

S4.55 MODIFICATION - NOT FOR CONSTRUCTION

Project
PROPOSED NEW SINGLE DWELLING

Address
17 MARETIMO ST BALGOWLAH, NSW 2093
LOT 6 IN DP 18433

Client
PAGLIARO

Project Number
17.14

Date
18.07.2025

DRAWING LIST

DA101	BASIX REQUIREMENTS	B	18.07.2025
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DA204	APPROVED SUBDIVISION PLAN	A	23.03.2021
DA205	SITE PLAN	C	18.07.2025
DA301	GARAGE FLOOR PLAN	C	18.07.2025
DA302	GROUND FLOOR PLAN	C	18.07.2025
DA303	FIRST FLOOR PLAN	C	18.07.2025
DA304	ROOF PLAN	C	18.07.2025
DA401	SECTIONS 01	C	18.07.2025
DA402	SECTIONS 02	C	18.07.2025
DA501	NORTH ELEVATION	C	18.07.2025
DA502	SOUTH ELEVATION	C	18.07.2025
DA503	EAST ELEVATION	D	18.07.2025
DA504	WEST ELEVATION	C	18.07.2025
DA701	CALCULATIONS	C	18.07.2025
DA702	EROSION AND SEDIMENT CONTROL PLAN	B	18.07.2025
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DA704	SHADOW DIAGRAMS 21 JUNE 12 PM	E	18.07.2025
DA705	SHADOW DIAGRAM 21 JUNE 3 PM	E	18.07.2025
DA706	LANDSCAPE PLAN	C	18.07.2025
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DA709	CUT & FILL PLAN	A	23.03.2021
DA710	SHADOW DIAGRAMS 21 JUNE 10 AM	D	18.07.2025
DA711	SHADOW DIAGRAMS 21 JUNE 11 AM	D	18.07.2025
DA712	SHADOW DIAGRAMS 21 JUNE 1 PM	D	18.07.2025
DA713	SHADOW DIAGRAMS 21 JUNE 2 PM	D	18.07.2025
DA714	SHADOW DIAGRAMS 21 JUNE - VFS	C	18.07.2025
DA715	SHADOW DIAGRAMS 21 JUNE - VFS	C	18.07.2025
DA716	SHADOW DIAGRAMS 21 JUNE - VFS	C	18.07.2025
DA717	SHADOW DIAGRAMS 21 JUNE - VFS	C	18.07.2025
DA901	MATERIALS / WINDOW SCHEDULES	B	18.07.2025



BASIX™ Certificate

Building Sustainability Index
www.planningportal.nsw.gov.au/development

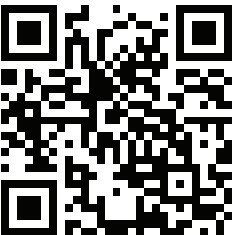
Single Dwelling

Certificate number: 870672S_02

Water Commitments
Fixtures
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.
Alternative water
Rainwater tank
The applicant must install a rainwater tank of at least 2500 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the rainwater tank to collect rain runoff from at least 130 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).
The applicant must connect the rainwater tank to: <ul style="list-style-type: none">at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)

BASIX Certificate Centre					
Thermal Comfort Specification Summary					
ABSA Assessor # 20322			NathERS Certificate # 0012068243		
The items specified below are those used in the above certificate, and should be cross-checked with the actual certificate					
Windows	Glass Type	Frame Type	U Value	SHGC Value	
ALM-001-01 A	Single Clear	Aluminium	6.70	0.57	To W11,W3, W21
ALM-002-01 A	Single Clear	Aluminium	6.70	0.70	To W1, W22, W30
ALM-002-03 A	Single Low E	Aluminium	5.40	0.58	To louvres
ALM-006-03 A	Double Low E + Argon	Aluminium	4.10	0.47	To remaining Awning types
ALM-005-03 A	Double Low E + Argon	Aluminium	4.10	0.52	To remaining types
NB: Screens required to windows in accordance with NCC to allow full opening and cross-flow.					
Alternative products with different glazing and frame types can be used if they have a lower U value and a SHGC value tolerance of + or - 5%.					
External Wall Type		Insulation	Colour	Description	
Brick or block Retaining walls		None	NA	As per plans	
Brick - Render		None	Light	To Garage & Storage levels	
Cavity Brick + Render both sides		R1.5 (or total R Value 2.18)	Light	To Ground Floor	
Brick Veneer + Render		R2.0 (or total R Value 2.58)	Light	To First Floor as per plans	
Internal Wall Type		Insulation		Description	
Brick		R1.0		To the Walls of Stair Access RL 85.15	
Brick		None		To Garage onto Storage areas, and Storage to Subfloor	
Brick		R1.5		To walls onto Garage from GF	
Plasterboard + Frame		R2.0		To Laundry, WC, Bath, & onto Northern roof space	
Plasterboard + Frame		None		To remainder as per plan	
Floor Type	Insulation	Floor Finishes		Description	
Concrete (SOG)	None	None		To Garage & Storage levels	
Concrete (Suspended)	R1.5	Tiles		To WC over Subfloor as per plan	
Concrete (Suspended)	R1.5	Timber Flooring		To Remainder of Ground Floor over Subfloor as per plans	
Concrete (Suspended)	None	Tiles & Timber Concrete		To areas over Storage areas as per plan	
Framed	R2.5	Carpet & Tiles		To First Floor "open under" areas	
Framed	None	Carpet, Timber & Tiles		To remainder of First Floor as per plans	
Ceiling Type		Insulation		Description	
None		None		To Garage	
None		None		To Storage areas under Ground Floor	
Plasterboard		None		To Ground Floor below First Floor	
Plasterboard		R5.0		To remainder as per plan	
Roof Type		Insulation	Colour	Description	
Concrete + Tiles (Terrace & Deck)		Total R value of 0.39 Up & 0.39 Down	Medium	As per plans	
Metal Sheeting		Anticon 55 or similar	Light	As per plans	
External Shade Devices:					
As per plans					
Additional items:					
Roof Ventilation:	None		Ventilated Skylights:	N/A	
Sealed Exhaust Fans:	Yes (self closing)		Insulated Garage door:	Not required	
Seals to Windows:	Yes - to AS2047		Approved Sealed LED Downlights:	Yes (if downlights installed)	
Seals to doors:	Yes - to AS2047		Approved Downlight Covers:	Yes (if downlights installed)	
Seals to Garage door:	Not Required		1400mm Ceiling Fans:	To each bed & Family Room	
NB: LED Downlights must be sealed to eliminate ventilation & approved to allow for insulation cover.					
NB: Builder to ensure compliance with all relevant NCC requirements					

Energy Commitments
Hot water
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 3 stars.
Cooling system
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER < 2.5
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER < 2.5
Heating system
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER < 2.5
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER < 2.5
Ventilation
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off
Natural lighting
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.
Alternative energy
The applicant must install a photovoltaic system with the capacity to generate at least 1.3 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.



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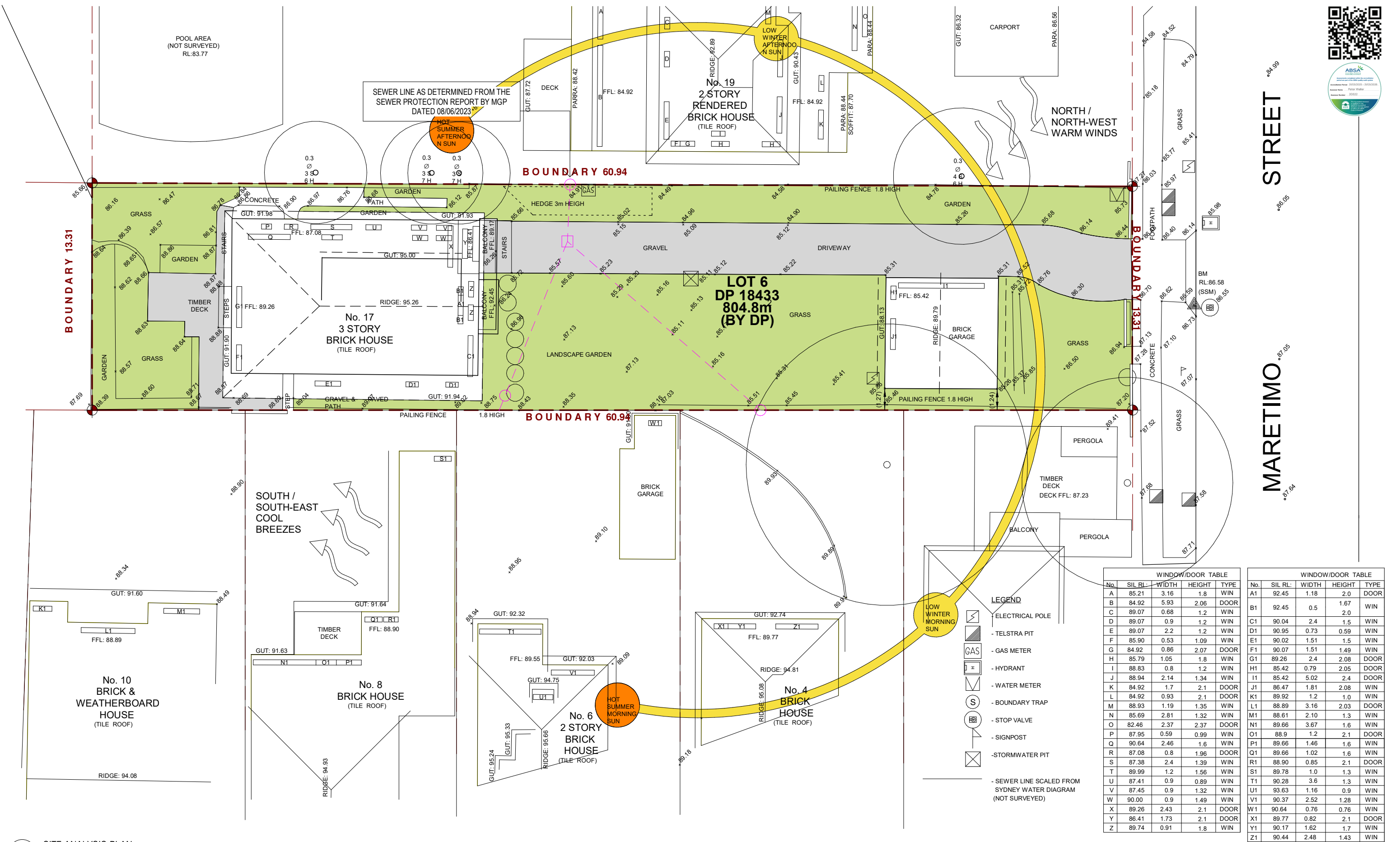


URSINO
ARCHITECTS

Suite 313 , 49 Queens Road Five Dock NSW 2046
(02) 8970 2421 / PO Box 981 Five Dock NSW 2046
www.ursino.com.au

REGISTERED ARCHITECT: Robert Ursino NSW ARB No: 10565

REVISION		DESCRIPTION	DATE	LEGEND & NOTES	CLIENT	SCALE	@ A3	DRAWING TITLE	
A		FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION	23.03.2021		PAGLIARO			BASIX REQUIREMENTS	
B		S4.55 MODIFICATION - NOT FOR CONSTRUCTION	18.07.2025						
GENERAL NOTES: ALL DIMENSIONS TO BE VERIFIED BY BUILDER PRIOR TO COMMENCEMENT OF WORKS /// BOUNDARY DIMENSIONS & ALL LEVELS SUBJECT TO CONFIRMATION BY BUILDER. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE FROM PLANS /// ALL WORKS TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS /// ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA /// ALL DRAWINGS ARE DESIGN INTENT ONLY AND NOT FOR CONSTRUCTION.					ADDRESS	DRAWN BY.	DESIGNED BY.	TRUE NORTH	DATE
					17 MARETIMO ST BALGOWLAH, NSW 2093 LOT 6 IN DP 18433	AB	RU		18.07.2025
						PROJECT NO.	REV		DRAWING NO.
						17.14	B		DA101
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WINDOW/DOOR TABLE				
No.	SIL RL	WIDTH	HEIGHT	TYPE
A	85.21	3.16	1.8	WIN
B	84.92	5.93	2.06	DOOR
C	89.07	0.68	1.2	WIN
D	89.07	0.9	1.2	WIN
E	89.07	2.2	1.2	WIN
F	85.90	0.53	1.09	WIN
G	84.92	0.86	2.07	DOOR
H	85.79	1.05	1.8	WIN
I	88.83	0.8	1.2	WIN
J	88.94	2.14	1.34	WIN
K	84.92	1.7	2.1	DOOR
L	84.92	0.93	2.1	DOOR
M	88.93	1.19	1.35	WIN
N	85.69	2.81	1.32	WIN
O	82.46	2.37	2.37	DOOR
P	87.95	0.59	0.99	WIN
Q	90.64	2.46	1.6	WIN
R	87.08	0.8	1.96	DOOR
S	87.38	2.4	1.39	WIN
T	89.99	1.2	1.56	WIN
U	87.41	0.9	0.89	WIN
V	87.45	0.9	1.32	WIN
W	90.00	0.9	1.49	WIN
X	89.26	2.43	2.1	DOOR
Y	86.41	1.73	2.1	DOOR
Z	89.74	0.91	1.8	WIN

WINDOW/DOOR TABLE				
No.	SIL RL	WIDTH	HEIGHT	TYPE
A1	92.45	1.18	2.0	DOOR
B1	92.45	0.5	1.67	WIN
C1	90.04	2.4	1.5	WIN
D1	90.95	0.73	0.59	WIN
E1	90.02	1.51	1.5	WIN
F1	90.07	1.51	1.49	WIN
G1	89.26	2.4	2.08	DOOR
H1	85.42	0.79	2.05	DOOR
I1	85.42	5.02	2.4	DOOR
J1	86.47	1.81	2.08	WIN
K1	89.92	1.2	1.0	WIN
L1	88.89	3.16	2.03	DOOR
M1	88.61	2.10	1.3	WIN
N1	89.66	3.67	1.6	WIN
O1	88.9	1.2	2.1	DOOR
P1	89.66	1.46	1.6	WIN
Q1	89.66	1.02	1.6	WIN
R1	88.90	0.85	2.1	DOOR
S1	89.78	1.0	1.3	WIN
T1	90.28	3.6	1.3	WIN
U1	93.63	1.16	0.9	WIN
V1	90.37	2.52	1.28	WIN
W1	90.64	0.76	0.76	WIN
X1	89.77	0.82	2.1	DOOR
Y1	90.17	1.62	1.7	WIN
Z1	90.44	2.48	1.43	WIN

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1 SITE ANALYSIS PLAN
1 : 200

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www.ursino.com.au

REGISTERED ARCHITECT: Robert Ursino NSW ARB No: 10565

REVISION	DESCRIPTION	DATE
A	FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION	23.03.2021

GENERAL NOTES: ALL DIMENSIONS TO BE VERIFIED BY BUILDER PRIOR TO COMMENCEMENT OF WORKS. /// BOUNDARY DIMENSIONS & ALL LEVELS SUBJECT TO CONFIRMATION BY BUILDER. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE FROM PLANS. /// ALL WORKS TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS. /// ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA. /// ALL DRAWINGS ARE DESIGN INTENT ONLY AND NOT FOR CONSTRUCTION.

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LEGEND & NOTES	
	PROPERTY BOUNDARY
	VIEW CORRIDORS FROM ADJOINING BUILDINGS
	VIEWS FROM SUBJECT SITE
	PREVAILING WINDS
	LANDSCAPED AREA
	HARD SURFACE AREA

NOTES:
1. THIS IS NOT A BOUNDARY SURVEY, IMPROVEMENTS SHOWN HEREON IN RELATION TO BOUNDARIES ARE DIAGRAMATIC ONLY; 2. FULL DETAILS OF SEWER AND OTHER SERVICES SHOULD BE OBTAINED FROM THE RELEVANT AUTHORITIES; 3. CONTOURS ARE APPROXIMATE ONLY, PREFERENCE TO BE GIVEN TO SPOT HEIGHTS; 4. MAJOR TREES SHOWN ONLY; 5. DIMENSIONS AND AREA ARE SUBJECT TO SURVEY

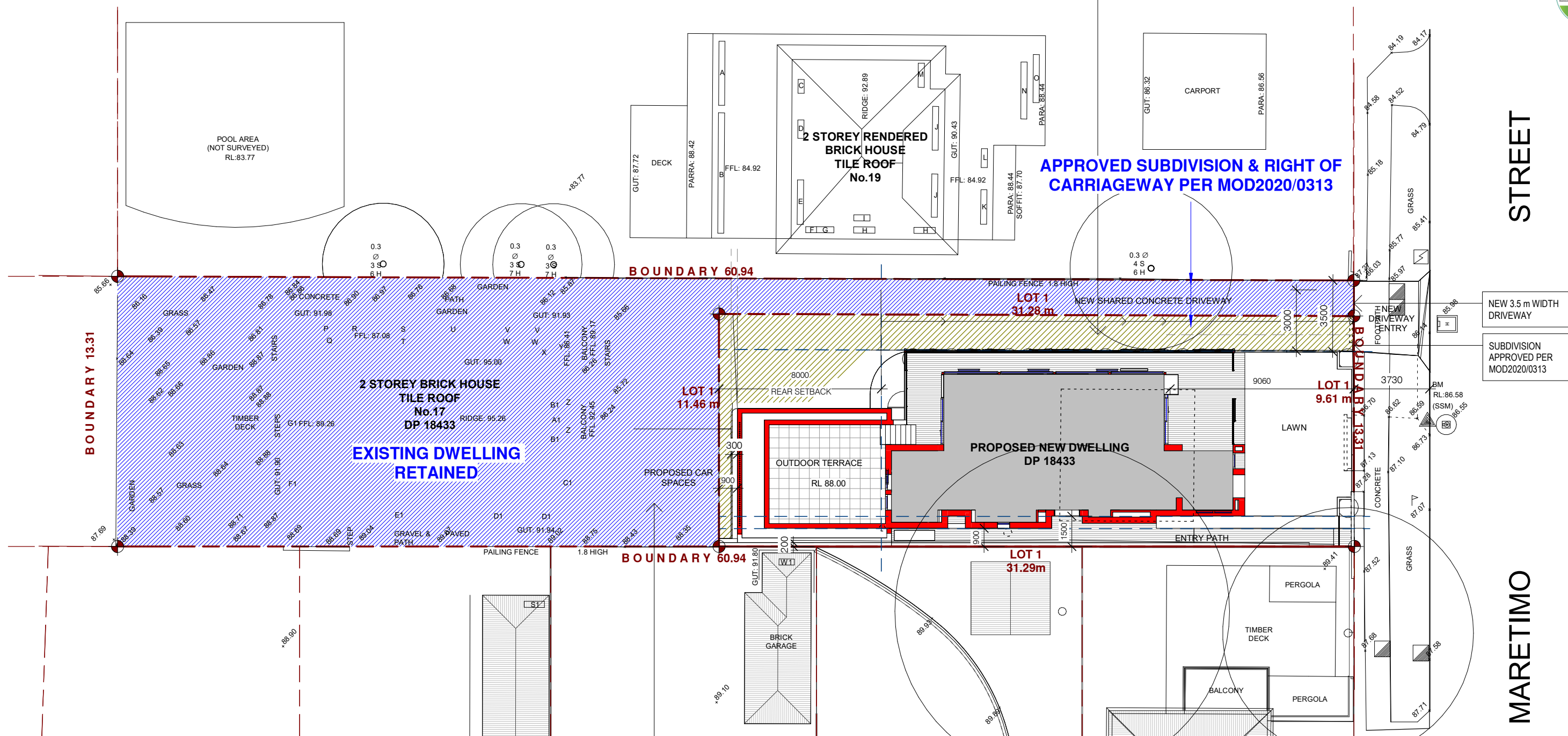
THIS PLAN HAS BEEN PREPARED FOR THE SOLE PURPOSE OF LODGING A DEVELOPMENT APPLICATION WITH THE LOCAL COUNCIL. THIS PLAN IS NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE EXPRESS PERMISSION OF ROBERT URSINO

CLIENT	SCALE	@ A3	DRAWING TITLE
PAGLIARO	1 : 200		SITE ANALYSIS PLAN

ADDRESS
17 MARETIMO ST
BALGOWLAH, NSW 2093
LOT 6 IN DP 18433

DRAWN BY.	DESIGNED BY.	TRUE NORTH	DATE
AB	RU		23.03.2021
PROJECT NO.	REV		DRAWING NO.
17.14	A		DA201

NOTE: SECTION 455 MODIFICATIONS OF DEVELOPMENT CONSENT 219/2016 GRANTED FOR DEMOLITION WORKS, ALTERATIONS AND ADDITIONS AND SUBDIVISION. (Mod2020/0313)



REFER TO SECTION 455 MODIFICATIONS (Mod2020/0313):
MODIFICATION OF DEVELOPMENT CONSENT DA219/2016 GRANTED FOR DEMOLITION WORKS, ALTERATIONS AND ADDITIONS AND SUBDIVISION.

1 APPROVED SUBDIVISION PLAN
1 : 200

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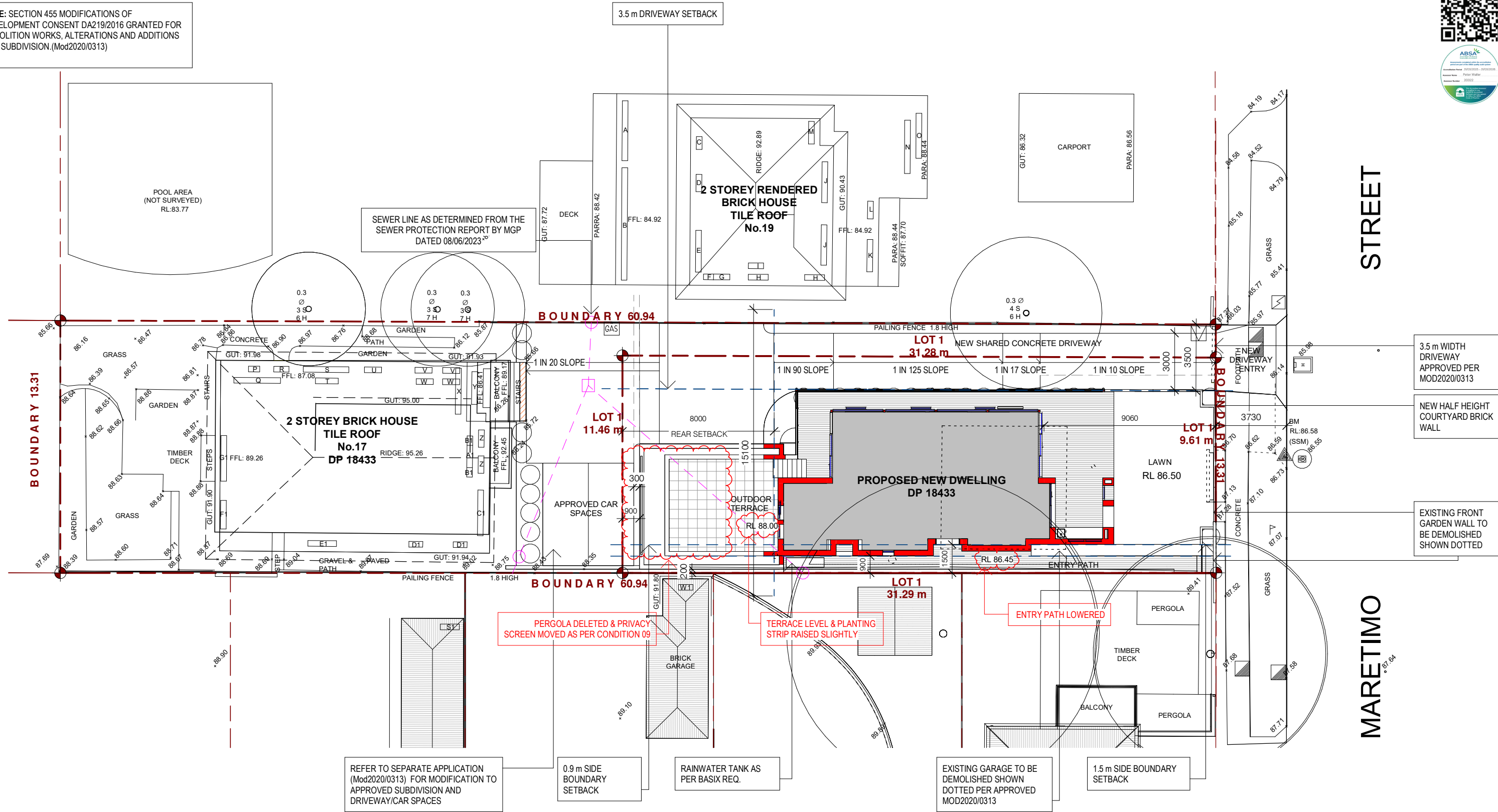
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CLIENT	SCALE	@ A3	DRAWING TITLE
PAGLIARO	1 : 200		APPROVED SUBDIVISION PLAN
ADDRESS	DRAWN BY.	DESIGNED BY.	TRUE NORTH
17 MARETIMO ST BALGOWLAH, NSW 2093 LOT 6 IN DP 18433	AB	RU	
	PROJECT NO.	REV	DATE
	17.14	A	23.03.2021
			DRAWING NO.
			DA204

NOTE: SECTION 455 MODIFICATIONS OF DEVELOPMENT CONSENT DA219/2016 GRANTED FOR DEMOLITION WORKS, ALTERATIONS AND ADDITIONS AND SUBDIVISION.(Mod2020/0313)



1 SITE PLAN
1 : 200

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REGISTERED ARCHITECT: Robert Ursino NSW ARB No: 10565

REVISION	DESCRIPTION	DATE	LEGEND & NOTES
A	FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION	23.03.2021	
B	ADDITIONAL INFORMATION - NOT FOR CONSTRUCTION	29.06.2021	
C	S4.55 MODIFICATION - NOT FOR CONSTRUCTION	18.07.2025	

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EXISTING TREE TO BE RETAINED

PROPOSED NEW TREE

EXISTING TREE TO BE REMOVED

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CLIENT
PAGLIARO

ADDRESS
**17 MARETIMO ST
BALGOWLAH, NSW 2093
LOT 6 IN DP 18433**

SCALE @ A3
1 : 200

DRAWING TITLE
SITE PLAN

DRAWN BY.
AB

DESIGNED BY.
RU

PROJECT NO.
17.14

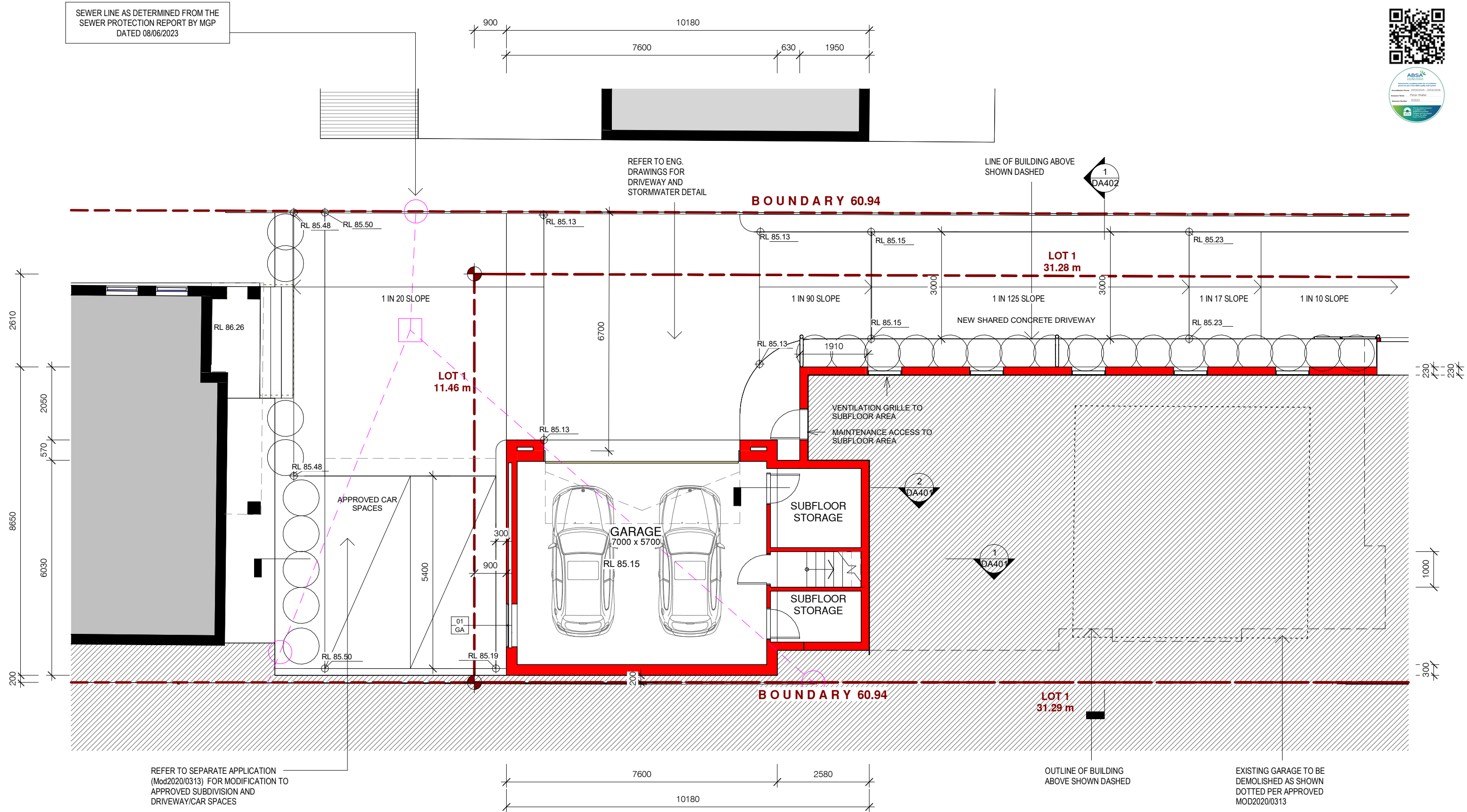
REV
C

TRUE NORTH

DATE
18.07.2025

DRAWING NO.
DA205

SEWER LINE AS DETERMINED FROM THE
SEWER PROTECTION REPORT BY MGP
DATED 08/06/2023



1 GARAGE FLOOR PLAN
1 : 100

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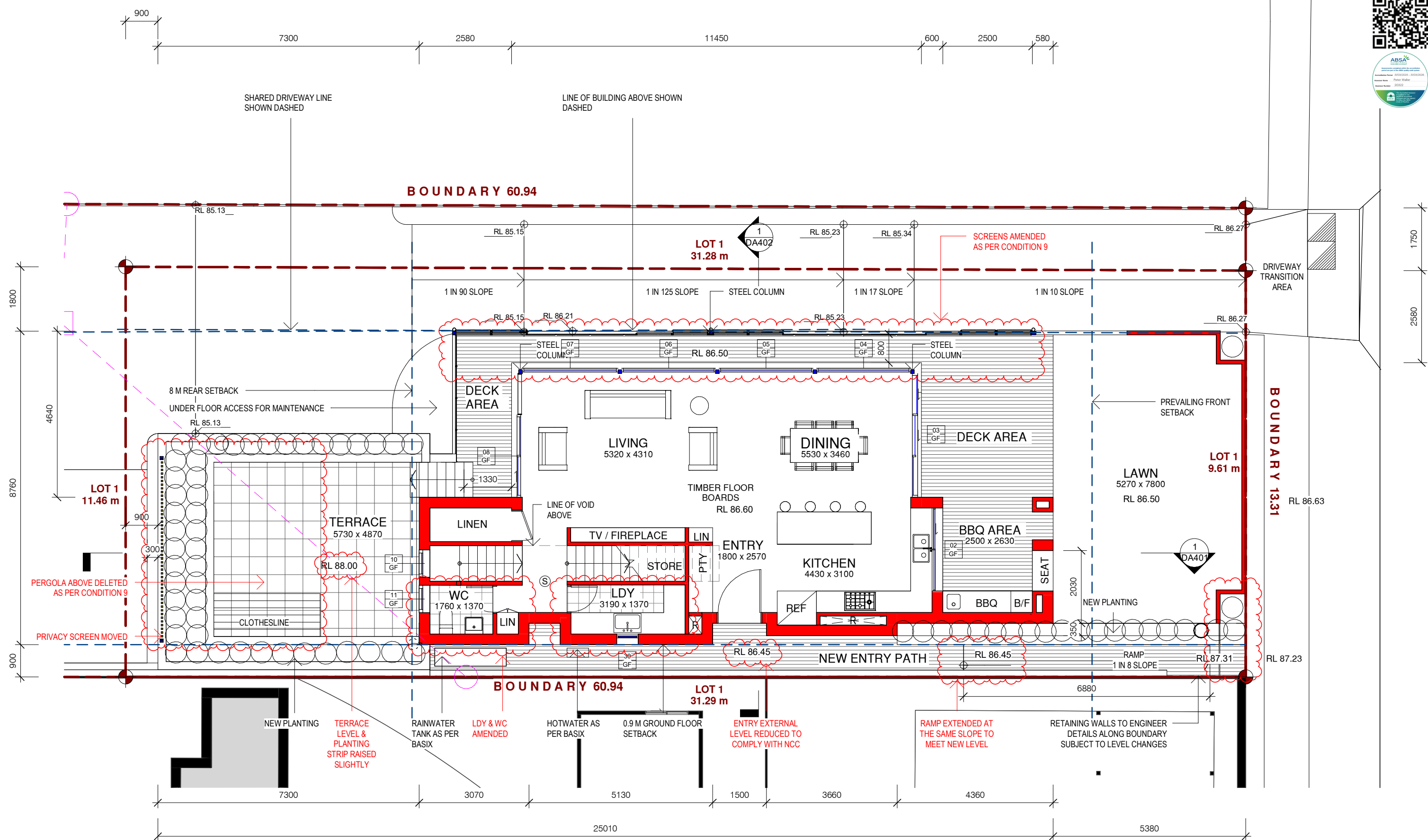
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- LEGEND & NOTES
- Ⓢ SMOKE ALARM
 - R RISER
 - LC LAUNDRY CHUTE
 - REF REFRIGERATOR
 - B/F BAR FRIDGE

S4.55 MODIFICATION - NOT FOR CONSTRUCTION

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ADDRESS	17 MARETIMO ST BALGOWLAH, NSW 2093 LOT 6 IN DP 18433	DRAWN BY.	DESIGNED BY.	TRUE NORTH	DATE
		AB	RU		18.07.2025
		PROJECT NO.	REV		DRAWING NO.
		17.14	C		DA301



1 GROUND FLOOR PLAN
1 : 100

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- LEGEND & NOTES
- (S) SMOKE ALARM
 - R RISER
 - LC LAUNDRY CHUTE
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SCALE @ A3
As indicated

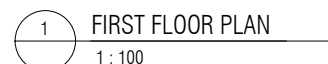
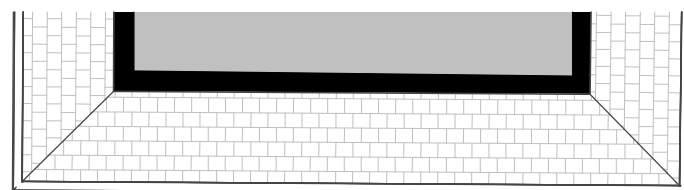
DRAWING TITLE
GROUND FLOOR PLAN

DRAWN BY: **AB**
PROJECT NO.: **17.14**

DESIGNED BY: **RU**
REV: **C**

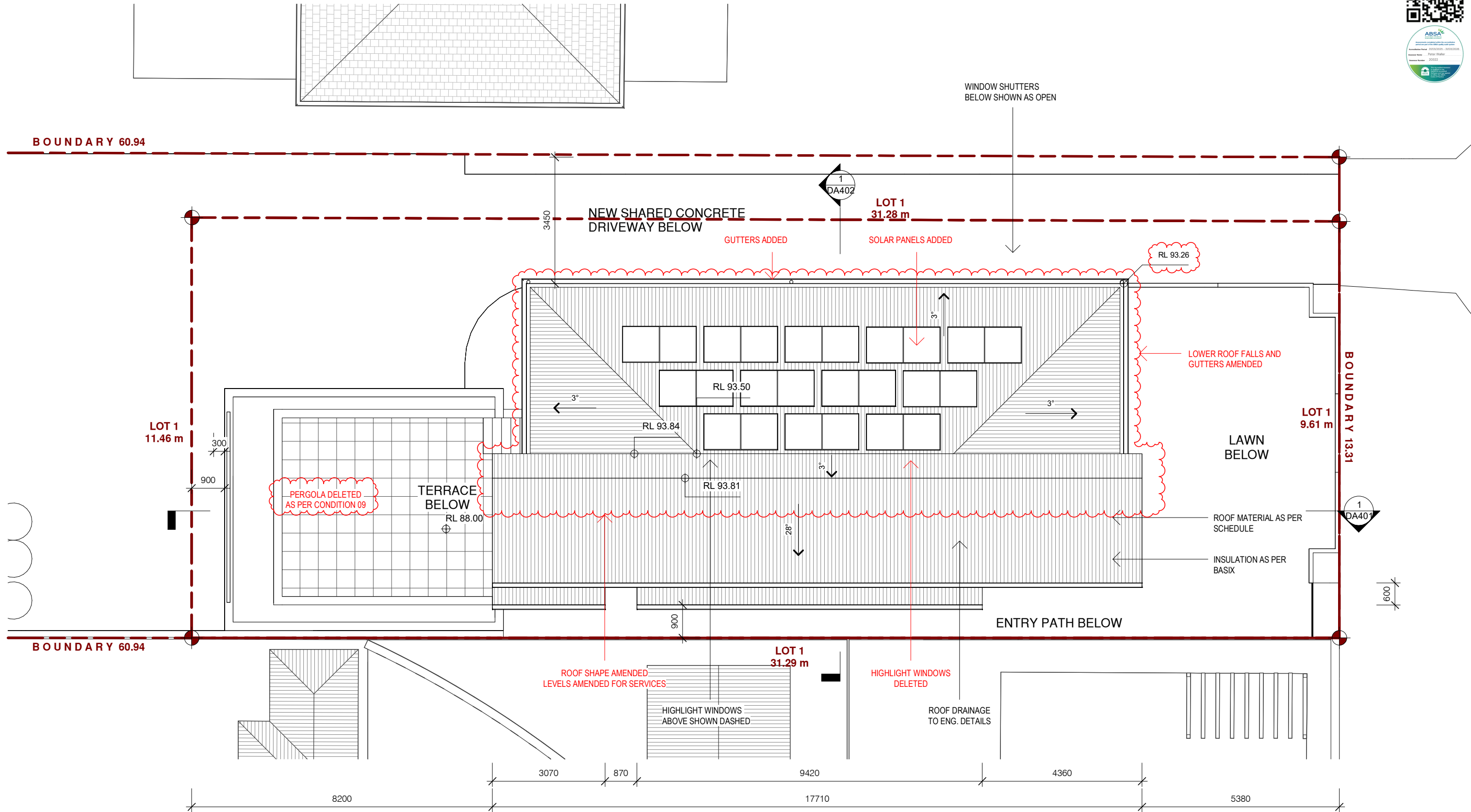
TRUE NORTH

DATE
18.07.2025
DRAWING NO.
DA302



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1 ROOF PLAN
1 : 100



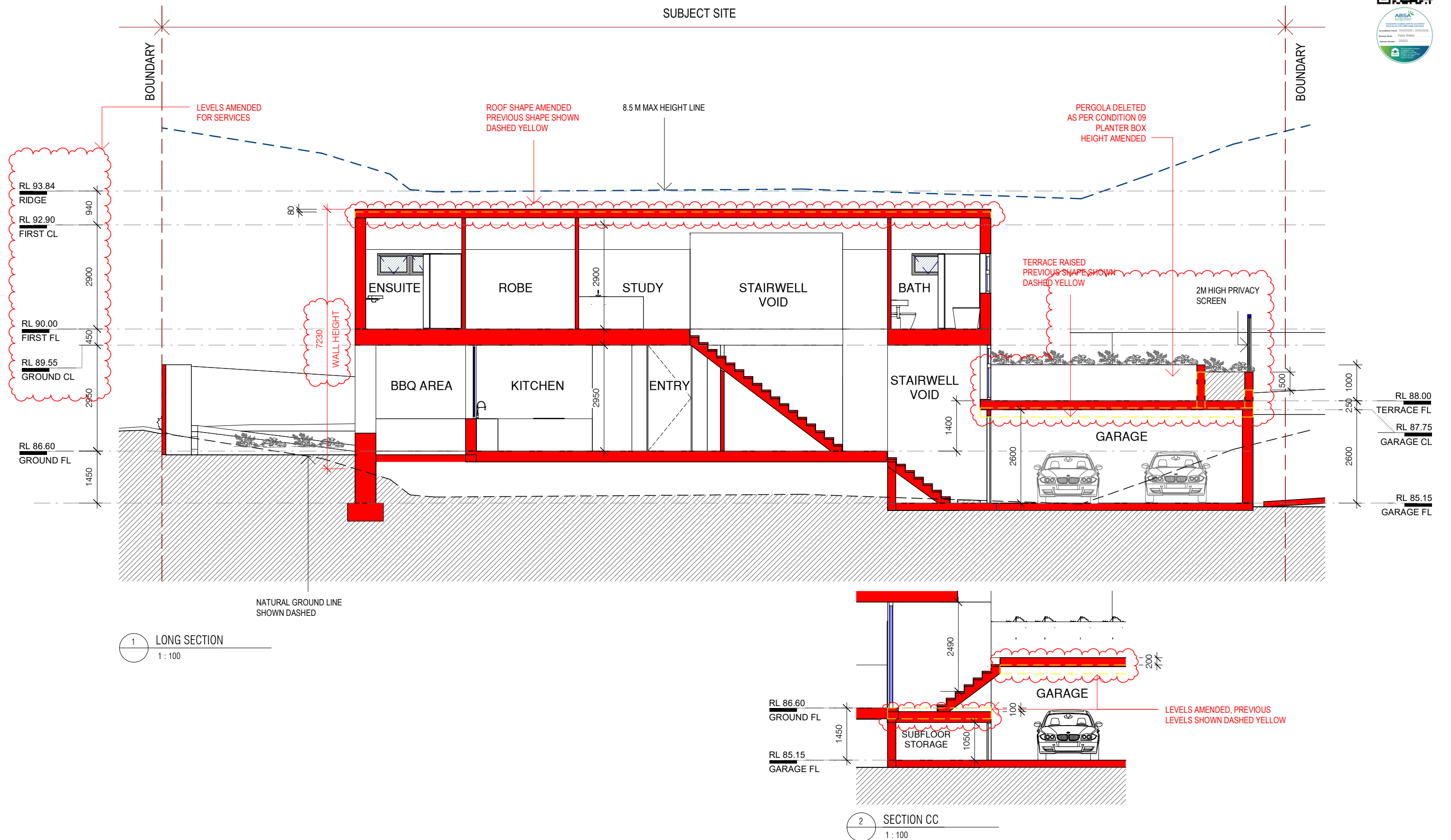
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B	ADDITIONAL INFORMATION - NOT FOR CONSTRUCTION	29.06.2021	
C	S4.55 MODIFICATION - NOT FOR CONSTRUCTION	18.07.2025	

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S4.55 MODIFICATION - NOT FOR CONSTRUCTION

CLIENT	SCALE	@ A3	DRAWING TITLE
PAGLIARO	1 : 100		ROOF PLAN
ADDRESS	DRAWN BY.	DESIGNED BY.	TRUE NORTH
17 MARETIMO ST BALGOWLAH, NSW 2093 LOT 6 IN DP 18433	AB	RU	
	PROJECT NO.	REV	DATE
	17.14	C	18.07.2025
			DRAWING NO.
			DA304



S4.55 MODIFICATION - NOT FOR CONSTRUCTION

URSINO
ARCHITECTS

Suite 313, 49 Queens Road Five Dock NSW 2046
(02) 8970 2421 / PO Box 981 Five Dock NSW 2046
www.ursino.com.au

REGISTERED ARCHITECT: Robert Ursino NSW ARB No: 10565

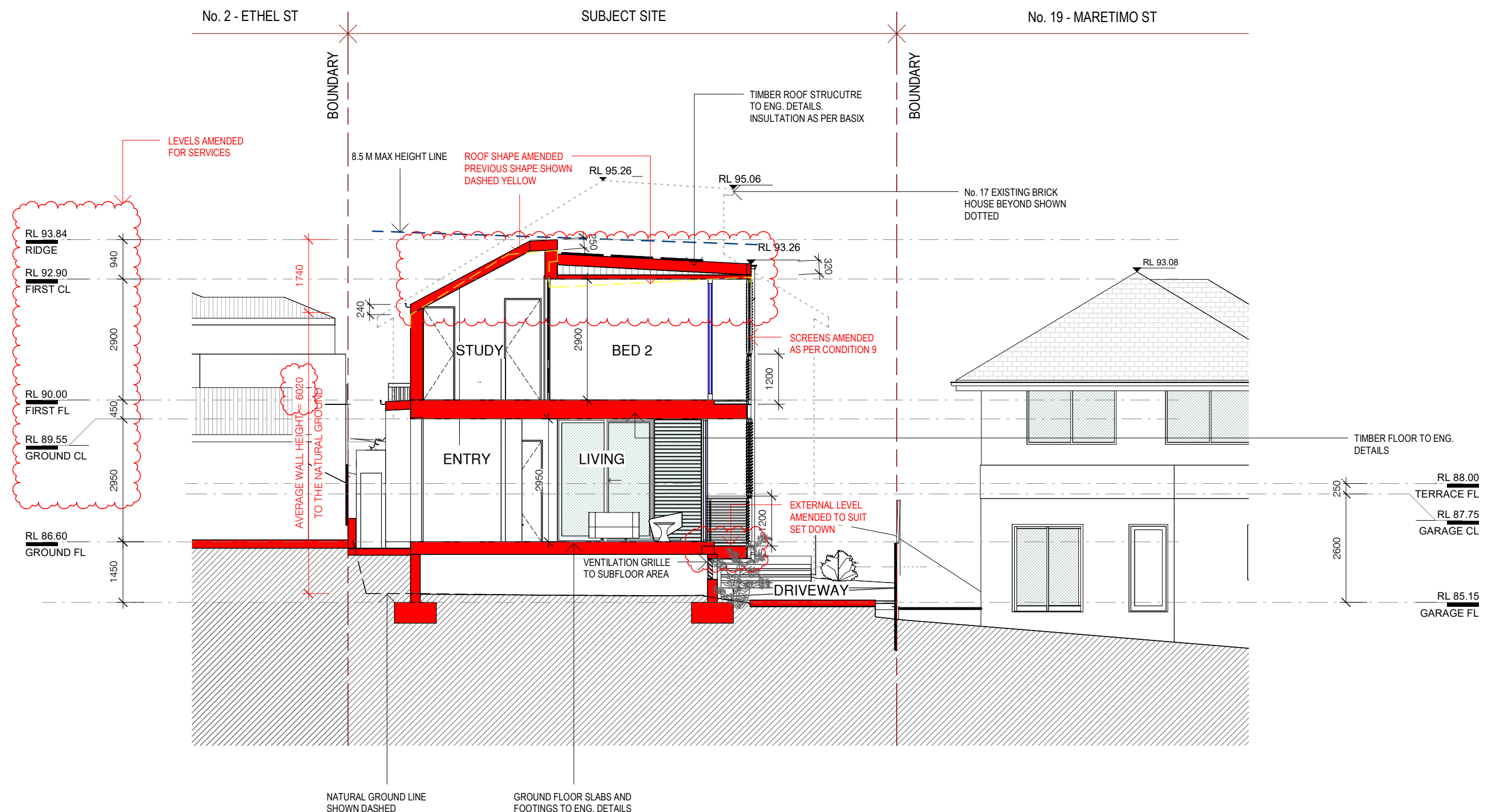
REVISION	DESCRIPTION	DATE	LEGEND & NOTES
A	FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION	23.03.2021	
B	ADDITIONAL INFORMATION - NOT FOR CONSTRUCTION	29.06.2021	
C	S4.55 MODIFICATION - NOT FOR CONSTRUCTION	18.07.2025	

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CLIENT	SCALE	@ A3	DRAWING TITLE
PAGLIARO	1 : 100		SECTIONS 01

ADDRESS	DRAWN BY.	DESIGNED BY.	TRUE NORTH	DATE
17 MARETIMO ST BALGOWLAH, NSW 2093 LOT 6 IN DP 18433	AB	RU		18.07.2025
	PROJECT NO.	REV		DRAWING NO.
	17.14	C		DA401



1 SHORT SECTION
1 : 100

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REVISION	DESCRIPTION	DATE	LEGEND & NOTES
A	FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION	23.03.2021	
B	ADDITIONAL INFORMATION - NOT FOR CONSTRUCTION	29.06.2021	
C	S4.55 MODIFICATION - NOT FOR CONSTRUCTION	18.07.2025	

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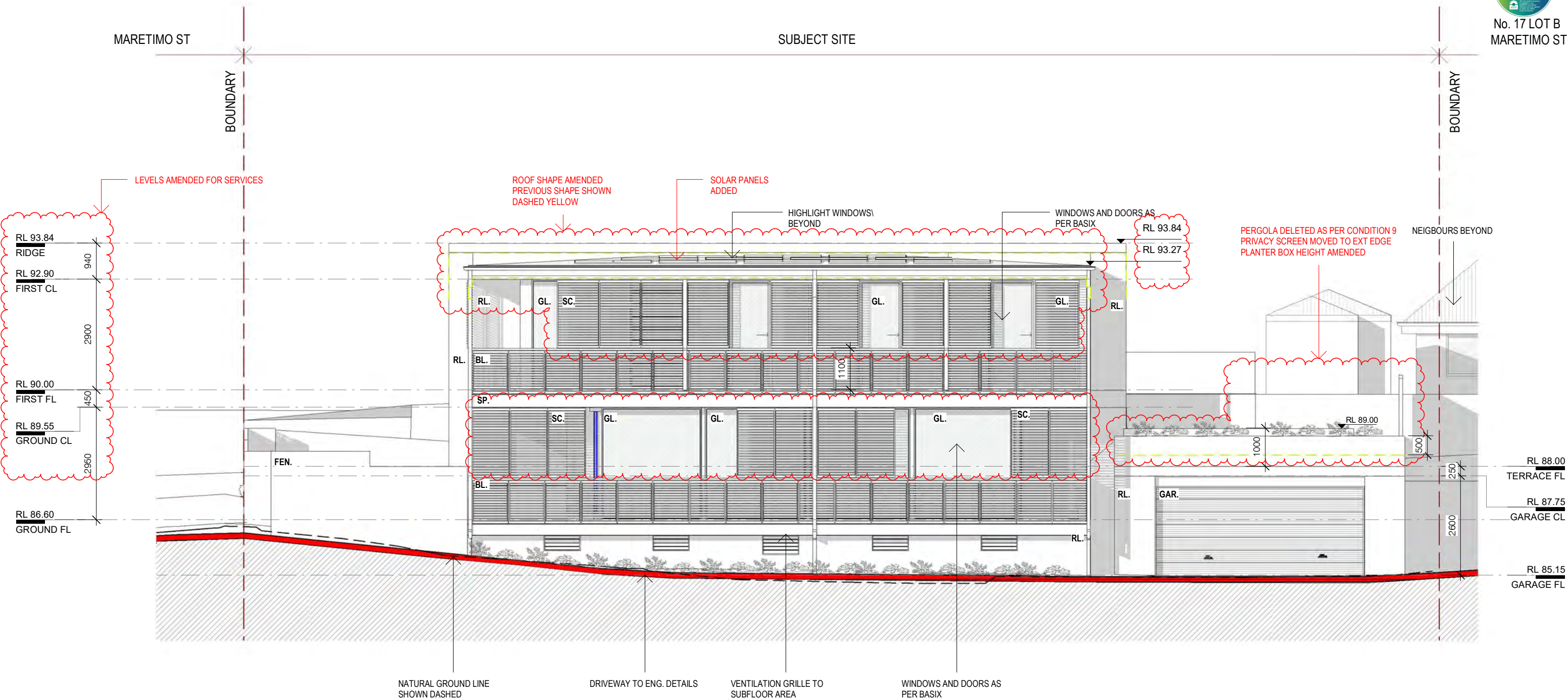
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S4.55 MODIFICATION - NOT FOR CONSTRUCTION

CLIENT	SCALE	@ A3	DRAWING TITLE
PAGLIARO	1 : 100		SECTIONS 02
ADDRESS	DRAWN BY.	DESIGNED BY.	TRUE NORTH
17 MARETIMO ST BALGOWLAH, NSW 2093 LOT 6 IN DP 18433	AB	RU	
	PROJECT NO.	REV	DATE
	17.14	C	18.07.2025
			DRAWING NO.
			DA402



No. 17 LOT B
MARETIMO ST



1 NORTH ELEVATION
1 : 100



REVISION	DESCRIPTION	DATE	LEGEND & NOTES
A	FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION	23.03.2021	MATERIALS LEGEND (REFER TO DA901)
B	ADDITIONAL INFORMATION - NOT FOR CONSTRUCTION	29.06.2021	
C	S4.55 MODIFICATION - NOT FOR CONSTRUCTION	18.07.2025	

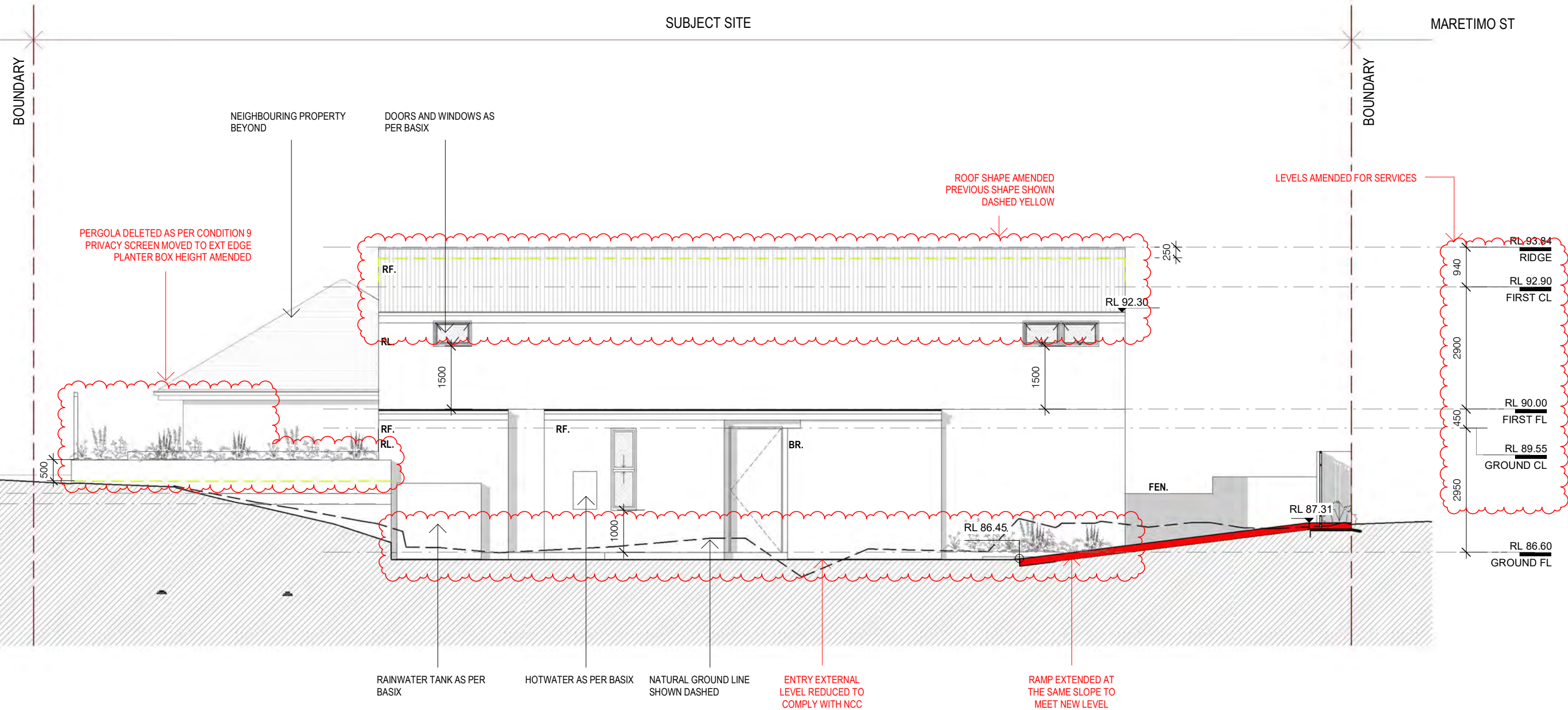
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RL - RENDERED LIGHT CL - CLADDING BL - BALUSTRADES SP - STEEL PROFILE RF - ROOF GL - GLASS	FR - FRAME SC - SCREENS FEN - FENCE DE - DECKING DR - DRIVEWAY GAR - GARAGE DOOR
-----------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------

S4.55 MODIFICATION - NOT FOR CONSTRUCTION

CLIENT	SCALE	@ A3	DRAWING TITLE
PAGLIARO	1 : 100		NORTH ELEVATION
ADDRESS	DRAWN BY.	DESIGNED BY.	TRUE NORTH
17 MARETIMO ST BALGOWLAH, NSW 2093 LOT 6 IN DP 18433	AB	RU	
DATE	PROJECT NO.	REV	DRAWING NO.
18.07.2025	17.14	C	DA501



REVISION	DESCRIPTION	DATE	LEGEND & NOTES
A	FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION	23.03.2021	<u>MATERIALS LEGEND</u>
B	ADDITIONAL INFORMATION - NOT FOR CONSTRUCTION	29.06.2021	(REFER TO DA901)
C	S4.55 MODIFICATION - NOT FOR CONSTRUCTION	18.07.2025	

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LEGEND & NOTES	
RL - RENDERED LIGHT	FR - FRAME
CL - CLADDING	SC - SCREENS
BL - BALUSTRADES	FEN - FENCE
SP - STEEL PROFILE	DE - DECKING
RF - ROOF	DR - DRIVEWAY
GL - GLASS	GAR - GARAGE DOOR

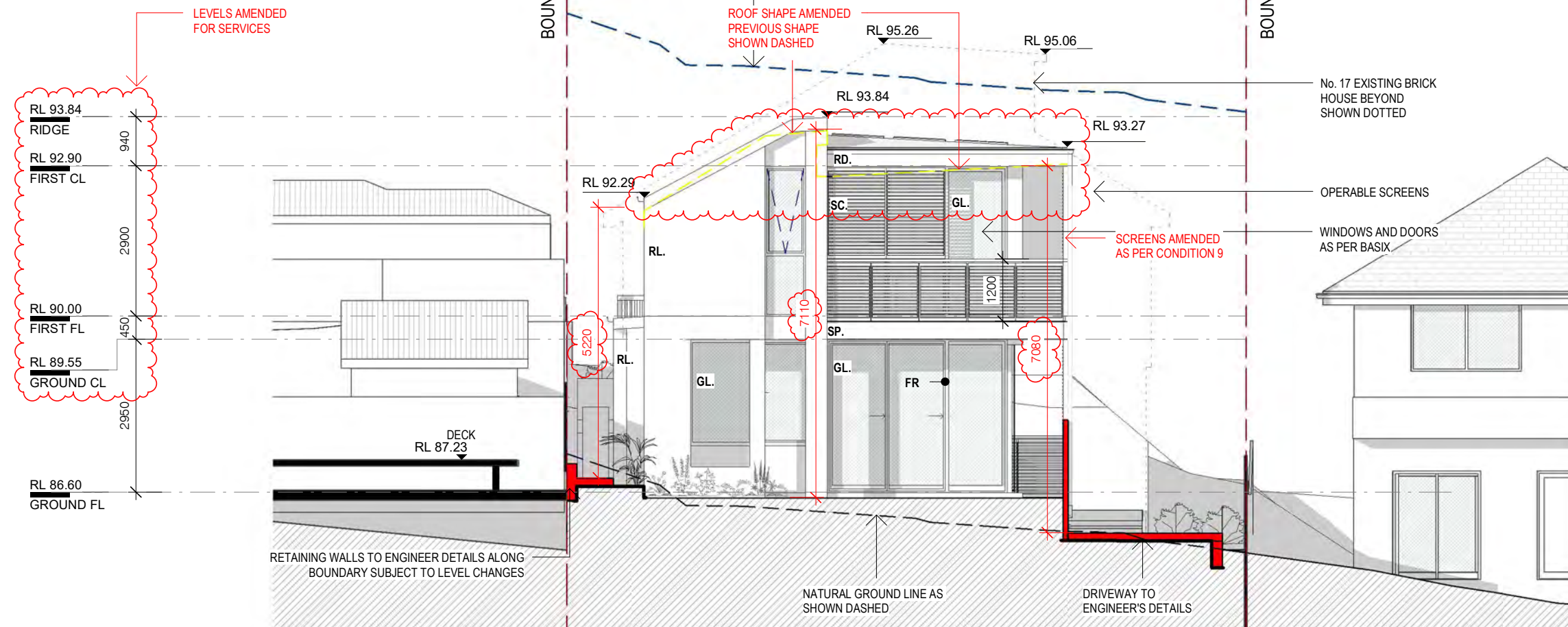
S4.55 MODIFICATION - NOT FOR CONSTRUCTION

CLIENT	SCALE	@ A3	DRAWING TITLE
PAGLIARO	1 : 100		SOUTH ELEVATION
ADDRESS	DRAWN BY.	DESIGNED BY.	TRUE NORTH
17 MARETIMO ST BALGOWLAH, NSW 2093 LOT 6 IN DP 18433	AB	RU	
DATE	PROJECT NO.	REV	DRAWING NO.
18.07.2025	17.14	C	DA502

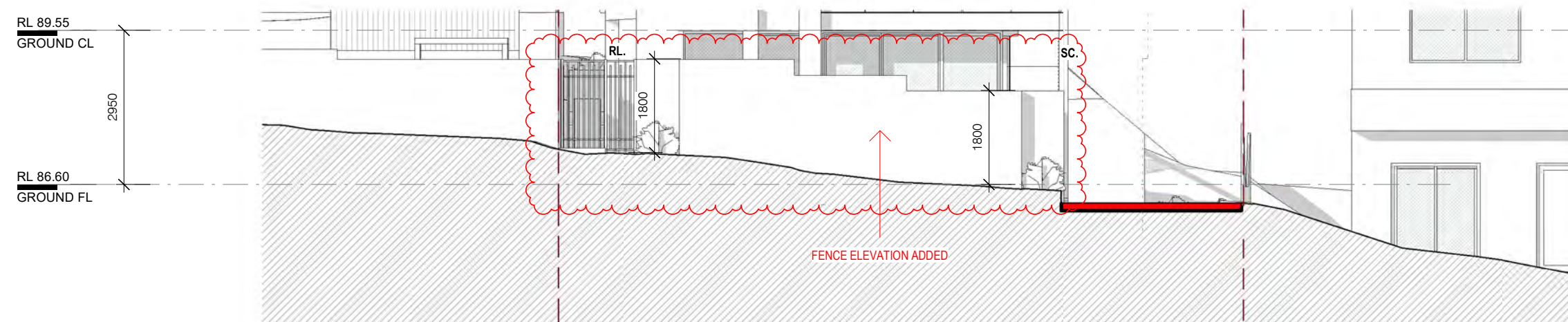
No. 2 - ETHEL ST

SUBJECT SITE

No. 19 - MARETIMO ST



1 EAST ELEVATION
1 : 100



2 EAST ELEVATION - FENCE
1 : 100

S4.55 MODIFICATION - NOT FOR CONSTRUCTION

REVISION	DESCRIPTION	DATE
A	FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION	23.03.2021
B	ADDITIONAL INFORMATION - NOT FOR CONSTRUCTION	29.06.2021
C	ADDITIONAL INFORMATION - NOT FOR CONSTRUCTION	11.08.2021
D	S4.55 MODIFICATION - NOT FOR CONSTRUCTION	18.07.2025

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LEGEND & NOTES

MATERIALS LEGEND
(REFER TO DA901)

RL - RENDERED LIGHT
CL - CLADDING
BL - BALUSTRADES
SP - STEEL PROFILE
RF - ROOF
GL - GLASS

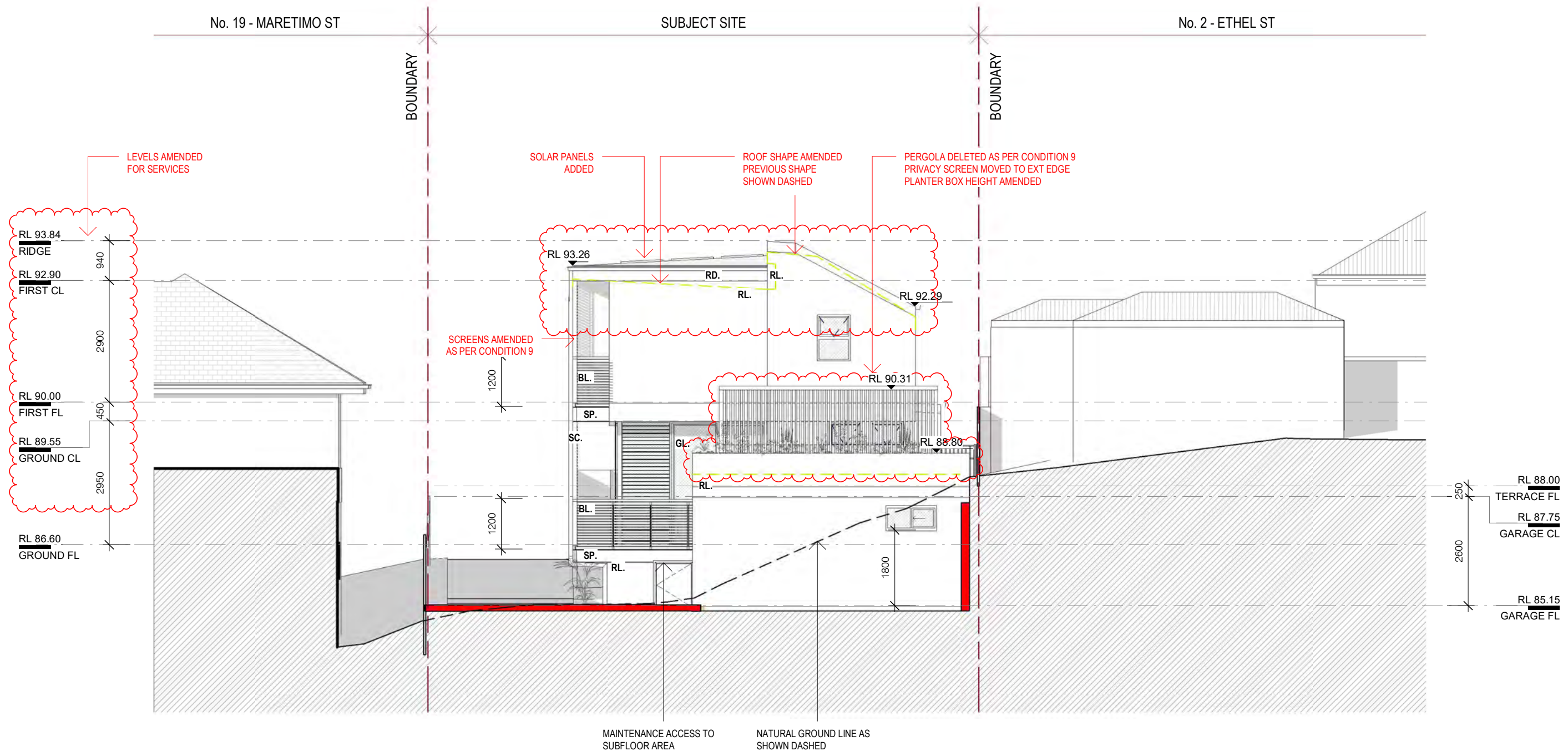
FR - FRAME
SC - SCREENS
FEN - FENCE
DE - DECKING
DR - DRIVEWAY
GAR - GARAGE DOOR

CLIENT
PAGLIARO

SCALE @ A3 DRAWING TITLE
1 : 100 EAST ELEVATION

ADDRESS
**17 MARETIMO ST
BALGOWLAH, NSW 2093
LOT 6 IN DP 18433**

DRAWN BY. DESIGNED BY. TRUE NORTH DATE
AB RU 18.07.2025
PROJECT NO. REV DRAWING NO.
17.14 D DA503



REVISION	DESCRIPTION	DATE	LEGEND & NOTES
A	FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION	23.03.2021	<u>MATERIALS LEGEND</u>
B	ADDITIONAL INFORMATION - NOT FOR CONSTRUCTION	29.06.2021	<u>(REFER TO DA901)</u>
C	S4.55 MODIFICATION - NOT FOR CONSTRUCTION	18.07.2025	

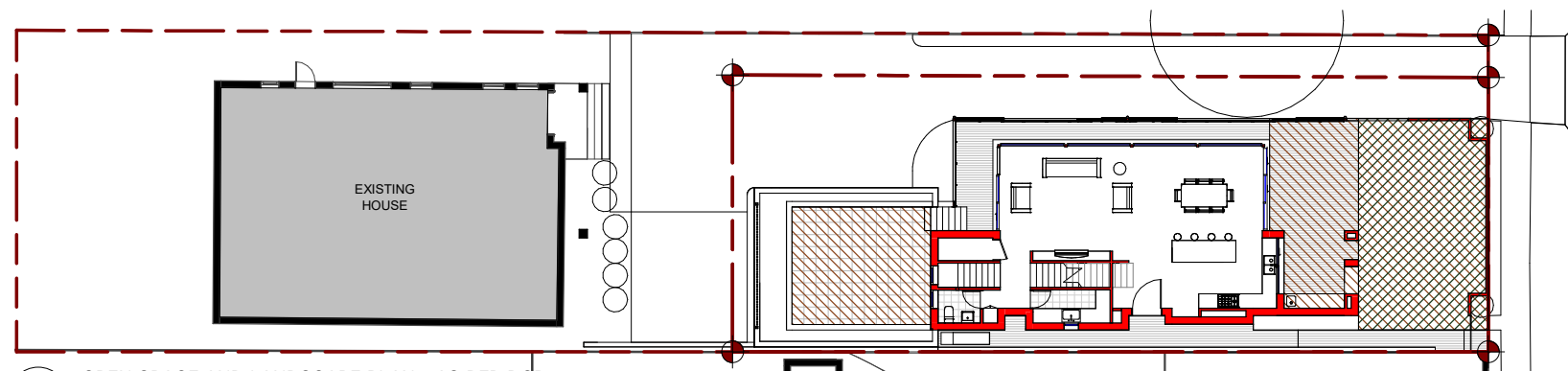
GENERAL NOTES: ALL DIMENSIONS TO BE VERIFIED BY BUILDER PRIOR TO COMMENCEMENT OF WORKS /// BOUNDARY DIMENSIONS & ALL LEVELS SUBJECT TO CONFIRMATION BY BUILDER. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE FROM PLANS /// ALL WORKS TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS /// ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA /// ALL DRAWINGS ARE DESIGN INTENT ONLY AND NOT FOR CONSTRUCTION.

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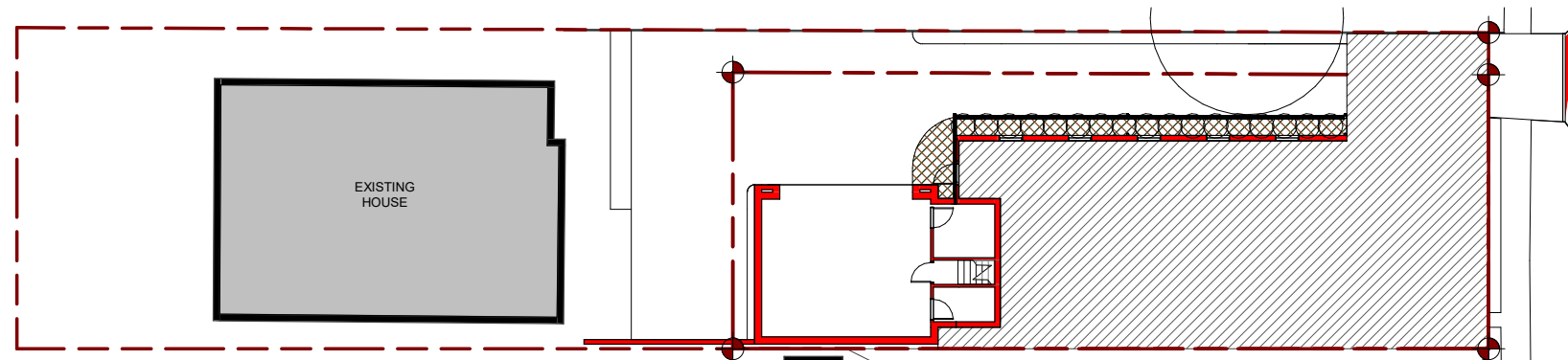
LEGEND & NOTES	LEGEND & NOTES
RL - RENDERED LIGHT	FR - FRAME
CL - CLADDING	SC - SCREENS
BL - BALUSTRADES	FEN - FENCE
SP - STEEL PROFILE	DE - DECKING
RF - ROOF	DR - DRIVEWAY
GL - GLASS	GAR - GARAGE DOOR

S4.55 MODIFICATION - NOT FOR CONSTRUCTION

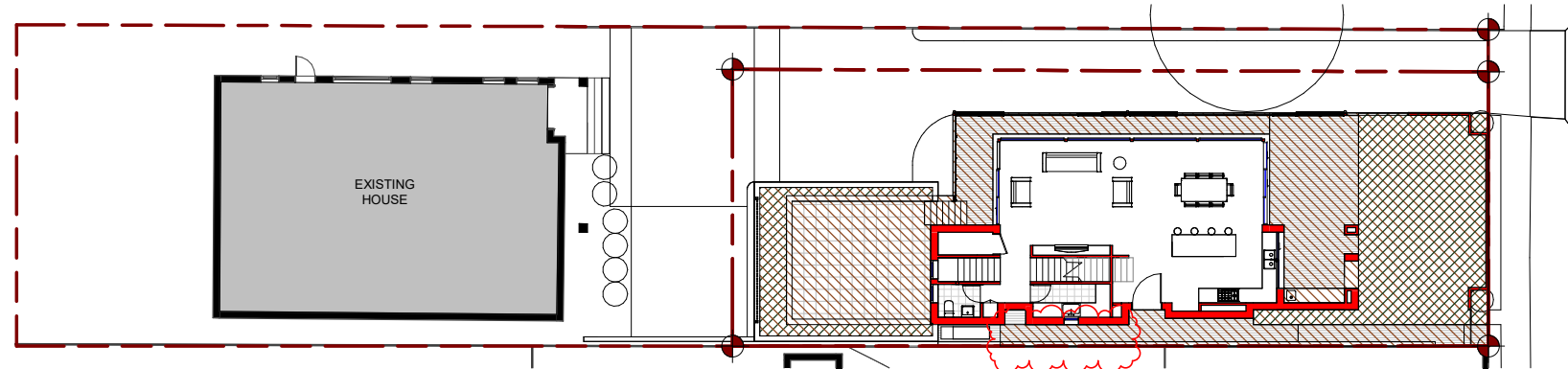
CLIENT	SCALE	@ A3	DRAWING TITLE	DRAWN BY.	DESIGNED BY.	TRUE NORTH	DATE
PAGLIARO	1 : 100		WEST ELEVATION	AB	RU		18.07.2025
ADDRESS	PROJECT NO.	REV					
17 MARETIMO ST BALGOWLAH, NSW 2093 LOT 6 IN DP 18433	17.14	C					DA504



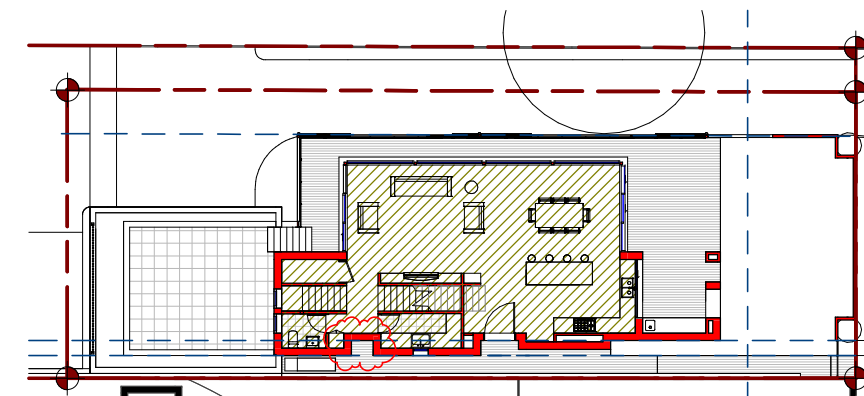
1 OPEN SPACE AND LANDSCAPE PLAN - AS PER DCP
1 : 300



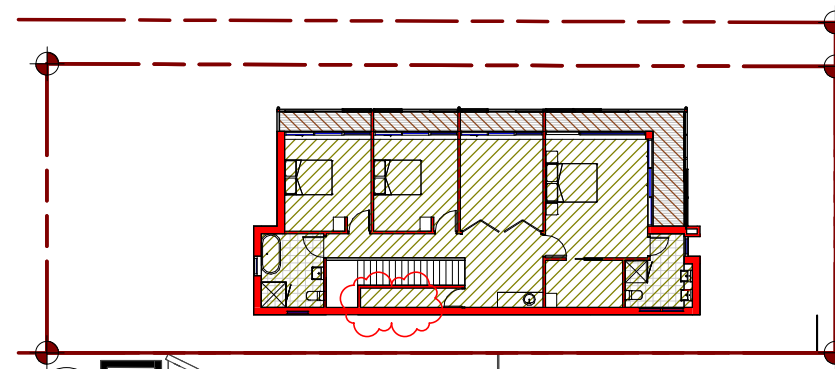
2 OPEN SPACE AND LANDSCAPE PLAN - INCLUDING ALL AREAS (GARAGE FLOOR)
1 : 300



3 OPEN SPACE AND LANDSCAPE PLAN - INCLUDING ALL AREAS (GROUND FLOOR)
1 : 300



4 GROUND FLOOR PLAN - GFA
1 : 300



5 FIRST FLOOR PLAN - GFA
1 : 300

FLOOR SPACE RATIO ANALYSIS

SITE AREA	356.8 SQM
COUNCIL REQUIREMENTS	
ALLOWABLE FSR	0.5 : 1
ALLOWABLE GROSS FLOOR AREA	178.4 SQM
PROPOSED AREA	
GROUND FLOOR	84.9 SQM
FIRST FLOOR	93.5 SQM
TOTAL GROSS FLOOR AREA	178.4 SQM
TOTAL FSR	0.5 : 1

OPEN SPACE ANALYSIS

(AS PER DCP)	
SITE AREA	356.8 SQM
COUNCIL REQUIREMENTS	
MINIMUM TOTAL OPEN SPACE	(55% OF SITE) 196.2 SQM
. CLASSIFIED AS AREA OS3 . MINIMUM DIMENSION OF 3 METRES . MINIMUM UNBROKEN AREA OF 12SQM	
PROPOSED AREA	
ON GROUND OPEN SPACE	73.4 SQM
ABOVE GROUND OPEN SPACE	27.9 SQM
TOTAL OPEN SPACE	(28.3% OF SITE) 101.3 SQM

LANDSCAPED AREA ANALYSIS

(AS PER DCP)	
REQUIRED OPEN SPACE AREA	196.2 SQM
COUNCIL REQUIREMENTS	
MIN. LANDSCAPED AREA	68.67 SQM (35% OF TOTAL OPEN SPACE)
PROPOSED AREA	
TOTAL LANDSCAPED AREA	(24% OF TOS) 47 SQM

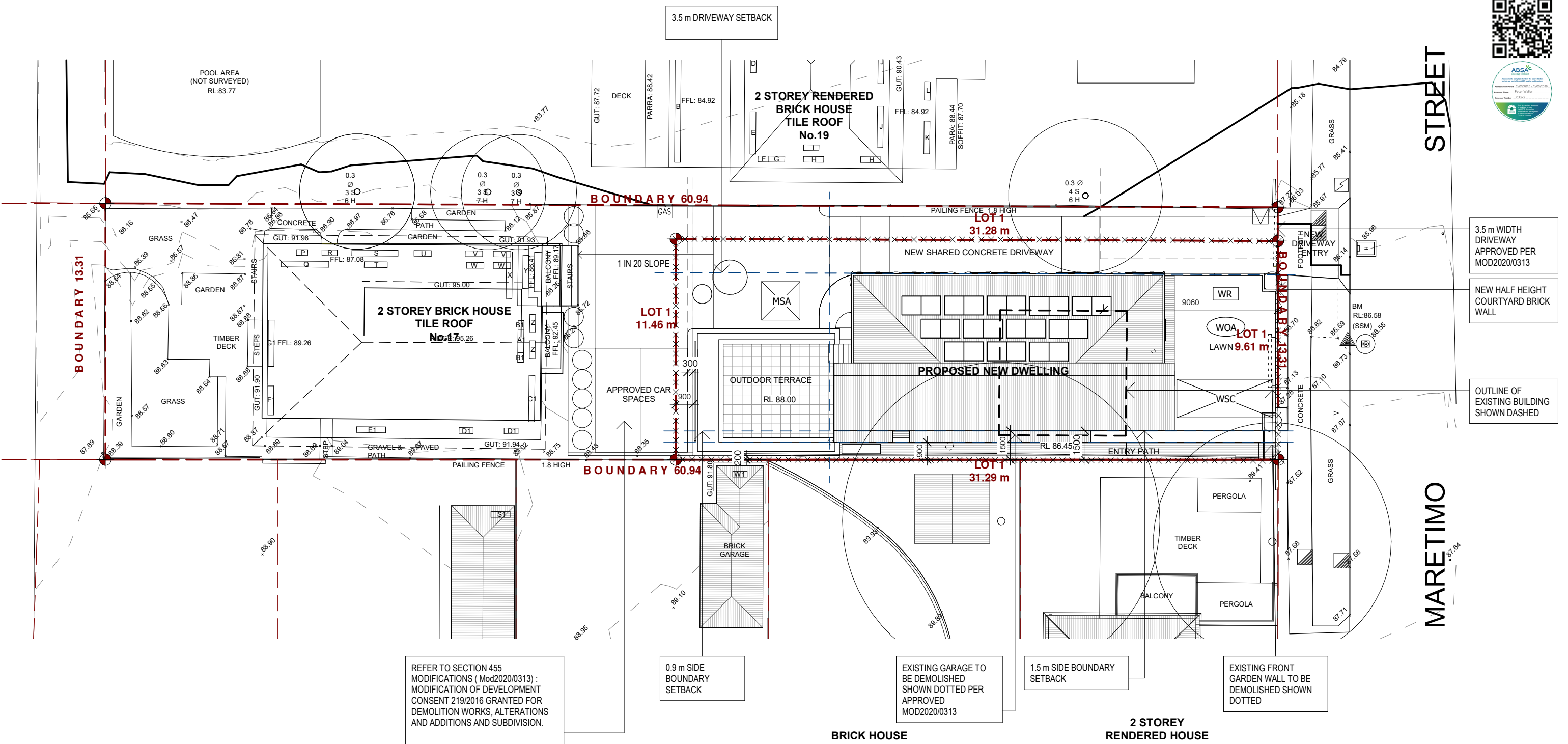
TOTAL OPEN SPACE ANALYSIS

(INCLUDING ALL AREAS)	
SITE AREA	356.8 SQM
COUNCIL REQUIREMENTS	
MIN. OPEN SPACE AREA	(55% OF SITE) 196.2 SQM
PROPOSED AREA	
ON GROUND OPEN SPACE (incl GARAGE)	112.8 SQM
ABOVE GROUND OPEN SPACE	79.4 SQM
TOTAL OPEN SPACE	(53.8% OF SITE) 192.2 SQM

LANDSCAPED AREA ANALYSIS

(INCLUDING ALL AREAS)	
REQUIRED TOTAL OPEN SPACE AREA	196.2 SQM
COUNCIL REQUIREMENTS	
MIN. LANDSCAPED AREA	68.67 SQM (35% OF TOTAL OPEN SPACE)
PROPOSED AREA	
TOTAL LANDSCAPED AREA	(40% OF TOS) 78.3 SQM

S4.55 MODIFICATION - NOT FOR CONSTRUCTION



1 EROSION AND SEDIMENT CONTROL PLAN
1 : 200

LEGEND

- SEDIMENT CONTROL FENCE
- BUILDING WASTE & RECYCLING STORAGE AREA
- MATERIALS STORAGE AREA
- VEHICLE ENTRY & EXIT
- EXISTING TREE TO BE RETAINED
- EXISTING TREE TO BE REMOVED
- PROPOSED NEW TREE

SEDIMENT CONTROL NOTES

- ALL SEDIMENT DAMS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60 % FULL OF SOIL & DEBRIS
- SAND BAGS SHALL BE WELL PACKED AGAINST ADJOINING BAGS
- FILTER SHALL BE CONSTRUCTED BY REMOVING & WRAPPING GRATE IN FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT) WITH MINIMUM 75mm FREE FABRIC OUTSIDE ALL EDGES OF GRATE WHEN IT IS REINSTALLED.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE

SEDIMENT DAM

SEDIMENT FENCE

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.

2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.

3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE X 300mm DEEP TRENCH.

4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60 % FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.

5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.

7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 2.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER

URSINO ARCHITECTS

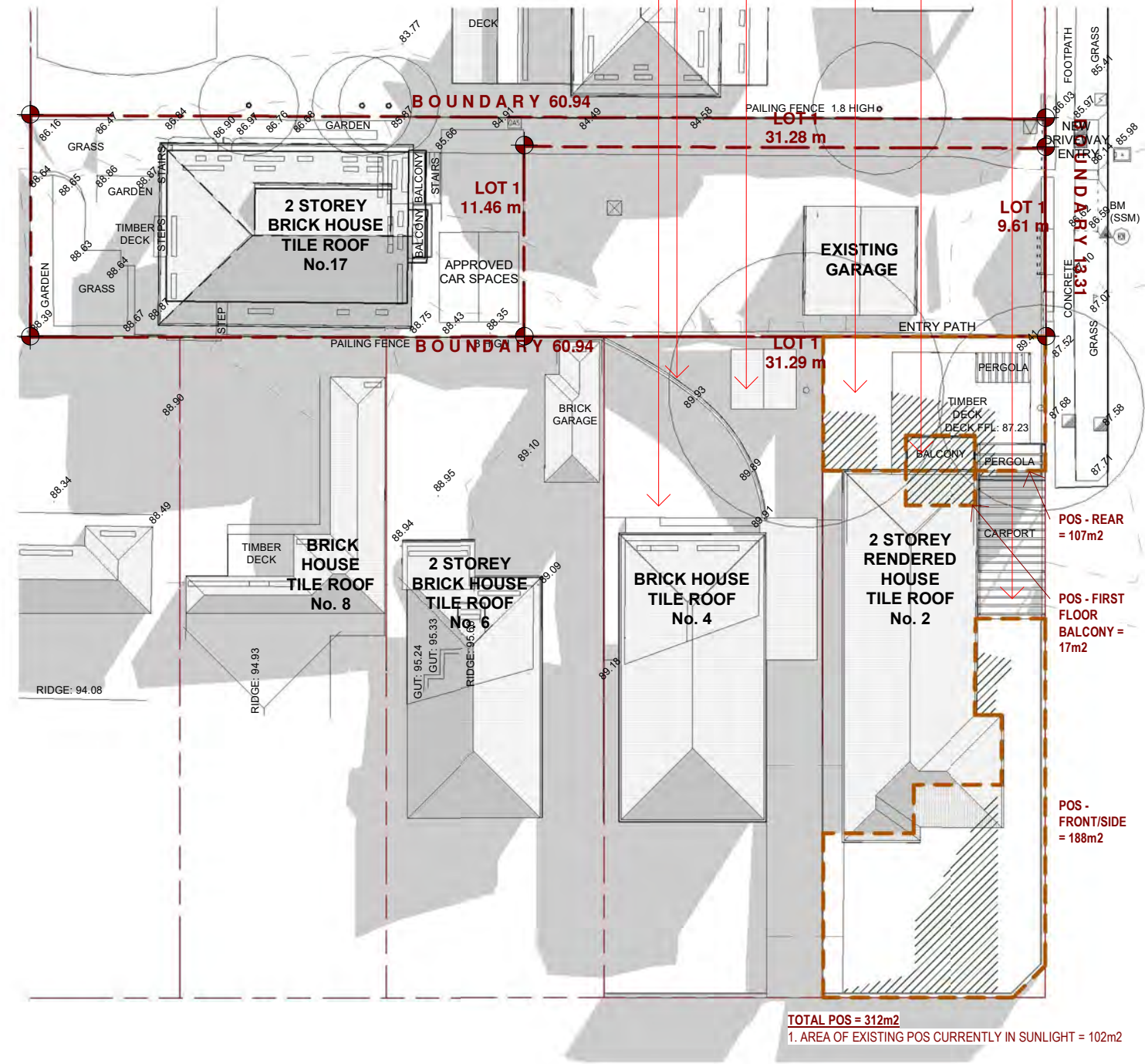
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(02) 8970 2421 / PO Box 981 Five Dock NSW 2046
www.ursino.com.au

REGISTERED ARCHITECT: Robert Ursino NSW ARB No: 10565

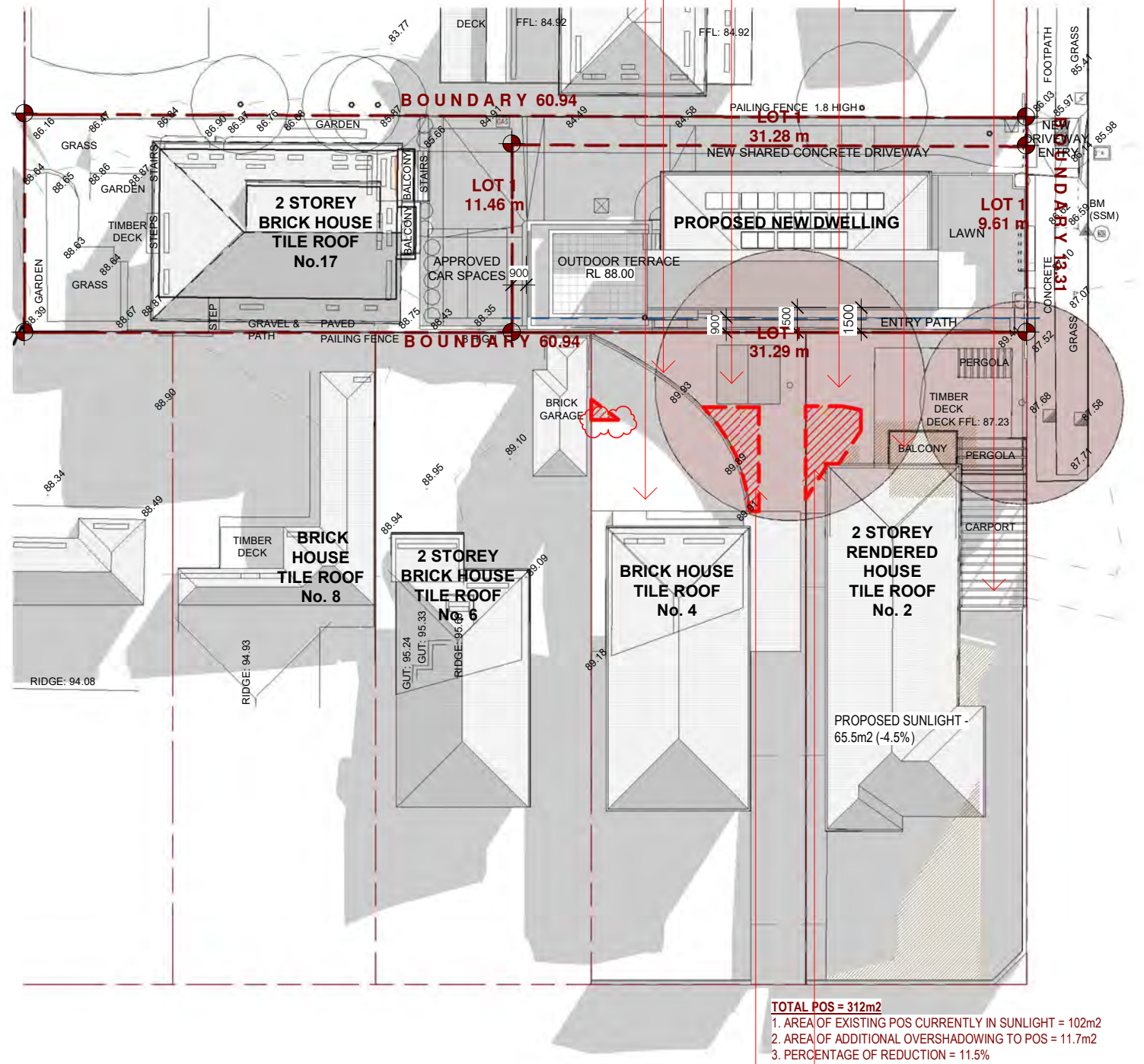
REVISION	DESCRIPTION	DATE	LEGEND & NOTES	CLIENT	SCALE	@ A3	DRAWING TITLE	DRAWN BY.	DESIGNED BY.	TRUE NORTH	DATE
A	FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION	23.03.2021		PAGLIARO	1 : 200		EROSION AND SEDIMENT CONTROL PLAN	AB	RU		18.07.2025
B	S4.55 MODIFICATION - NOT FOR CONSTRUCTION	18.07.2025						PROJECT NO.	REV		DRAWING NO.
								17.14	B		DA702

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1 SHADOW DIAGRAM 21 JUNE 9 AM EXISTING
1 : 350



2 SHADOW DIAGRAM 21 JUNE 9 AM PROPOSED
1 : 350

S4.55 MODIFICATION - NOT FOR CONSTRUCTION

URSINO ARCHITECTS

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(02) 8970 2421 / PO Box 981 Five Dock NSW 2046
www.ursino.com.au

REGISTERED ARCHITECT: Robert Ursino NSW ARB No: 10565

REVISION	DESCRIPTION	DATE
A	FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION	23.03.2021
B	ADDITIONAL INFORMATION - NOT FOR CONSTRUCTION	29.06.2021
C	ADDITIONAL INFORMATION - NOT FOR CONSTRUCTION	11.08.2021
D	ADDITIONAL INFORMATION - NOT FOR CONSTRUCTION	27.09.2021
E	S4.55 MODIFICATION - NOT FOR CONSTRUCTION	18.07.2025

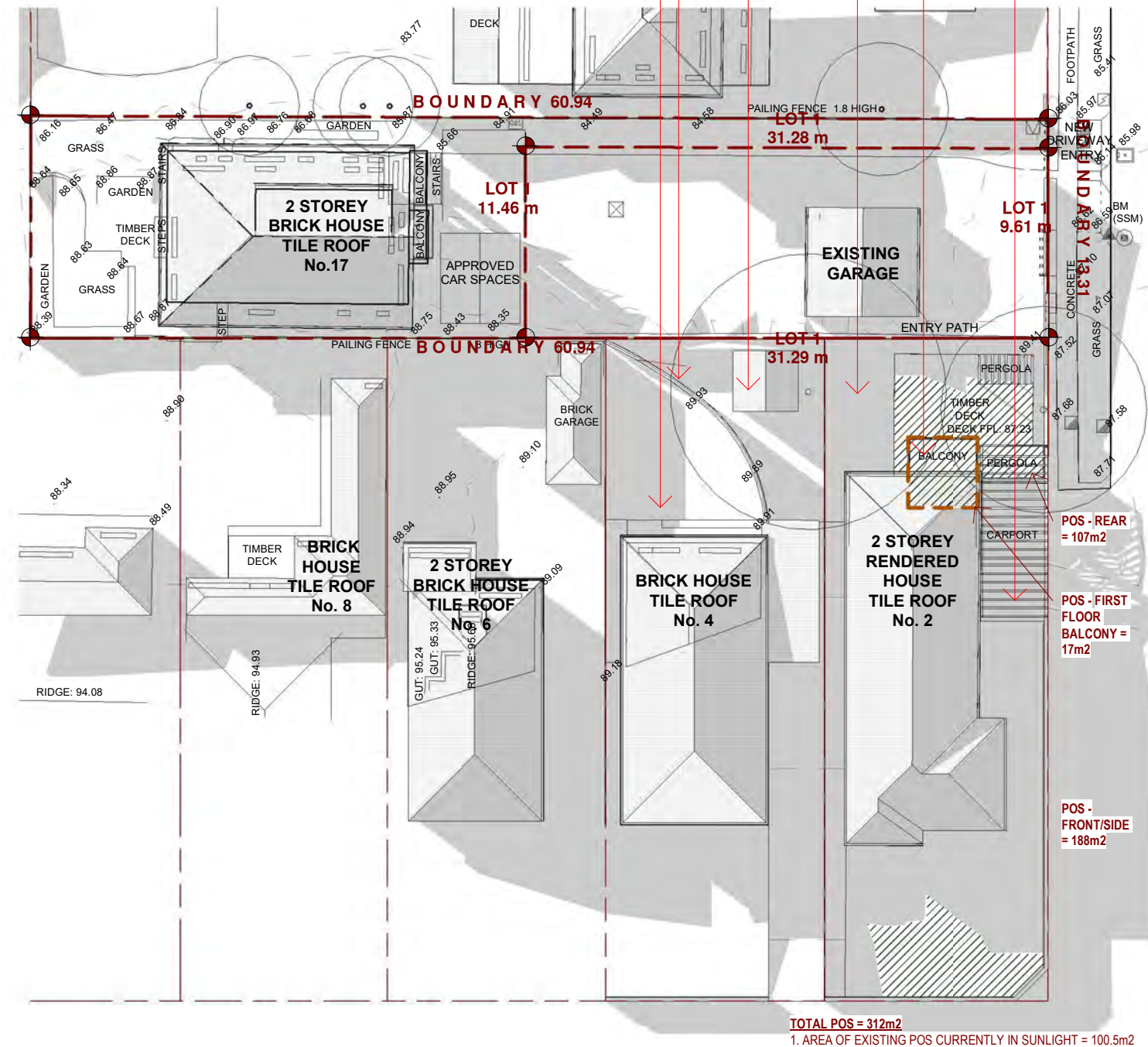
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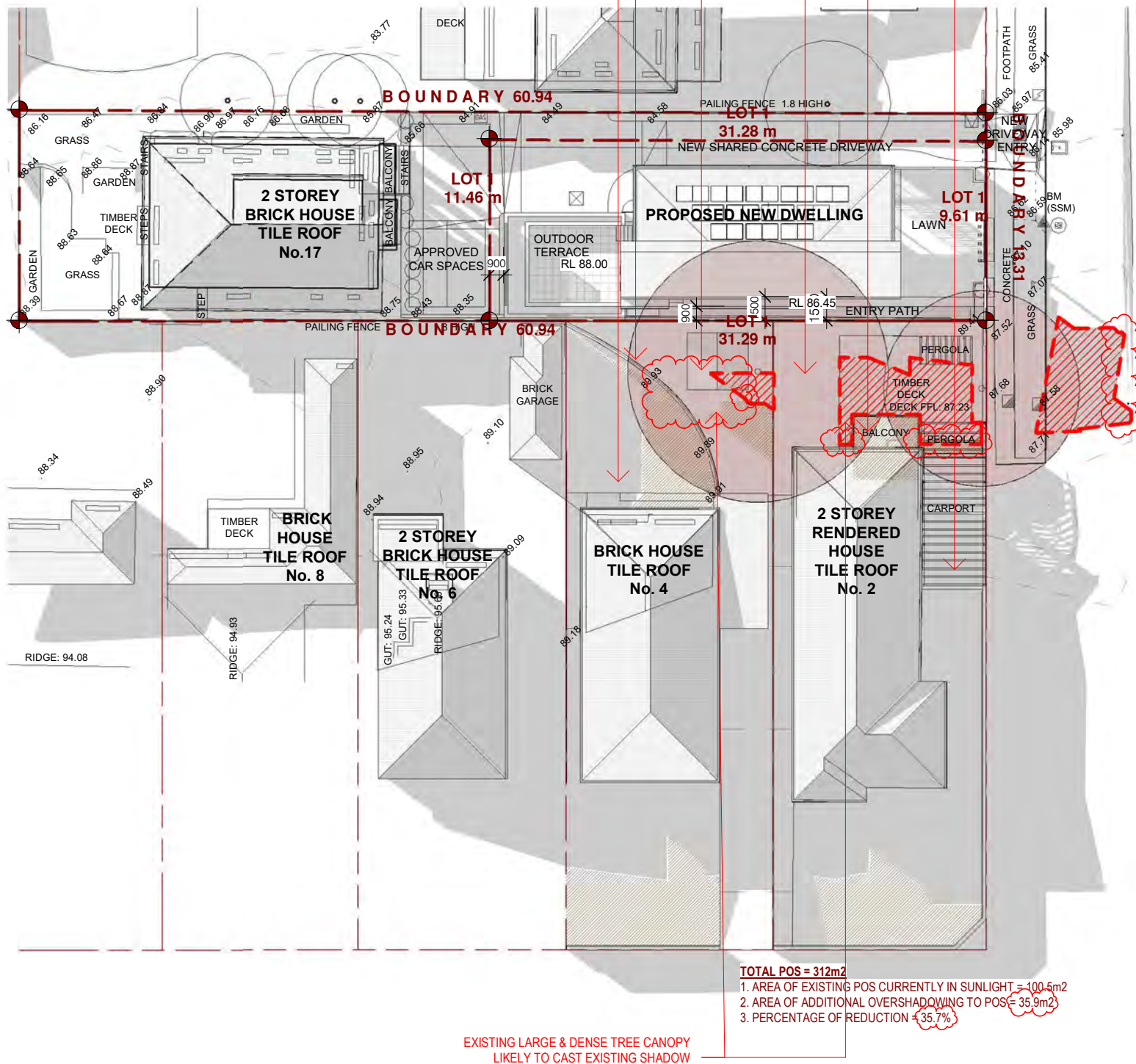
LEGEND & NOTES	
ADDITIONAL SHADOW CAST BY PROPOSED BUILDING	EXISTING SOLAR ACCESS
PROPOSED INCREASE IN SHADOW	PROPOSED SOLAR ACCESS
EXISTING SHADOWS	SHADOW CAST BY EXISTING TREE

CLIENT	PAGLIARO	SCALE	@ A3	DRAWING TITLE	SHADOW DIAGRAMS 21 JUNE 9 AM
ADDRESS	17 MARETIMO ST BALGOWLAH, NSW 2093 LOT 6 IN DP 18433	DRAWN BY.	DESIGNED BY.	TRUE NORTH	DATE
		AB	RU		18.07.2025
		PROJECT NO.	REV		DRAWING NO.
		17.14	E		DA703





1 SHADOW DIAGRAM 21 JUNE 3 PM EXISTING
1 : 350



2 SHADOW DIAGRAM 21 JUNE 3 PM PROPOSED
1 : 350

S4.55 MODIFICATION - NOT FOR CONSTRUCTION



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(02) 8970 2421 / PO Box 981 Five Dock NSW 2046
www.ursino.com.au







REGISTERED ARCHITECT: Robert Ursino NSW ARB No: 10565

REVISION	DESCRIPTION	DATE
A	FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION	23.03.2021
B	ADDITIONAL INFORMATION - NOT FOR CONSTRUCTION	29.06.2021
C	ADDITIONAL INFORMATION - NOT FOR CONSTRUCTION	11.08.2021
D	ADDITIONAL INFORMATION - NOT FOR CONSTRUCTION	27.09.2021
E	S4.55 MODIFICATION - NOT FOR CONSTRUCTION	18.07.2025

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LEGEND & NOTES

-  ADDITIONAL SHADOW CAST BY PROPOSED BUILDING
-  PROPOSED INCREASE IN SHADOW
-  EXISTING SHADOWS
-  EXISTING SOLAR ACCESS
-  PROPOSED SOLAR ACCESS
-  SHADOW CAST BY EXISTING TREE

CLIENT
PAGLIARO


ADDRESS
**17 MARETIMO ST
BALGOWLAH, NSW 2093
LOT 6 IN DP 18433**

SCALE @ A3
As indicated

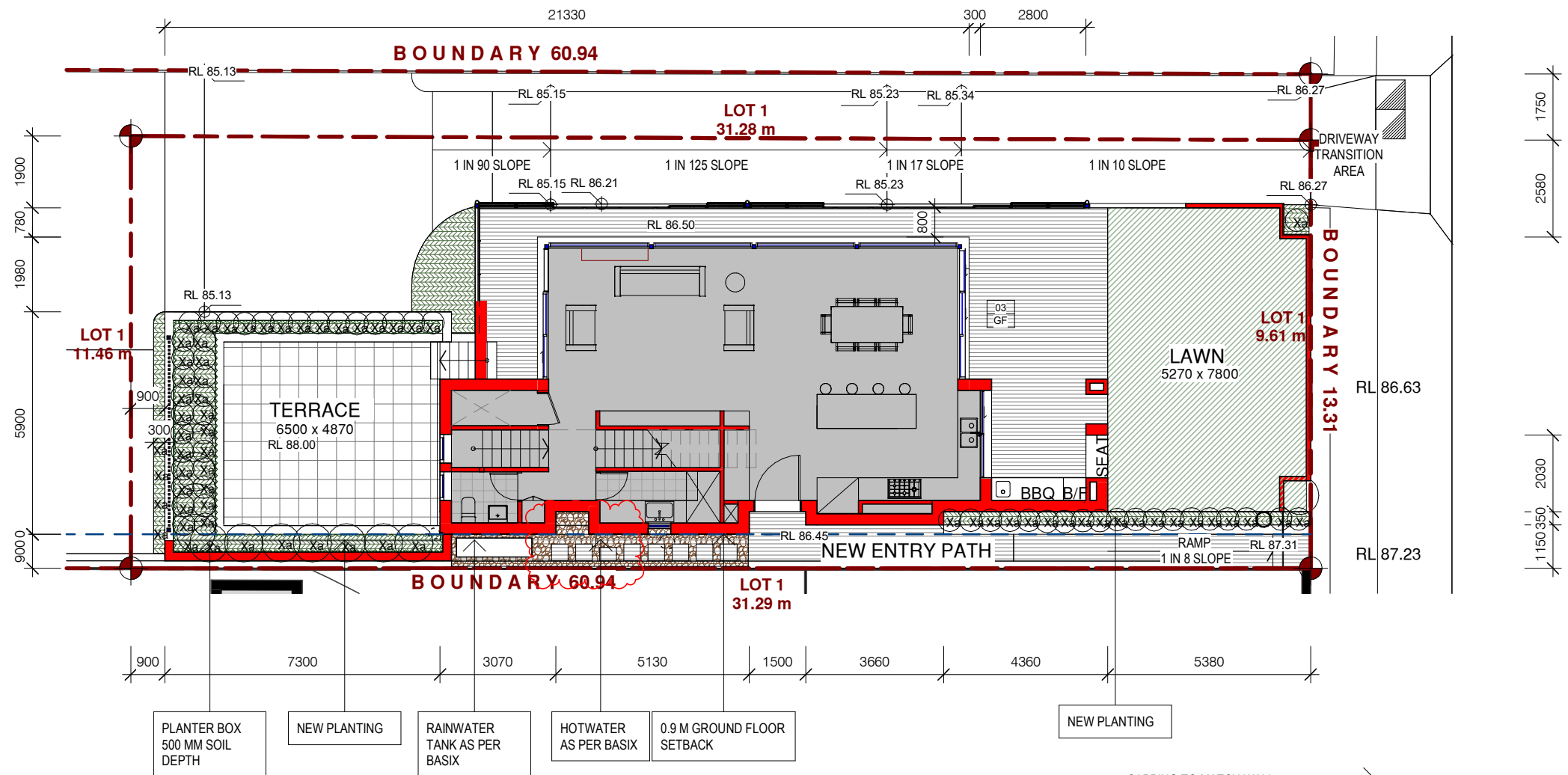
DRAWING TITLE
SHADOW DIAGRAM 21 JUNE 3 PM

DRAWN BY: **AB**
PROJECT NO. **17.14**

DESIGNED BY: **RU**
REV **E**

TRUE NORTH


DATE **18.07.2025**
DRAWING NO. **DA705**



1 GROUND FLOOR PLAN
1 : 150

PROPOSED PLANTS

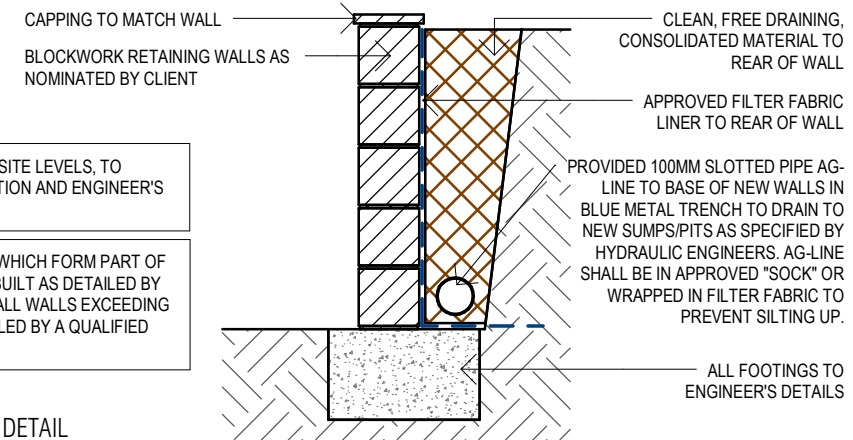
REF.	BOTANICAL NAME	COMMON NAME	MATURE H X S	POT SIZE	QTY
TREES					
SHRUBS					
PLANTS					
Xa	Philodendron "Xanadu"	Dwarf Philodendron	700mm x 700mm	140mm	71
LAWN	Stenotaphrum secundatum	Buffalo Grass			



NOTE: INSTALL WALL TO SUIT SITE LEVELS, TO MANUFACTURER'S SPECIFICATION AND ENGINEER'S DETAILS

NOTE: ALL RETAINING WALLS WHICH FORM PART OF DRAINAGE WORKS SHALL BE BUILT AS DETAILED BY THE HYDRAULIC ENGINEERS. ALL WALLS EXCEEDING 1M IN HEIGHT SHALL BE DETAILED BY A QUALIFIED ENGINEER.

RETAINING WALL DETAIL
1 : 25



Buffalo Grass



Philodendron 'Xanadu' (Xa)



Bamboo textilis gracilis - Bamboo Weavers (Bt)

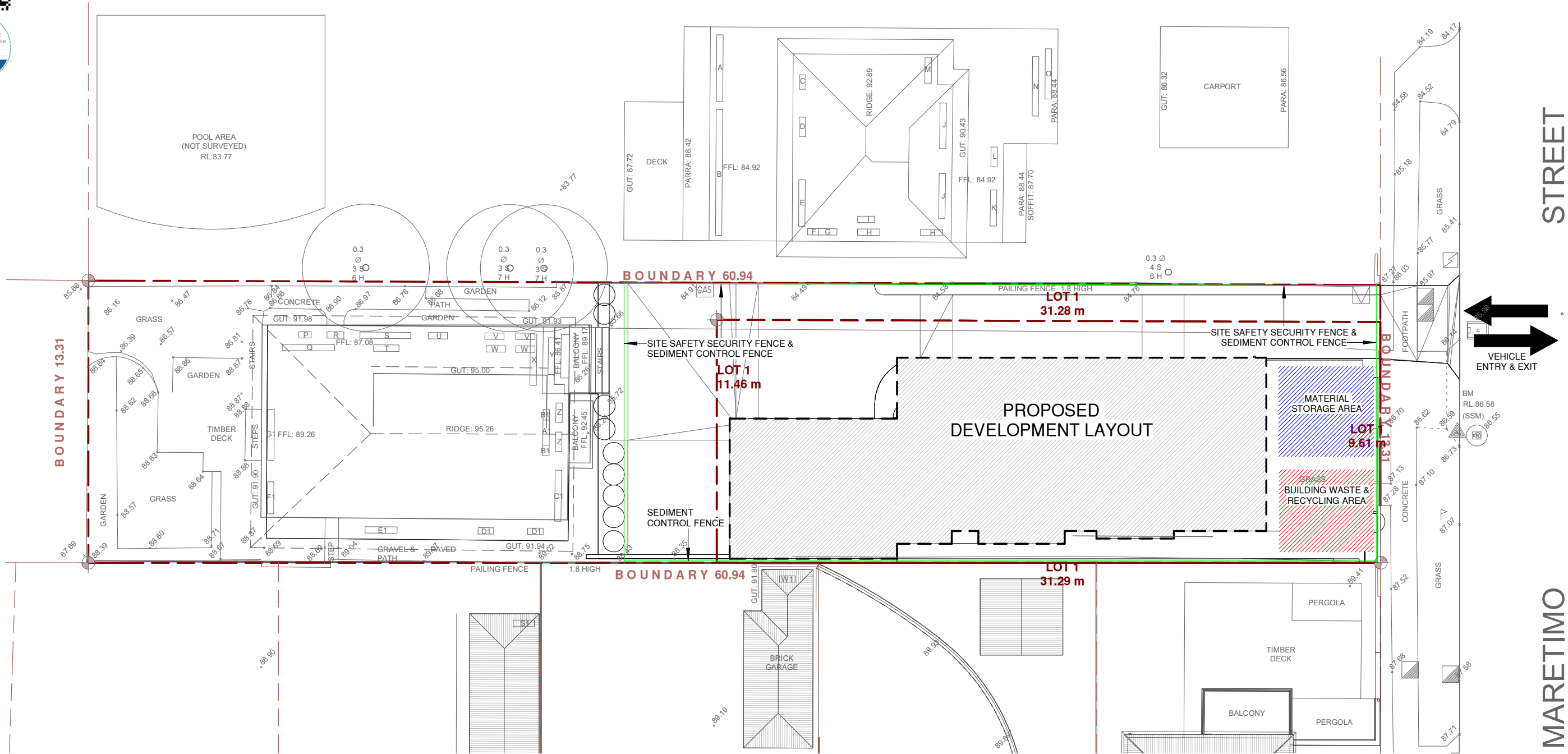
CONCEPT LANDSCAPE PLAN NOTES

- This plan should be read in conjunction with Architectural and Civil Engineering Plans
- All retaining walls to Engineer's Details

This plan is for DA Approval Only - Not for Construction

- All noxious weeds listed in Council's weed lists & located on the site shall be continually removed and suppressed.
- The design & location of new letter boxes shall be in accordance with Australia Post's Requirements of Delivery of Mail to Residential Premises.

S4.55 MODIFICATION - NOT FOR CONSTRUCTION



1 CONSTRUCTION MANAGEMENT PLAN

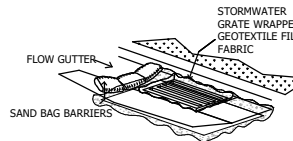
1 : 200

LEGEND

- SEDIMENT CONTROL FENCE
- BUILDING WASTE & RECYCLING STORAGE AREA
- MATERIALS STORAGE AREA
- VEHICLE ENTRY & EXIT
- EXISTING TREE TO BE RETAINED
- EXISTING TREE TO BE REMOVED
- PROPOSED NEW TREE

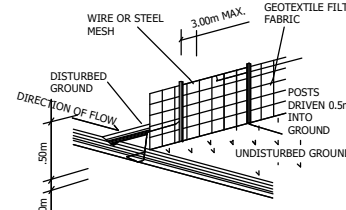
SEDIMENT CONTROL NOTES

- ALL SEDIMENT DAMS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60 % FULL OF SOIL & DEBRIS
- SAND BAGS SHALL BE WELL PACKED AGAINST ADJOINING BAGS
- FILTER SHALL BE CONSTRUCTED BY REMOVING & WRAPPING GRATE IN FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT) WITH MINIMUM 75mm FREE FABRIC OUTSIDE ALL EDGES OF GRATE WHEN IT IS REINSTALLED.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE

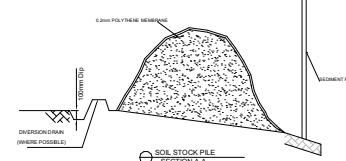


SEDIMENT DAM

- ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
- ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE X 300mm DEEP TRENCH.
- ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60 % FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
- SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.
- FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 2.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER



SEDIMENT FENCE



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ARCHITECTS

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www.ursino.com.au

REGISTERED ARCHITECT: Robert Ursino NSW ARB No: 10565

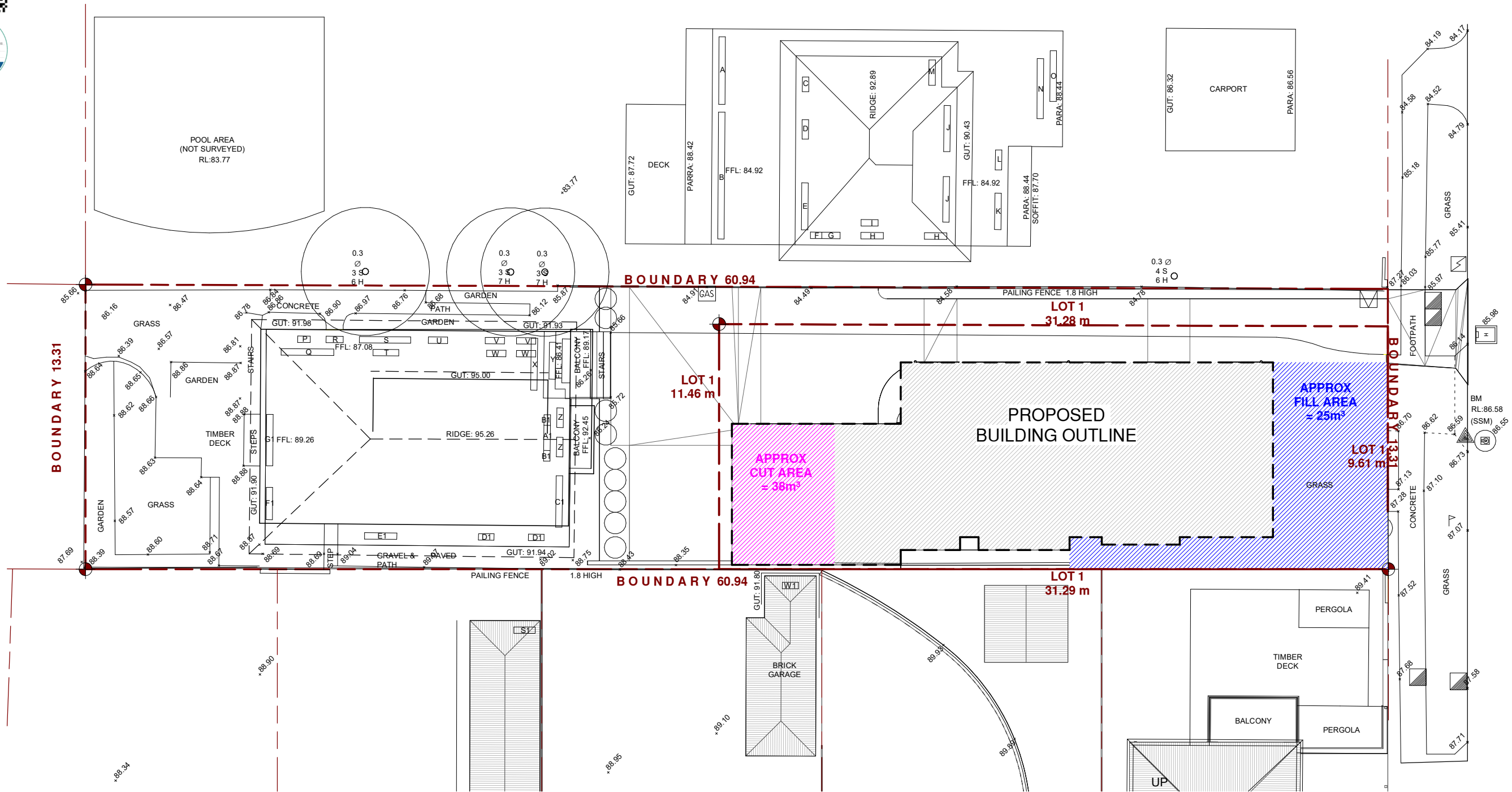
REVISION	DESCRIPTION	DATE	LEGEND & NOTES
A	FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION	23.03.2021	

GENERAL NOTES: ALL DIMENSIONS TO BE VERIFIED BY BUILDER PRIOR TO COMMENCEMENT OF WORKS /// BOUNDARY DIMENSIONS & ALL LEVELS SUBJECT TO CONFIRMATION BY BUILDER. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE FROM PLANS /// ALL WORKS TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS /// ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA /// ALL DRAWINGS ARE DESIGN INTENT ONLY AND NOT FOR CONSTRUCTION.

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CLIENT	SCALE	@ A3	DRAWING TITLE
PAGLIARO	1 : 200		CONSTRUCTION MANAGEMENT PLAN

ADDRESS	DRAWN BY.	DESIGNED BY.	TRUE NORTH	DATE
17 MARETIMO ST BALGOWLAH, NSW 2093 LOT 6 IN DP 18433	AB	RU		23.03.2021
	PROJECT NO.	REV		DRAWING NO.
	17.14	A		DA708



STREET

MARETIMO

1 CUT & FILL PLAN
1 : 200

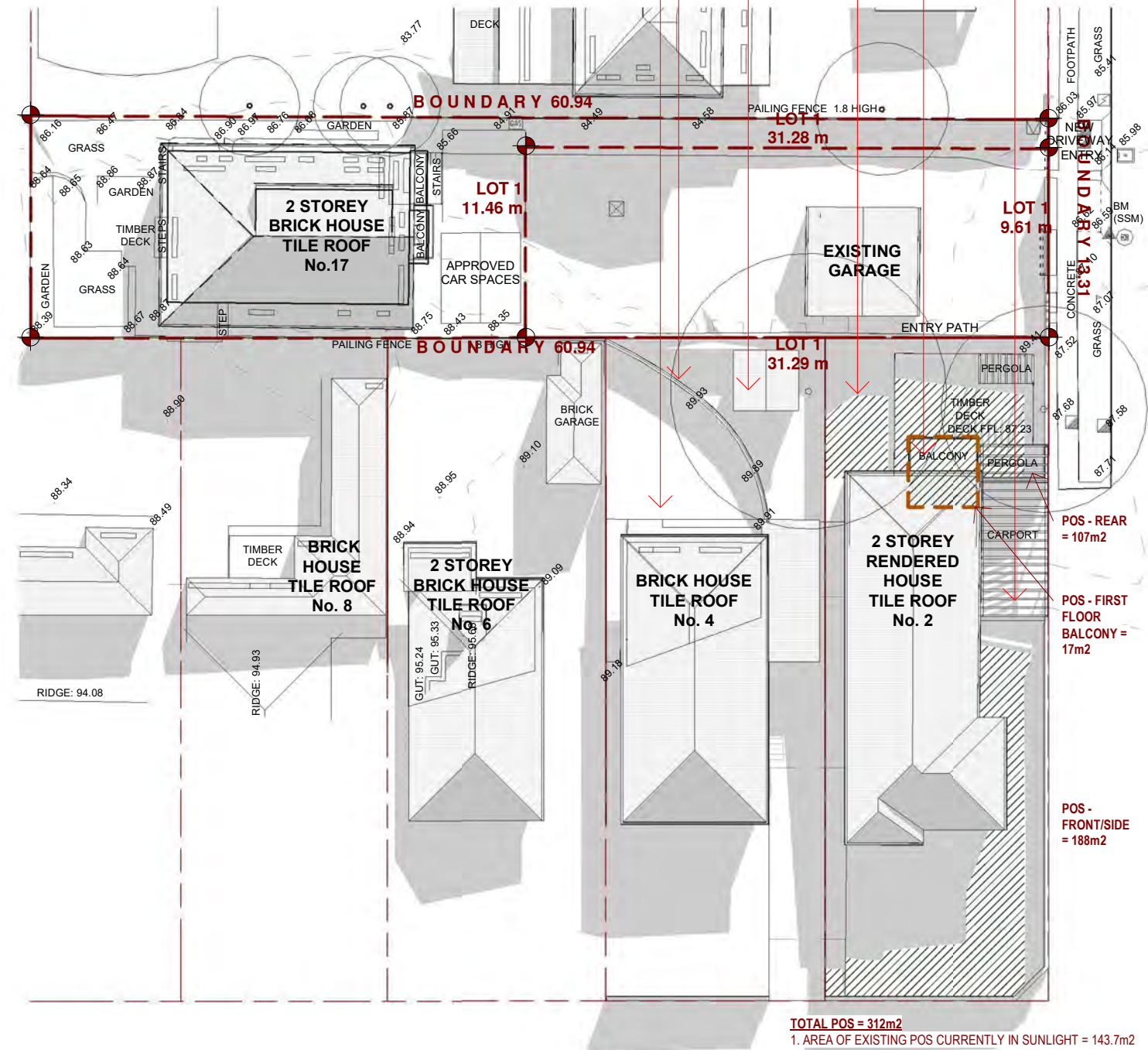


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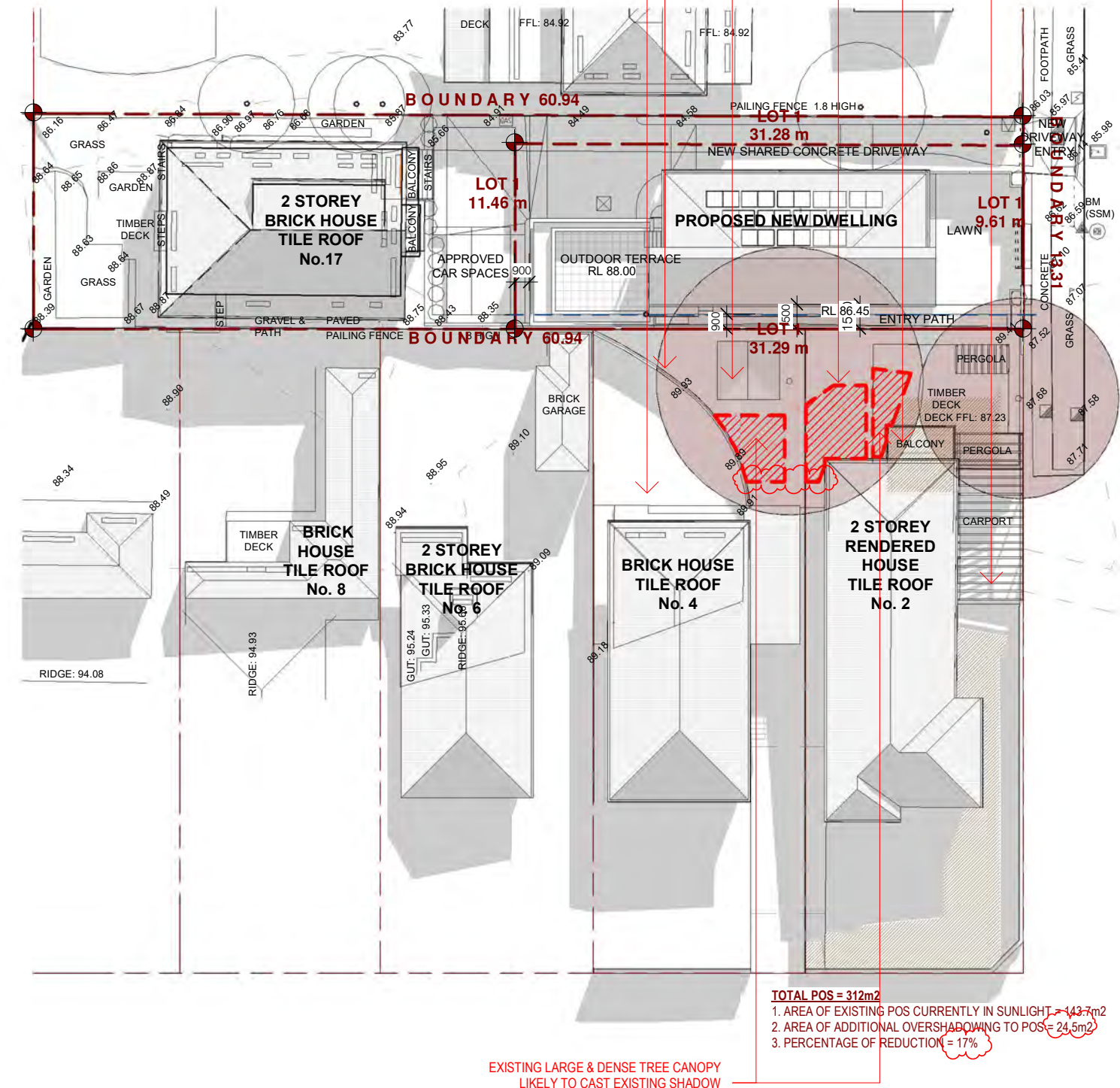
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www.ursino.com.au

REGISTERED ARCHITECT: Robert Ursino NSW ARB No: 10565

REVISION		DESCRIPTION	DATE	LEGEND & NOTES	CLIENT	SCALE	@ A3	DRAWING TITLE		
A		FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION		23.03.2021	PAGLIARO	1 : 200		CUT & FILL PLAN		
<div>GENERAL NOTES: ALL DIMENSIONS TO BE VERIFIED BY BUILDER PRIOR TO COMMENCEMENT OF WORKS /// BOUNDARY DIMENSIONS & ALL LEVELS SUBJECT TO CONFIRMATION BY BUILDER. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE FROM PLANS /// ALL WORKS TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS /// ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA /// ALL DRAWINGS ARE DESIGN INTENT ONLY AND NOT FOR CONSTRUCTION.</div> <div>COPYRIGHT: THIS DRAWING AND DESIGN IS SUBJECT TO COPYRIGHT AND SHALL NOT BE COPIED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION FROM URSINO ARCHITECTS.</div>					ADDRESS	DRAWN BY.		DESIGNED BY.	TRUE NORTH	DATE
					17 MARETIMO ST BALGOWLAH, NSW 2093 LOT 6 IN DP 18433	AB		RU		23.03.2021
						PROJECT NO.		REV		DRAWING NO.
						17.14		A		DA709



1 SHADOW DIAGRAM 21 JUNE 10 AM EXISTING
1 : 350



2 SHADOW DIAGRAM 21 JUNE 10 AM PROPOSED
1 : 350

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REGISTERED ARCHITECT: Robert Ursino NSW ARB No: 10565

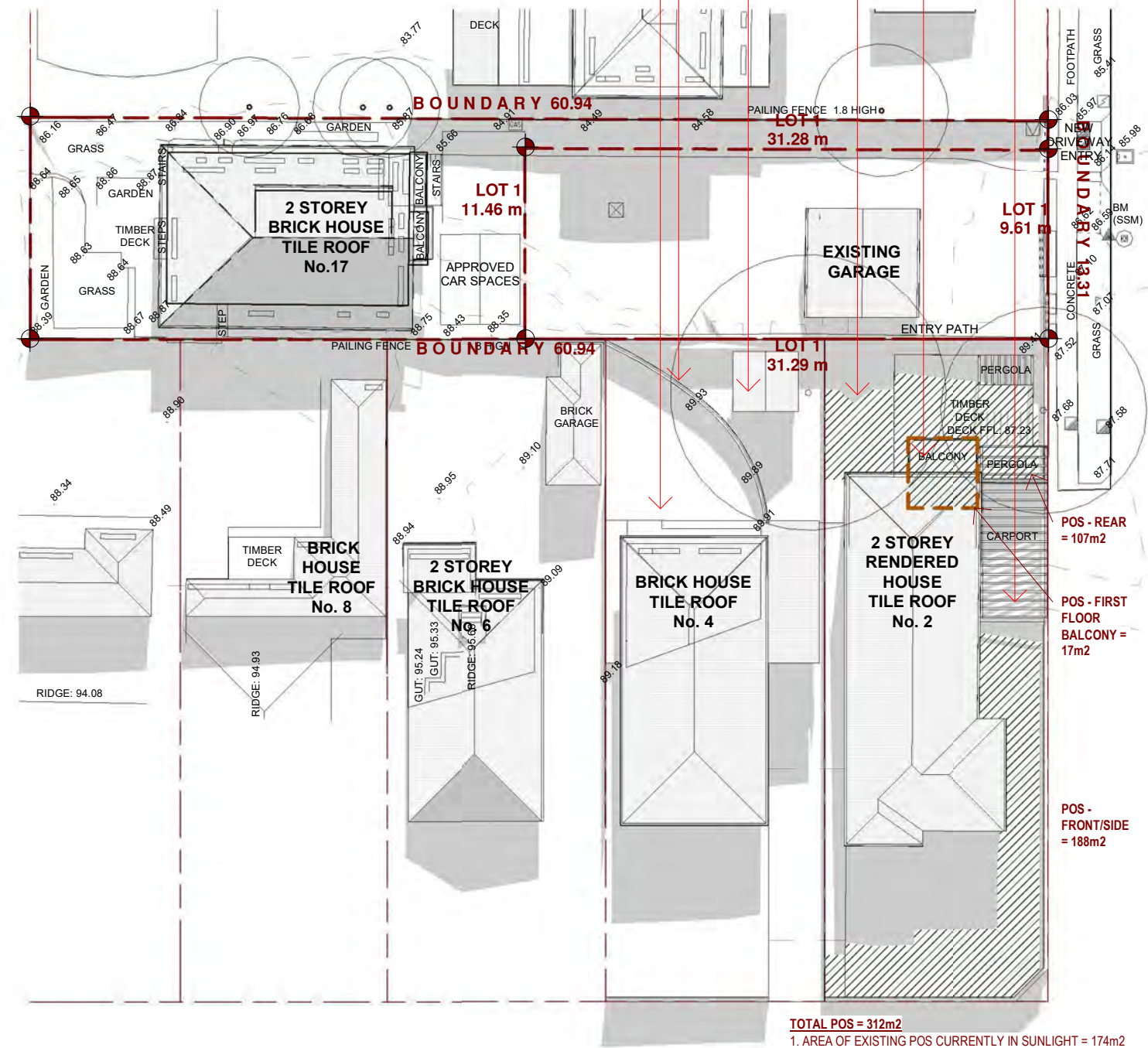
REVISION	DESCRIPTION	DATE
A	ADDITIONAL INFORMATION - NOT FOR CONSTRUCTION	11.08.2021
B	ADDITIONAL INFORMATION - NOT FOR CONSTRUCTION	27.08.2021
C	ADDITIONAL INFORMATION - NOT FOR CONSTRUCTION	27.09.2021
D	S4.55 MODIFICATION - NOT FOR CONSTRUCTION	18.07.2025

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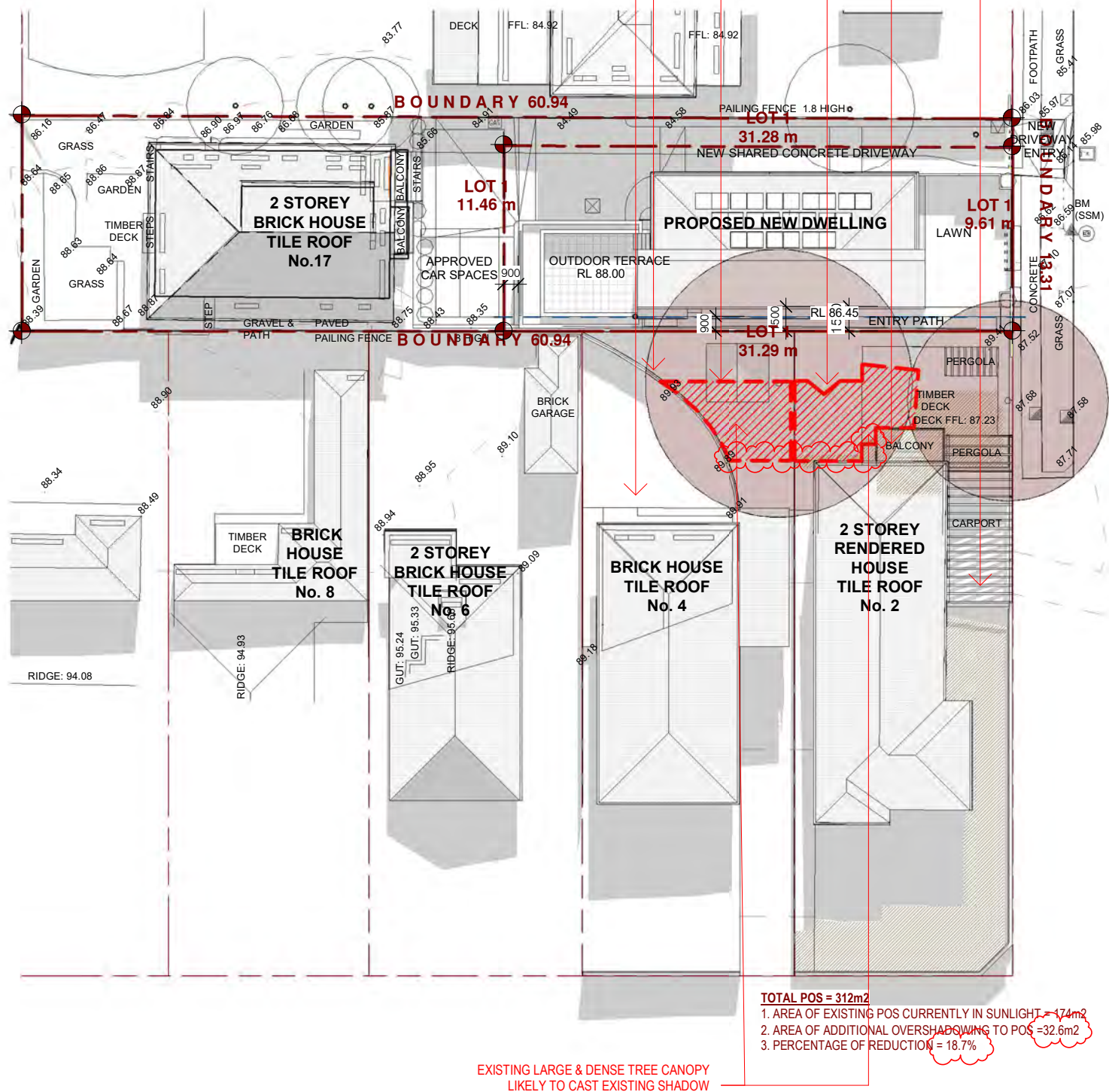
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LEGEND & NOTES	
ADDITIONAL SHADOW CAST BY PROPOSED BUILDING	EXISTING SOLAR ACCESS
PROPOSED INCREASE IN SHADOW	PROPOSED SOLAR ACCESS
EXISTING SHADOWS	SHADOW CAST BY EXISTING TREE

CLIENT	PAGLIARO	SCALE	@ A3	DRAWING TITLE	SHADOW DIAGRAMS 21 JUNE 10 AM
ADDRESS	17 MARETIMO ST BALGOWLAH, NSW 2093 LOT 6 IN DP 18433	DRAWN BY.	DESIGNED BY.	TRUE NORTH	DATE
		AB	RU		18.07.2025
		PROJECT NO.	REV		DRAWING NO.
		17.14	D		DA710



1 SHADOW DIAGRAM 21 JUNE 11 AM EXISTING
1 : 350



2 SHADOW DIAGRAM 21 JUNE 11 AM PROPOSED
1 : 350

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REGISTERED ARCHITECT: Robert Ursino NSW ARB No: 10565

REVISION	DESCRIPTION	DATE
A	ADDITIONAL INFORMATION - NOT FOR CONSTRUCTION	11.08.2021
B	ADDITIONAL INFORMATION - NOT FOR CONSTRUCTION	27.08.2021
C	ADDITIONAL INFORMATION - NOT FOR CONSTRUCTION	27.09.2021
D	S4.55 MODIFICATION - NOT FOR CONSTRUCTION	18.07.2025

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LEGEND & NOTES	
ADDITIONAL SHADOW CAST BY PROPOSED BUILDING	EXISTING SOLAR ACCESS
PROPOSED INCREASE IN SHADOW	PROPOSED SOLAR ACCESS
EXISTING SHADOWS	SHADOW CAST BY EXISTING TREE

CLIENT
PAGLIARO

ADDRESS
**17 MARETIMO ST
BALGOWLAH, NSW 2093
LOT 6 IN DP 18433**

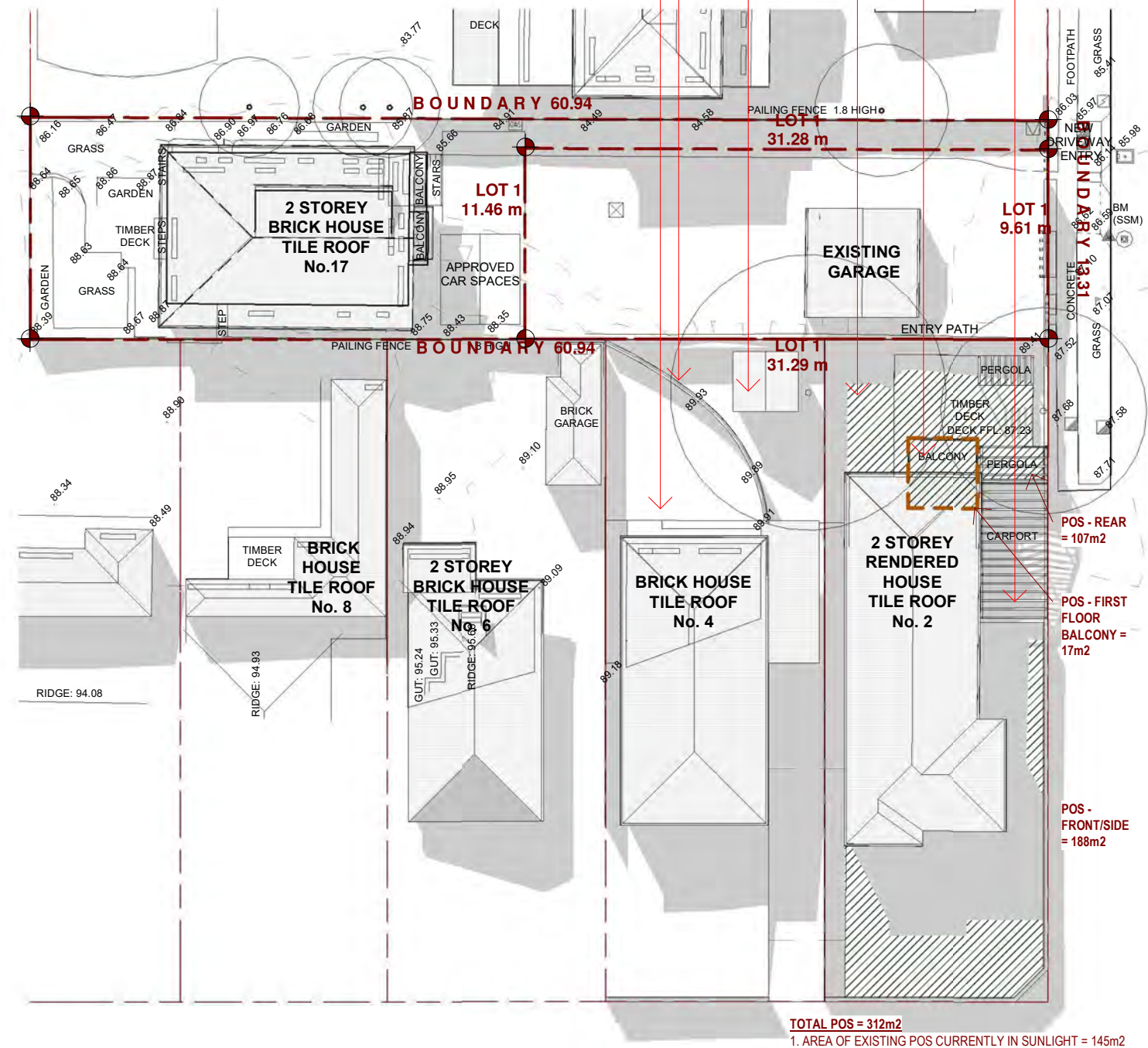
SCALE @ A3
As indicated

DRAWING TITLE
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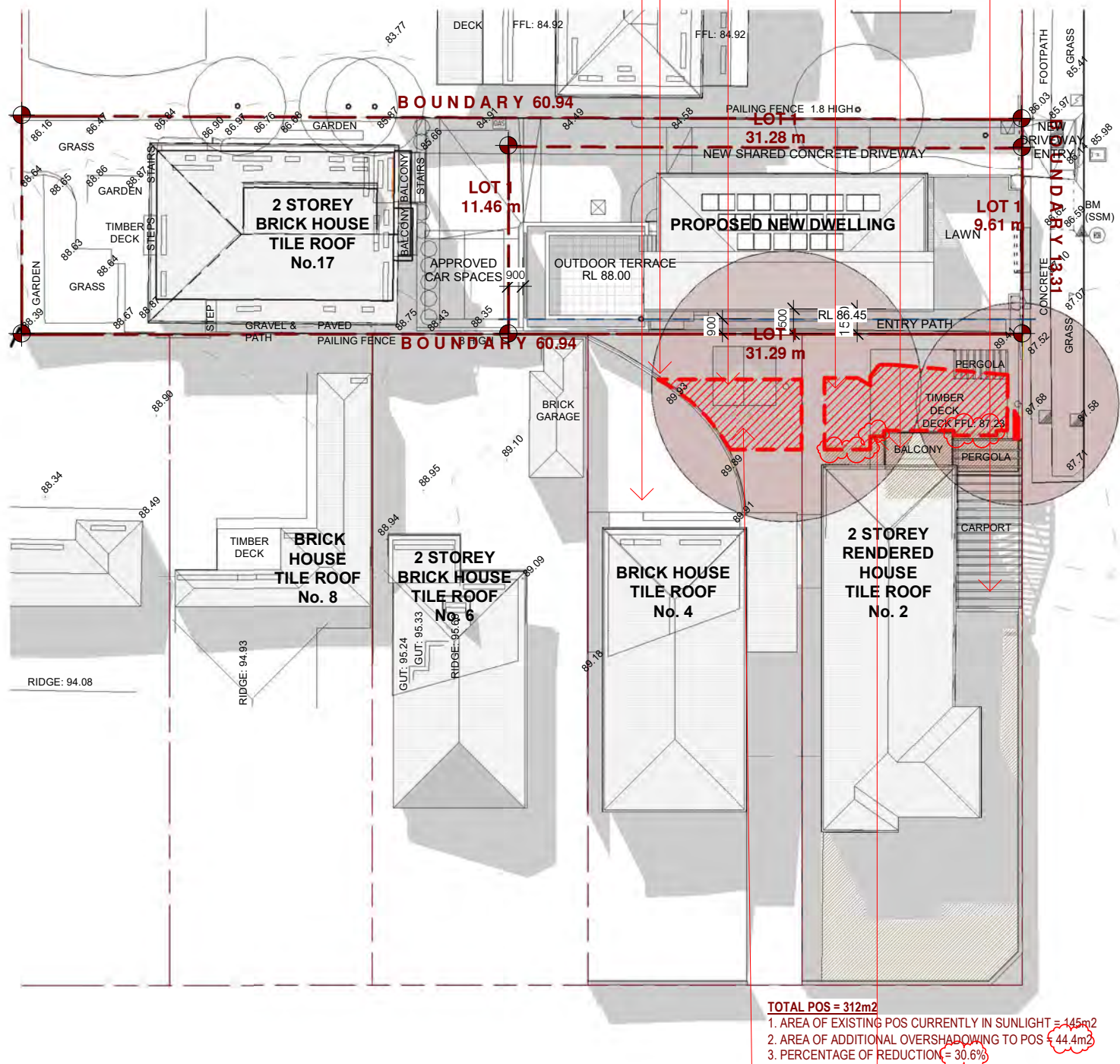
DRAWN BY: **AB**
DESIGNED BY: **RU**
PROJECT NO.: **17.14**
REV: **D**

TRUE NORTH

DATE
18.07.2025
DRAWING NO.: **DA711**



1 SHADOW DIAGRAM 21 JUNE 1 PM EXISTING
1 : 350



EXISTING LARGE & DENSE TREE CANOPY
LIKELY TO CAST EXISTING SHADOW

2 SHADOW DIAGRAM 21 JUNE 1 PM PROPOSED
1 : 350

S4.55 MODIFICATION - NOT FOR CONSTRUCTION



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

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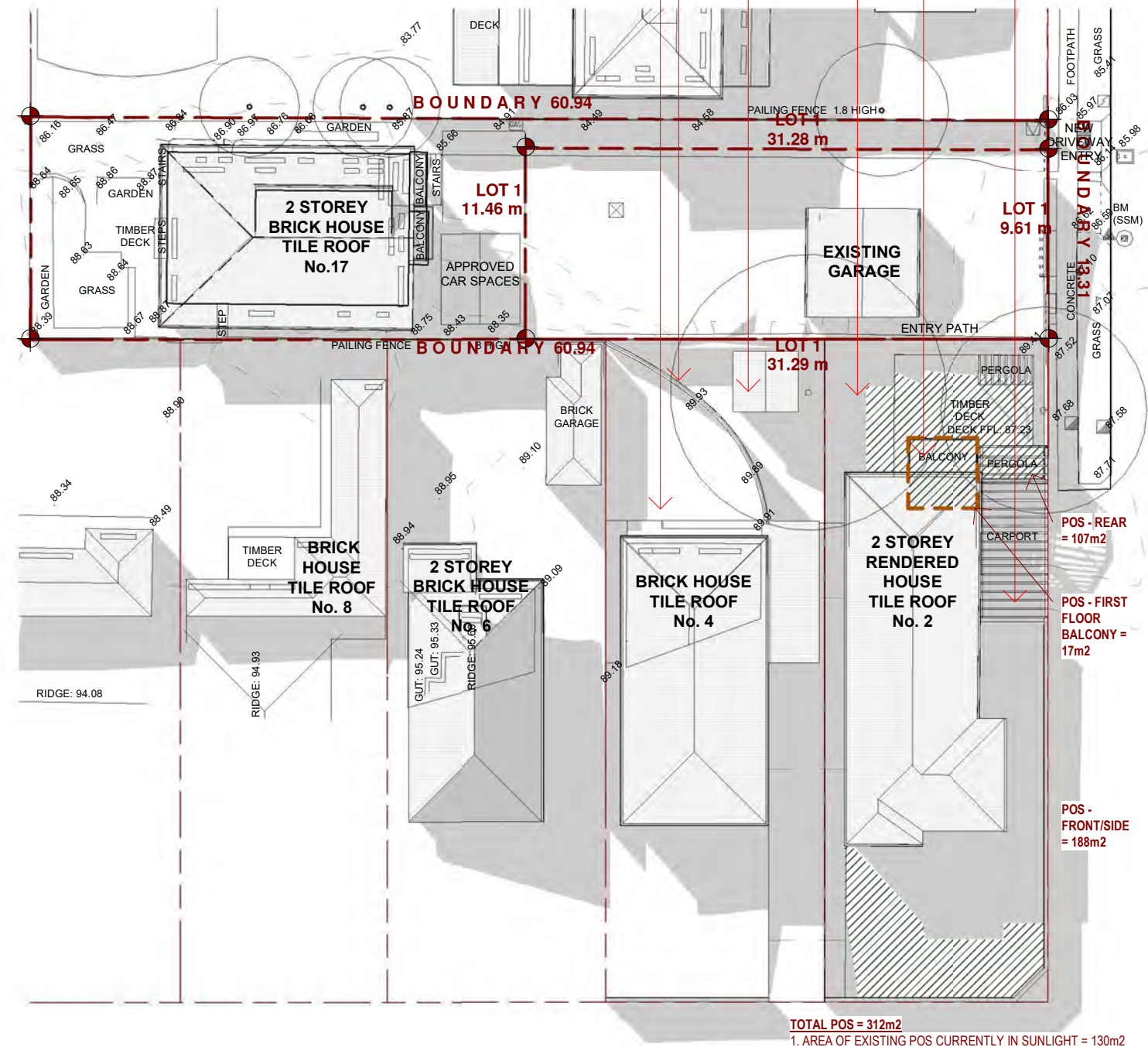
REVISION	DESCRIPTION	DATE
A	ADDITIONAL INFORMATION - NOT FOR CONSTRUCTION	11.08.2021
B	ADDITIONAL INFORMATION - NOT FOR CONSTRUCTION	27.08.2021
C	ADDITIONAL INFORMATION - NOT FOR CONSTRUCTION	27.09.2021
D	S4.55 MODIFICATION - NOT FOR CONSTRUCTION	18.07.2025

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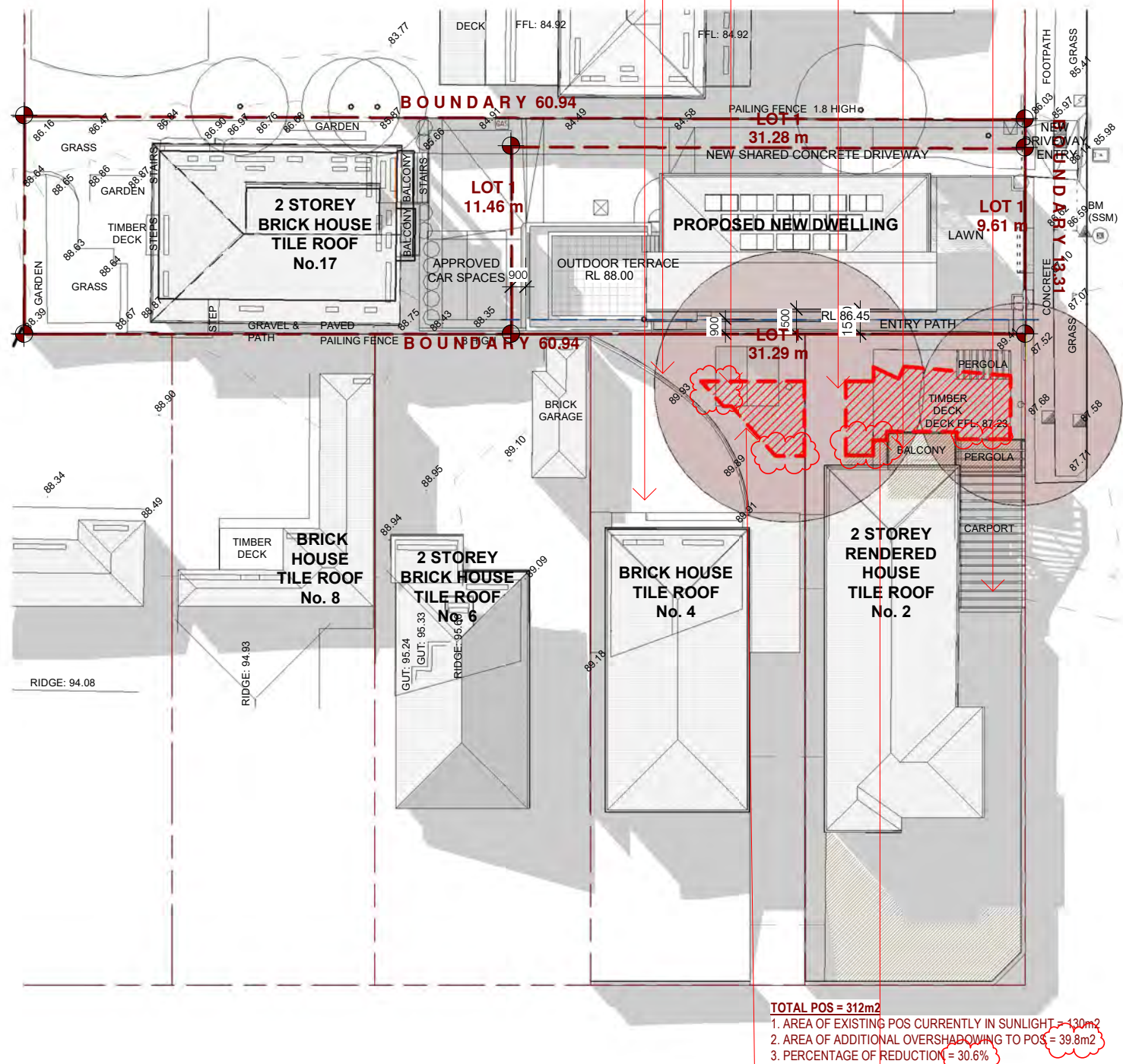
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LEGEND & NOTES	
 ADDITIONAL SHADOW CAST BY PROPOSED BUILDING	 EXISTING SOLAR ACCESS
 PROPOSED INCREASE IN SHADOW	 PROPOSED SOLAR ACCESS
 EXISTING SHADOWS	 SHADOW CAST BY EXISTING TREE

CLIENT	PAGLIARO	SCALE	@ A3	DRAWING TITLE	SHADOW DIAGRAMS 21 JUNE 1 PM
ADDRESS	17 MARETIMO ST BALGOWLAH, NSW 2093 LOT 6 IN DP 18433	DRAWN BY.	DESIGNED BY.	TRUE NORTH	DATE
		AB	RU		18.07.2025
		PROJECT NO.	REV		DRAWING NO.
		17.14	D		DA712



1 SHADOW DIAGRAM 21 JUNE 2 PM EXISTING
1 : 350



2 SHADOW DIAGRAM 21 JUNE 2 PM PROPOSED
1 : 350

EXISTING LARGE & DENSE TREE CANOPY
LIKELY TO CAST EXISTING SHADOW

S4.55 MODIFICATION - NOT FOR CONSTRUCTION

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REGISTERED ARCHITECT: Robert Ursino NSW ARB No: 10565

REVISION	DESCRIPTION	DATE
A	ADDITIONAL INFORMATION - NOT FOR CONSTRUCTION	11.08.2021
B	ADDITIONAL INFORMATION - NOT FOR CONSTRUCTION	27.08.2021
C	ADDITIONAL INFORMATION - NOT FOR CONSTRUCTION	27.09.2021
D	S4.55 MODIFICATION - NOT FOR CONSTRUCTION	18.07.2025

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LEGEND & NOTES	
ADDITIONAL SHADOW CAST BY PROPOSED BUILDING	EXISTING SOLAR ACCESS
PROPOSED INCREASE IN SHADOW	PROPOSED SOLAR ACCESS
EXISTING SHADOWS	SHADOW CAST BY EXISTING TREE

CLIENT
PAGLIARO

ADDRESS
**17 MARETIMO ST
BALGOWLAH, NSW 2093
LOT 6 IN DP 18433**

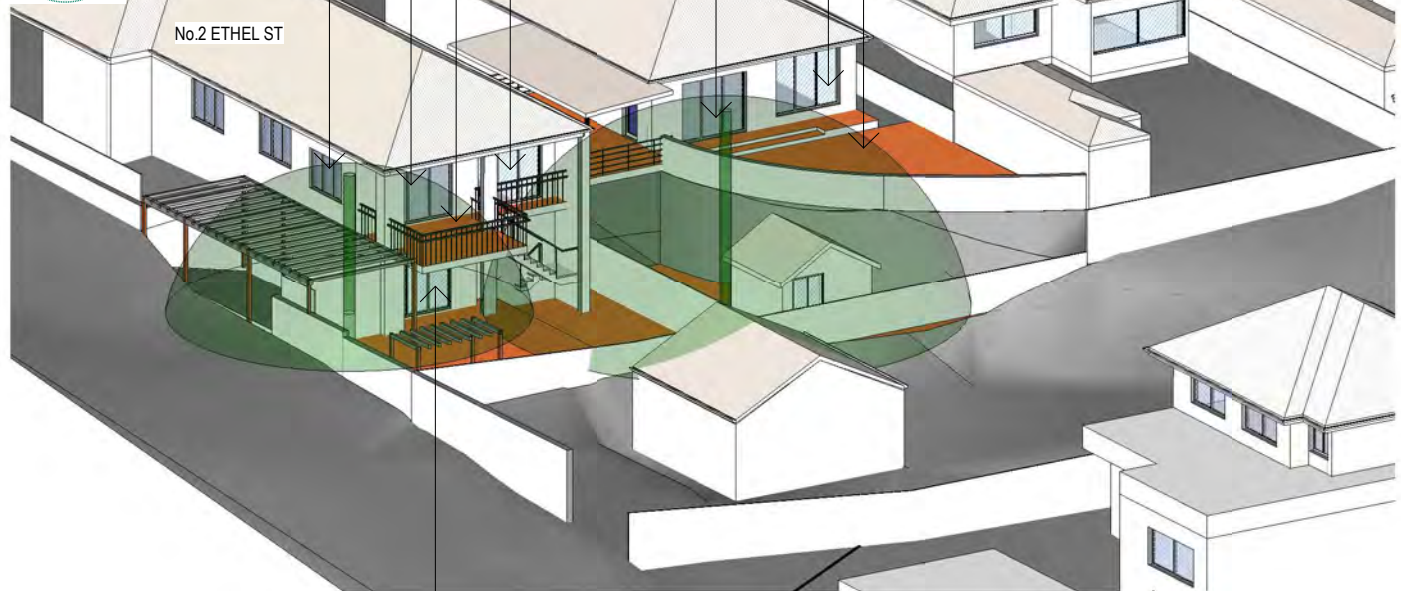
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DRAWING TITLE
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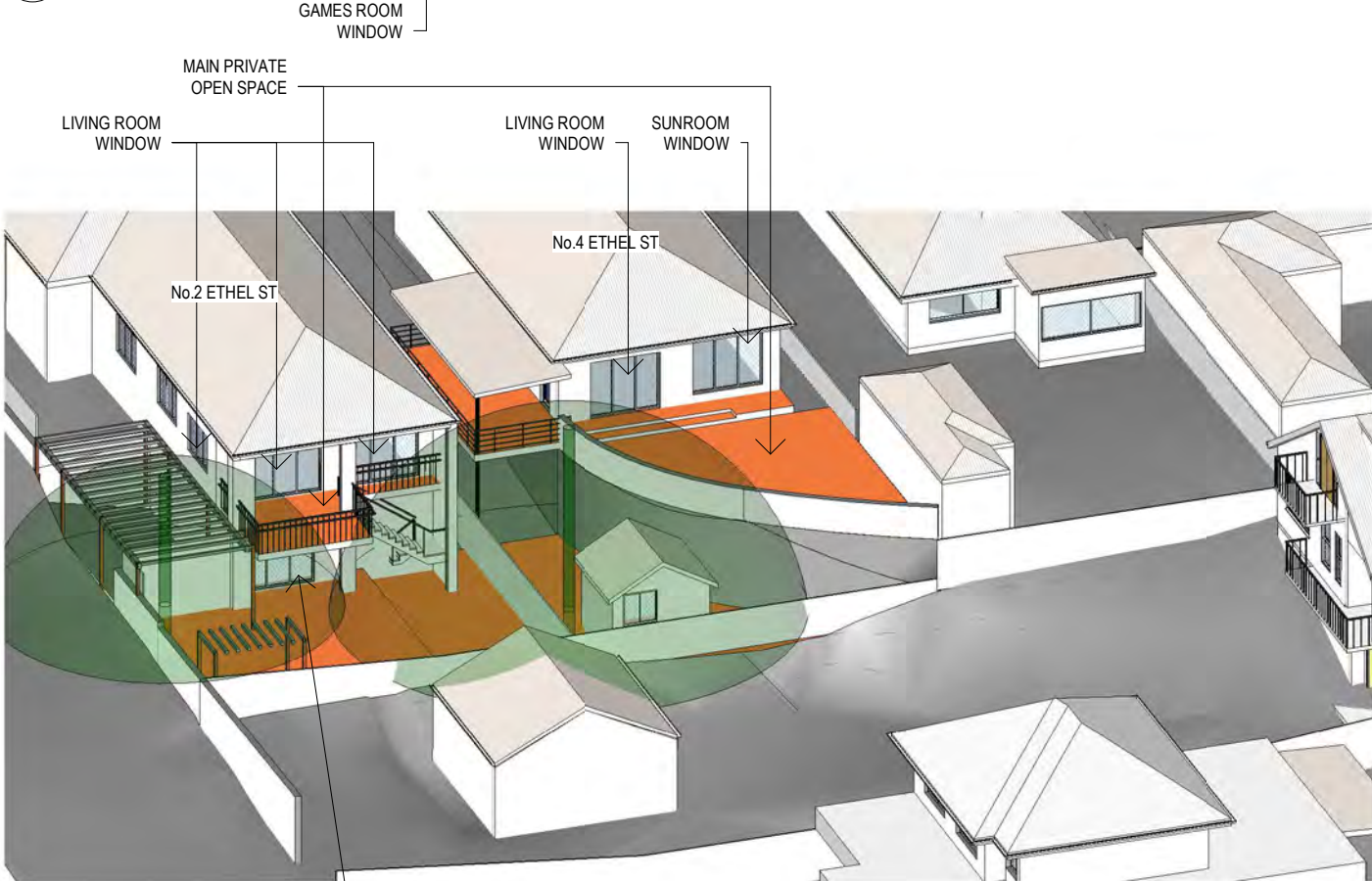
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DESIGNED BY: **RU**
PROJECT NO.: **17.14**
REV: **D**

TRUE NORTH

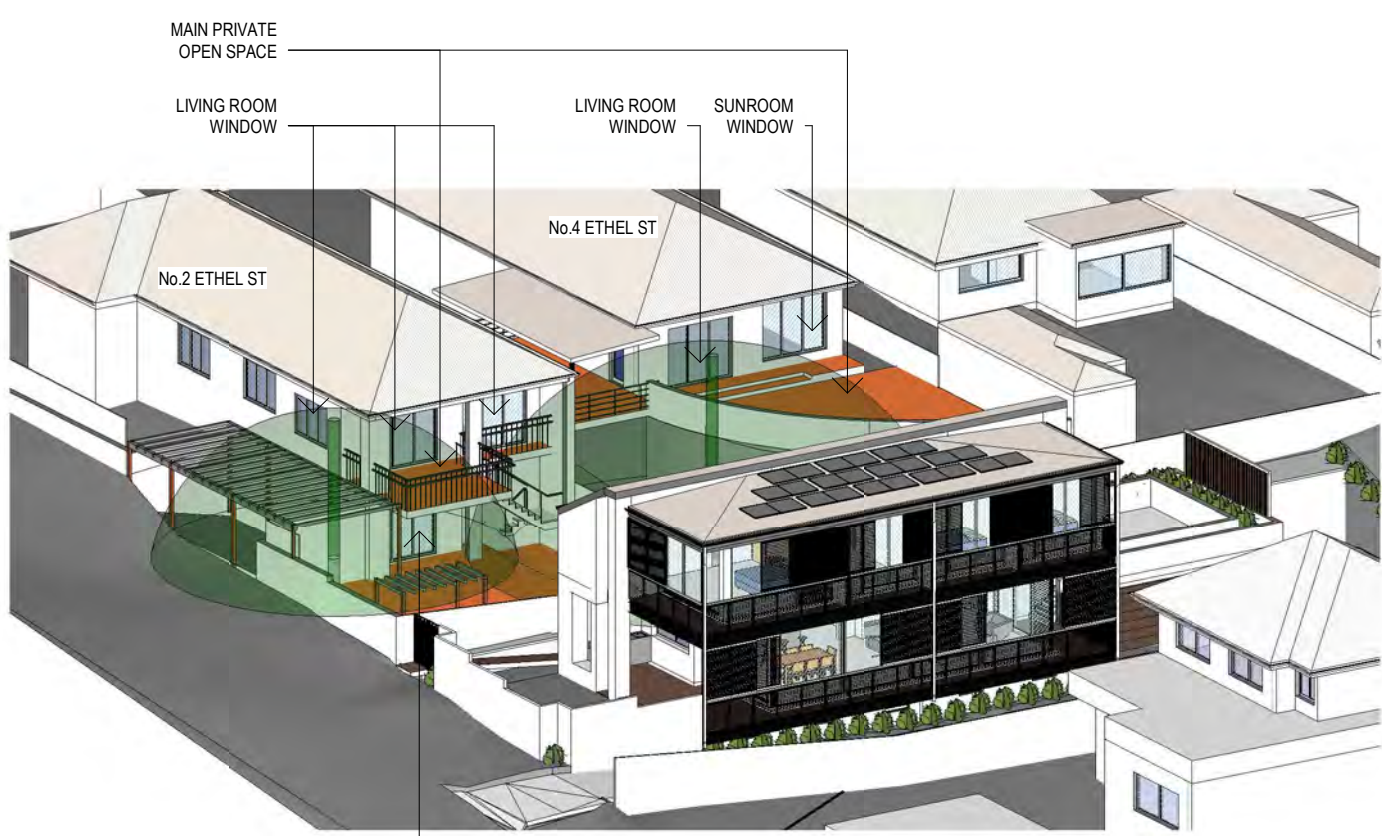
DATE
18.07.2025
DRAWING NO.: **DA713**



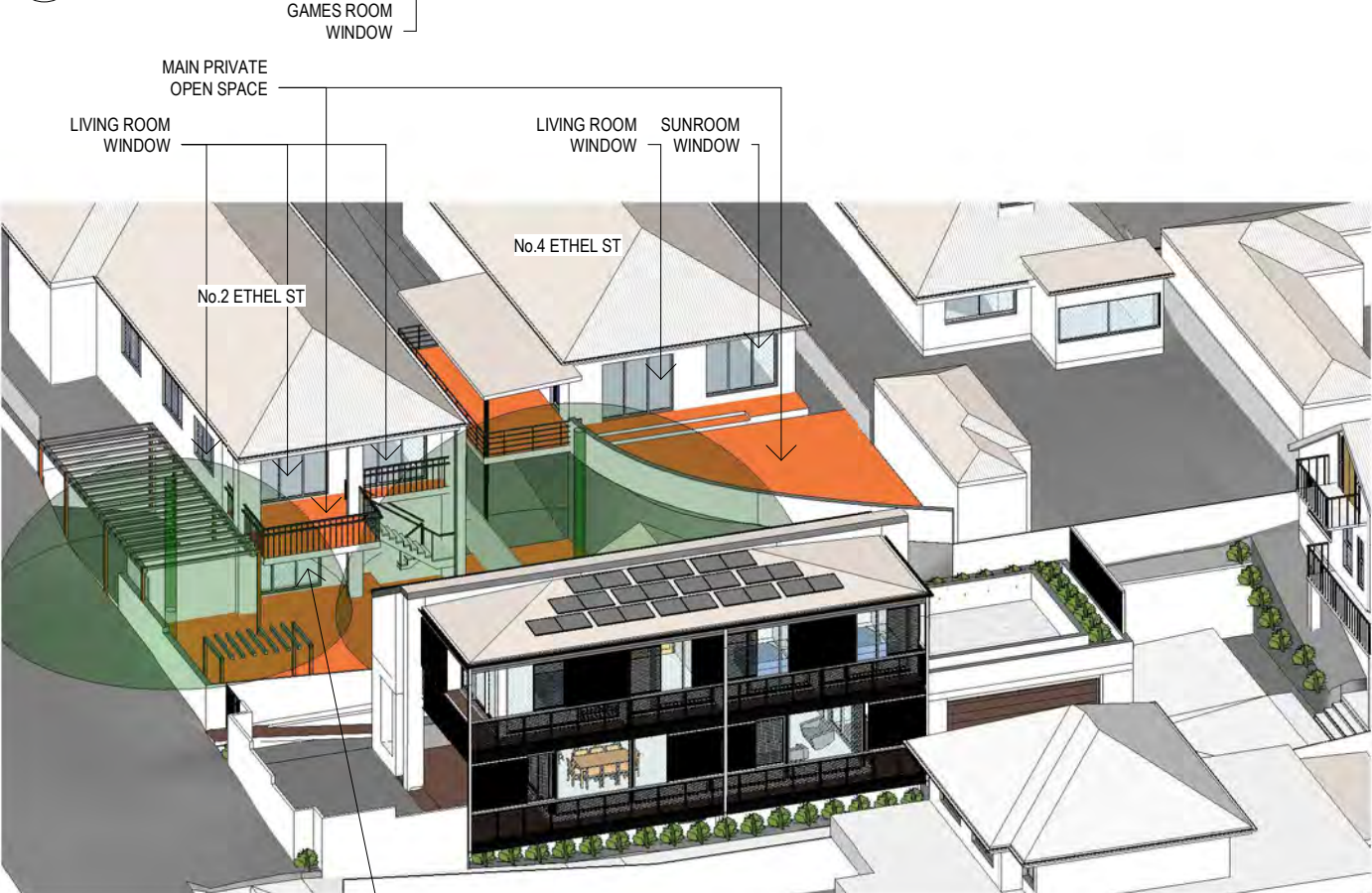
1 JUNE 21 - 9AM - EXISTING



3 JUNE 21 - 10AM - EXISTING



2 JUNE 21 - 9AM - PROPOSED



4 JUNE 21 - 10AM - PROPOSED

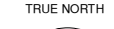
S4.55 MODIFICATION - NOT FOR CONSTRUCTION



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REGISTERED ARCHITECT: Robert Ursino NSW ARB No: 10565

REVISION		DESCRIPTION	DATE	LEGEND & NOTES	CLIENT	SCALE	@ A3	DRAWING TITLE	
A	ADDITIONAL INFORMATION - NOT FOR CONSTRUCTION		27.08.2021	<div><div></div>NEIGHBOURING PROPERTIES</div> <div><div></div>PRIVATE OPEN SPACES</div>	PAGLIARO	1 : 200		SHADOW DIAGRAMS 21 JUNE - VFS	
B	ADDITIONAL INFORMATION - NOT FOR CONSTRUCTION		27.09.2021						
C	S4.55 MODIFICATION - NOT FOR CONSTRUCTION		18.07.2025						
<div><div><p>GENERAL NOTES: ALL DIMENSIONS TO BE VERIFIED BY BUILDER PRIOR TO COMMENCEMENT OF WORKS. // BOUNDARY DIMENSIONS & ALL LEVELS SUBJECT TO CONFIRMATION BY BUILDER. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE FROM PLANS. // ALL WORKS TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS. // ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA. // ALL DRAWINGS ARE DESIGN INTENT ONLY AND NOT FOR CONSTRUCTION.</p><p>COPYRIGHT: THIS DRAWING AND DESIGN IS SUBJECT TO COPYRIGHT AND SHALL NOT BE COPIED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION FROM URSINO ARCHITECTS.</p></div><div><div></div>EXISTING TREE HEIGHT & SPAN PER SURVEY PLAN</div></div>					ADDRESS	DRAWN BY.	DESIGNED BY.	TRUE NORTH	DATE
					17 MARETIMO ST BALGOWLAH, NSW 2093 LOT 6 IN DP 18433	AB	RU		18.07.2025
						PROJECT NO.	REV		DRAWING NO.
						17.14	C		DA714

17 MARETIMO ST
BALGOWLAH, NSW 2093
LOT 6 IN DP 18433

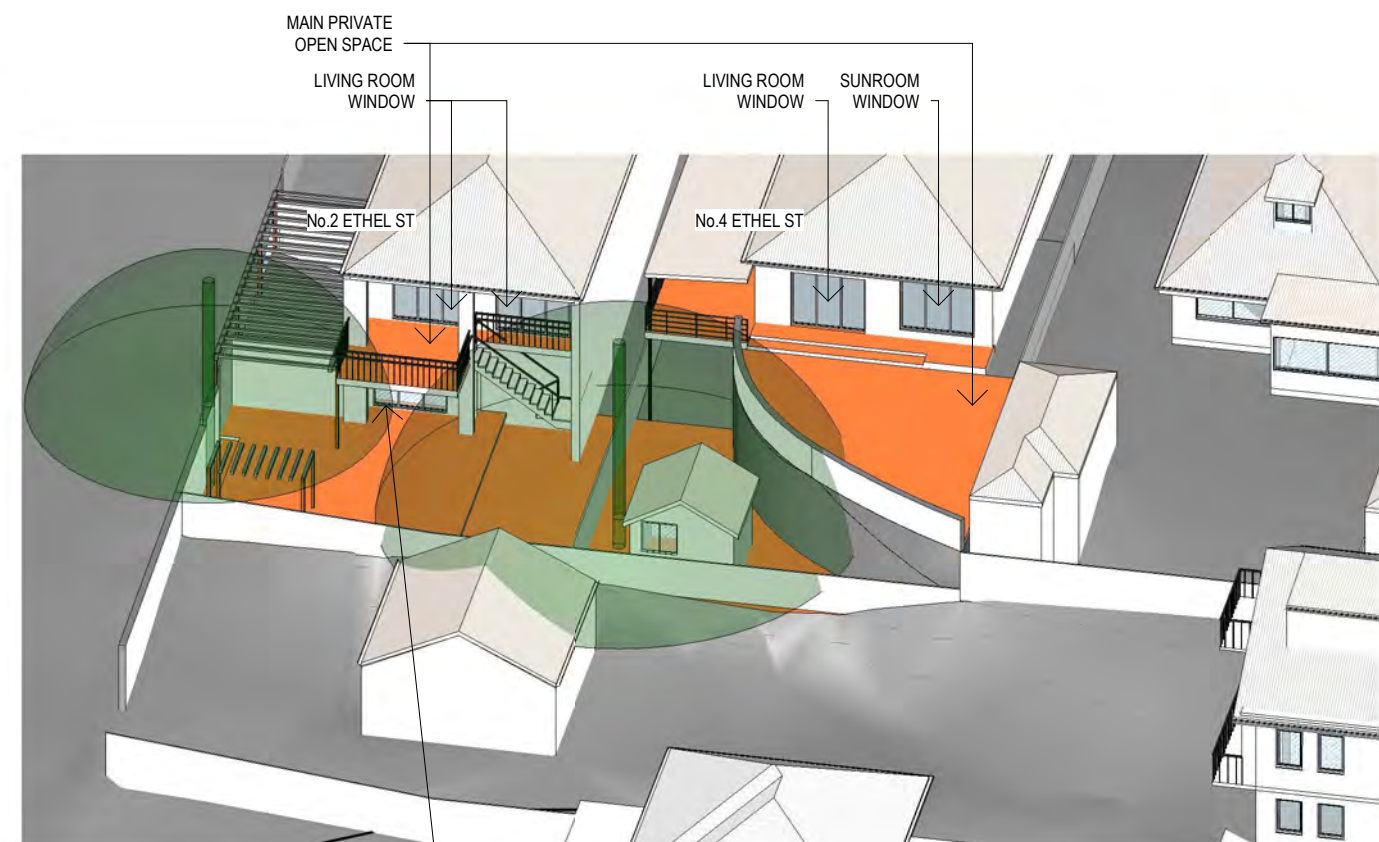
18.07.2025



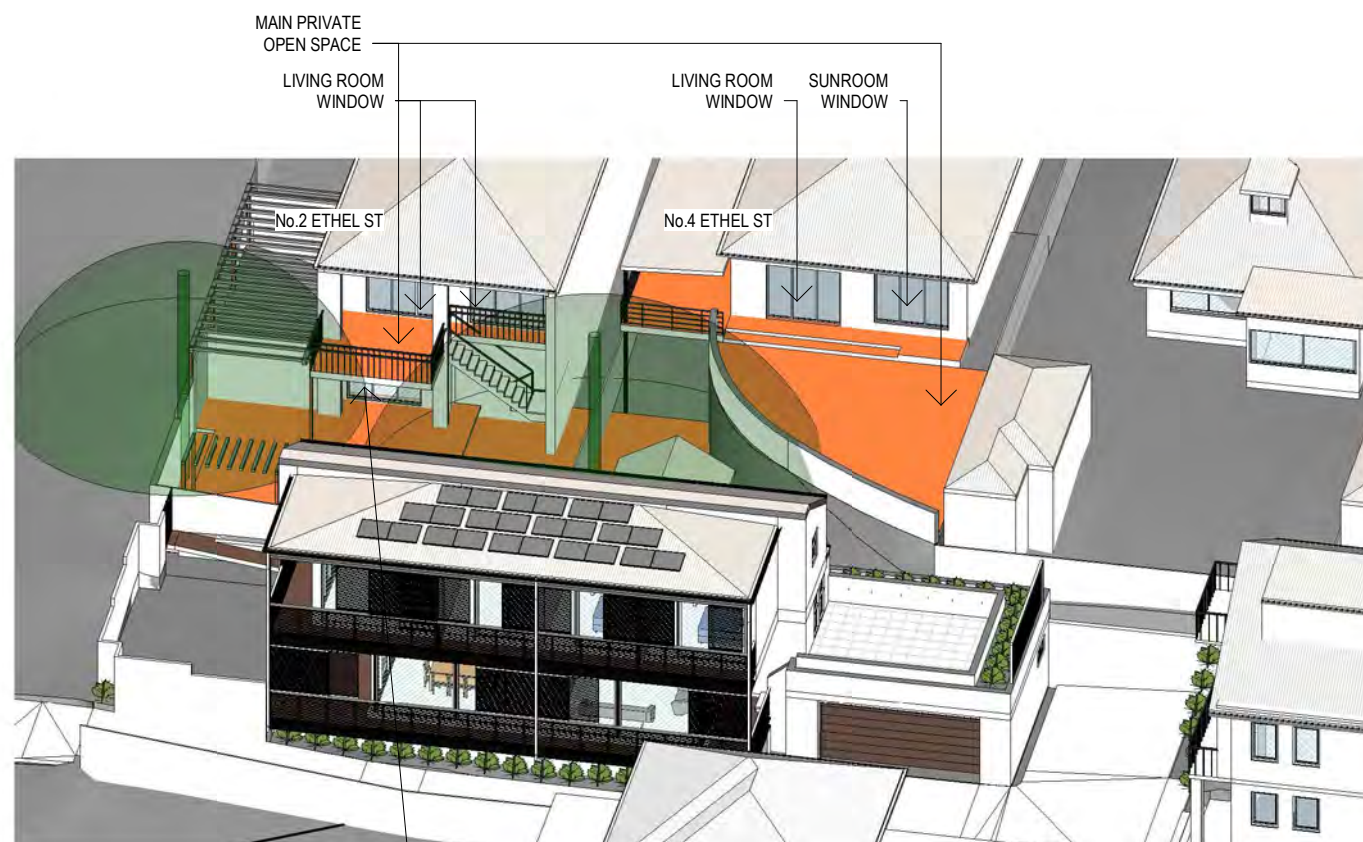
1 JUNE 21 - 11 AM - EXISTING



2 JUNE 21 - 11AM - PROPOSED



3 JUNE 21 - 12PM - EXISTING





4 JUNE 21 - 12PM - PROPOSED


S4.55 MODIFICATION - NOT FOR CONSTRUCTION

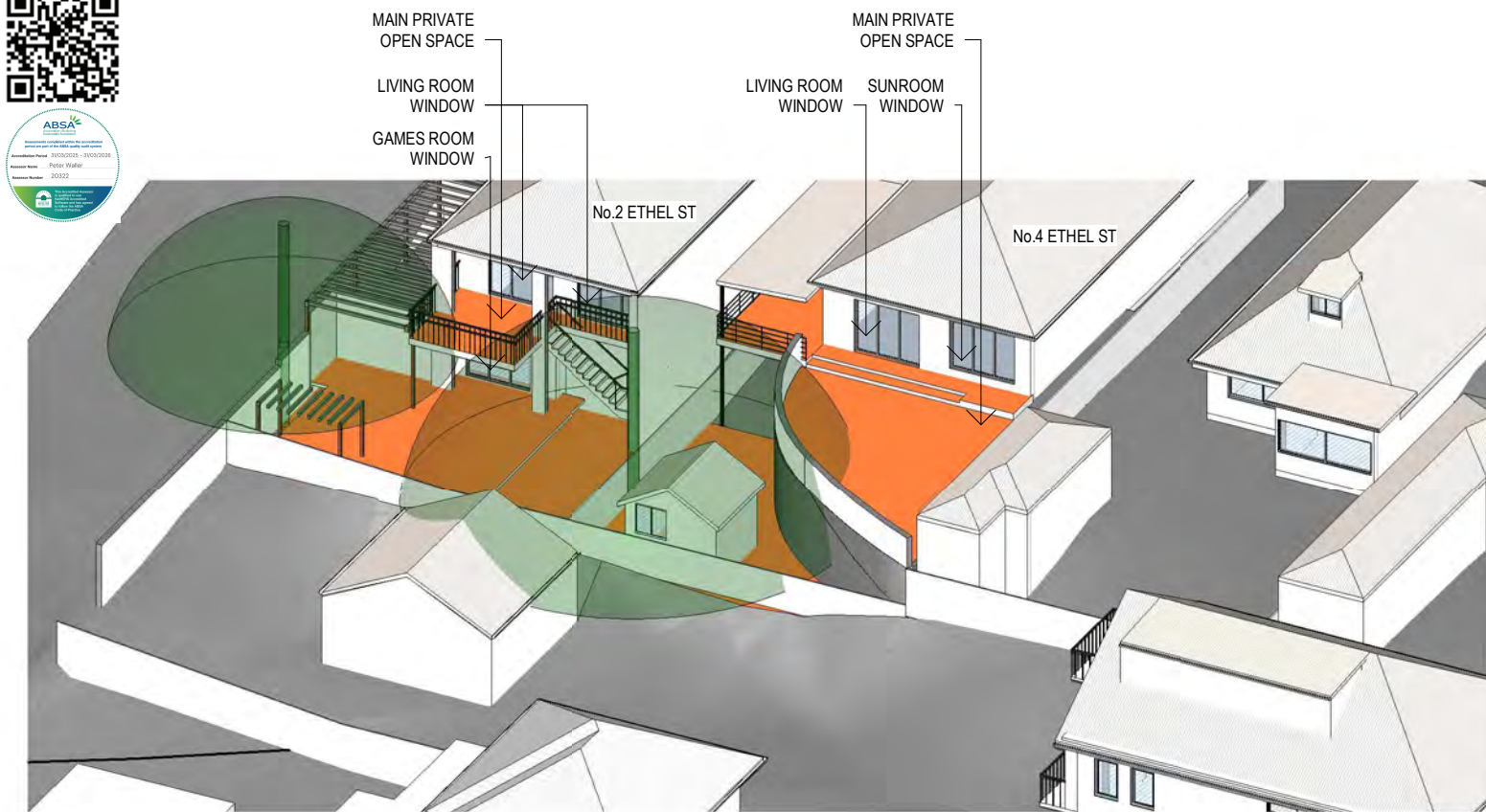
REVISION	DESCRIPTION	DATE
A	ADDITIONAL INFORMATION - NOT FOR CONSTRUCTION	27.08.2021
B	ADDITIONAL INFORMATION - NOT FOR CONSTRUCTION	27.09.2021
C	S4.55 MODIFICATION - NOT FOR CONSTRUCTION	18.07.2025

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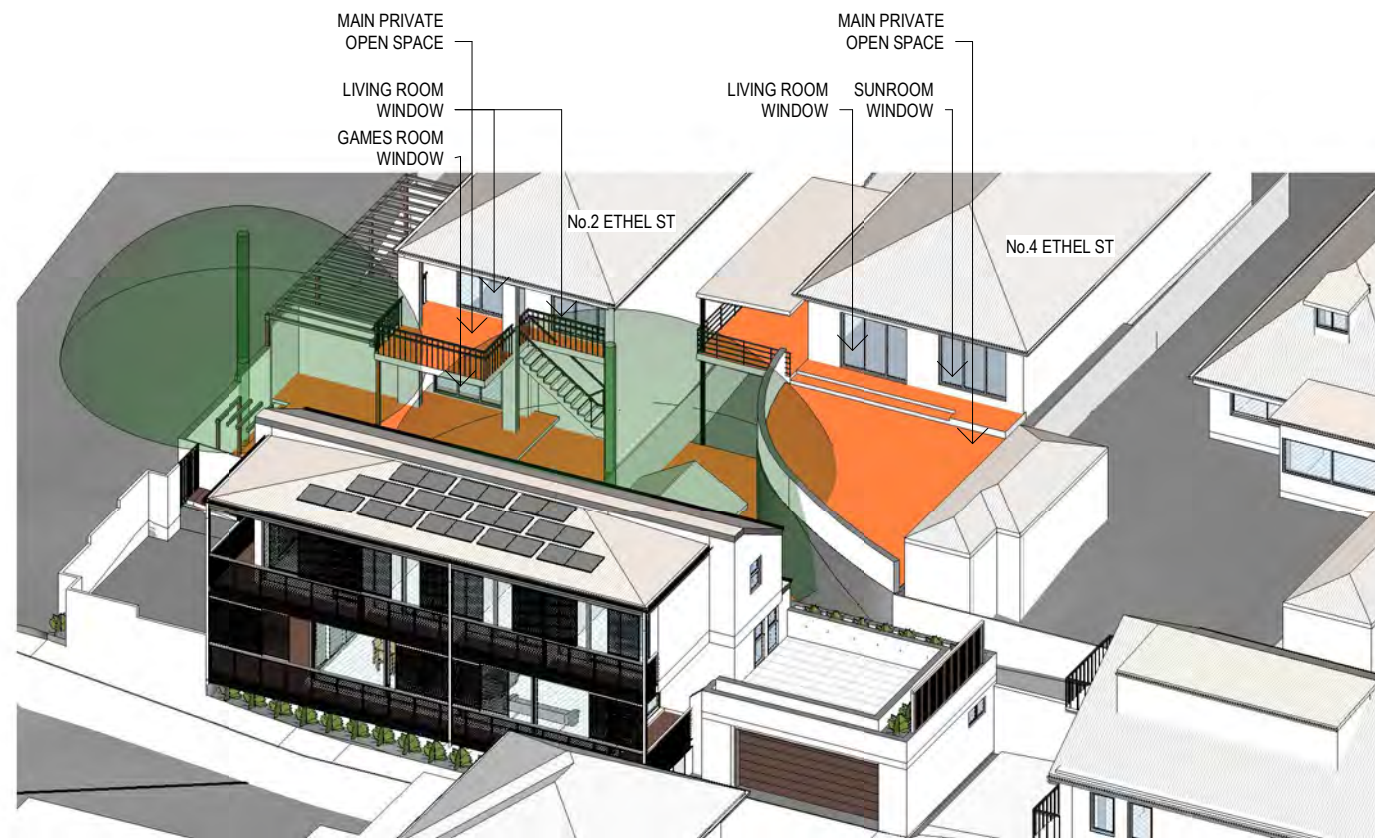
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LEGEND & NOTES
 NEIGHBOURING PROPERTIES PRIVATE OPEN SPACES
 EXISTING TREE HEIGHT & SPAN PER SURVEY PLAN

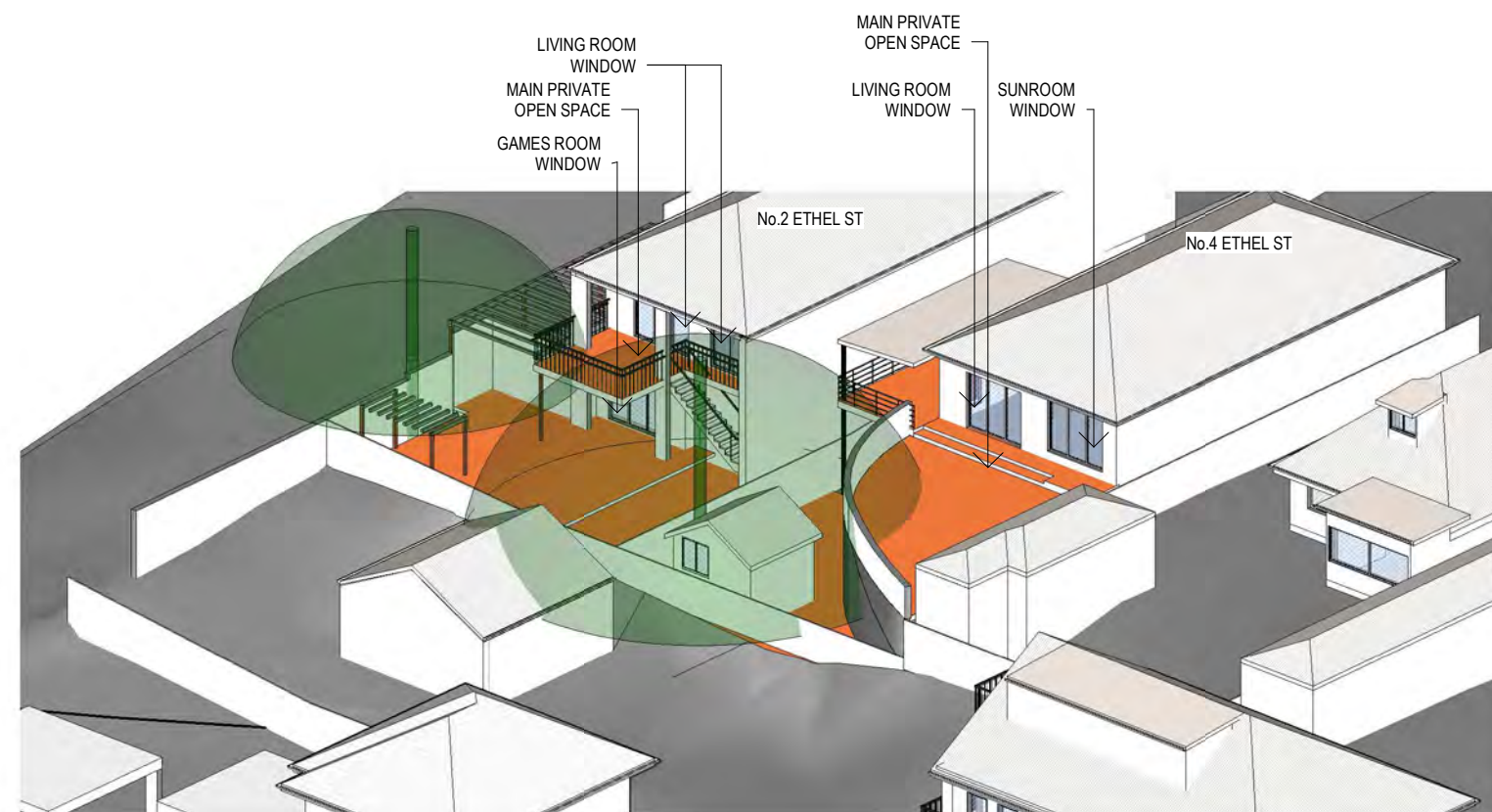
CLIENT PAGLIARO	SCALE 1 : 200	@ A3	DRAWING TITLE SHADOW DIAGRAMS 21 JUNE - VFS
ADDRESS 17 MARETIMO ST BALGOWLAH, NSW 2093 LOT 6 IN DP 18433	DRAWN BY. AB	DESIGNED BY. RU	TRUE NORTH 
	PROJECT NO. 17.14	REV C	DATE 18.07.2025 DRAWING NO. DA715



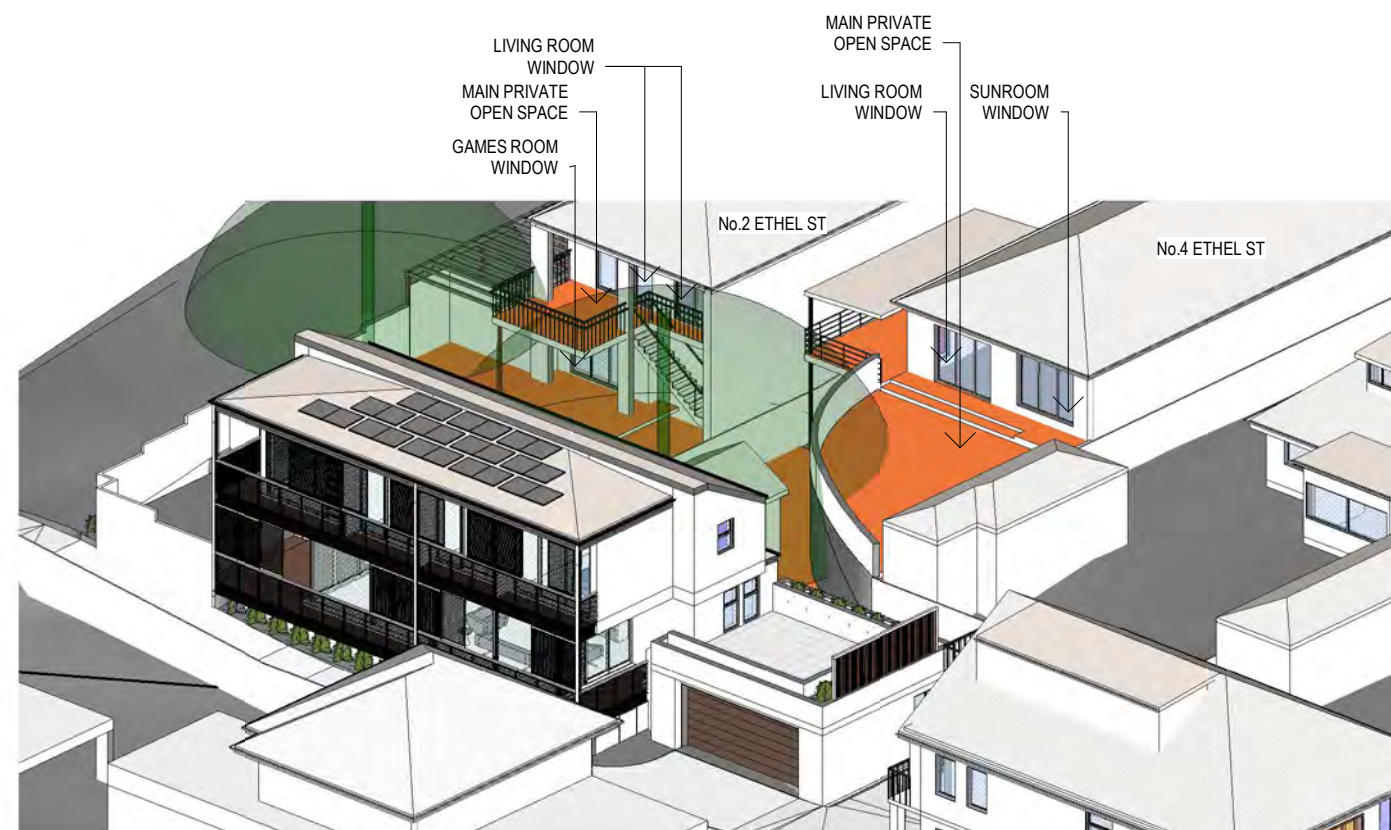
1 JUNE 21 - 1PM - EXISTING



2 JUNE 21 - 1PM - PROPOSED



3 JUNE 21 - 2PM - EXISTING





4 JUNE 21 - 2PM - PROPOSED


S4.55 MODIFICATION - NOT FOR CONSTRUCTION

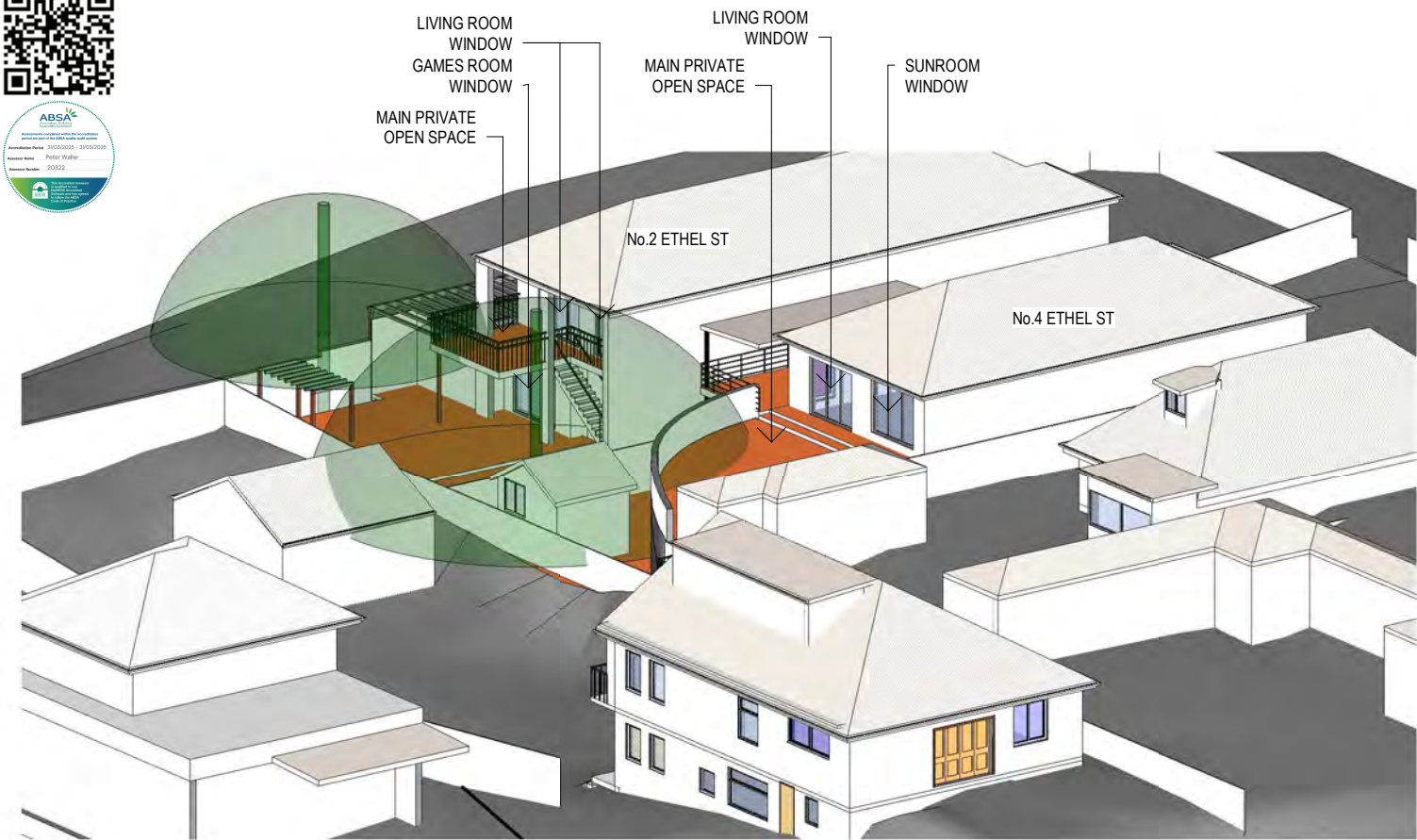
REVISION	DESCRIPTION	DATE
A	ADDITIONAL INFORMATION - NOT FOR CONSTRUCTION	27.08.2021
B	ADDITIONAL INFORMATION - NOT FOR CONSTRUCTION	27.09.2021
C	S4.55 MODIFICATION - NOT FOR CONSTRUCTION	18.07.2025

GENERAL NOTES: ALL DIMENSIONS TO BE VERIFIED BY BUILDER PRIOR TO COMMENCEMENT OF WORKS /// BOUNDARY DIMENSIONS & ALL LEVELS SUBJECT TO CONFIRMATION BY BUILDER. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE FROM PLANS /// ALL WORKS TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS /// ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA /// ALL DRAWINGS ARE DESIGN INTENT ONLY AND NOT FOR CONSTRUCTION.

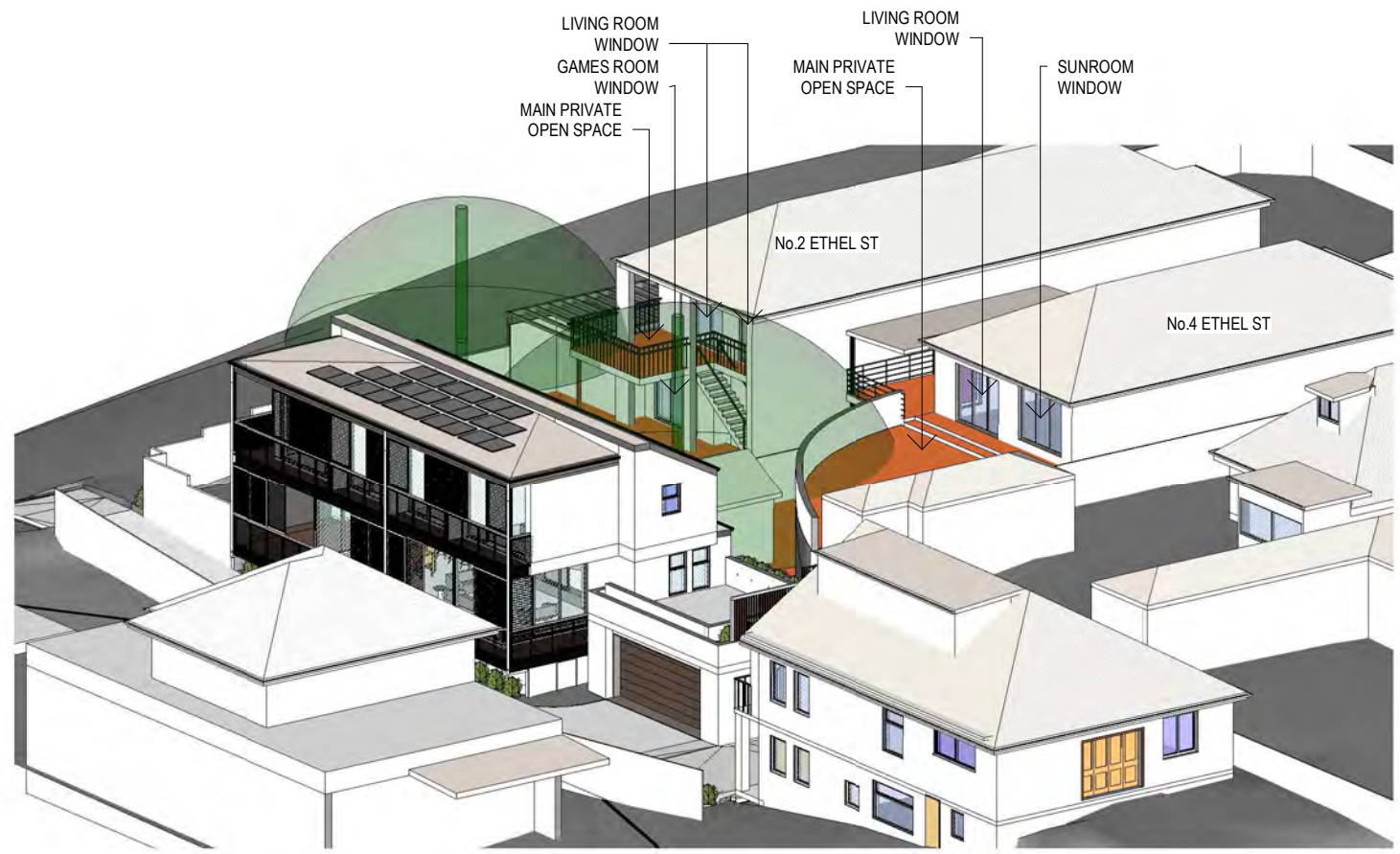
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LEGEND & NOTES
 NEIGHBOURING PROPERTIES PRIVATE OPEN SPACES
 EXISTING TREE HEIGHT & SPAN PER SURVEY PLAN

CLIENT	PAGLIARO	SCALE	@ A3 1 : 200	DRAWING TITLE	SHADOW DIAGRAMS 21 JUNE - VFS
ADDRESS	17 MARETIMO ST BALGOWLAH, NSW 2093 LOT 6 IN DP 18433	DRAWN BY.	AB	DESIGNED BY.	RU
		PROJECT NO.	17.14	REV	C
		TRUE NORTH		DATE	18.07.2025
				DRAWING NO.	DA716



1 JUNE 21 - 3PM - EXISTING



2 JUNE 21 - 3PM - PROPOSED



AERIAL VIEW OF EXISTING SITE

EXISTING LARGE & DENSE TREE CANOPY (REAR OF No4 ETHEL ST) CASTS EXISTING SHADOW ON No2 & No4 (ETHEL ST) PRIVATE OPEN SPACES




AERIAL VIEW OF EXISTING SITE

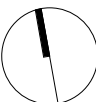
S4.55 MODIFICATION - NOT FOR CONSTRUCTION



REVISION	DESCRIPTION	DATE
A	ADDITIONAL INFORMATION - NOT FOR CONSTRUCTION	27.08.2021
B	ADDITIONAL INFORMATION - NOT FOR CONSTRUCTION	27.09.2021
C	S4.55 MODIFICATION - NOT FOR CONSTRUCTION	18.07.2025

LEGEND & NOTES
 NEIGHBOURING PROPERTIES PRIVATE OPEN SPACES
 EXISTING TREE HEIGHT & SPAN PER SURVEY PLAN

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CLIENT	PAGLIARO	SCALE	@ A3 1 : 200	DRAWING TITLE	SHADOW DIAGRAMS 21 JUNE - VFS
ADDRESS	17 MARETIMO ST BALGOWLAH, NSW 2093 LOT 6 IN DP 18433	DRAWN BY.	AB	DESIGNED BY.	RU
		PROJECT NO.	17.14	REV	C
		TRUE NORTH		DATE	18.07.2025
				DRAWING NO.	DA717



S4.55 MODIFICATION - NOT FOR CONSTRUCTION



URSINO

ARCHITECTS

Suite 313 , 49 Queens Road Five Dock NSW 2046
(02) 8970 2421 / PO Box 981 Five Dock NSW 2046
www.ursino.com.au

REGISTERED ARCHITECT: Robert Ursino NSW ARB No: 10565

REVISION	DESCRIPTION	DATE	LEGEND & NOTES	CLIENT	SCALE	@ A3	DRAWING TITLE
A	FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION	23.03.2021		PAGLIARO			PERSPECTIVES 01
B	S4.55 MODIFICATION - NOT FOR CONSTRUCTION	18.07.2025					

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ADDRESS

17 MARETIMO ST
BALGOWLAH, NSW 2093
LOT 6 IN DP 18433

DRAWN BY.

DESIGNED BY.

TRUE NORTH

DATE

AB

RU

18.07.2025

PROJECT NO.

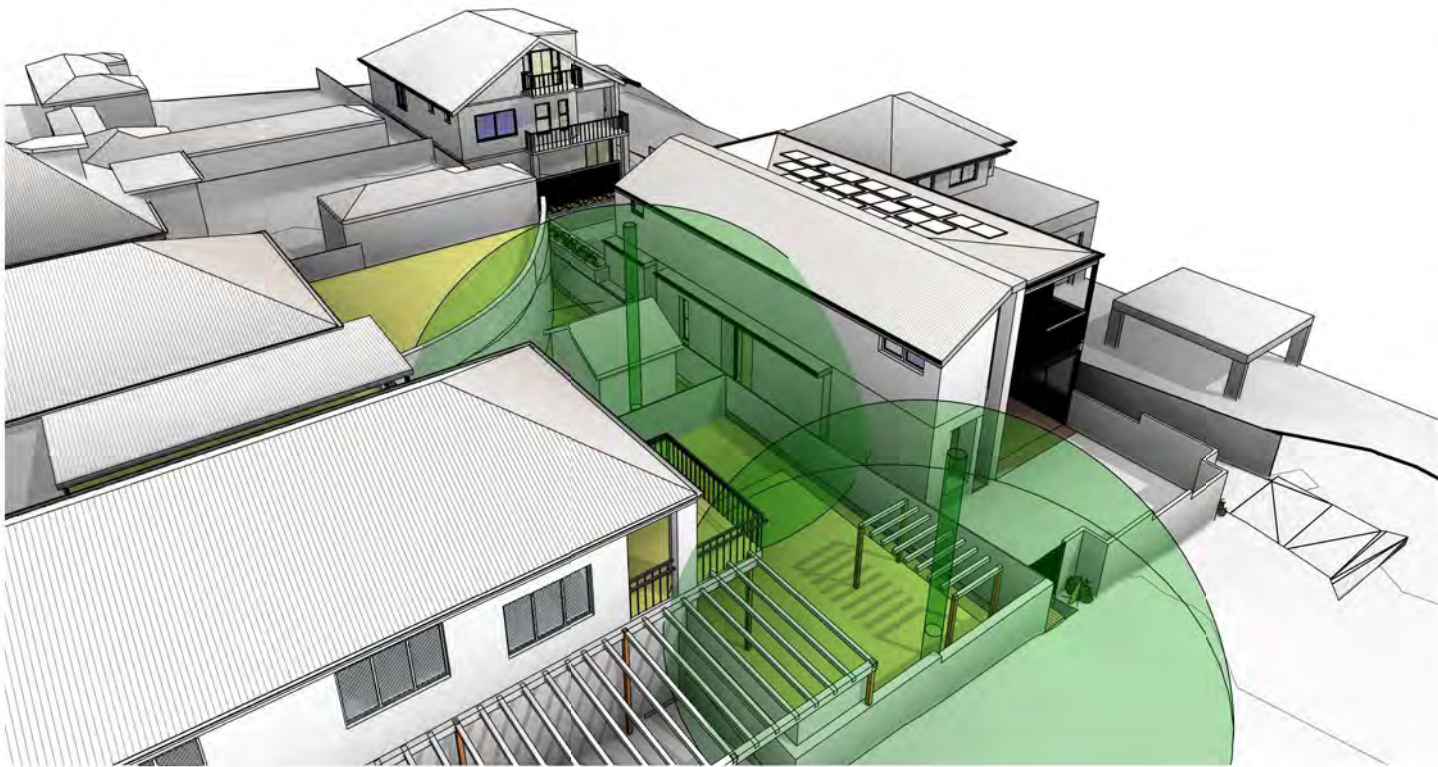
REV

DRAWING NO.

17.14

B

DA801



S4.55 MODIFICATION - NOT FOR CONSTRUCTION

REVISION	DESCRIPTION	DATE	LEGEND & NOTES
A	FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION	23.03.2021	
B	S4.55 MODIFICATION - NOT FOR CONSTRUCTION	18.07.2025	

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CLIENT
PAGLIARO

SCALE @ A3 DRAWING TITLE
PERSPECTIVES 02

ADDRESS
**17 MARETIMO ST
BALGOWLAH, NSW 2093
LOT 6 IN DP 18433**

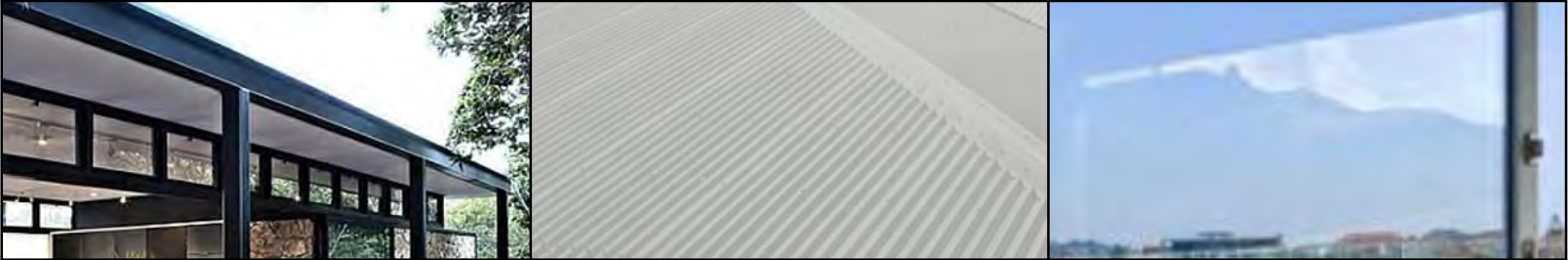
DRAWN BY.	DESIGNED BY.	TRUE NORTH	DATE
AB	RU		18.07.2025
PROJECT NO.	REV		DRAWING NO.
17.14	B		DA802



RL. RENDERED LIGHT
LEXICON QUARTER
RL - LEXICON QUARTER (RENDERED LIGHT)

RD. RENDER - DARK
SCYON AXON HORIZONTALLY CLADDED
MONUMENT

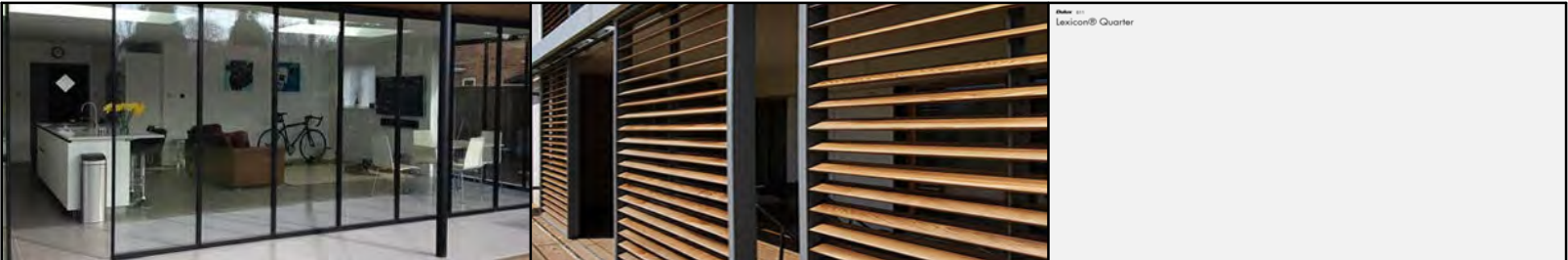
BL BALUSTRADES
ALUMINIUM OR ALUMINIUM (TIMBER) BATTENS
MONUMENT



SP. STEEL PROFILE
POWDER COATED
MONUMENT

RF. ROOF
COLOURBOND ROOFING SHEET
SURFMIST

GL.GLASS



FR. FRAMES
POWDER COATED
MOUNMENT

SC. SCREENS
ALUMINIUM OR ALUMINIUM (TIMBER) BATTENS
MONUMENT

FEN. FENCE
TO MATCH RL. - RENDERED LIGHT



DE. DECKING
TIMBER DECK
SPOTTED GUM

DR.DRIVEWAY
CONCRETE DRIVEWAY
SMOOTH FINISH

GAR GARAGE DOOR
ALUMINIUMUM
MATT FINISH

WINDOW SCHEDULE					
NO.	LEVEL	WIDTH	HEIGHT	AREA	ORIENTATION
01	GA	1200	600	0.7 m²	WEST
02	GF	2320	2050	4.8 m²	EAST
03	GF	3460	2950	10.2 m²	EAST
04	GF	2630	2950	7.8 m²	NORTH
05	GF	2630	2950	7.8 m²	NORTH
06	GF	2630	2950	7.8 m²	NORTH
07	GF	2675	2950	7.9 m²	NORTH
08	GF	3460	2950	10.2 m²	EAST
10	GF	765	1510	1.2 m²	WEST
11	GF	765	1510	1.2 m²	WEST
13	FF	900	600	0.5 m²	SOUTH
14	FF	1800	600	1.1 m²	SOUTH
15	FF	780	2900	2.3 m²	EAST
16	FF	3460	2900	10.0 m²	EAST
17	FF	3970	2900	11.5 m²	NORTH
18	FF	3280	2900	9.5 m²	NORTH
19	FF	3335	2900	9.7 m²	NORTH
20	FF	3435	2900	10.0 m²	EAST
21	FF	780	1100	0.9 m²	EAST
30	GF	600	1950	1.2 m²	SOUTH

WINDOW NUMBERS NOT USED: 9,12
WINDOWS DELETED: 22, 23, 24, 25, 26, 27, 28, 29

REVISION	DESCRIPTION	DATE	LEGEND & NOTES
A	FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION	23.03.2021	
B	S4.55 MODIFICATION - NOT FOR CONSTRUCTION	18.07.2025	

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S4.55 MODIFICATION - NOT FOR CONSTRUCTION

CLIENT	SCALE	@ A3	DRAWING TITLE	
PAGLIARO			MATERIALS / WINDOW SCHEDULES	
ADDRESS	DRAWN BY.	DESIGNED BY.	TRUE NORTH	DATE
17 MARETIMO ST BALGOWLAH, NSW 2093 LOT 6 IN DP 18433	AB	RU		18.07.2025
	PROJECT NO.	REV		DRAWING NO.
	17.14	B		DA901