|------------|
| Design: The TRINITY 2 323 - Hamptons - 2024 |            |            |            |
| Current Drafter:                            | Sales/CLO: | Plot Date: |            |
| GA                                          | APOD       | SMC        | 27/08/2025 |
| Job No:                                     | Tender No: | Drg No:    | Revision:  |
| 3804                                        | 49         | A5 of 12   | 2G         |
| DO NOT SCALE DRAWING                        |            |            |            |

**NOTE:**  
FLOORING BY OWNER AFTER  
HANDOVER (EXCLUDING WET AREA  
TILING)

**NOTE:**  
ALL HINGED EXTERNAL ALUMINIUM  
DOORS IN WET AREAS TO BE RAISED  
20mm TO ALLOW FOR TILING



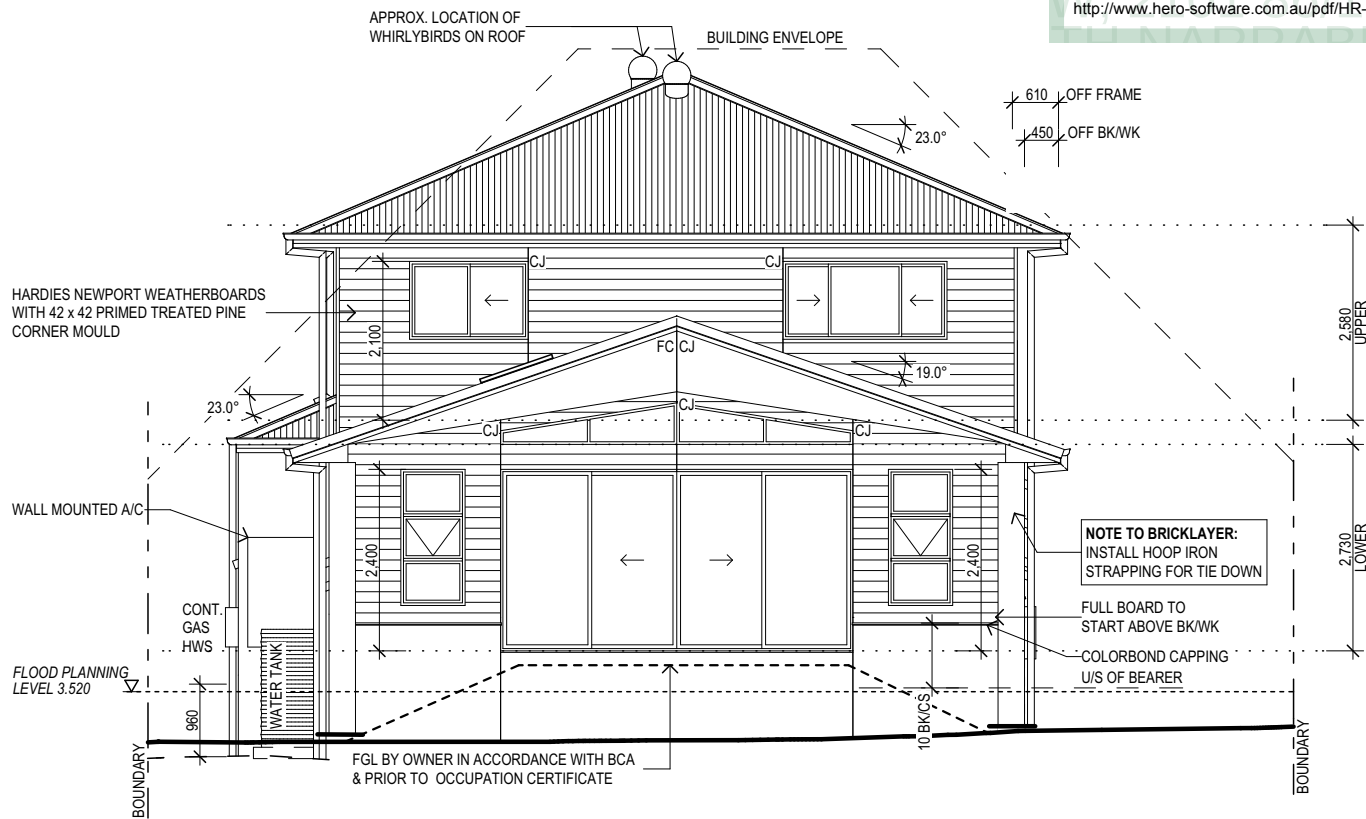
## SOUTH ELEVATION

SCALE 1:100

**NOTE:**  
BRICKLAYER TO PROVIDE 3 COURSES OF BRICKS OVER WINDOWS TO THE  
EXTENT OF THE LINTELS (MIN 3 COURSES REQUIRED FOR CODE COMPLIANCE)

**Certificate No. #HR-ZIP1W1-02**  
Scan QR code or follow website link for rating details.

**Assessor name** Krzysztof Kwiatkowski  
**Accreditation No.** DMN/24/2214  
**Property Address** 8 Walsh Street , North Narrabeen, NSW, 2101  
<http://www.hero-software.com.au/pdf/HR-ZIP1W1-02>



## NORTH ELEVATION

SCALE 1:100

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### ELEVATION / SECTION LEGEND

| MARK   | DESCRIPTION                |
|--------|----------------------------|
|        | <b>GENERAL</b>             |
| A/C    | AIR-CONDITIONING UNIT      |
| C      | COMMUNICATIONS BOX         |
| CJ     | CONTROL JOINT              |
| CU     | CONTROL UNIT               |
| D.E.B. | DROPPED EDGE BEAM          |
| E      | EARTHSTAKE                 |
| FC     | FIBRE CEMENT               |
| FCL    | FINISHED CEILING LEVEL     |
| FFL    | FINISHED FLOOR LEVEL       |
| FGL    | FINISHED GROUND LEVEL      |
| HWS    | HOT WATER SYSTEM           |
| HP HWS | HEAT PUMP HOT WATER SYSTEM |
| MB     | METER BOX                  |

### LEVEL OF EXTERNAL FINISH

#### EXTERNAL WALLS

(NOTE: SEE ELEVATIONS FOR APPLICABLE FINISH)

- FACE BRICKWORK    STACKED STONE  
BAG & PAINT FINISH  
RENDER  
RENDERED HEBEL

#### PLEASE NOTE:

SILL ANGLE WILL VARY. ANGLE OF SILL IS SUBJECT TO WINDOW HEIGHT AND GAUGE OF BRICKWORK

#### ROOF CLADDING

- TILES  
COLORBOND    TRIMDEK

|        |        |                           |            |
|--------|--------|---------------------------|------------|
| GA     | 2G     | RE-ISSUE TO BASIX         | 27/08/2025 |
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Client Name:

**SPINKS, D & L**

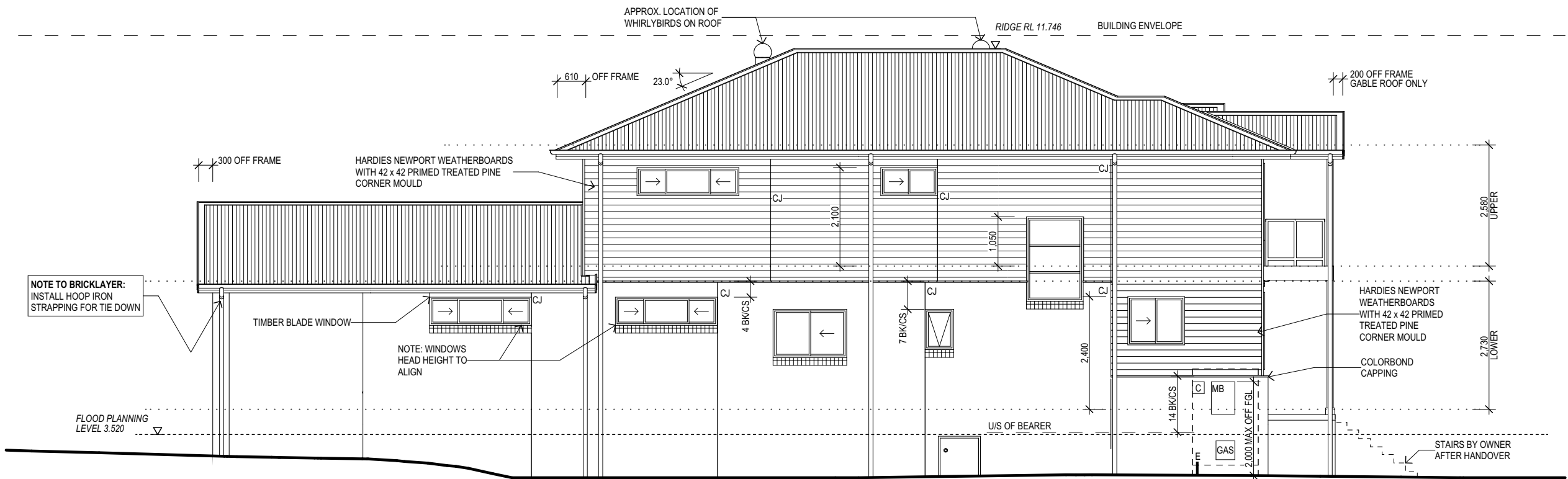
Job Address:

**PROPOSED RESIDENCE**  
**Lot 86, No. 8 Walsh Street**  
**NORTH NARRABEEN**

Design: The TRINITY 2 323 - Hamptons - 2024

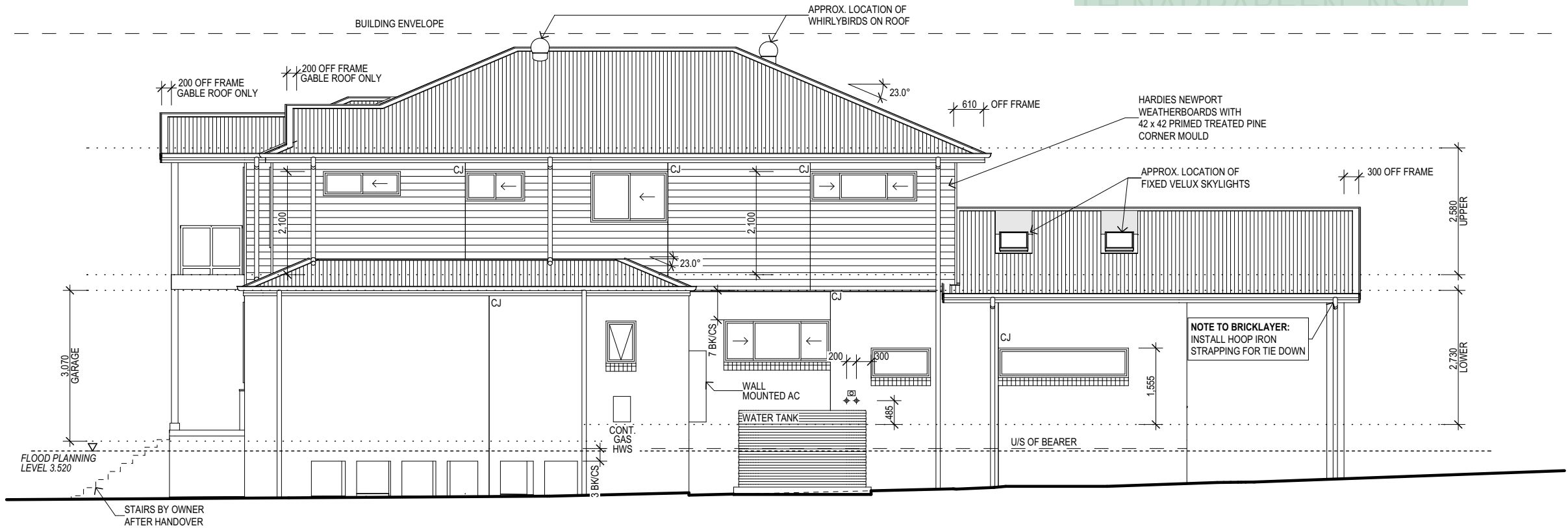
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|------------------|------------|------------|
| Current Drafter: | Sales/CLO: | Plot Date: |
| GA               | SMC        | 27/08/2025 |
| Job No:          | Tender No: | Drp No:    |
| 3804             | 49         | A6 of 12   |
|                  |            | Revision:  |
|                  |            | 2G         |

DO NOT SCALE DRAWING



WEST ELEVATION  
SCALE 1:100

NOTE:  
BRICKLAYER TO PROVIDE 3 COURSES OF BRICKS OVER WINDOWS TO THE  
EXTENT OF THE LINTELS (MIN 3 COURSES REQUIRED FOR CODE COMPLIANCE)



EAST ELEVATION  
SCALE 1:100

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| HWS            | HOT WATER SYSTEM           |
| HP HWS         | HEAT PUMP HOT WATER SYSTEM |
| MB             | METER BOX                  |

#### LEVEL OF EXTERNAL FINISH

**EXTERNAL WALLS**  
(NOTE: SEE ELEVATIONS FOR APPLICABLE FINISH)

FACE BRICKWORK      STACKED STONE

BAG & PAINT FINISH

RENDER

RENDERED HEBEL

**PLEASE NOTE:**  
SILL ANGLE WILL VARY. ANGLE OF SILL IS SUBJECT TO WINDOW HEIGHT AND GAUGE OF BRICKWORK

#### ROOF CLADDING

TILES

COLORBOND      TRIMDEK

|        |        |                           |            |
|--------|--------|---------------------------|------------|
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| Drawn: | Issue: | Description:              | Date:      |



**MONTGOMERY HOMES**

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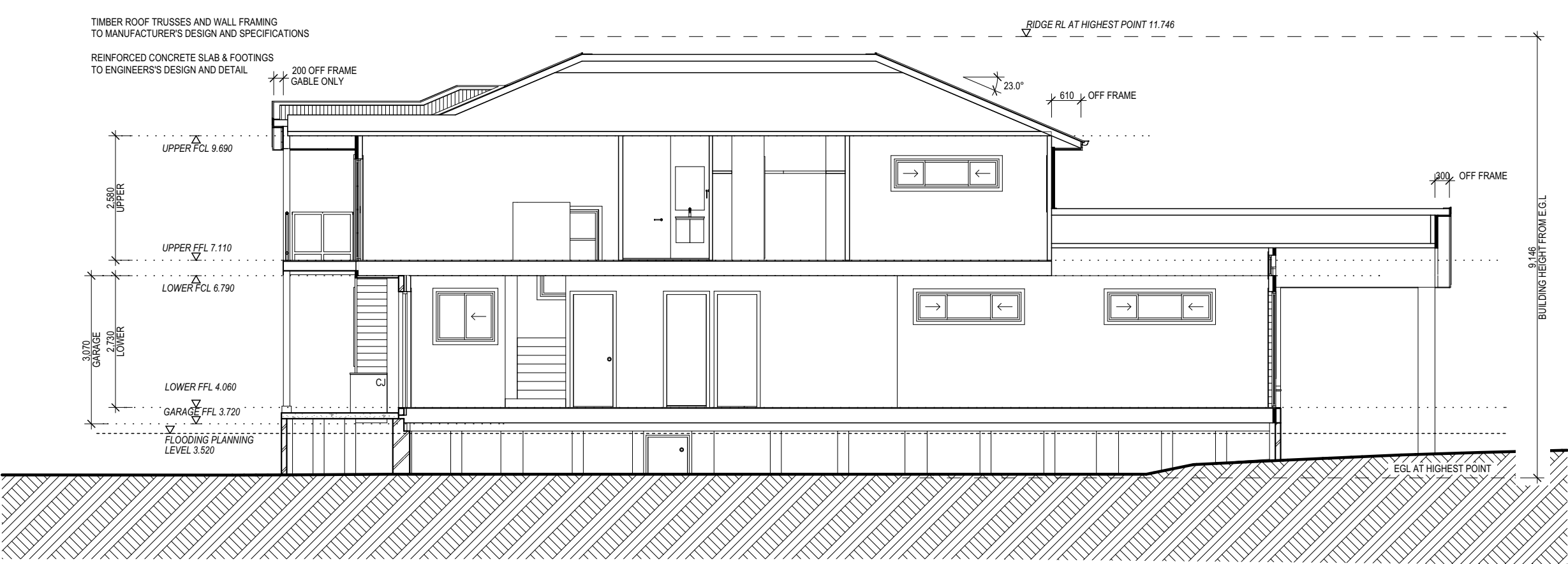
Client Name:  
**SPINKS, D & L**

Job Address:  
**PROPOSED RESIDENCE  
Lot 86, No. 8 Walsh Street  
NORTH NARRABEEN**

|                                             |            |            |            |
|---------------------------------------------|------------|------------|------------|
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| GA                                          | APOD       | SMC        | 27/08/2025 |
| Job No:                                     | Tender No: | Drp No:    | Revision:  |
| 3804                                        | 49         | A7 of 12   | 2G         |

DO NOT SCALE DRAWING





A SECTION  
SCALE 1:100

| DROP OFF TO U/S OF EAVE                                        |           |
|----------------------------------------------------------------|-----------|
| OVERHANG OFF FRAME                                             | 610mm     |
| PITCH OF ROOF                                                  | 19°       |
| COLORBOND ROOF                                                 | TILE ROOF |
| 250mm                                                          | 225mm     |
| NOTE: SUPERVISOR / CARPENTER<br>CHECK ELEVATIONS FOR ROOF TYPE |           |

| DROP OFF TO U/S OF EAVE                                        |           |
|----------------------------------------------------------------|-----------|
| OVERHANG OFF FRAME                                             | 610mm     |
| PITCH OF ROOF                                                  | 23°       |
| COLORBOND ROOF                                                 | TILE ROOF |
| 300mm                                                          | 275mm     |
| NOTE: SUPERVISOR / CARPENTER<br>CHECK ELEVATIONS FOR ROOF TYPE |           |

**Certificate No. #HR-ZIP1W1-02**

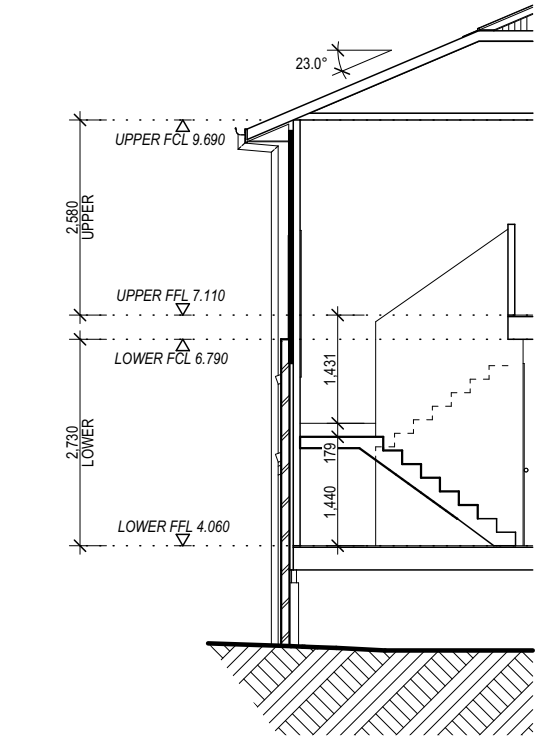
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Assessor name Krzysztof Kwiatkowski

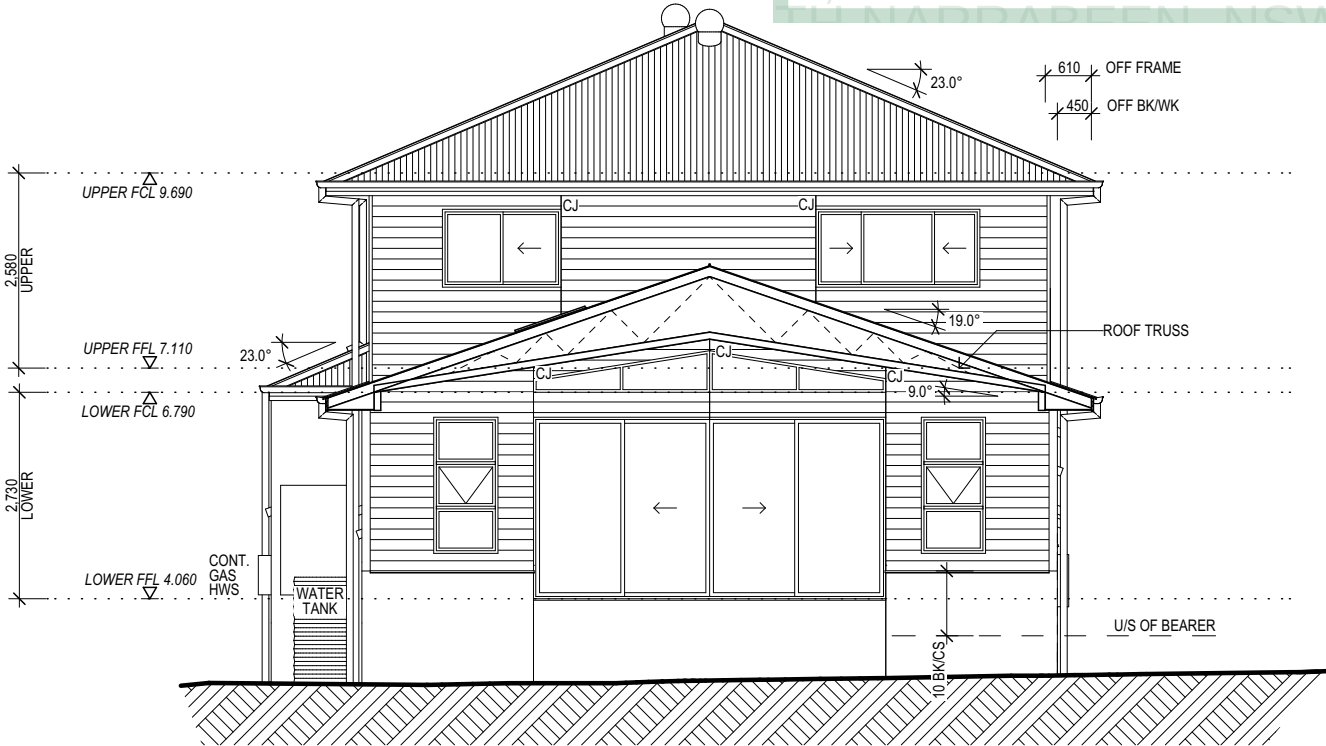
Accreditation No. DMN/24/2214

Property Address 8 Walsh Street , North Narrabeen, NSW, 2101

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B SECTION  
SCALE 1:100



C SECTION  
SCALE 1:100

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ELEVATION / SECTION LEGEND

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| HP HWS         | HEAT PUMP HOT WATER SYSTEM |
| MB             | METER BOX                  |

LEVEL OF EXTERNAL FINISH

**EXTERNAL WALLS**  
(NOTE: SEE ELEVATIONS FOR APPLICABLE FINISH)

FACE BRICKWORK

BAG & PAINT FINISH

RENDER

RENDERED HEBEL

STACKED STONE

**PLEASE NOTE:**  
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ROOF CLADDING

TILES

COLORBOND

TRIMDEK

|        |        |                           |            |
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| Drawn: | Issue: | Description:              | Date:      |

**MONTGOMERY HOMES**

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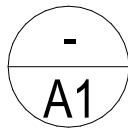
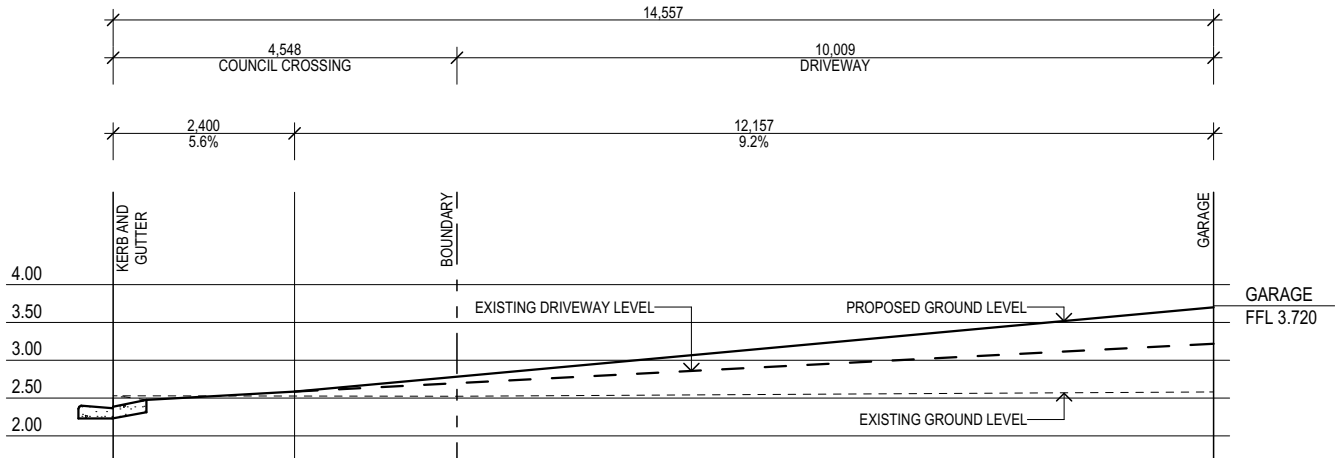
Client Name:  
**SPINKS, D & L**

Job Address:  
**PROPOSED RESIDENCE  
Lot 86, No. 8 Walsh Street  
NORTH NARRABEEN**

|                                             |            |            |            |
|---------------------------------------------|------------|------------|------------|
| Design: The TRINITY 2 323 - Hamptons - 2024 |            |            |            |
| Current Drafter:                            | Sales/CLO: | Plot Date: |            |
| GA                                          | APOD       | SMC        | 27/08/2025 |
| Job No:                                     | Tender No: | Drg No:    | Revision:  |
| 3804                                        | 49         | A8 of 12   | 2G         |

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## DRIVEWAY LONG SECTION

SCALE 1:100

| 8 Walsh Street North Narrabeen                                                                                                                                                                |                                      |                             |                               |               |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------|-----------------------------|-------------------------------|---------------|
| SUMMARY OF BASIX COMMITMENTS                                                                                                                                                                  |                                      |                             |                               |               |
| This is a summary of the BASIX Commitments as detailed in the BASIX Certificate.<br>Refer to the CURRENT BASIX Certificate for Complete details.<br>For definitions refer to basix.nsw.gov.au |                                      |                             |                               |               |
| WATER COMMITMENTS                                                                                                                                                                             |                                      |                             |                               |               |
| Fixtures                                                                                                                                                                                      |                                      |                             |                               |               |
| 4 Star Shower Heads                                                                                                                                                                           |                                      | Yes ( > 6 but <= 7.5 L/min) |                               |               |
| 4 Star Kitchen / Basin Taps                                                                                                                                                                   |                                      | Yes                         | 4 Star Toilet                 | Yes           |
| Alternative Water                                                                                                                                                                             |                                      |                             |                               |               |
| Minimum Tank Size (L)                                                                                                                                                                         |                                      | 3000                        | Collected from Roof Area (m2) | 120           |
| Tank Connected To:                                                                                                                                                                            |                                      |                             |                               |               |
| All Toilets                                                                                                                                                                                   |                                      | Yes                         | Laundry W/M Cold Tap          | Yes           |
| One Outdoor Tap                                                                                                                                                                               |                                      | Yes                         |                               |               |
| THERMAL COMFORT COMMITMENTS - Refer to TPA Specification on plans                                                                                                                             |                                      |                             |                               |               |
| ENERGY COMMITMENTS                                                                                                                                                                            |                                      |                             |                               |               |
| Hot Water                                                                                                                                                                                     |                                      | Gas Instantaneous 7 Star    |                               |               |
| Cooling System                                                                                                                                                                                | Living                               | 3 Phase A/C                 |                               | EER 3.0 - 3.5 |
|                                                                                                                                                                                               | Bedrooms                             | 3 Phase A/C                 |                               | EER 3.0 - 3.5 |
| Heating System                                                                                                                                                                                | Living                               | 3 Phase A/C                 |                               | EER 3.0 - 3.5 |
|                                                                                                                                                                                               | Bedrooms                             | 3 Phase A/C                 |                               | EER 3.0 - 3.5 |
| Ventilation                                                                                                                                                                                   | 1 x Bathroom                         | Fan ducted to exterior      |                               | Manual on/off |
|                                                                                                                                                                                               | Kitchen                              | Fan ducted to exterior      |                               | Manual on/off |
|                                                                                                                                                                                               | Laundry                              | Fan ducted to exterior      |                               | Manual on/off |
| Natural Lighting                                                                                                                                                                              | Window/Skylight in Kitchen           |                             |                               | Yes           |
|                                                                                                                                                                                               | Window/Skylight in Bathrooms/Toilets |                             |                               | Yes to 3      |
| OTHER COMMITMENTS                                                                                                                                                                             |                                      |                             |                               |               |
| Outdoor clothes line                                                                                                                                                                          |                                      | Yes                         |                               |               |
| Stove/Oven                                                                                                                                                                                    |                                      | Gas cooktop & electric oven |                               |               |
| Alternative Energy                                                                                                                                                                            |                                      | n/a                         |                               |               |



Certificate No. #HR-ZIP1W1-02

Scan QR code or follow website link for rating details.

Assessor name

Krzysztof Kwiatkowski

Accreditation No.

DMN/24/2214

Property Address

8 Walsh Street , North  
Narrabeen, NSW, 2101

http://www.hero-software.com.au/pdf/HR-ZIP1W1-02



|                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |  |                                                                   |                                   |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|-------------------------------------------------------------------|-----------------------------------|
| August 2025                                                                                                                                                                                                                                                                                                                                                                                                                                                         |  | BSA Reference: 21103                                              |                                   |
| Building Sustainability Assessments                                                                                                                                                                                                                                                                                                                                                                                                                                 |  | Ph: (02) 4962 3439                                                |                                   |
| enquiries@buildingsustainability.net.au                                                                                                                                                                                                                                                                                                                                                                                                                             |  | www. buildingsustainability.net.au                                |                                   |
| Important Note                                                                                                                                                                                                                                                                                                                                                                                                                                                      |  |                                                                   |                                   |
| The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate. If the proposed construction varies to those detailed below than the Assessor and NatHERS certificates will no longer be valid. Assessments assume that the BCA provisions for building sealing & ventilation are complied with at construction. Be aware that BASIX does not over-ride the BCA and the NSW variations must be complied with. |  |                                                                   |                                   |
| Thermal Performance Specifications (does not apply to garage)                                                                                                                                                                                                                                                                                                                                                                                                       |  |                                                                   |                                   |
| External Wall Construction                                                                                                                                                                                                                                                                                                                                                                                                                                          |  | Added Insulation                                                  |                                   |
| Brick Veneer & Lightweight                                                                                                                                                                                                                                                                                                                                                                                                                                          |  | R2.5                                                              |                                   |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |  |                                                                   |                                   |
| Internal Wall Construction                                                                                                                                                                                                                                                                                                                                                                                                                                          |  | Added Insulation                                                  |                                   |
| Plasterboard on studs                                                                                                                                                                                                                                                                                                                                                                                                                                               |  | R2.5 to walls adjacent to garage, both baths, laundry & roofspace |                                   |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |  |                                                                   |                                   |
| Ceiling Construction                                                                                                                                                                                                                                                                                                                                                                                                                                                |  | Added Insulation                                                  |                                   |
| Plasterboard                                                                                                                                                                                                                                                                                                                                                                                                                                                        |  | R6.0 to ceilings adjacent to roof space                           |                                   |
| Roof Construction                                                                                                                                                                                                                                                                                                                                                                                                                                                   |  | Colour (Solar Absorptance)                                        | Added Insulation                  |
| Metal                                                                                                                                                                                                                                                                                                                                                                                                                                                               |  | Medium (SA 0.50)                                                  | Foil                              |
| Floor Construction                                                                                                                                                                                                                                                                                                                                                                                                                                                  |  | Covering (if not noted default values used)                       | Added Insulation                  |
| Timber                                                                                                                                                                                                                                                                                                                                                                                                                                                              |  | As drawn                                                          | R2.5 to enclosed subfloor         |
| Timber                                                                                                                                                                                                                                                                                                                                                                                                                                                              |  | As drawn                                                          | R2.5 to floors adjacent to garage |
| Timber                                                                                                                                                                                                                                                                                                                                                                                                                                                              |  | As drawn                                                          | R2.5 to floors where open below   |
| Windows                                                                                                                                                                                                                                                                                                                                                                                                                                                             |  | Glass and frame type                                              | U value SHGC Range Area sq m      |
| Performance glazing Type A                                                                                                                                                                                                                                                                                                                                                                                                                                          |  | 3.40                                                              | 0.45 - 0.49 As drawn              |
| Performance glazing Type B                                                                                                                                                                                                                                                                                                                                                                                                                                          |  | 3.40                                                              | 0.50 - 0.56 As drawn              |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |  |                                                                   |                                   |
| Type A windows are awning windows, bifolds, casements, tilt 'n 'turn' windows, entry doors, french doors                                                                                                                                                                                                                                                                                                                                                            |  |                                                                   |                                   |
| Type B windows are double hung windows, sliding windows & doors, fixed windows, stacker doors, louvres                                                                                                                                                                                                                                                                                                                                                              |  |                                                                   |                                   |
| Skylights                                                                                                                                                                                                                                                                                                                                                                                                                                                           |  | Glass and frame type                                              | U SHGC Area sq m Detail           |
| Double glazed clear                                                                                                                                                                                                                                                                                                                                                                                                                                                 |  | As drawn                                                          |                                   |
| U and SHGC values are according to AFRC. Alternate products may be used if the U value is lower & the SHGC is within the range specified                                                                                                                                                                                                                                                                                                                            |  |                                                                   |                                   |
| Shade elements                                                                                                                                                                                                                                                                                                                                                                                                                                                      |  | (eaves, verandahs, awnings etc)                                   |                                   |
| All shade elements modelled as drawn                                                                                                                                                                                                                                                                                                                                                                                                                                |  |                                                                   |                                   |
| Ceiling Penetrations                                                                                                                                                                                                                                                                                                                                                                                                                                                |  | (downlights, exhaust fans, flues etc)                             |                                   |
| Downlights are modelled as IC rated with insulation fitted over the fixtures                                                                                                                                                                                                                                                                                                                                                                                        |  |                                                                   |                                   |
| All exhaust fans are modelled as sealed                                                                                                                                                                                                                                                                                                                                                                                                                             |  |                                                                   |                                   |
| Ceiling Fans used in the Modelling and to be installed in the following areas:                                                                                                                                                                                                                                                                                                                                                                                      |  |                                                                   |                                   |
| 1x 1200mm to each bedroom; 4x 1200mm to living (family, meals, theatre & rumpus).                                                                                                                                                                                                                                                                                                                                                                                   |  |                                                                   |                                   |

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### LEVEL OF EXTERNAL FINISH

**EXTERNAL WALLS**  
(NOTE: SEE ELEVATIONS FOR APPLICABLE FINISH)

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 STACKED STONE

 BAG & PAINT FINISH

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 RENDERED HEBEL

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### ROOF CLADDING

 TILES

 COLORBOND

 TRIMDEK

|        |        |                           |            |
|--------|--------|---------------------------|------------|
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SYDNEY

NEWCASTLE

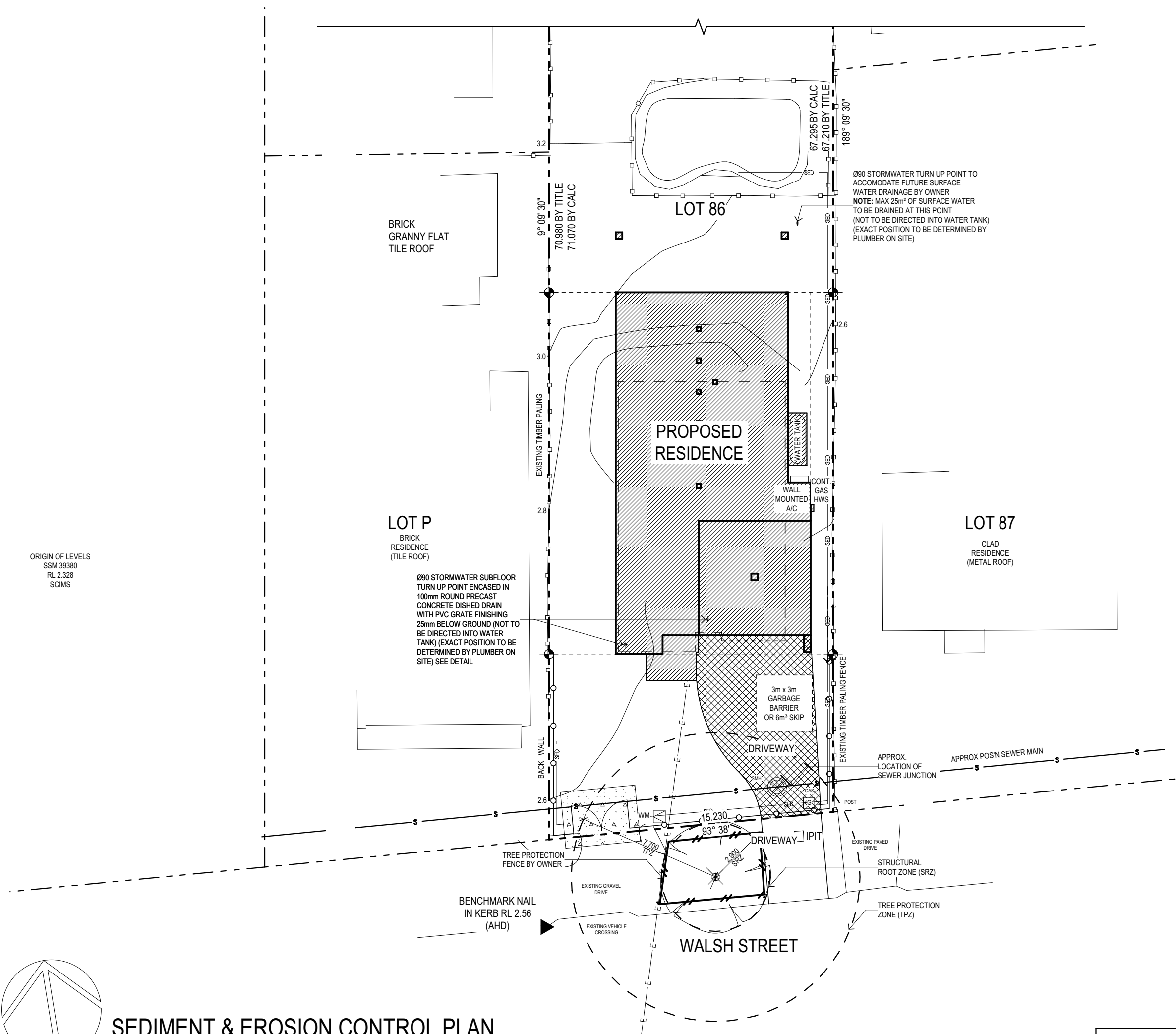
CENTRAL COAST



Sydney: (02) 8883 5400  
Newcastle: (02) 4945 4000  
Central Coast: (02) 4384 1441

  
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|                                                                     |  |            |            |
|---------------------------------------------------------------------|--|------------|------------|
| Client Name:                                                        |  |            |            |
| SPINKS, D & L                                                       |  |            |            |
| Job Address:                                                        |  |            |            |
| PROPOSED RESIDENCE<br>Lot 86, No. 8 Walsh Street<br>NORTH NARRABEEN |  |            |            |
| Design: The TRINITY 2 323 - Hamptons - 2024                         |  |            |            |
| Current Drafter:                                                    |  | Sales/CLO: | Plot Date: |
| GA                                                                  |  | APOD       | 27/08/2025 |
| Job No:                                                             |  | Tender No: | Revision:  |
| 3804                                                                |  | 49         | 2G         |
| DO NOT SCALE DRAWING                                                |  |            |            |



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| SEDIMENT & EROSION CONTROL LEGEND |                                 |
|-----------------------------------|---------------------------------|
|                                   | DRIVEWAY                        |
|                                   | FOOTPRINT OF PROPOSED RESIDENCE |
|                                   | SEDIMENT CONTROL FENCE          |
|                                   | STABILISED SITE ACCESS          |
|                                   | SECURITY FENCE & GATES          |
|                                   | SEWER                           |
|                                   | EXISTING FENCE                  |

NOTE: PROPOSED DRIVEWAY BY OWNER

- SEDIMENT CONTROL NOTES**
- ATTENTION IS DRAWN TO THE ENVIRONMENT PROTECTION ACT AND THE REQUIREMENTS FOR THE PREVENTION OF DISCHARGE OF ANY POLLUTANTS FROM THE SITE.
  - ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED AND MAINTAINED.
  - ALL SEDIMENT RETAINING STRUCTURES SHALL BE CLEANED UPON REACHING A MAXIMUM OF 75% CAPACITY. REMOVED SEDIMENT SHALL BE SPREAD WITH DISTURBED AREAS ON SITE.
  - IMMEDIATELY FOLLOWING THE COMPLETION OF WORKS ALL EXPOSED AREAS SHALL BE STABILISED BY TURFING (BY OWNER) OR MULCHING. SEDIMENT CONTROL SHALL BE MAINTAINED UNTIL GROUND COVER IS ESTABLISHED.

|        |        |                           |            |
|--------|--------|---------------------------|------------|
| GA     | 2G     | RE-ISSUE TO BASIX         | 27/08/2025 |
| GA     | 2F     | RE-ISSUE TO CERTIFIER     | 24/06/2025 |
| GA     | 2E     | RE-ISSUE TO CERTIFIER     | 16/06/2025 |
| GA     | 2D     | RE-ISSUE TO CERTIFIER     | 19/05/2025 |
| GA     | 2      | ISSUE TO BASIX & ENGINEER | 17/12/2024 |
| GA     | 1      | ISSUE TO SALES            | 17/12/2024 |
| Drawn: | Issue: | Description:              | Date:      |

**MONTGOMERY HOMES**

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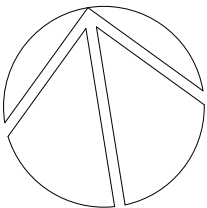
Client Name:  
**SPINKS, D & L**

Job Address:  
**PROPOSED RESIDENCE  
Lot 86, No. 8 Walsh Street  
NORTH NARRABEEN**

|                                             |            |            |            |
|---------------------------------------------|------------|------------|------------|
| Design: The TRINITY 2 323 - Hamptons - 2024 |            |            |            |
| Current Drafter:                            | Sales/CLO: | Plot Date: |            |
| GA                                          | APOD       | SMC        | 27/08/2025 |
| Job No:                                     | Tender No: | Drp No:    | Revision:  |
| 3804                                        | 49         | A10 of 12  | 2G         |

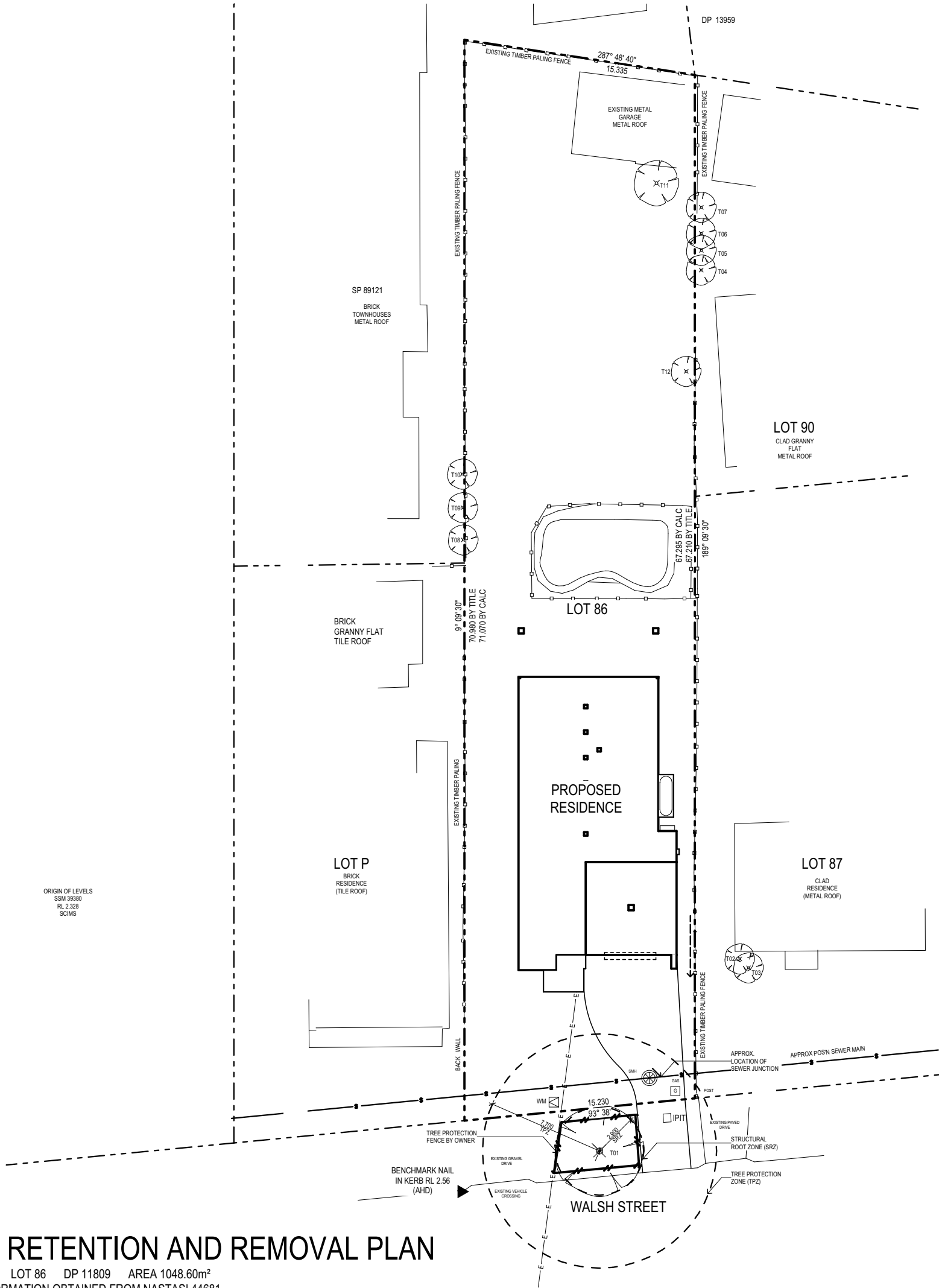
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**NOTE:**  
REFER TO STORMWATER ENGINEER'S  
DESIGN FOR STORMWATER LAYOUT



# TREE RETENTION AND REMOVAL PLAN

SCALE 1:300 LOT 86 DP 11809 AREA 1048.60m<sup>2</sup>  
SURVEY INFORMATION OBTAINED FROM NASTASI 44681



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| TREE LEGEND |                                     |                          |         |        |          |
|-------------|-------------------------------------|--------------------------|---------|--------|----------|
| #           | RET.                                | REM.                     | SPECIES | HEIGHT | DIAMETER |
| T01         | <input checked="" type="checkbox"/> | <input type="checkbox"/> |         | 7.0m   | 0.6m     |
| T02         | <input checked="" type="checkbox"/> | <input type="checkbox"/> |         | 6.0m   | 0.2m     |
| T03         | <input checked="" type="checkbox"/> | <input type="checkbox"/> |         | 6.0m   | 0.2m     |
| T04         | <input checked="" type="checkbox"/> | <input type="checkbox"/> |         | 4.0m   | 0.1m     |
| T05         | <input checked="" type="checkbox"/> | <input type="checkbox"/> |         | 4.0m   | 0.1m     |
| T06         | <input checked="" type="checkbox"/> | <input type="checkbox"/> |         | 4.0m   | 0.1m     |
| T07         | <input checked="" type="checkbox"/> | <input type="checkbox"/> |         | 4.0m   | 0.1m     |
| T08         | <input checked="" type="checkbox"/> | <input type="checkbox"/> |         | 4.0m   | 0.1m     |
| T09         | <input checked="" type="checkbox"/> | <input type="checkbox"/> |         | 4.0m   | 0.1m     |
| T10         | <input checked="" type="checkbox"/> | <input type="checkbox"/> |         | 4.0m   | 0.1m     |
| T11         | <input checked="" type="checkbox"/> | <input type="checkbox"/> |         | 4.0m   | 0.15m    |
| T12         | <input checked="" type="checkbox"/> | <input type="checkbox"/> |         | 4.0m   | 0.15m    |

|        |        |                                                  |            |
|--------|--------|--------------------------------------------------|------------|
|        |        | OVERFLOW PIPE / STORMWATER LINE                  |            |
|        |        | TREES TO BE REMOVED<br>(BY SEPARATE APPLICATION) |            |
|        |        | TREES TO RETAIN                                  |            |
|        |        | SEWER LINE                                       |            |
|        |        | RETAINING WALLS (BY OWNER)                       |            |
| GA     | 2G     | RE-ISSUE TO BASIX                                | 27/08/2025 |
| GA     | 2F     | RE-ISSUE TO CERTIFIER                            | 24/06/2025 |
| GA     | 2E     | RE-ISSUE TO CERTIFIER                            | 16/06/2025 |
| GA     | 2D     | RE-ISSUE TO CERTIFIER                            | 19/05/2025 |
| GA     | 2      | ISSUE TO BASIX & ENGINEER                        | 17/12/2024 |
| GA     | 1      | ISSUE TO SALES                                   | 17/12/2024 |
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**SPINKS, D & L**

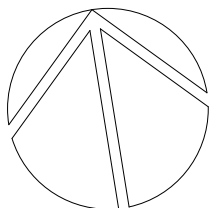
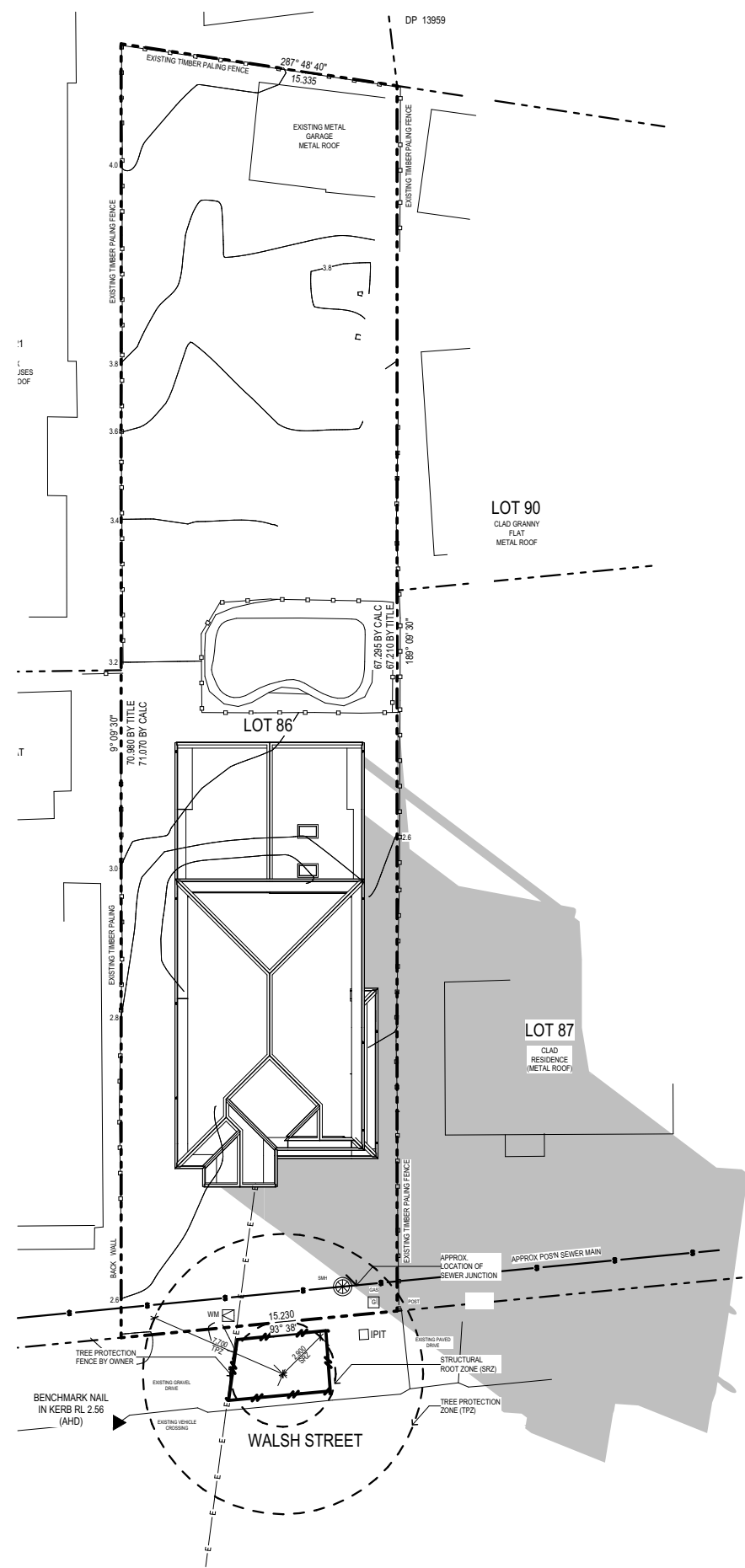
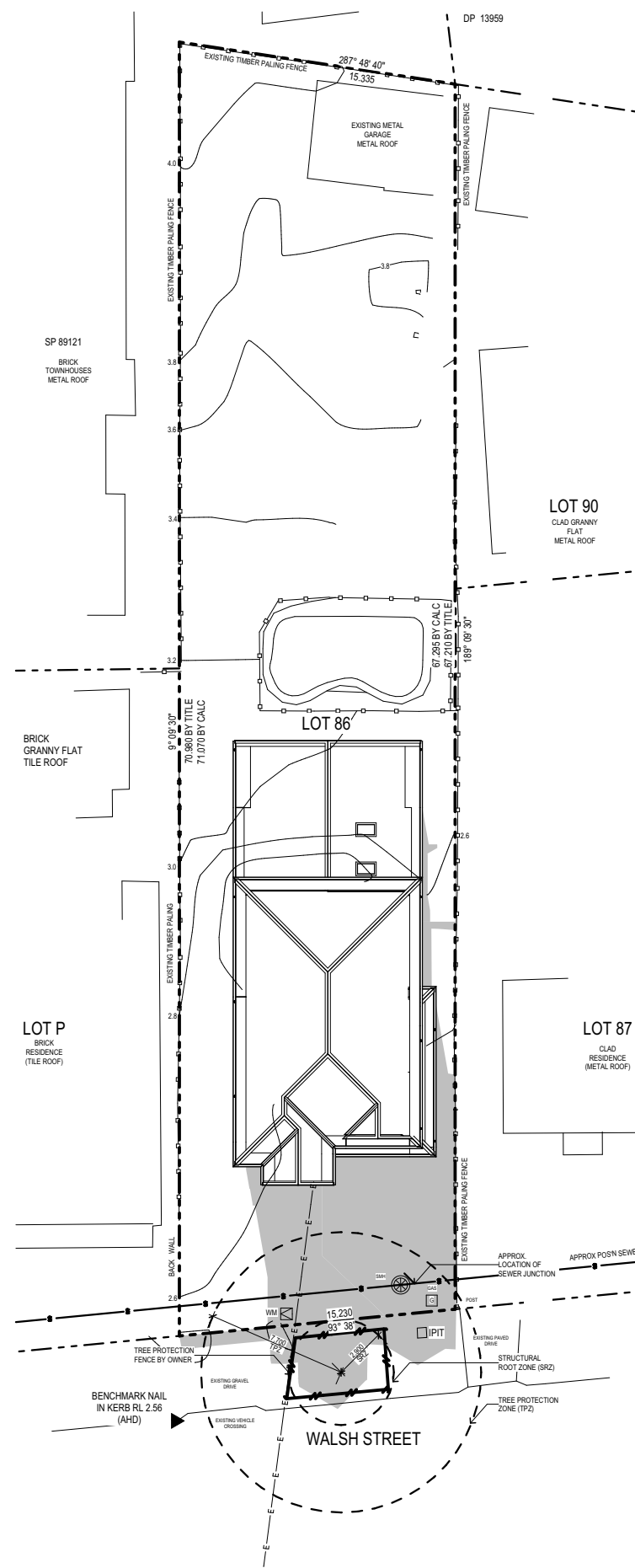
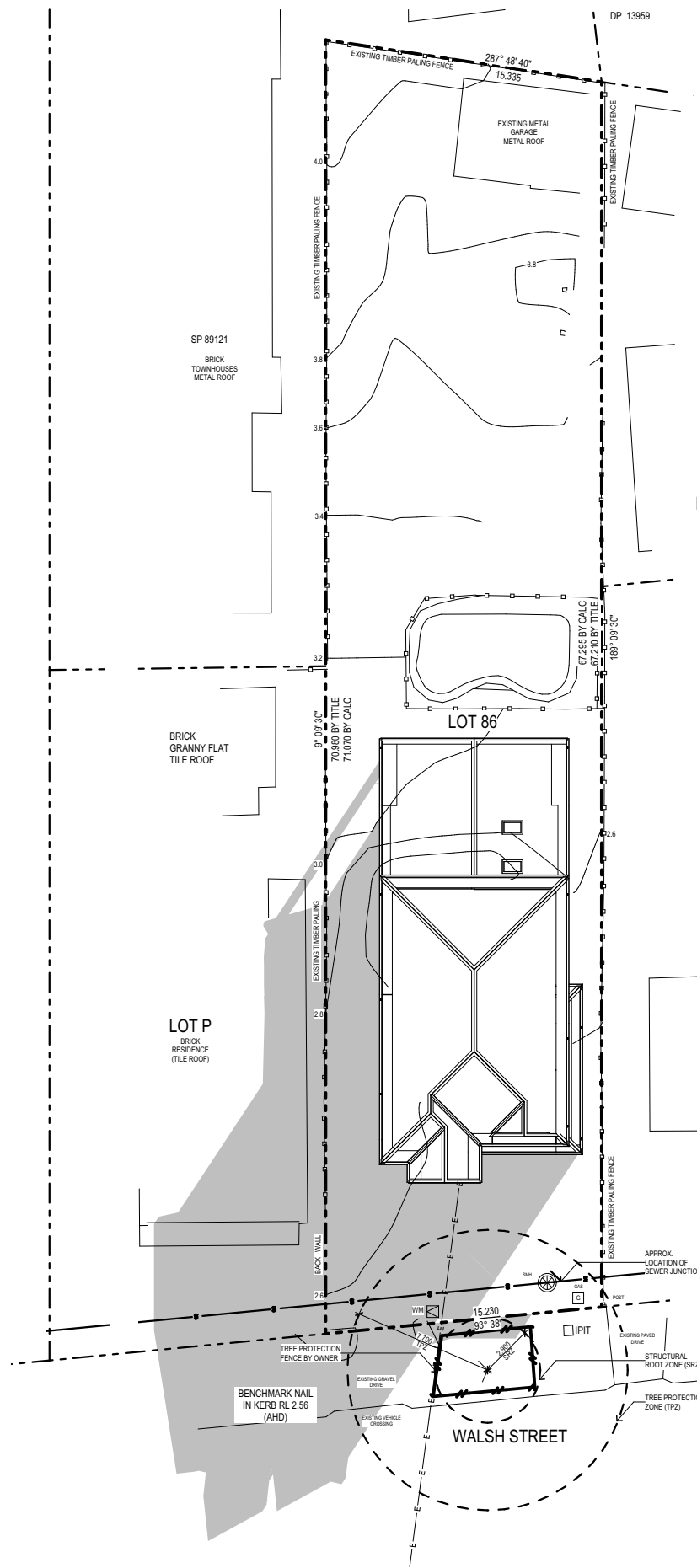
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NORTH NARRABEEN**

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|                               |                         |                             |                                 |
|-------------------------------|-------------------------|-----------------------------|---------------------------------|
| Current Drafter:<br><b>GA</b> | <b>APOD</b>             | Sales/CLO:<br><b>SMC</b>    | Plot Date:<br><b>27/08/2025</b> |
| Job No:<br><b>3804</b>        | Tender No:<br><b>49</b> | Drg No:<br><b>A11 of 12</b> | Revision:<br><b>2G</b>          |

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# SUN STUDY

SCALE 1:350 LOT 86 DP 11809 AREA 1048.60m<sup>2</sup>  
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| GA     | 2F     | RE-ISSUE TO CERTIFIER     | 24/06/2025 |
| GA     | 2E     | RE-ISSUE TO CERTIFIER     | 16/06/2025 |
| GA     | 2D     | RE-ISSUE TO CERTIFIER     | 19/05/2025 |
| GA     | 2      | ISSUE TO BASIX & ENGINEER | 17/12/2024 |
| GA     | 1      | ISSUE TO SALES            | 17/12/2024 |
| Drawn: | Issue: | Description:              | Date:      |



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|              |  |
|--------------|--|
| Client Name: |  |
|--------------|--|

SPINKS, D &amp; L

Job Address:

PROPOSED RESIDENCE  
Lot 86, No. 8 Walsh Street  
NORTH NARRABEEN

Design: The TRINITY 2 323 - Hamptons - 2024

|                  |            |            |            |
|------------------|------------|------------|------------|
| Current Drafter: |            | Sales/CLO: | Plot Date: |
| GA               | APOD       | SMC        | 27/08/2025 |
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