

Denotes New Works

Wall Legend

- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes Existing Wall
- Denotes Demolished Item

Rapid Plans
Building Design and Architectural Drafting

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BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

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ACCREDITED BUILDING DESIGNER

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NOTES

Cnr Bennett Street & Stirgess Avenue, Curl Curl is zoned RE2-Private Recreation
Cnr Bennett Street & Stirgess Avenue, Curl Curl is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue Contouring
Slab, Cavity Brick Walls
Roof Framed to have R3.5 Insulation
Insulation to External Cavity Brick Walls R1.17
Refer to Engineers drawings for structural details
All work to Engineers Specifications and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a certified Construction Certificate drawings by Rapid Plans.

Basic Certificate Number 11301715

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that additional insulation is not required where the area of new construction is less than 20m². Insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

- Level of Playing Surface**
- Currently 65mm pile height with 50mm of infill from roadbase underneath (+50mm) to be removed.
 - Proposed 50mm pile height with 30mm infill plus 20mm shockpad and 20mm drainage (+50mm from roadbase as drainage cell acts as water storage)

SITE PLAN
1:500

Project address	
Project name	Harbord Bowling Club
Street address	4/0 Bennett Street Curl Curl 2096
Local Government Area	Northern Beaches Council
Plan type and plan number	Deposited Plan 601758
Lot no.	4
Section no.	-
Project type	
Project type	separate dwelling house
No. of bedrooms	0
Site details	
Site area (m ²)	2800
Roof area (m ²)	298
Conditioned floor area (m ²)	46.55
Unconditioned floor area (m ²)	53.86
Total area of garden and lawn (m ²)	1000

Assessor details and thermal loads			
Assessor number	n/a		
Certificate number	n/a		
Climate zone	n/a		
Area adjusted cooling load (MJ/m ² .year)	n/a		
Area adjusted heating load (MJ/m ² .year)	n/a		
Project score			
Water	40	Target	40
Thermal Comfort	Pass	Target	Pass
Energy	51	Target	50

Construction	Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground	nil	
external wall - cavity brick	0.50 (or 1.17 including construction)	
ceiling and roof - flat ceiling / flat roof, framed	ceiling: 3.5 (up), roof: foil backed blanket (75 mm)	framed; medium (solar absorptance 0.475-0.70)

- Note**
- Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.
 - In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.

Site Information	Prop.	Comp.
Site Area	17,536.9m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m ²)	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

N

Drawn | Checked GBJ
Plot Date: 9/04/2021
Project NO.: RPO6201AR
Project Status DA Rev2

Client Oli Bramley

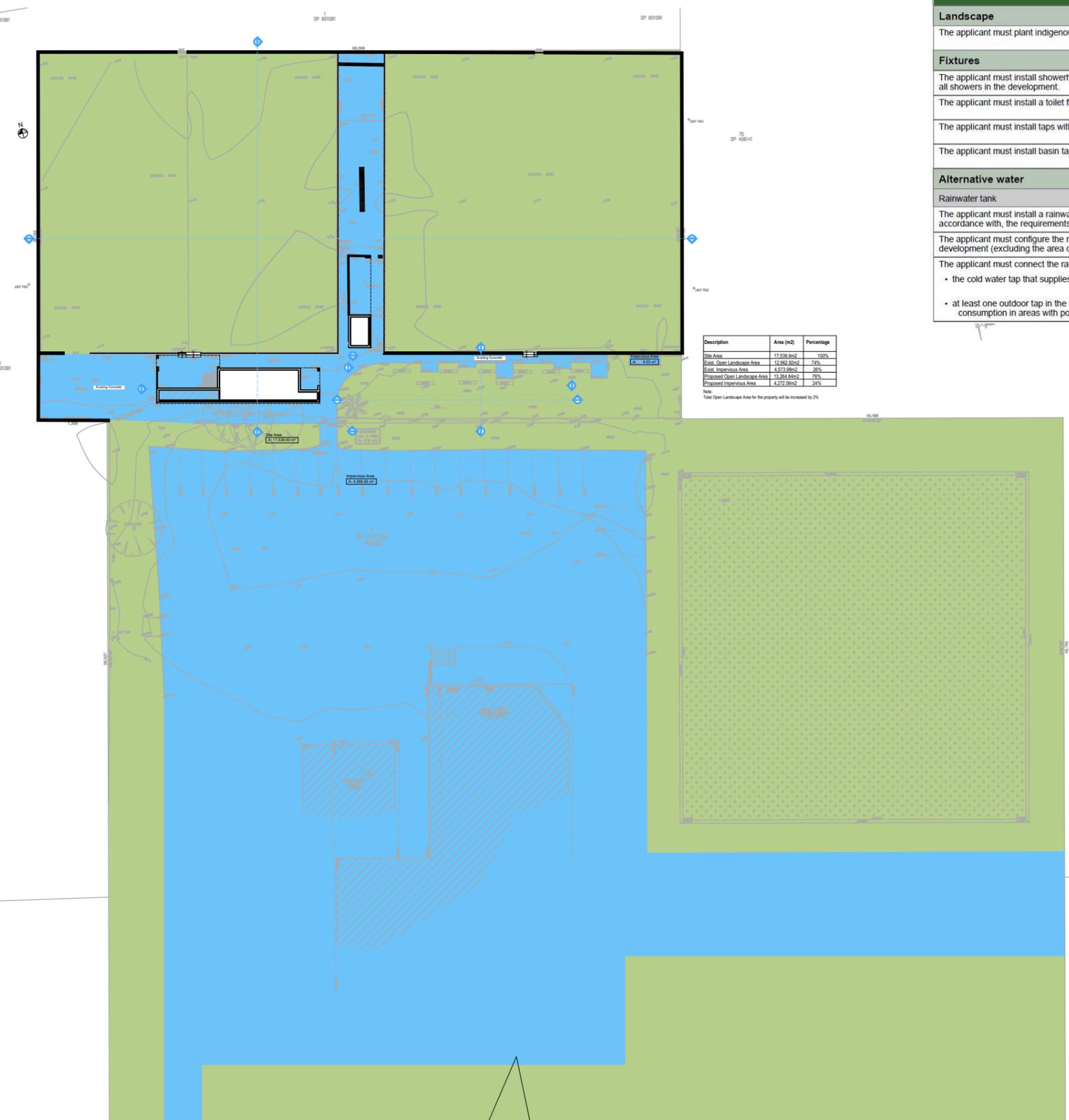
Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

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DA APPLICATION ONLY NOT FOR CONSTRUCTION

DA1004

Plot Date: 9/04/2021
Sheet Size: A3



- Water Commitments**
- Landscape**
The applicant must plant indigenous or low water use species of vegetation throughout 500 square metres of the site.
- Fixtures**
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.
- Alternative water**
- Rainwater tank**
The applicant must install a rainwater tank of at least 6000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the rainwater tank to collect rain runoff from at least 297.77 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).
The applicant must connect the rainwater tank to:
 - the cold water tap that supplies each clothes washer in the development
 - at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)

Denotes Impervious Area

Denotes Pervious Area



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NOTES
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All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in ShadedBlue
Construction
Slab, Cavity Brick Walls
Roof Framed to have R3.5 Insulation
Insulation to External Cavity Brick Walls R1.17
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber Framing to BCA and AS 1684
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Glazing to BCA and AS1288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basic
Basic Certificate Number 11301715
All Plans to be read in conjunction with Basic Certificate
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The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overhanging specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	17,536.9m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m2)	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 9/04/2021
Project NO.: RPO0201AR
Project Status DA Rev2

Client Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

DRAWING TITLE SITE AND LOCATION
Landscape Open Space Plan Existing

PROJECT NAME:
New Amenity Building & Additions

REVISION NO. DATE
2 9-4-2021

DRAWING NO.
DA1010

Plot Date: 9/04/2021
Sheet Size: A3

2 LANDSCAPE OPEN SPACE EXISTING 1:500

ADJOINS TO DA1011

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans.

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Water Commitments	
Landscape	The applicant must plant indigenous or low water use species of vegetation throughout 500 square metres of the site.
Fixtures	The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development. The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development. The applicant must install taps with a minimum rating of 5 star in the kitchen in the development. The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.
Alternative water	Rainwater tank The applicant must install a rainwater tank of at least 6000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. The applicant must configure the rainwater tank to collect rain runoff from at least 297.77 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam). The applicant must connect the rainwater tank to: <ul style="list-style-type: none"> the cold water tap that supplies each clothes washer in the development at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)

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Slab, Cavity Brick Walls
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Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
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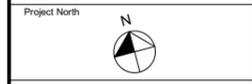
Certifying
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Basic
Basic Certificate Number 11301715
All Plans to be read in conjunction with Basic Certificate
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The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overhanging specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

ADJOINS TO DA1010



Site Information	Prop.	Comp.
Site Area	17,536.9m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m ²)	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 9/04/2021
Project NO.: RP062018AR
Project Status DA Rev2

Client Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

DRAWING TITLE SITE AND LOCATION
Landscape Open Space Existing 2

PROJECT NAME:
New Amenity Building & Additions

REVISION NO.	DATE
2	9-4-2021

DRAWING NO. **DA1011**

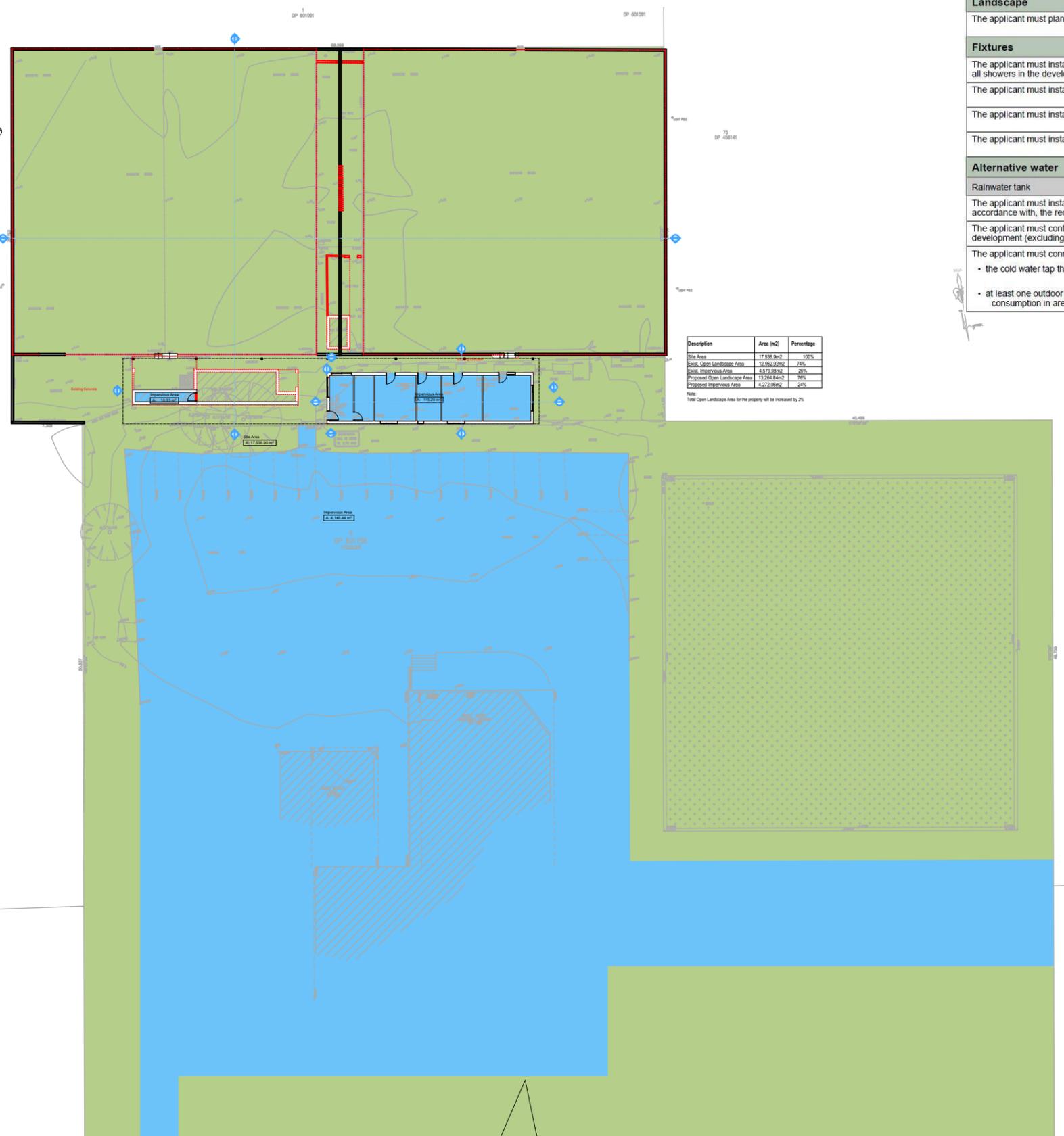
Plot Date: 9/04/2021
Sheet Size: A3

2

LANDSCAPE OPEN SPACE EXISTING
1:500

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NOT FOR CONSTRUCTION



Description	Area (m ²)	Percentage
Site Area	17,536.9m ²	100%
Basic Open Landscape Area	12,951.92m ²	74%
Basic Impervious Area	4,573.98m ²	26%
Proposed Open Landscape Area	13,264.84m ²	75%
Proposed Impervious Area	4,272.06m ²	24%

Note:
Total Open Landscape Area for the property will be increased by 2%.

- Water Commitments**
- Landscape**
The applicant must plant indigenous or low water use species of vegetation throughout 500 square metres of the site.
- Fixtures**
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.
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- Alternative water**
- Rainwater tank**
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 Denotes Impervious Area

 Denotes Pervious Area

Rapid Plans
Building Design and Architectural Drafting

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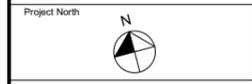
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Conditioning
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Site Information	Prop.	Comp.
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Housing Density (dwelling/m ²)	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m ²)	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 9/04/2021
Project NO.: RPO0201AR
Project Status DA Rev2

Client Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

DRAWING TITLE SITE AND LOCATION
Landscape Open Space Plan Proposed

PROJECT NAME:
New Amenity Building & Additions

REVISION NO. DATE
2 9-4-2021
DRAWING NO.
DA1012

Plot Date: 9/04/2021
Sheet Size: A3

2

LANDSCAPE OPEN SPACE PROPOSED
1:500

ADJOINS TO DA1013

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DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Water Commitments
Landscape
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Fixtures
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 Denotes Impervious Area

 Denotes Pervious Area



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New Lighting to have minimum of 40% compact fluorescent lamps
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ADJOINS TO DA1012



BENNETT

STREET

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DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Site Information	Prop.	Comp.
Site Area	17,536.9m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m ²)	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ
Plot Date: 9/04/2021
Project NO.: RPO0201AR
Project Status DA Rev2

Client Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

DRAWING TITLE SITE AND LOCATION
Landscape Open Space Proposed 2

PROJECT NAME:
New Amenity Building & Additions

REVISION NO. DATE
2 9-4-2021

DRAWING NO.
DA1013

Plot Date: 9/04/2021
Sheet Size: A3

Level of Playing Surface

- Currently 65mm pile height with 50mm of infill from roadbase underneath (+50mm) to be removed.
- Proposed 50mm pile height with 30mm infill plus 20mm shockpad and 20mm drainage (+50mm from roadbase as drainage cell acts as water storage)

Site Information	Prop.	Comp.
Site Area	17,536.9m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m ²)	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

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Project North

Drawn | Checked GBJ
Plot Date: 9/04/2021
Project No.: RP06201AR
Project Status DA Rev2

Client: Oli Bramley
Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

DRAWING TITLE: PLANS
GROUND FLOOR

PROJECT NAME:
New Amenity Building & Additions

REVISION NO. DATE
2 9-4-2021

DRAWING NO.
DA2001

Plot Date: 9/04/2021
Sheet Size: A3



- Denotes New Works
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
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Wall Legend

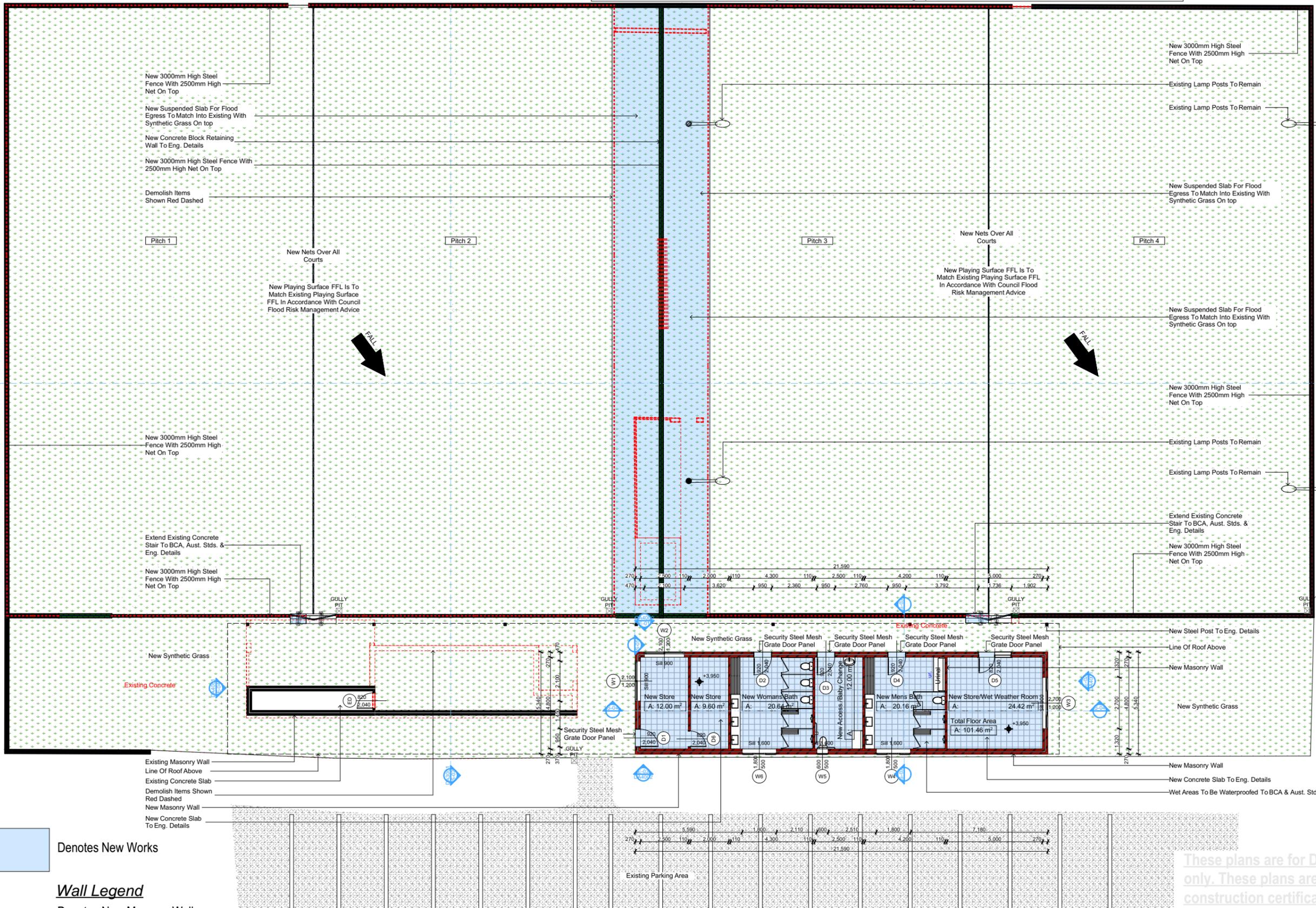
GROUND FLOOR
1:200

Construction	Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground	nil	
external wall - cavity brick	0.50 (or 1.17 including construction)	
ceiling and roof - flat ceiling / flat roof, framed	ceiling: 3.5 (up), roof: foil backed blanket (75 mm)	framed; medium (solar absorbance 0.475-0.70)

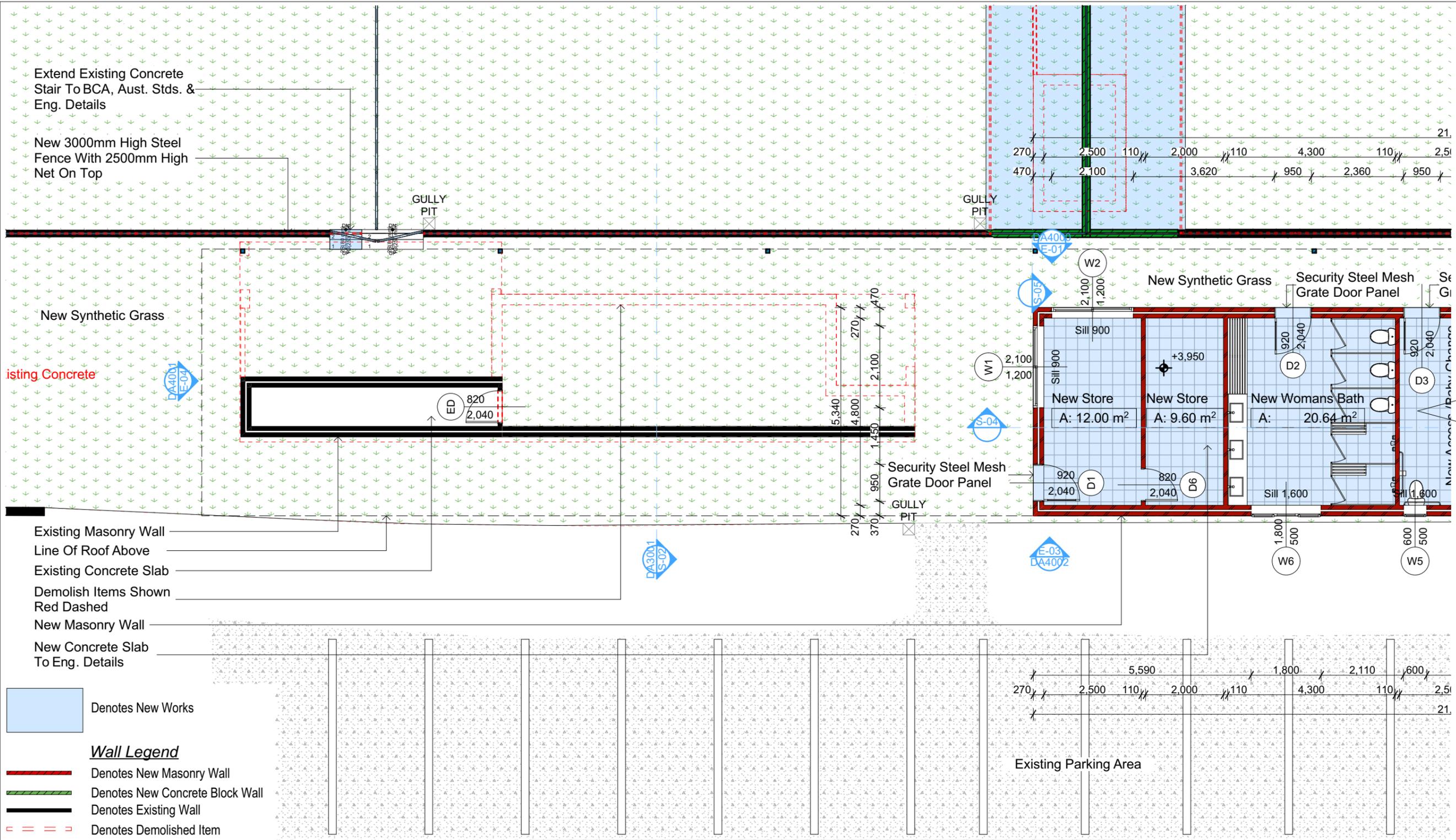
- Note • Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.
Note • In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans.

DA APPLICATION ONLY
NOT FOR CONSTRUCTION



ADJOINS TO DA2003



2 GROUND FLOOR
1:100

Level of Playing Surface

- Currently 65mm pile height with 50mm of infill from roadbase underneath (+50mm) to be removed.
- Proposed 50mm pile height with 30mm infill plus 20mm shockpad and 20mm drainage (+50mm from roadbase as drainage cell acts as water storage)

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
Cnr Bennett Street & Stirgess Avenue, Curl Curl is zoned RE2-Private Recreation
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
Cnr Bennett Street & Stirgess Avenue, Curl Curl is not considered a heritage item

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Slab, Cavity Brick Walls
Roof Framed to have R3.5 Insulation
Insulation to External Cavity Brick Walls R1.17
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number 1130171S
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m².
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

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Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	17,536.9m ²	Yes	% of landscape open space (40% min)	6%	Yes
Housing Density (dwelling/m ²)	2	Yes	Impervious area (m ²)	24%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	No. of car spaces provided	2	Yes
Maximum depth of fill (m)	513mm	Yes			

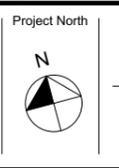


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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked Plot Date: GBJ 9/04/2021
Project NO: RPO620HAR
Project Status: DA Rev2

Client: Oli Bramley
Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

Sheet Size: A3

DRAWING TITLE :
PLANS
GROUND FLOOR 2

PROJECT NAME :
New Amenity Building & Additions

REVISION NO.
2
DATE:
9-4-2021
DRAWING NO.
DA2002

Energy Commitments	
Hot water	The applicant must install the following hot water system in the development, or a system with a higher energy rating: solar (electric boosted) with a performance of 15 to 20 STCs or better.
Cooling system	The living areas must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system. The bedrooms must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.
Heating system	The living areas must not incorporate any heating system, or any ducting which is designed to accommodate a heating system. The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.
Ventilation	The applicant must install the following exhaust systems in the development: At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: n/a Kitchen: no mechanical ventilation (ie. natural); Operation control: n/a Laundry: natural ventilation only, or no laundry; Operation control: n/a
Artificial lighting	The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: - at least 1 of the bedrooms / study; dedicated - at least 1 of the living / dining rooms; dedicated - all bathrooms/toilets; dedicated

Energy Commitments	
Natural lighting	The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.
Other	The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions. The applicant must install a fixed outdoor clothes drying line as part of the development. The applicant must install a fixed indoor or sheltered clothes drying line as part of the development.



Denotes New Works

Wall Legend



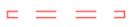
Denotes New Masonry Wall



Denotes New Concrete Block Wall

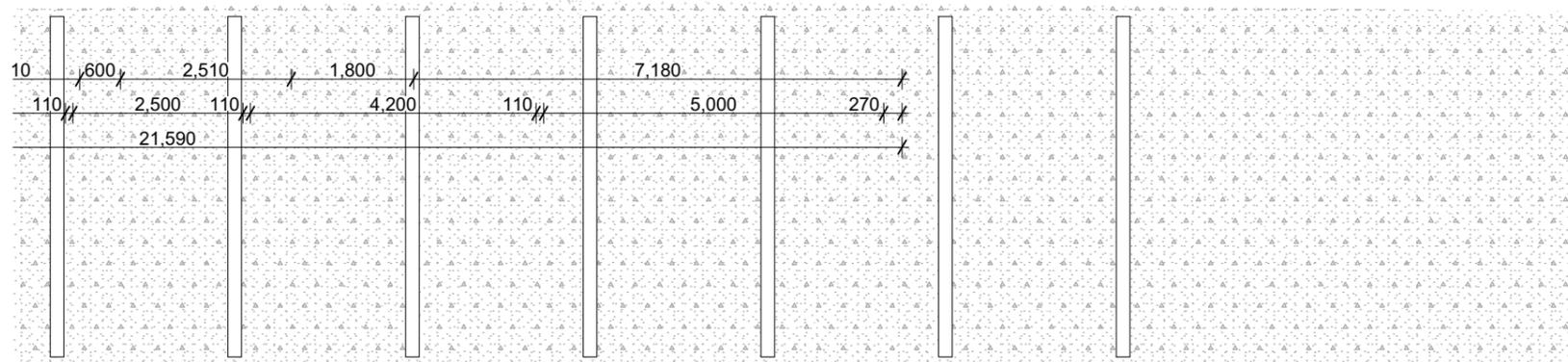
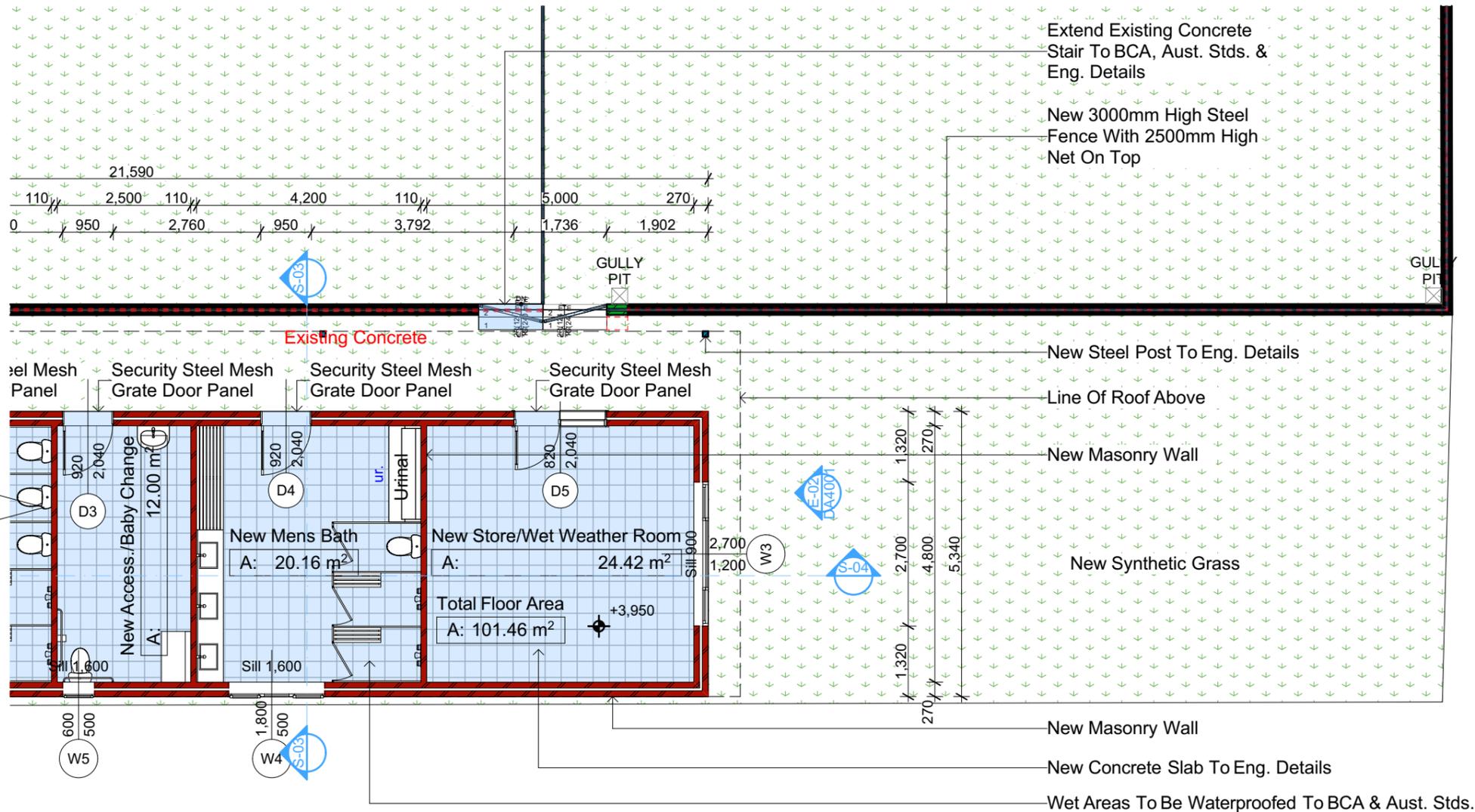


Denotes Existing Wall



Denotes Demolished Item

ADJOINS TO DA2002



- Level of Playing Surface**
- Currently 65mm pile height with 50mm of infill from roadbase underneath (+50mm) to be removed.
 - Proposed 50mm pile height with 30mm infill plus 20mm shockpad and 20mm drainage (+50mm from roadbase as drainage cell acts as water storage)

2
GROUND FLOOR
1:100

NOTES
Cnr Bennett Street & Stirgess Avenue, Curl Curl is zoned RE2-Private Recreation
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
Cnr Bennett Street & Stirgess Avenue, Curl Curl is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Slab, Cavity Brick Walls
Roof Framed to have R3.5 Insulation
Insulation to External Cavity Brick Walls R1.17
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number 1130171S
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m².
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

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Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	17,536.9m ²	Yes	% of landscape open space (40% min)	6%	Yes
Housing Density (dwelling/m ²)	2	Yes	Impervious area (m ²)	24%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	No. of car spaces provided	2	Yes
Maximum depth of fill (m)	513mm	Yes			

DA APPLICATION ONLY
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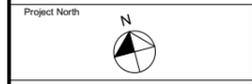
Project North
Checked Plot Date: GBJ 9/04/2021
Project NO: RP0620HAR
Project Status: DA Rev2
Client: Oli Bramley
Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl
Sheet Size: A3

DRAWING TITLE : PLANS
GROUND FLOOR 3
PROJECT NAME : **New Amenity Building & Additions**

REVISION NO.
2
DATE: **9-4-2021**
DRAWING NO.
DA2003

Site Information	Prop.	Comp.
Site Area	17,536.9m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m ²)	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 9/04/2021
Project NO.: RP062019AR
Project Status DA Rev2

Client Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

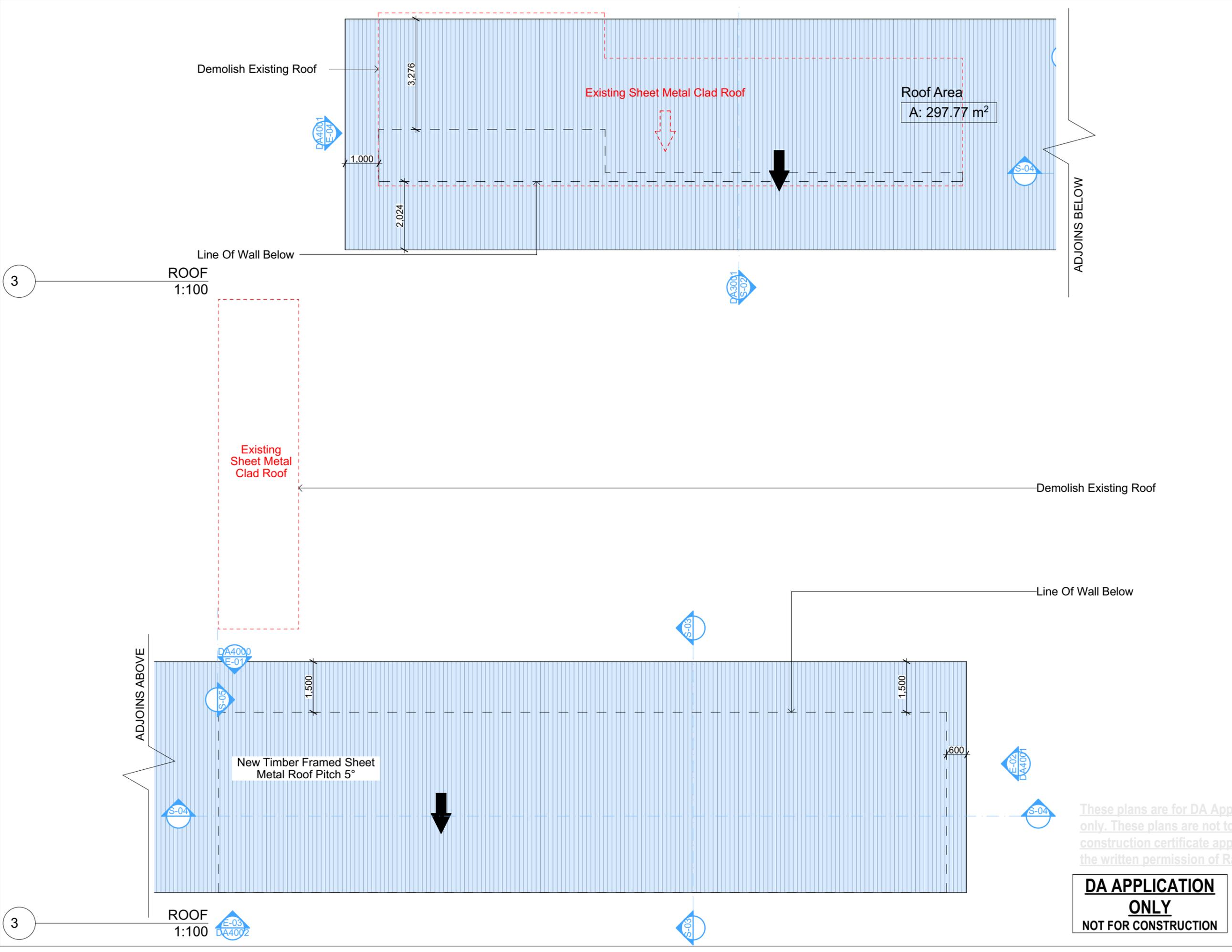
**DRAWING TITLE: PLANS
ROOF PLAN**

PROJECT NAME: New Amenity Building & Additions

REVISION NO. DATE
2 9-4-2021

DRAWING NO.
DA2004

Plot Date: 9/04/2021
Sheet Size: A3



These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans.

**DA APPLICATION ONLY
NOT FOR CONSTRUCTION**

New Concrete Block Retaining Wall To Eng. Details
 New Suspended Slab For Flood Egress To Match Into Existing With Synthetic Grass On top
 New Playing Surface FFL Is To Match Existing Playing Surface FFL In Accordance With Council Flood Risk Management Advice
 New 3000mm High Steel Fence With 2500mm High Net On Top



ADJOINS BELOW

S-01 SECTION 1
1:100

Level of Playing Surface

- Currently 65mm pile height with 50mm of infill from roadbase underneath (+50mm) to be removed.
- Proposed 50mm pile height with 30mm infill plus 20mm shockpad and 20mm drainage (+50mm from roadbase as drainage cell acts as water storage)

Denotes New Works

Wall Legend

- Denotes New Masonry Wall
- Denotes New Concrete
- Denotes Existing Wall
- Denotes Demolished Item

New Suspended Slab For Flood Egress To Match Into Existing With Synthetic Grass On top
 New Playing Surface FFL Is To Match Existing Playing Surface FFL In Accordance With Council Flood Risk Management Advice
 New 3000mm High Steel Fence With 2500mm High Net On Top

ADJOINS ABOVE



S-01 SECTION 1
1:100

NOTES
 Cnr Bennett Street & Stirgess Avenue, Curl Curl is zoned RE2-Private Recreation
 All Plans to be read in conjunction with Basix Certificate
 New Works to be constructed shown in Shaded/Blue
 Cnr Bennett Street & Stirgess Avenue, Curl Curl is not considered a heritage item

Certifying
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Construction
 Slab, Cavity Brick Walls
 Roof Framed to have R3.5 Insulation
 Insulation to External Cavity Brick Walls R1.17
 Refer to Engineers drawings for structural details
 All work to Engineers Specification and BCA
 Timber framing to BCA and AS 1684
 Termite Management to BCA and AS 3660.1
 Glazing to BCA and AS01288-2047
 Waterproofing to BCA and AS 3740
 New Lighting to have minimum of 40% compact fluorescent lamps

Basix
 Basix Certificate Number 1130171S
 All Plans to be read in conjunction with Basix Certificate
 The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
 a) additional insulation is not required where the area of new construction is less than 2m².
 b) insulation specified is not required for parts of altered construction where insulation already exists.
 The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
 For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
 Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

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Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	17,536.9m ²	Yes	% of landscape open space (40% min)	76%	Yes
Housing Density (dwelling/m ²)	2	Yes	Impervious area (m ²)	24%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	No. of car spaces provided	2	Yes
Maximum depth of fill (m)	513mm	Yes			

DA APPLICATION ONLY
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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



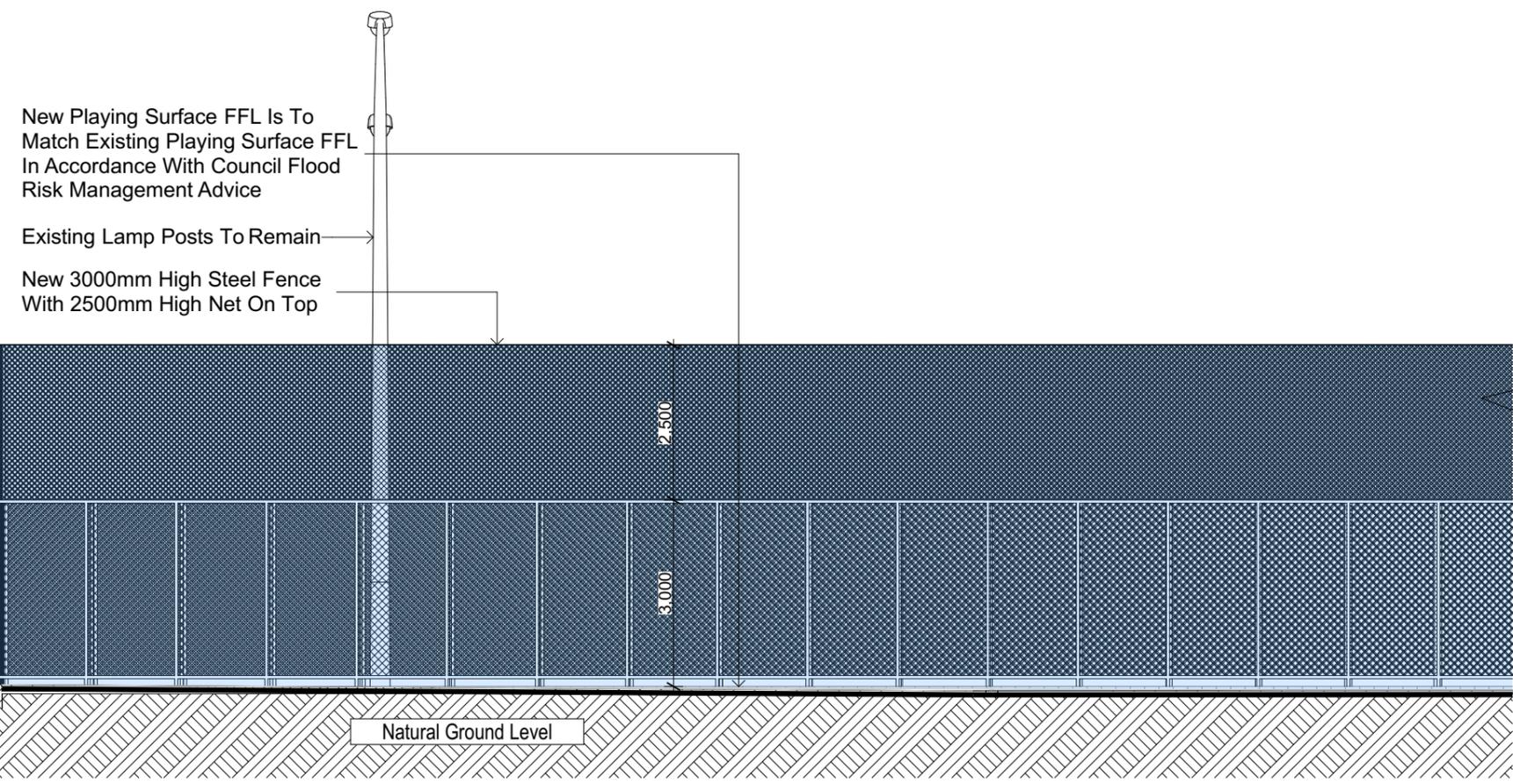
Checked: GBJ
 Plot Date: 9/04/2021
 Project NO: RP0620HAR
 Project Status: DA Rev2

Client: Oli Bramley
 Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

Sheet Size: A3

DRAWING TITLE :
SECTIONS 1
New Amenity Building & Additions

REVISION NO.
2
 DATE:
9-4-2021
 DRAWING NO.
DA3000

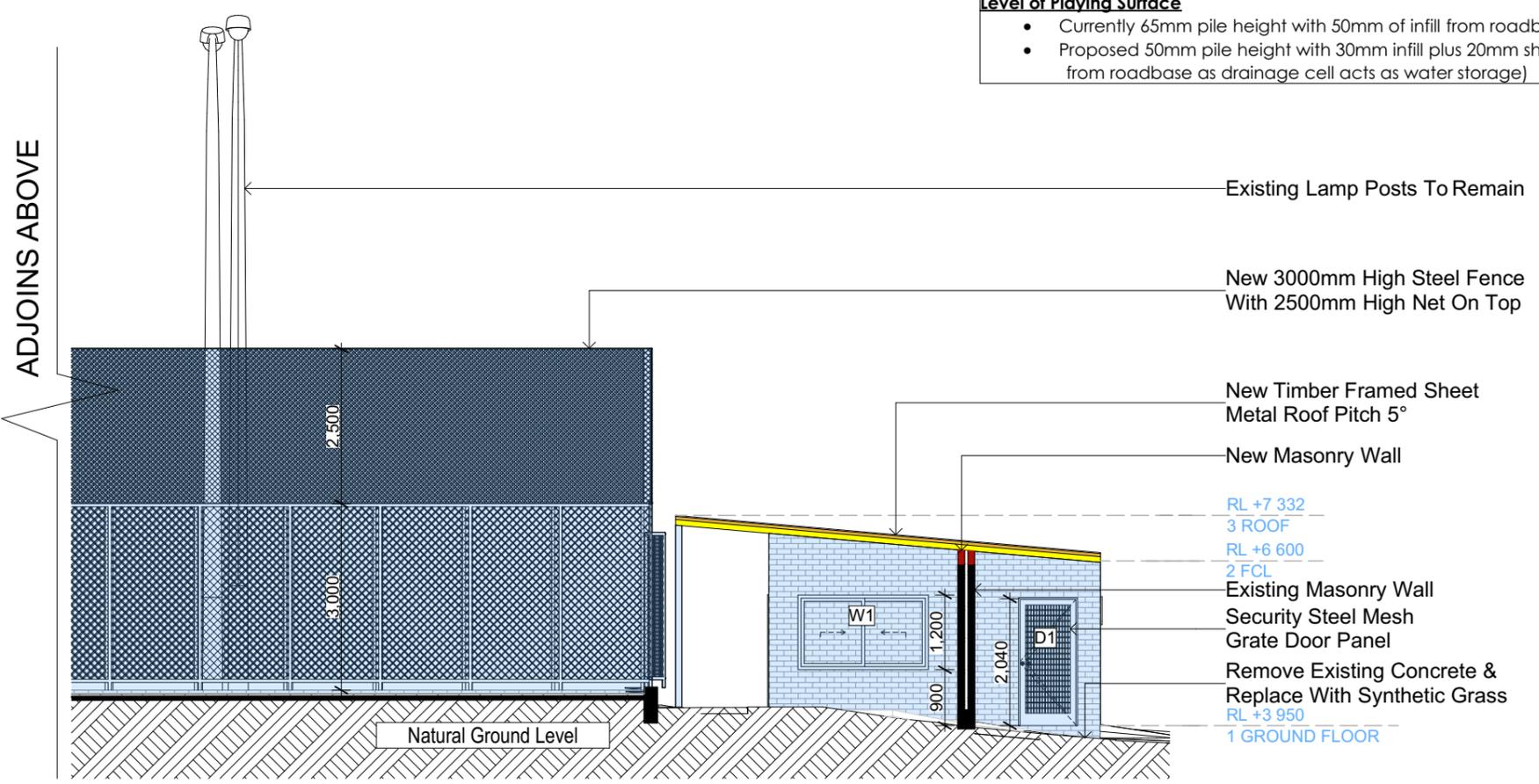


ADJOINS BELOW

S-02 SECTION 2
1:100

Level of Playing Surface

- Currently 65mm pile height with 50mm of infill from roadbase underneath (+50mm) to be removed.
- Proposed 50mm pile height with 30mm infill plus 20mm shockpad and 20mm drainage (+50mm from roadbase as drainage cell acts as water storage)



S-02 SECTION 2
1:100

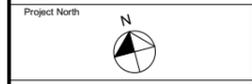
ADJOINS ABOVE

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DA APPLICATION ONLY
 NOT FOR CONSTRUCTION

Site Information	Prop.	Comp.
Site Area	17,536.9m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m ²)	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
 Plot Date: 9/04/2021
 Project NO.: RPO0201AR
 Project Status DA Rev2

Client Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

DRAWING TITLE: SECTIONS
SECTION 2

PROJECT NAME:
New Amenity Building & Additions

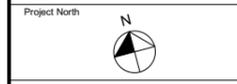
REVISION NO.	DATE
2	9-4-2021

DRAWING NO.
DA3001

Plot Date: 9/04/2021
 Sheet Size: A3

Site Information	Prop.	Comp.
Site Area	17,536.9m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m ²)	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 9/04/2021
Project No.: RPO0201AR
Project Status DA Rev2

Client: Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

DRAWING TITLE: SECTIONS
SECTION 3

PROJECT NAME:
New Amenity Building & Additions

REVISION NO.	DATE
2	9-4-2021

DRAWING NO:
DA3002

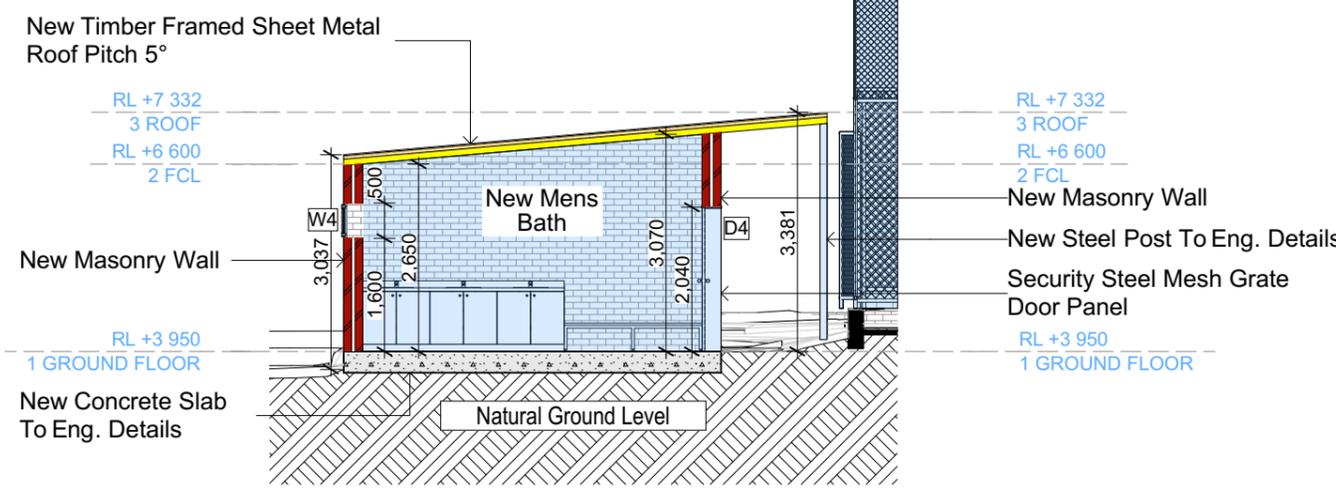
Plot Date: 9/04/2021
Sheet Size: A3

Thermal Comfort Commitments
General features
The dwelling must not have more than 2 storeys.
The conditioned floor area of the dwelling must not exceed 300 square metres.
The dwelling must not contain open mezzanine area exceeding 25 square metres.
The dwelling must not contain third level habitable attic room.
Floor, walls and ceiling/roof
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.

Thermal Comfort Commitments
Windows, glazed doors and skylights
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.
The following requirements must also be satisfied in relation to each window and glazed door:
<ul style="list-style-type: none"> For the following glass and frame types, the certifier check can be performed by visual inspection. Aluminium single clear Aluminium double (air) clear Timber/UPVC/fibreglass single clear Timber/UPVC/fibreglass double (air) clear

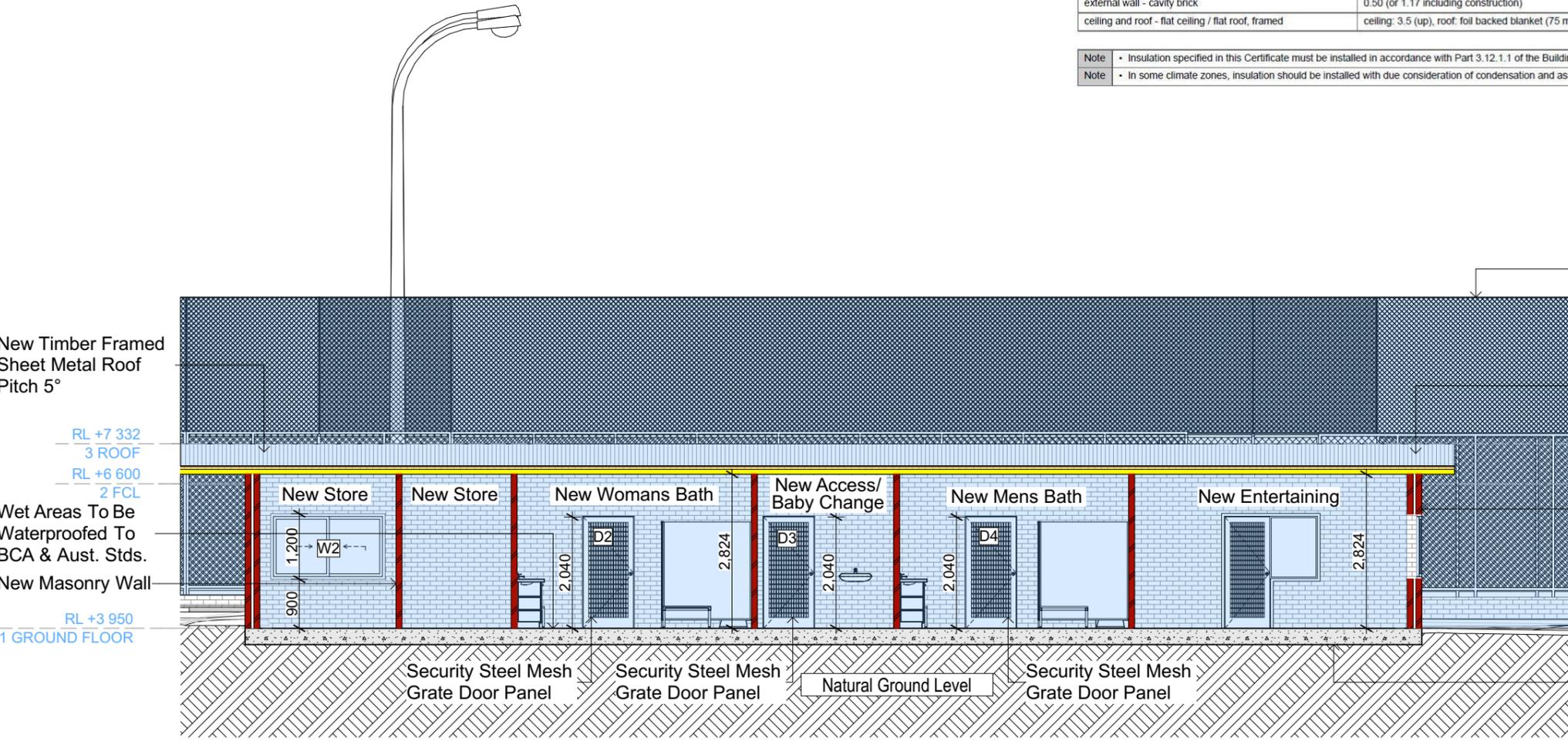
Construction	Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground	nil	
external wall - cavity brick	0.50 (or 1.17 including construction)	
ceiling and roof - flat ceiling / flat roof, framed	ceiling: 3.5 (up), roof: foil backed blanket (75 mm)	framed; medium (solar absorptance 0.475-0.70)

Note: Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.
Note: In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.



Building Section
1:100

S-03



Building Section
1:100

S-04

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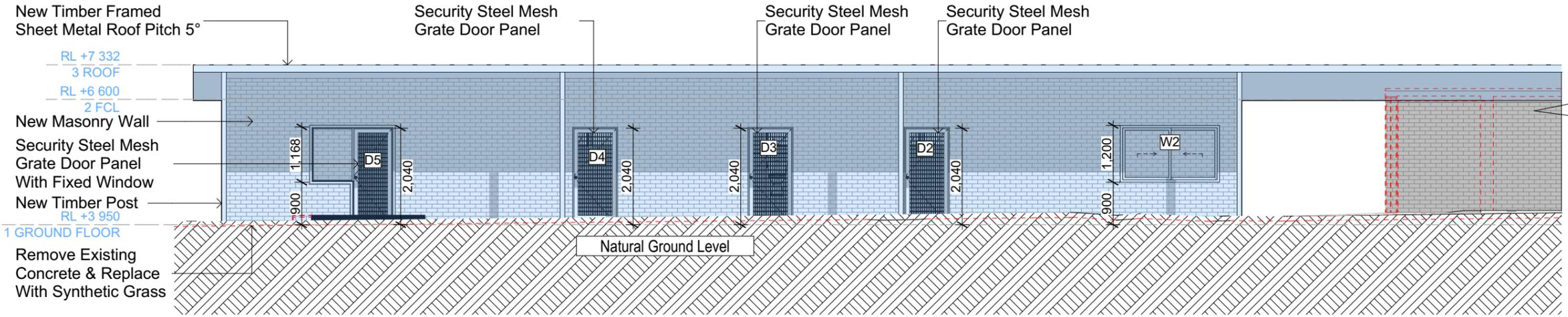
DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Max Building Height 8500 Above GL

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NOTES
Cnr Bennett Street & Stirgess Avenue, Curl Curl is zoned RE2-Private Recreation
Cnr Bennett Street & Stirgess Avenue, Curl Curl is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue Contour
Slab, Cavity Brick Walls
Roof Framed to have R3.5 Insulation
Refer to Engineers drawings for structural details
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1728-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a certified Construction Certificate drawings by Rapid Plans.
Basic
Basic Certificate Number 11301715
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that additional insulation is not required where the area of new construction is less than 2000 m².
Insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



E-01 North 1:100

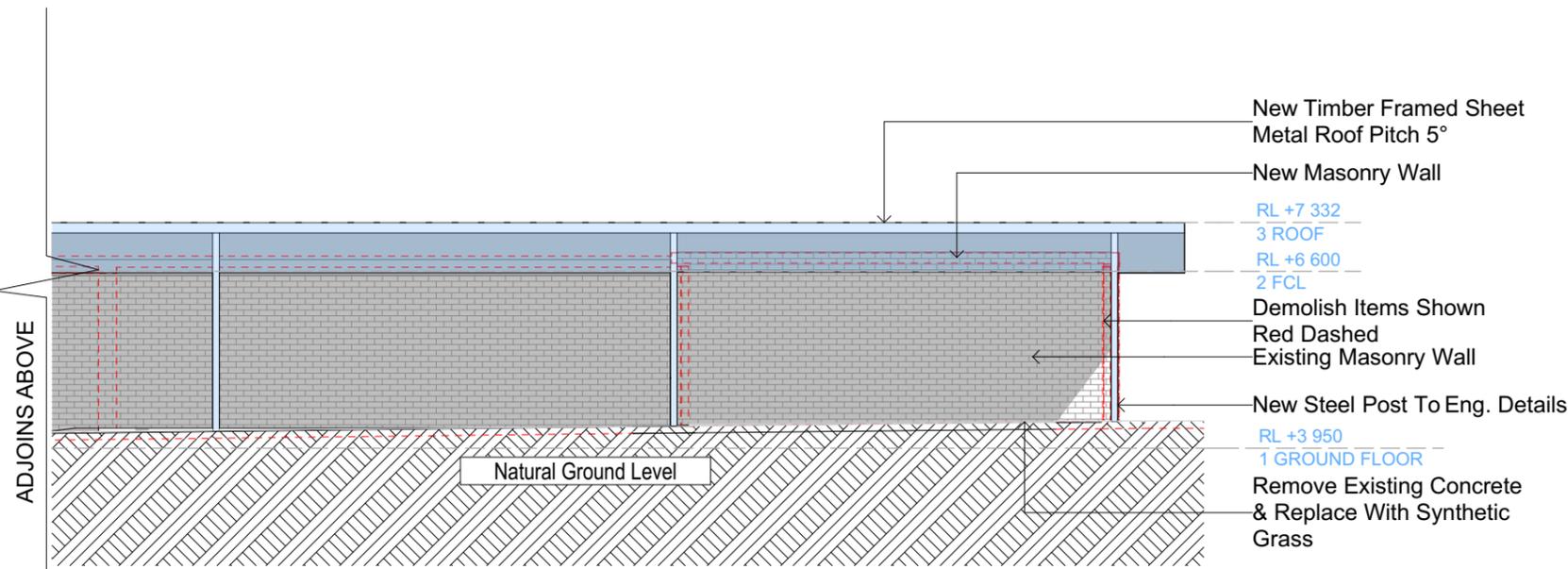
Denotes New Works

Wall Legend

Denotes Existing Concrete

Denotes Demolished Item

Max Building Height 8500 Above GL



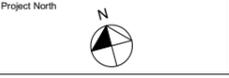
E-01 North 1:100

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans.

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Site Information	Prop.	Comp.
Site Area	17,536.9m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m ²)	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 9/04/2021
Project No.: RPO2021AR
Project Status DA Rev2

Client Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

DRAWING TITLE: ELEVATIONS
ELEVATIONS 1

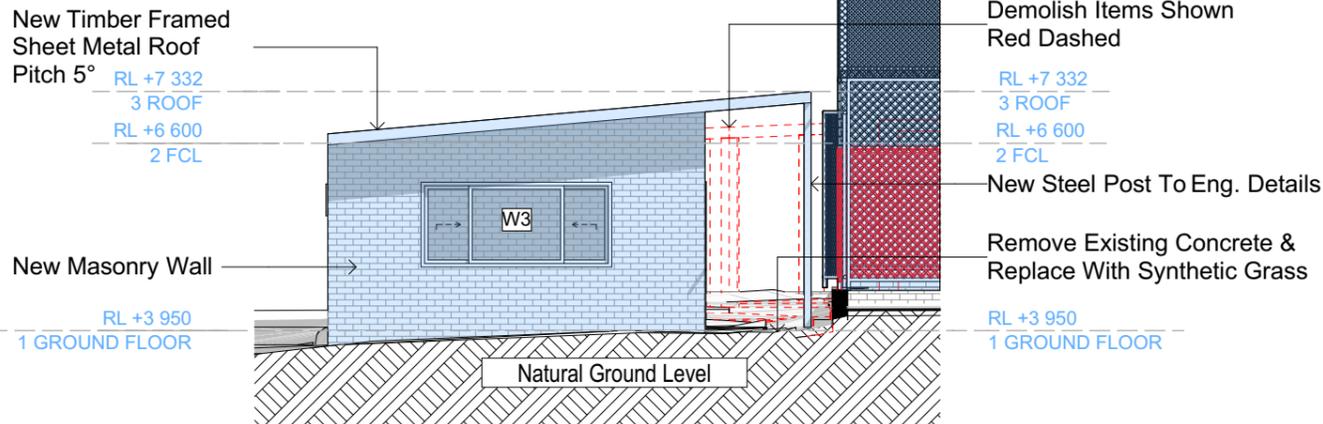
PROJECT NAME: **New Amenity Building & Additions**

REVISION NO. DATE
2 9-4-2021

DRAWING NO. **DA4000**

Plot Date: 9/04/2021
Sheet Size: A3

Max Building Height 8500 Above GL



E-02 East 1:100

Construction	Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground	nil	
external wall - cavity brick	0.50 (or 1.17 including construction)	
ceiling and roof - flat ceiling / flat roof, framed	ceiling: 3.5 (up), roof: foil backed blanket (75 mm)	framed; medium (solar absorptance 0.475-0.70)

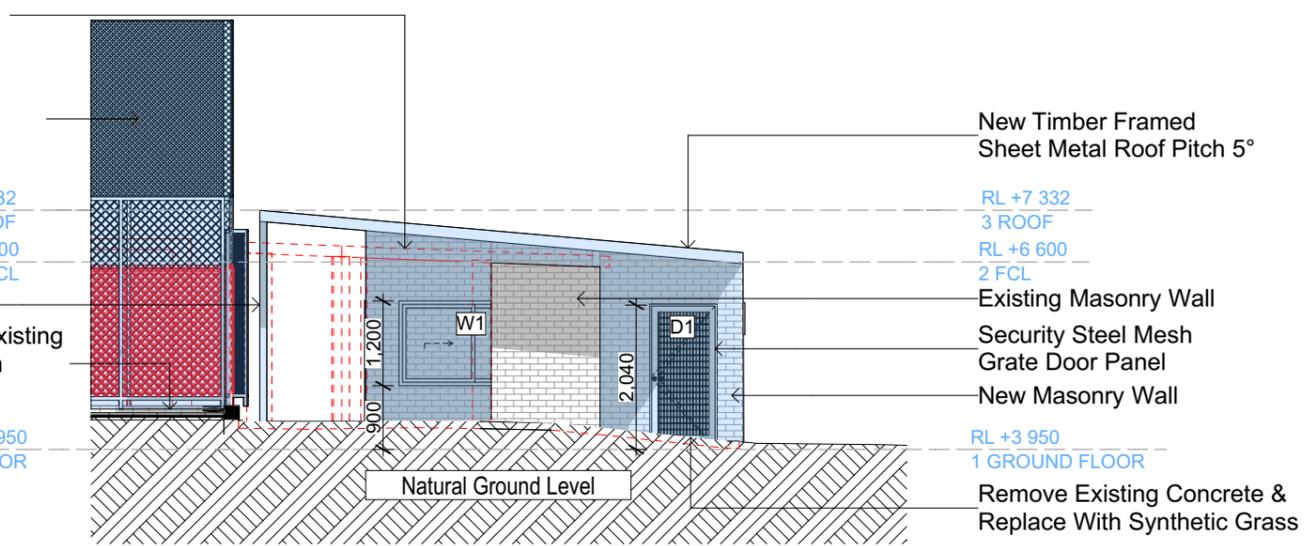
Note - Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.
 Note - In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.

Demolish Items Shown Red Dashed

New 3000mm High Steel Fence With 2500mm High Net On Top

New Steel Post To Eng. Details
 New Playing Surface FFL Is To Match Existing
 Playing Surface FFL In Accordance With
 Council Flood Risk Management Advice

RL +7 332
3 ROOF
RL +6 600
2 FCL
RL +3 950
1 GROUND FLOOR



E-04 West 1:100

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
North-East facing					
W2	1200	2100	aluminium, single, clear	eave 1500 mm, 1125 mm above head of window or glazed door	not overshadowed
W3	1200	2700	aluminium, single, clear	eave 1500 mm, 1125 mm above head of window or glazed door	not overshadowed
South-East facing					
D5	2100	2700	aluminium, single, clear	eave 750 mm, 878 mm above head of window or glazed door	not overshadowed
South-West facing					
W4	500	1800	aluminium, single, clear	eave 150 mm, 550 mm above head of window or glazed door	not overshadowed
W5	500	600	aluminium, single, clear	eave 150 mm, 550 mm above head of window or glazed door	not overshadowed

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
W6	500	1800	aluminium, single, clear	eave 150 mm, 550 mm above head of window or glazed door	not overshadowed
North-West facing					
W1	1200	2100	aluminium, single, clear	eave 3050 mm, 952 mm above head of window or glazed door	not overshadowed

Level of Playing Surface

- Currently 65mm pile height with 50mm of infill from roadbase underneath (+50mm) to be removed.
- Proposed 50mm pile height with 30mm infill plus 20mm shockpad and 20mm drainage (+50mm from roadbase as drainage cell acts as water storage)

Max Building Height 8500 Above GL

NOTES
 Cnr Bennett Street & Stirgess Avenue, Curl Curl is zoned RE2-Private Recreation
 All Plans to be read in conjunction with Basix Certificate
 New Works to be constructed shown in Shaded/Blue
 Cnr Bennett Street & Stirgess Avenue, Curl Curl is not considered a heritage item

Certifying
 The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
 Slab, Cavity Brick Walls
 Roof Framed to have R3.5 Insulation
 Insulation to External Cavity Brick Walls R1.17
 Refer to Engineers drawings for structural details
 All work to Engineers Specification and BCA
 Timber framing to BCA and AS 1684
 Termite Management to BCA and AS 3660.1
 Glazing to BCA and AS01288-2047
 Waterproofing to BCA and AS 3740
 New Lighting to have minimum of 40% compact fluorescent lamps

Basix
 Basix Certificate Number 1130171S
 All Plans to be read in conjunction with Basix Certificate
 The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
 a) additional insulation is not required where the area of new construction is less than 2m².
 b) insulation specified is not required for parts of altered construction where insulation already exists.
 The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
 For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
 Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

These plans are for DA Application purposes only. They are not to be used for construction certificate application without the written permission of Rapid Plans.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	17,536.9m ²	Yes	% of landscape open space (40% min)	6%	Yes
Housing Density (dwelling/m ²)	2	Yes	Impervious area (m ²)	24%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	No. of car spaces provided	2	Yes
Maximum depth of fill (m)	513mm	Yes			

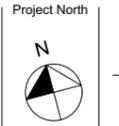
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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked Plot Date: 9/04/2021
 Project NO: RPO620HAR
 Project Status: DA Rev2

Client Site: Oli Bramley
 Cnr Bennett Street & Stirgess Avenue, Curl Curl

Sheet Size: A3

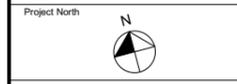
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PROJECT NAME : New Amenity Building & Additions

REVISION NO. 2
 DATE: 9-4-2021
 DRAWING NO. DA4001

Site Information	Prop.	Comp.
Site Area	17,536.9m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m ²)	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
 Plot Date: 9/04/2021
 Project No.: RPO6201AR
 Project Status DA Rev2

Client: Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

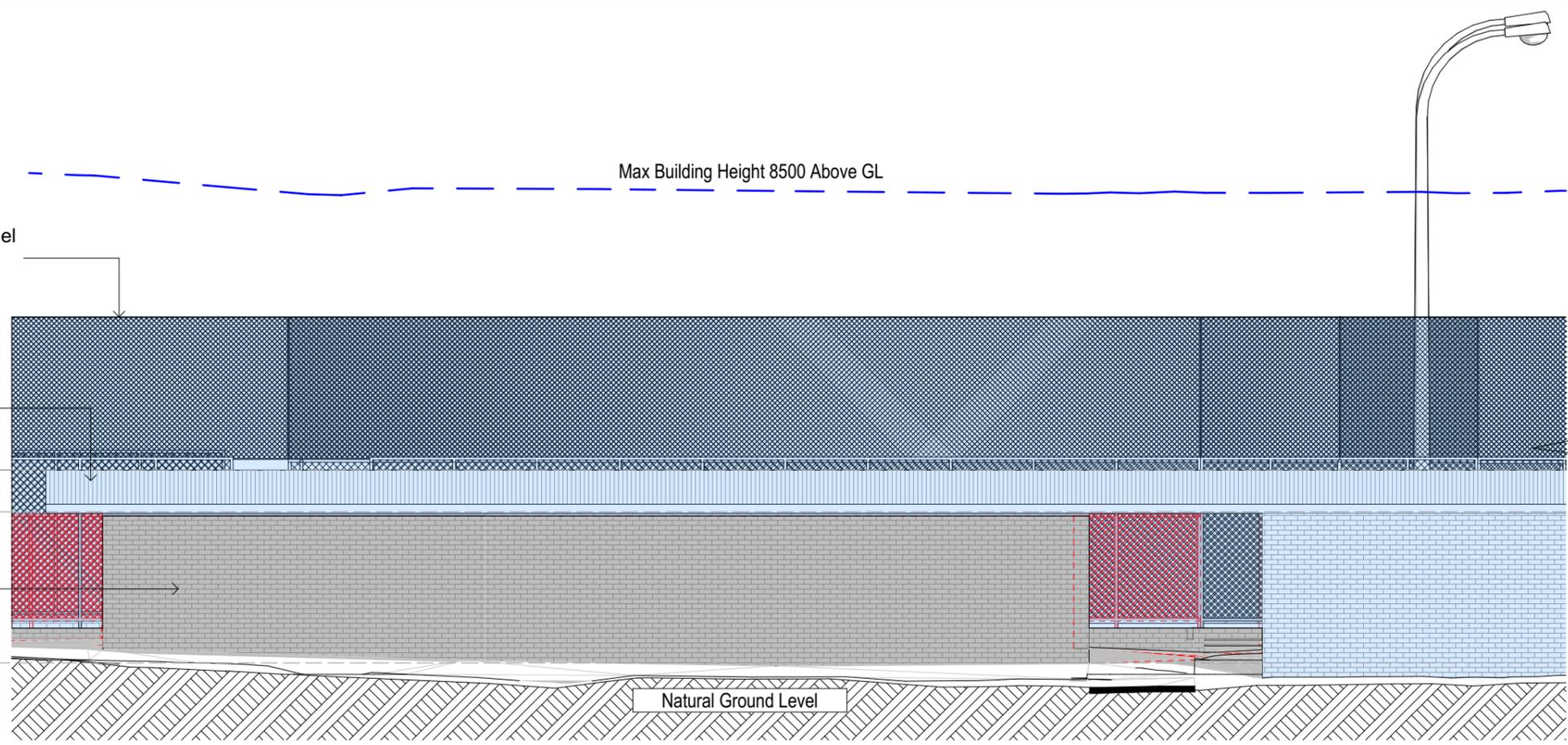
DRAWING TITLE: ELEVATIONS 3

PROJECT NAME: New Amenity Building & Additions

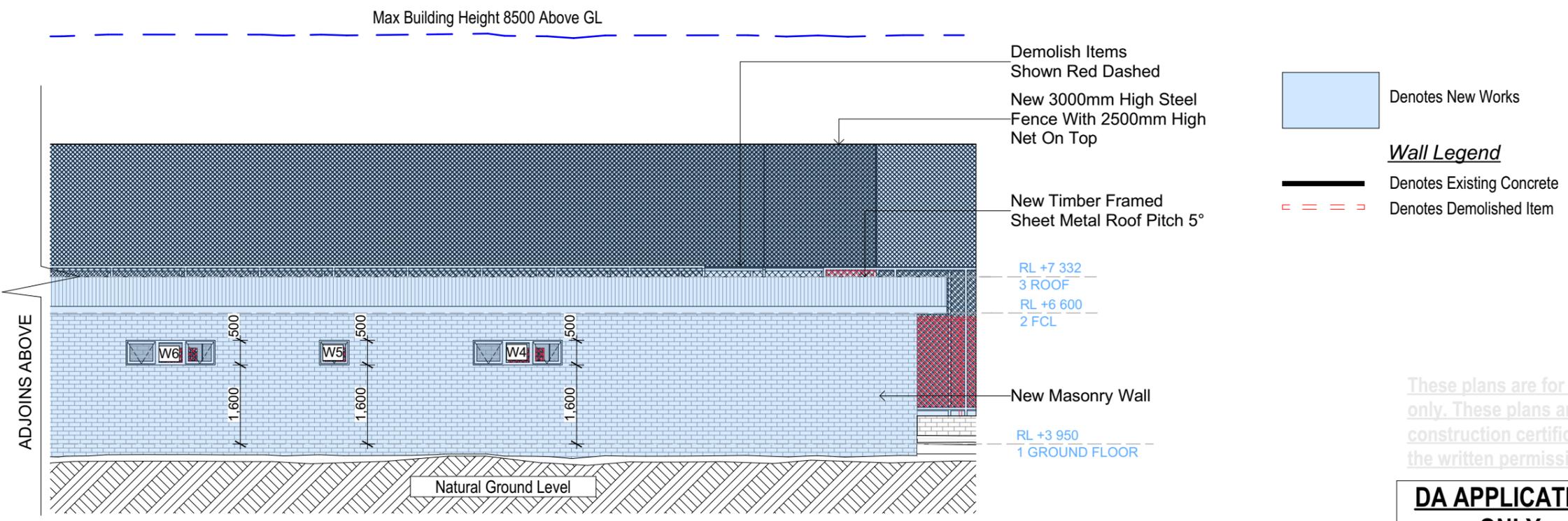
REVISION NO. DATE
 2 9-4-2021

DRAWING NO. DA4002

Plot Date: 9/04/2021
 Sheet Size: A3



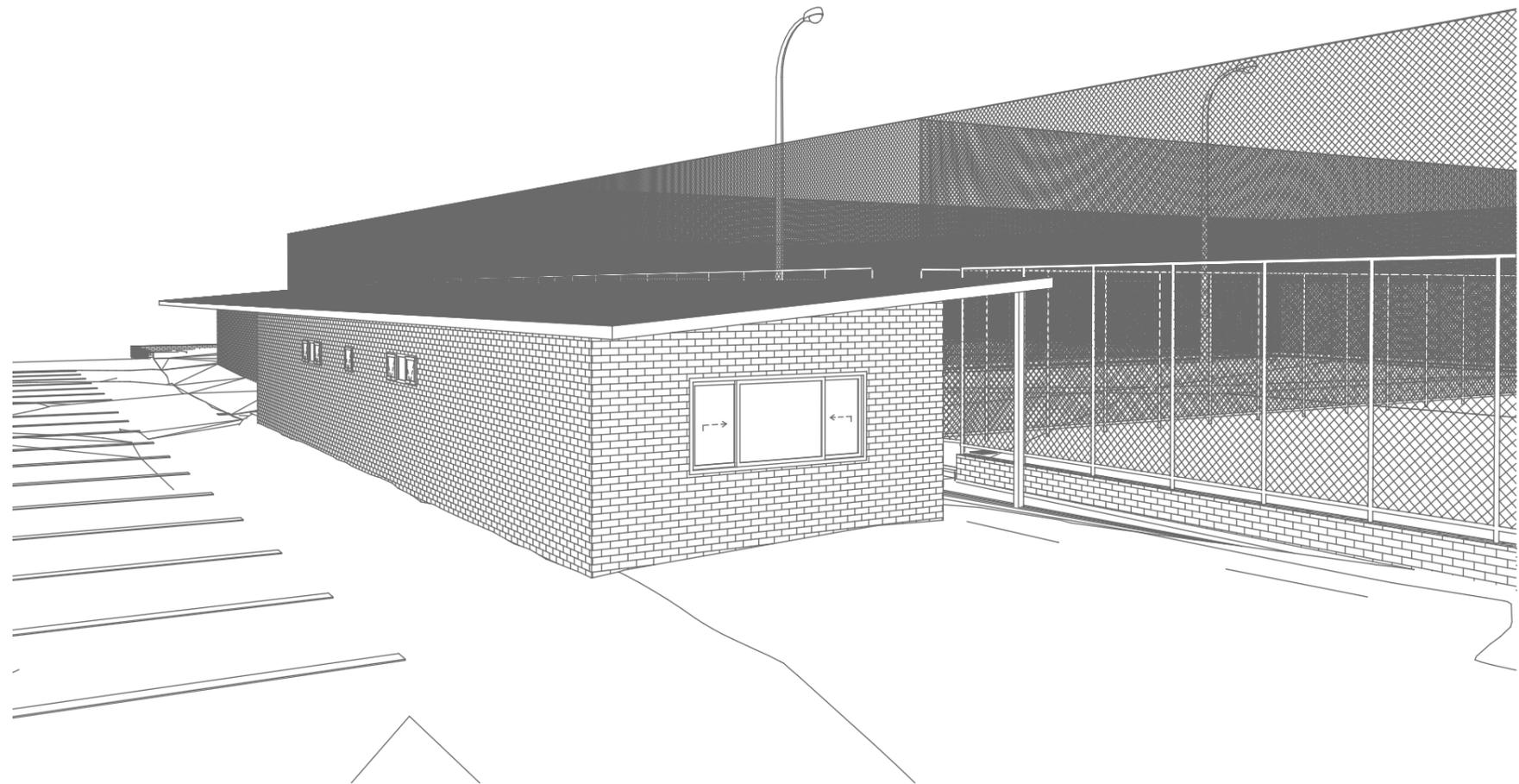
E-03 South 1:100



E-03 South 1:100

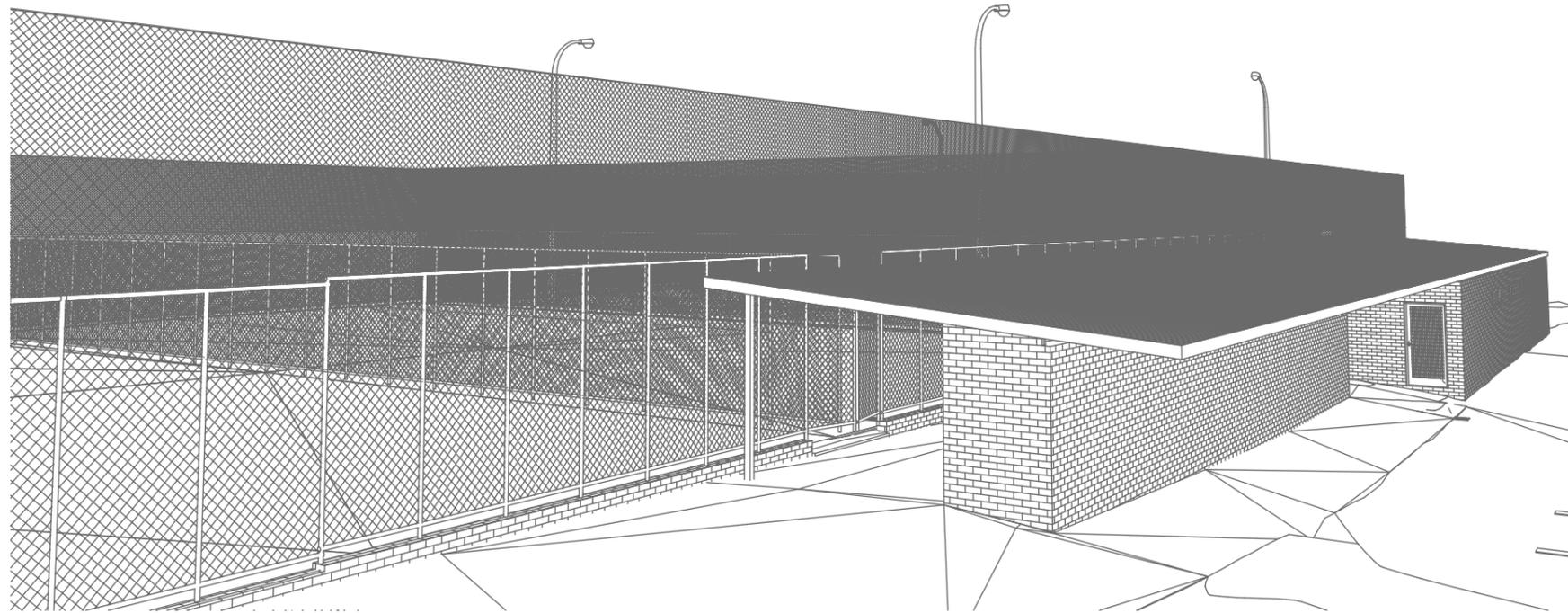
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1
-

Perspective 1
1:200



2
-

Perspective 2
1:200

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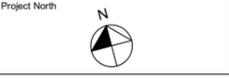
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NOTES
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.
Cnr Bennett Street & Stirgess Avenue, Curl Curl is zoned RE2-Private Recreation
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Contrast
Slab, Cavity Brick Walls
Roof Framed to have R3.5 Insulation
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a certified Construction Certificate drawings by Rapid Plans.
Basic Certificate Number 11301715
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2000 m² b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overhanging specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	17,536.9m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
% of landscape open space (40% min)	76%	Yes
Impervious area (m ²)	24%	Yes
Maximum depth of fill (m)	513mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 9/04/2021
Project NO.: RPO0201AR
Project Status DA Rev2

Client Oli Bramley

Site: Cnr Bennett Street & Stirgess Avenue, Curl Curl

DRAWING TITLE : SHADOW PLANS
PERSPECTIVE

PROJECT NAME : **New Amenity Building & Additions**

REVISION NO. DATE
2 **9-4-2021**

DRAWING NO. **DA5000**