

01 PROPOSED SITE PLAN
Scale: 1:100

REFER SHEET A0.00 FOR DEVELOPMENT AREAS SUMMARY

EXCAVATION + SITE WORKS:
ALL EXCAVATION WORKS SHALL BE APPROVED BY THE RELEVANT BUILDING CERTIFIER AND GEOTECHNICAL CONSULTANT PRIOR TO INSTALLATION OF SERVICES, AND THE CONSTRUCTION OF FOUNDATIONS AND POURING OF CONCRETE. ALL SITE EXCAVATION BATTERS TO BE IN ACCORDANCE WITH NCC Vol.2, Sec. 3.2.1 OR AS SPECIFIED AND INSTRUCTED OTHERWISE BY THE ENGINEER. THE BUILDING CONTRACTOR SHALL CONFIR AND ENGAGE WITH THE GEOTECHNICAL ENGINEER FOR VERIFICATION OF STUMP FOUNDATION BEARING DEPTHS IN DISTURBED SOIL WHERE VEGETATION AND SOIL ROOT STRUCTURES HAVE BEEN REMOVED. FINISHED GROUND LEVELS AND FINISHED PAVED SURFACING SHALL BE EXCAVATED AND CONSTRUCTED TO DIRECT SURFACE WATER AWAY FROM THE BUILDING PERIPHERY AND TO PREVENT WATER PONDING IN SUBFLOOR AREAS. INTERIOR FLOOR LEVELS SHALL BE FINISHED IN RELATION TO EXTERIOR GROUND SURFACES IN ACCORDANCE WITH NCC Vol. 2, Sec. 3.3.3.

TERMITE MANAGEMENT:
AN APPROPRIATE AND APPROVED MEANS OF PROTECTION AGAINST TERMITE ATTACK SHALL BE INSTALLED BY THE BUILDING CONTRACTOR WITH CERTIFICATE SUPPLIED THAT COVERS THE INSTALLATION AND PROTECTION SYSTEM WITH RELATED MAINTENANCE PROCEDURES. THE BUILDING + LANDSCAPING CONTRACTORS SHALL ENSURE THAT EXTERIOR SURFACE FINISHES AND ABUTTING STRUCTURES DO NOT CONCEAL OR PROMOTE TERMITE INGRESS TO THE BUILDING AND THE FRAMING ELEMENTS. SUBFLOOR PLINTH BOARDS and/or END DECKING BOARDS SHALL BE FIXED IN A MANNER THAT ALLOWS FOR EASY REMOVAL AND REGULAR INSPECTION OF SUBFLOOR FRAMING MEMBERS.


PLUMBING + DRAINAGE:
GENERAL
PLUMBING AND DRAINAGE CONTRACTORS SHALL THOROUGHLY INVESTIGATE ALL SANITARY AND STORMWATER LOCATIONS, PROPOSED CONNECTIONS AND SIZES PRIOR TO WORK COMMENCEMENT, AND VERIFY THAT FALLS CAN BE ACHIEVED TO SANITARY AND STORMWATER DISCHARGE. ALL UNDER SLAB DRAINAGE SHALL BE CARRIED OUT BY A LICENSED DRAINLAYER, TO THE RELEVANT CODES OF PRACTICE. AN 'AS BUILT' DRAINAGE PLAN SHALL BE ISSUED TO THE PROPERTY OWNER AND BUILDING CERTIFIER ON COMPLETION OF WORK. ALL WORK CARRIED OUT IN STRICT ACCORDANCE WITH AS/NZS 3500.2 AND AS/NZS 3500.3.
STORMWATER
CONNECT DOWNPIPES TO EXISTING IN GROUND DRAINAGE, DIRECT TO MAIN DRAIN AND LEGAL POINT OF DISCHARGE.
SEWER
CONNECT SOIL PIPES, PLUMBING FIXTURES, FLOOR WASTES AND GULLIES INTO IN-GROUND DRAINAGE SYSTEM AND EXISTING PUBLIC CONNECTION.

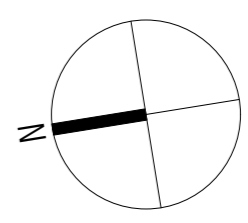
VEGETATION PROTECTION PLAN:
TREES TO BE RETAINED SHALL HAVE CONSTRUCTION WORKS PROTECTION IMPLEMENTED THROUGHOUT THE COURSE OF THE SITE AND BUILDING WORK. GROUND PROTECTION MEASURES MUST BE ESTABLISHED WHERE TREE PROTECTION FENCING IS IMPRACTICAL AND SITE ACCESS WITHIN THE TREE CANOPY DRILLINE IS REQUIRED. GROUND PROTECTION MEASURES MAY INCLUDE A PERMEABLE MEMBRANE SUCH AS GEOTEXTILE FABRIC UNDER LAYER OF MULCH OR CRUSHED ROCK BELOW RUMBLE BOARDS.



DISCLAIMER
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PROJECT	LIEBKE RESIDENCE	DRAWING NO.	DA.01
ADDRESS	73 BRIGHTON STREET, CURL CURL	REVISION	.
DOCUMENT	DEVELOPMENT APPLICATION	SCALE	1:100 / A2
DRAWING	PROPOSED SITE PLAN	DATE	09.12.24


THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2025/0803



SARAH BLACKER
ARCHITECT + INTERIOR DESIGNER
ARCHITECT'S REG NO. 8403
PO Box 1313, Potts Point NSW 1335
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20/1.2/20

11
SEC 2
DP 987

No.71
Single Storey
Brick Residence
Metal Roof

Metal
Carport

Existing Clad
Metal Roof

Existing Pool
Pump

Existing Pool Barrier to AS 1926.1

Existing In Ground Pool

10
SEC 2
DP 987
696.5m²

9
SEC 2
DP 987

No.75
Single Storey
Rend'd Residence
Tile Roof

BRIGHTON STREET

BM NAIL IN TK
RL 11.21 (AHD)

Approx. Position
3000 Sewer

LEGEND
New works coloured in accordance with NS DA Requirements.

- Brick
- Roof tiles
- Fibre cement sheeting
- Concrete
- Sandstone
- Glass
- Plasterboard stud wall + timber
- Tiles
- Steel + aluminium
- Demolish existing walls

01 PROPOSED ROOF PLAN
Scale: 1:100

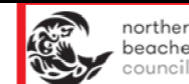
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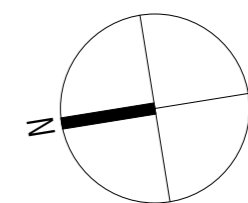
PROJECT
ADDRESS
DOCUMENT
DRAWING

LIEBKE RESIDENCE
73 BRIGHTON STREET, CURL CURL
DEVELOPMENT APPLICATION
PROPOSED ROOF PLAN

DRAWING NO. DA.02
REVISION .
SCALE 1:100 / A2
DATE 09.12.24



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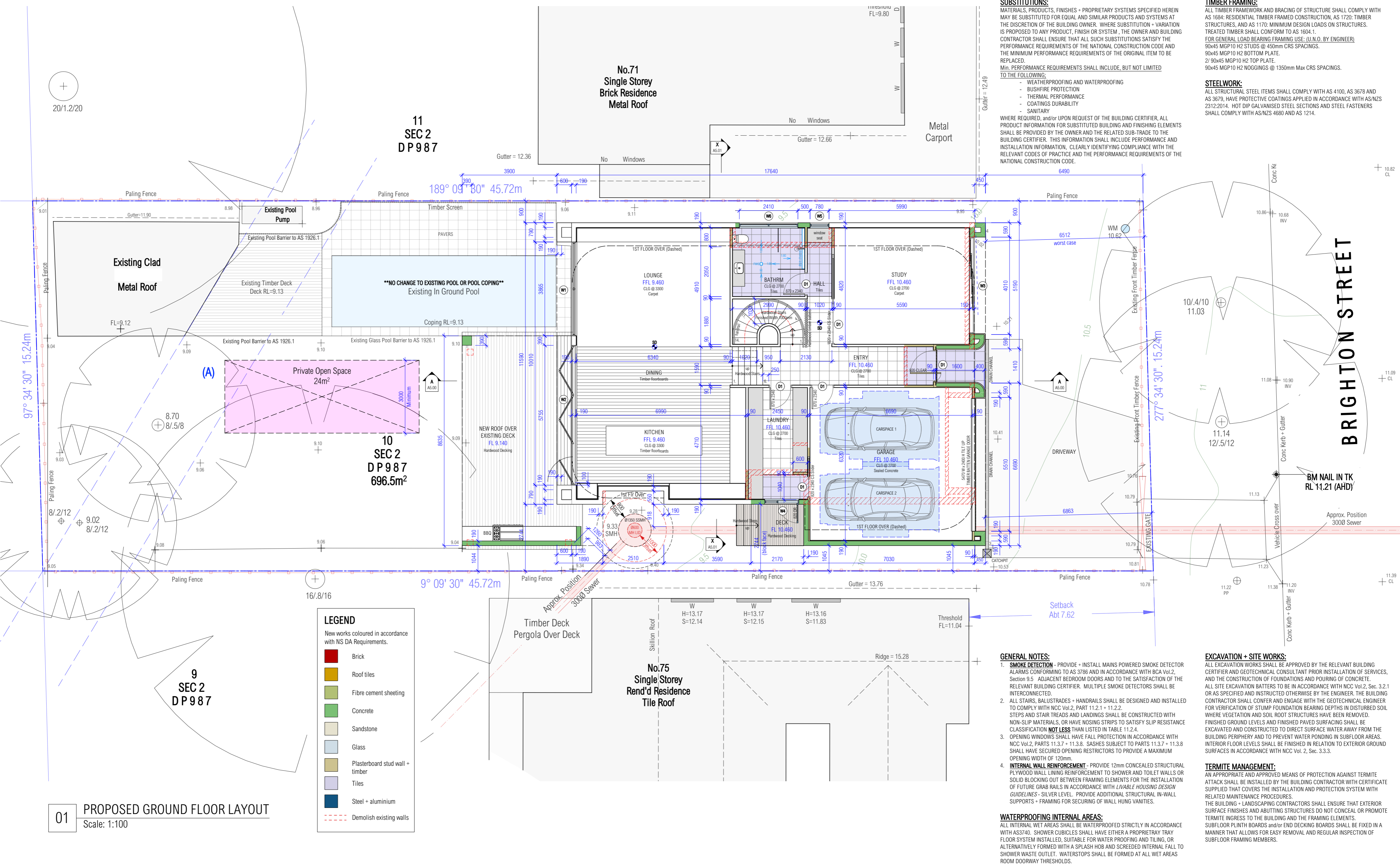
SARAH BLACKER

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S.B.



SUBSTITUTIONS:
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 Min. PERFORMANCE REQUIREMENTS SHALL INCLUDE, BUT NOT LIMITED TO THE FOLLOWING:
 - WEATHERPROOFING AND WATERPROOFING
 - BUSHFIRE PROTECTION
 - THERMAL PERFORMANCE
 - COATINGS DURABILITY
 - SANITARY

TIMBER FRAMING:
 ALL TIMBER FRAMEWORK AND BRACING OF STRUCTURE SHALL COMPLY WITH AS 1684: RESIDENTIAL TIMBER FRAMED CONSTRUCTION, AS 1720: TIMBER STRUCTURES, AND AS 1170: MINIMUM DESIGN LOADS ON STRUCTURES. TREATED TIMBER SHALL CONFORM TO AS 1604.1.
 FOR GENERAL LOAD BEARING FRAMING USE: (U.N.O. BY ENGINEER)
 90x45 MGP10 H2 STUDS @ 450mm CRS SPACINGS.
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 2/ 90x45 MGP10 H2 TOP PLATE.
 90x45 MGP10 H2 NOGGINGS @ 1350mm Max CRS SPACINGS.

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STEELWORK:
 ALL STRUCTURAL STEEL ITEMS SHALL COMPLY WITH AS 4100, AS 3678 AND AS 3679, HAVE PROTECTIVE COATINGS APPLIED IN ACCORDANCE WITH AS/NZS 2312:2014. HOT DIP GALVANISED STEEL SECTIONS AND STEEL FASTENERS SHALL COMPLY WITH AS/NZS 4680 AND AS 1214.

LEGEND
 New works coloured in accordance with NS DA Requirements.

Brick
Roof tiles
Fibre cement sheeting
Concrete
Sandstone
Glass
Plasterboard stud wall + timber
Tiles
Steel + aluminium
Demolish existing walls

- GENERAL NOTES:**
- SMOKE DETECTION** - PROVIDE + INSTALL MAINS POWERED SMOKE DETECTOR ALARMS CONFORMING TO AS 3786 AND IN ACCORDANCE WITH BCA Vol.2, Section 9.5. ADJACENT BEDROOM DOORS AND TO THE SATISFACTION OF THE RELEVANT BUILDING CERTIFIER. MULTIPLE SMOKE DETECTORS SHALL BE INTERCONNECTED.
 - ALL STAIRS, BALUSTRADES + HANDRAILS SHALL BE DESIGNED AND INSTALLED TO COMPLY WITH NCC Vol.2, PART 11.2.1 + 11.2.2. STEPS AND STAIR TREADS AND LANDINGS SHALL BE CONSTRUCTED WITH NON-SLIP MATERIALS, OR HAVE NOSING STRIPS TO SATISFY SLIP RESISTANCE CLASSIFICATION **NOT LESS** THAN LISTED IN TABLE 11.2.4.
 - OPENING WINDOWS SHALL HAVE FALL PROTECTION IN ACCORDANCE WITH NCC Vol.2, PARTS 11.3.7 + 11.3.8. SASHES SUBJECT TO PARTS 11.3.7 + 11.3.8 SHALL HAVE SECURED OPENING RESTRICTORS TO PROVIDE A MAXIMUM OPENING WIDTH OF 120mm.
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WATERPROOFING INTERNAL AREAS:
 ALL INTERNAL WET AREAS SHALL BE WATERPROOFED STRICTLY IN ACCORDANCE WITH AS3740. SHOWER CUBICLES SHALL HAVE EITHER A PROPRIETARY TRAY FLOOR SYSTEM INSTALLED, SUITABLE FOR WATER PROOFING AND TILING, OR ALTERNATIVELY FORMED WITH A SPLASH HOB AND SCREEDED INTERNAL FALL TO SHOWER WASTE OUTLET. WATERSTOPS SHALL BE FORMED AT ALL WET AREAS ROOM DOORWAY THRESHOLDS.

01 PROPOSED GROUND FLOOR LAYOUT
 Scale: 1:100



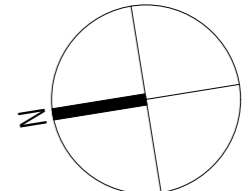
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PROJECT	LIEBKE RESIDENCE	DRAWING NO.	DA.06
ADDRESS	73 BRIGHTON STREET, CURL CURL	REVISION	.
DOCUMENT	DEVELOPMENT APPLICATION	SCALE	1:100 / A2
DRAWING	PROPOSED GROUND FLOOR LAYOUT	DATE	09.12.24

northern beaches council

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DA2025/0803

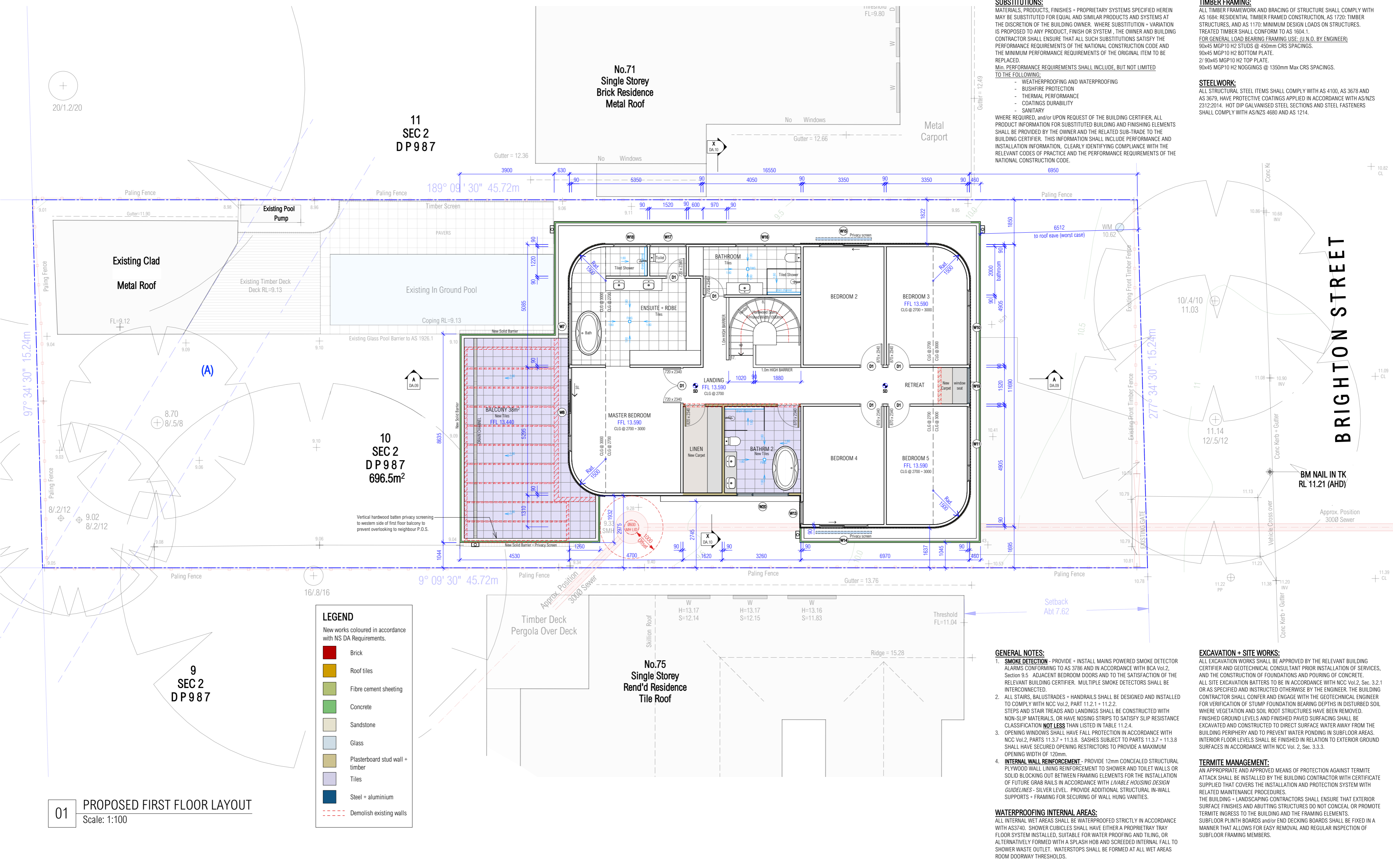


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GENERAL NOTES:

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LEGEND
 New works coloured in accordance with NS DA Requirements.

Brick
Roof tiles
Fibre cement sheeting
Concrete
Sandstone
Glass
Plasterboard stud wall + timber
Tiles
Steel + aluminium
Demolish existing walls

01 PROPOSED FIRST FLOOR LAYOUT
 Scale: 1:100



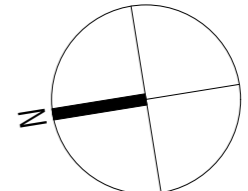
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PROJECT	LIEBKE RESIDENCE	DRAWING NO.	DA.07
ADDRESS	73 BRIGHTON STREET, CURL CURL	REVISION	.
DOCUMENT	DEVELOPMENT APPLICATION	SCALE	1:100 / A2
DRAWING	PROPOSED FIRST FLOOR LAYOUT	DATE	09.12.24

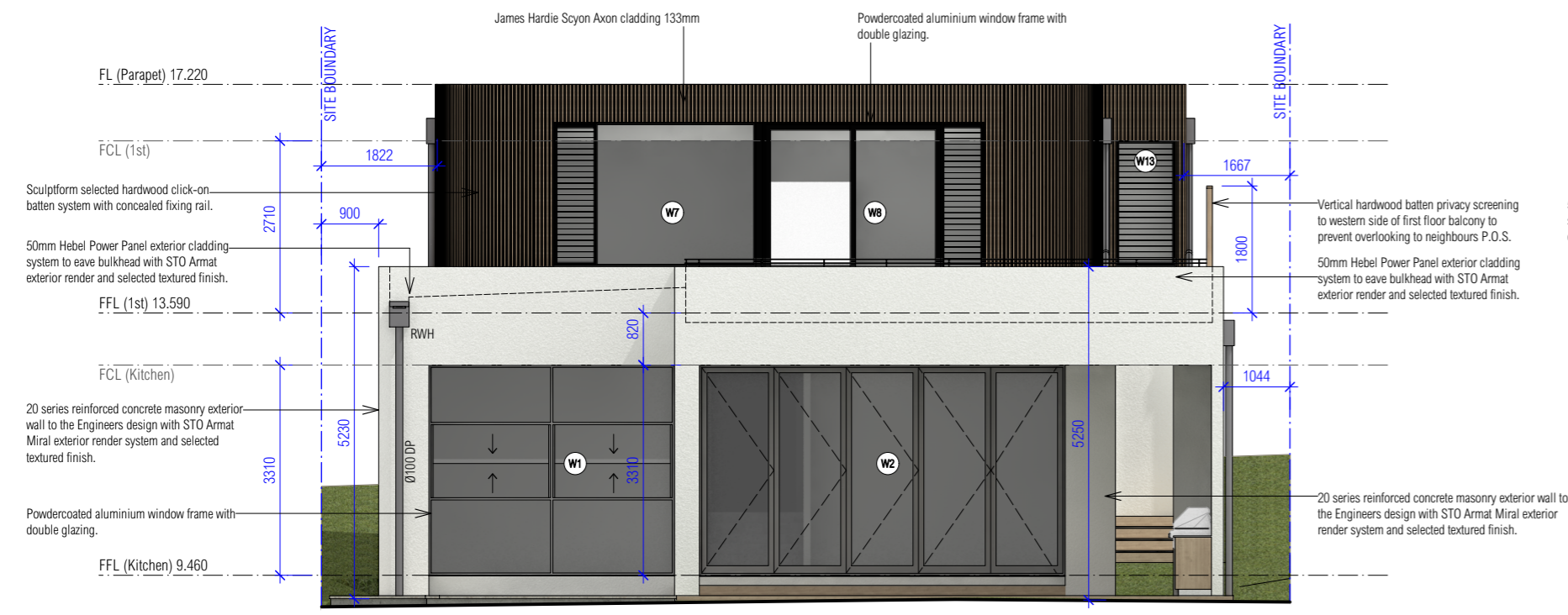
northern beaches council

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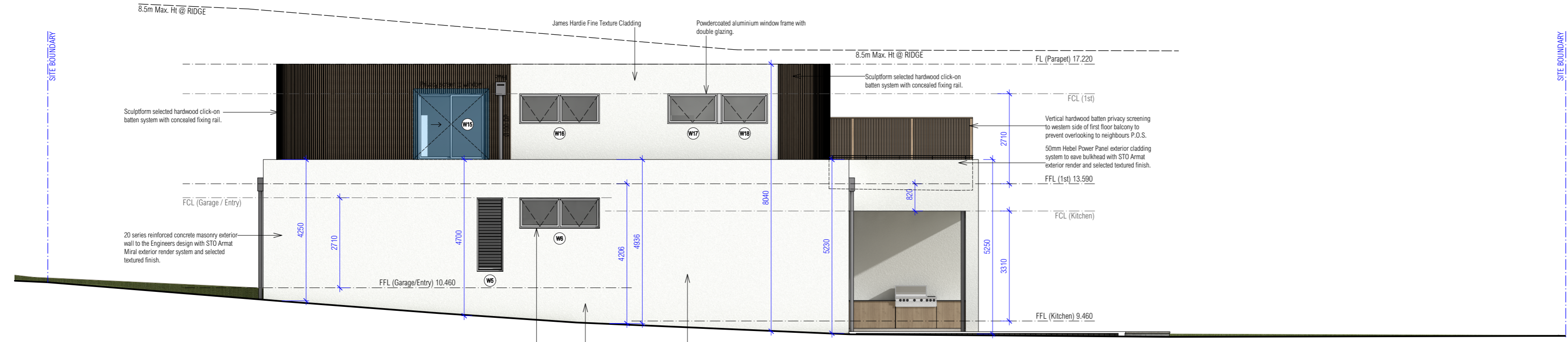
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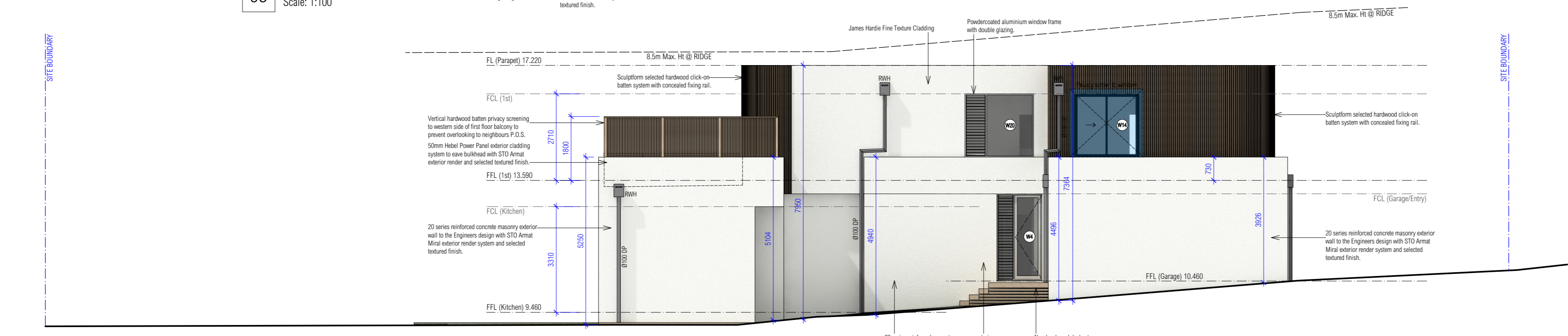
01 PROPOSED NORTH ELEVATION
Scale: 1:100



02 PROPOSED SOUTH ELEVATION
Scale: 1:100



03 PROPOSED EAST ELEVATION
Scale: 1:100



04 PROPOSED WEST ELEVATION
Scale: 1:100

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- INTERNAL WALL REINFORCEMENT** - PROVIDE 12mm CONCEALED STRUCTURAL PLY WOOD WALL LINING REINFORCEMENT TO SHOWER AND TOILET WALLS OR SOLID BLOCKING OUT BETWEEN FRAMING ELEMENTS FOR THE INSTALLATION OF FUTURE GRAB RAILS IN ACCORDANCE WITH *LIVABLE HOUSING DESIGN GUIDELINES* - SILVER LEVEL. PROVIDE ADDITIONAL STRUCTURAL IN-WALL SUPPORTS + FRAMING FOR SECURING OF WALL HUNG VANITIES.

EXCAVATION + SITE WORKS:
ALL EXCAVATION WORKS SHALL BE APPROVED BY THE RELEVANT BUILDING CERTIFIER AND GEOTECHNICAL CONSULTANT PRIOR INSTALLATION OF SERVICES, AND THE CONSTRUCTION OF FOUNDATIONS AND POURING OF CONCRETE. ALL SITE EXCAVATION BATTERS TO BE IN ACCORDANCE WITH NCC Vol.2, Sec. 3.2.1 OR AS SPECIFIED AND INSTRUCTED OTHERWISE BY THE ENGINEER. THE BUILDING CONTRACTOR SHALL CONFERR AND ENGAGE WITH THE GEOTECHNICAL ENGINEER FOR VERIFICATION OF STUMP FOUNDATION BEARING DEPTHS IN DISTURBED SOIL WHERE VEGETATION AND SOIL ROOT STRUCTURES HAVE BEEN REMOVED. FINISHED GROUND LEVELS AND FINISHED PAVED SURFACING SHALL BE EXCAVATED AND CONSTRUCTED TO DIRECT SURFACE WATER AWAY FROM THE BUILDING PERIPHERY AND TO PREVENT WATER PONDING IN SUBFLOOR AREAS. INTERIOR FLOOR LEVELS SHALL BE FINISHED IN RELATION TO EXTERIOR GROUND SURFACES IN ACCORDANCE WITH NCC Vol. 2, Sec. 3.3.3.

TERMITE MANAGEMENT:
AN APPROPRIATE AND APPROVED MEANS OF PROTECTION AGAINST TERMITE ATTACK SHALL BE INSTALLED BY THE BUILDING CONTRACTOR WITH CERTIFICATE SUPPLIED THAT COVERS THE INSTALLATION AND PROTECTION SYSTEM WITH RELATED MAINTENANCE PROCEDURES. THE BUILDING + LANDSCAPING CONTRACTORS SHALL ENSURE THAT EXTERIOR SURFACE FINISHES AND ABUTTING STRUCTURES DO NOT CONCEAL OR PROMOTE TERMITE INGRESS TO THE BUILDING AND THE FRAMING ELEMENTS. SUBFLOOR PLINTH BOARDS and/or END DECKING BOARDS SHALL BE FIXED IN A MANNER THAT ALLOWS FOR EASY REMOVAL AND REGULAR INSPECTION OF SUBFLOOR FRAMING MEMBERS.

TIMBER FRAMING:
ALL TIMBER FRAMEWORK AND BRACING OF STRUCTURE SHALL COMPLY WITH AS 1684: RESIDENTIAL TIMBER FRAMED CONSTRUCTION, AS 1720: TIMBER STRUCTURES, AND AS 1170: MINIMUM DESIGN LOADS ON STRUCTURES. TREATED TIMBER SHALL CONFORM TO AS 1604.1.
FOR GENERAL LOAD BEARING FRAMING USE: (U.N.O. BY ENGINEER)
90x45 MGP10 H2 STUDS @ 450mm CRS SPACINGS.
90x45 MGP10 H2 BOTTOM PLATE.
27 90x45 MGP10 H2 TOP PLATE.
90x45 MGP10 H2 NOGGINGS @ 1350mm Max CRS SPACINGS.

STEELWORK:
ALL STRUCTURAL STEEL ITEMS SHALL COMPLY WITH AS 4100, AS 3678 AND AS 3679. HAVE PROTECTIVE COATINGS APPLIED IN ACCORDANCE WITH AS/NZS 2312:2014. HOT DIP GALVANISED STEEL SECTIONS AND STEEL FASTENERS SHALL COMPLY WITH AS/NZS 4680 AND AS 1214.

INSULATION + BUILDING SEALING:
READ IN CONJUNCTION WITH THE BASIX REPORT AND SUMMARY.
PROVIDE + INSTALL R1 3.60mm ANTI-CON BLANKET TO NEW METAL ROOFS.
PROVIDE + INSTALL R6.0 250mm INSULATION BATTS ABOVE CEILING AREAS UNDER ROOFS AND A MINIMUM OF R3.5 185mm INSULATION BATTS TO RESTRICTED ROOF AREAS UNDER BOX GUTTERS AND THE LIKE.
PROVIDE + INSTALL R2.7 90mm INSULATION BATTS TO ALL EXTERIOR FRAMED WALLS AND BULKHEAD PLENUM AREAS OPEN TO ROOF AND BALCONY COVERINGS. PROVIDE AND INSTALL R3.0 110mm CEILING INSULATION AND ACOUSTIC DAMPENING BATTS IN CEILING AREAS BELOW FIRST FLOOR.
PROVIDE + INSTALL R2.1 80mm INSULATION TO NEW CONCRETE FLOOR SLABS. SEAL GAPS, CRACKS, DOWNLIGHTS AND EXHAUST FANS. WEATHER-STRIP WINDOWS AND ENTRY DOORS. GARAGE DOOR SEAL IS NOT REQUIRED. WINDOW FRAMES TO BE ALUMINIUM DOUBLE GLAZED TYPE OR APPROVED EQUIVALENT.



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PROJECT	LIEBKE RESIDENCE	DRAWING NO.	DA.08
ADDRESS	73 BRIGHTON STREET, CURL CURL	REVISION	.
DOCUMENT	DEVELOPMENT APPLICATION	SCALE	1:100 / A2
DRAWING	PROPOSED ELEVATIONS	DATE	09.12.24

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

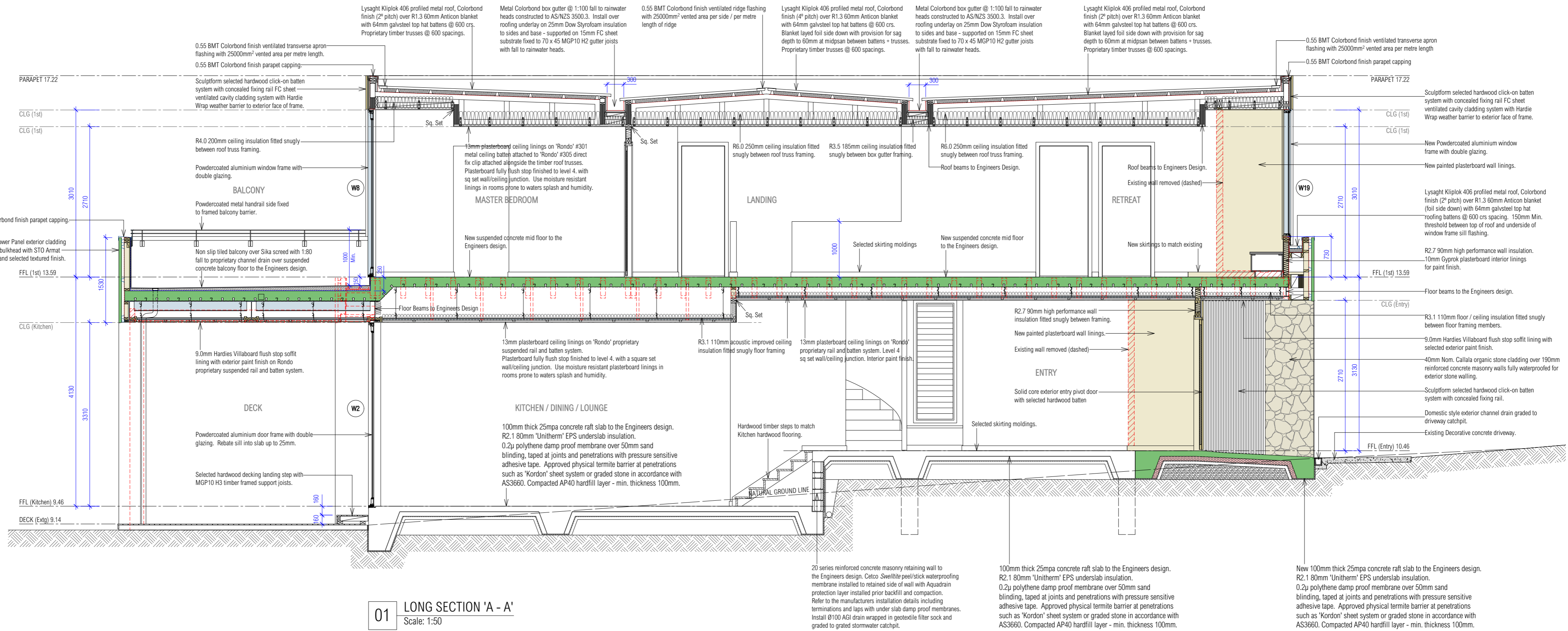
DA2025/0803

SARAH BLACKER

ARCHITECT + INTERIOR DESIGNER

ARCHITECT'S REG NO. 8403

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01 LONG SECTION 'A - A'
Scale: 1:50

GENERAL NOTES:

- SMOKE DETECTION** - PROVIDE + INSTALL MAINS POWERED SMOKE DETECTOR ALARMS CONFORMING TO AS 3786 AND IN ACCORDANCE WITH BCA Vol.2, Section 9.5 ADJACENT BEDROOM DOORS AND TO THE SATISFACTION OF THE RELEVANT BUILDING CERTIFIER. MULTIPLE SMOKE DETECTORS SHALL BE INTERCONNECTED.
- ALL STAIRS, BALUSTRADES + HANDRAILS SHALL BE DESIGNED AND INSTALLED TO COMPLY WITH NCC Vol.2, PART 11.2.1 + 11.2.2. STEPS AND STAIR TREADS AND LANDINGS SHALL BE CONSTRUCTED WITH NON-SLIP MATERIALS, OR HAVE NOSING STRIPS TO SATISFY SLIP RESISTANCE CLASSIFICATION **NOT LESS** THAN LISTED IN TABLE 11.2.4.
- OPENING WINDOWS SHALL HAVE FALL PROTECTION IN ACCORDANCE WITH NCC Vol.2, PARTS 11.3.7 + 11.3.8. SASHES SUBJECT TO PARTS 11.3.7 + 11.3.8 SHALL HAVE SECURED OPENING RESTRICTORS TO PROVIDE A MAXIMUM OPENING WIDTH OF 120mm.
- INTERNAL WALL REINFORCEMENT** - PROVIDE 12mm CONCEALED STRUCTURAL PLYWOOD WALL LINING REINFORCEMENT TO SHOWER AND TOILET WALLS OR SOLID BLOCKING OUT BETWEEN FRAMING ELEMENTS FOR THE INSTALLATION OF FUTURE GRAB RAILS IN ACCORDANCE WITH *LIVABLE HOUSING DESIGN GUIDELINES* - SILVER LEVEL. PROVIDE ADDITIONAL STRUCTURAL IN-WALL SUPPORTS + FRAMING FOR SECURING OF WALL HUNG VANITIES.

TIMBER FRAMING:

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90x45 MGP10 H2 BOTTOM PLATE.
2/ 90x45 MGP10 H2 TOP PLATE.
90x45 MGP10 H2 NOGGINGS @ 1350mm Max CRS SPACINGS.

STEELWORK:

ALL STRUCTURAL STEEL ITEMS SHALL COMPLY WITH AS 4100, AS 3678 AND AS 3679, HAVE PROTECTIVE COATINGS APPLIED IN ACCORDANCE WITH AS/NZS 2312:2014. HOT DIP GALVANISED STEEL SECTIONS AND STEEL FASTENERS SHALL COMPLY WITH AS/NZS 4680 AND AS 1214.

EXCAVATION + SITE WORKS:

ALL EXCAVATION WORKS SHALL BE APPROVED BY THE RELEVANT BUILDING CERTIFIER AND GEOTECHNICAL CONSULTANT PRIOR INSTALLATION OF SERVICES, AND THE CONSTRUCTION OF FOUNDATIONS AND POURING OF CONCRETE. ALL SITE EXCAVATION BATTERS TO BE IN ACCORDANCE WITH NCC Vol.2, Sec. 3.2.1 OR AS SPECIFIED AND INSTRUCTED OTHERWISE BY THE ENGINEER. THE BUILDING CONTRACTOR SHALL CONFER AND ENGAGE WITH THE GEOTECHNICAL ENGINEER FOR VERIFICATION OF STUMP FOUNDATION BEARING DEPTHS IN DISTURBED SOIL WHERE VEGETATION AND SOIL ROOT STRUCTURES HAVE BEEN REMOVED. FINISHED GROUND LEVELS AND FINISHED PAVED SURFACING SHALL BE EXCAVATED AND CONSTRUCTED TO DIRECT SURFACE WATER AWAY FROM THE BUILDING PERIPHERY AND TO PREVENT WATER PONDING IN SUBFLOOR AREAS. INTERIOR FLOOR LEVELS SHALL BE FINISHED IN RELATION TO EXTERIOR GROUND SURFACES IN ACCORDANCE WITH NCC Vol. 2, Sec. 3.3.3.

TERMITE MANAGEMENT:

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PLUMBING + DRAINAGE:

GENERAL
PLUMBING AND DRAINAGE CONTRACTORS SHALL THOROUGHLY INVESTIGATE ALL SANITARY AND STORMWATER LOCATIONS, PROPOSED CONNECTIONS AND SIZES PRIOR TO WORK COMMENCEMENT, AND VERIFY THAT FALLS CAN BE ACHIEVED TO SANITARY AND STORMWATER DISCHARGE. ALL UNDER SLAB DRAINAGE SHALL BE CARRIED OUT BY A LICENSED DRAINLAYER, TO THE RELEVANT CODES OF PRACTICE. AN 'AS BUILT' DRAINAGE PLAN SHALL BE ISSUED TO THE PROPERTY OWNER AND BUILDING CERTIFIER ON COMPLETION OF WORK. ALL WORK CARRIED OUT IN STRICT ACCORDANCE WITH AS/NZS 3500.2 AND AS/NZS 3500.3.
STORMWATER
CONNECT DOWNPIPES TO EXISTING IN GROUND DRAINAGE, DIRECT TO MAIN DRAIN AND LEGAL POINT OF DISCHARGE.
SEWER
CONNECT SOIL PIPES, PLUMBING FIXTURES, FLOOR WASTES AND GULLIES INTO IN-GROUND DRAINAGE SYSTEM AND EXISTING PUBLIC CONNECTION.

INSULATION + BUILDING SEALING:

"READ IN CONJUNCTION WITH THE BASIS REPORT AND SUMMARY."
PROVIDE + INSTALL R1.3 60mm ANTICON BLANKET TO NEW METAL ROOFS. PROVIDE + INSTALL R6.0 250mm INSULATION BATTES ABOVE CEILING AREAS UNDER ROOFS AND A MINIMUM OF R3.5 185mm INSULATION BATTES TO RESTRICTED ROOF AREAS UNDER BOX GUTTERS AND THE LIKE. PROVIDE + INSTALL R2.7 90mm INSULATION BATTES TO ALL EXTERIOR FRAMED WALLS AND BULKHEAD PLENUM AREAS OPEN TO ROOF AND BALCONY COVERINGS. PROVIDE AND INSTALL R3.0 110mm CEILING INSULATION AND ACOUSTIC DAMPENING BATTES IN CEILING AREAS BELOW FIRST FLOOR. PROVIDE + INSTALL R2.1 80mm INSULATION TO NEW CONCRETE FLOOR SLABS. SEAL GAPS, CRACKS, DOWNLIGHTS AND EXHAUST FANS. WEATHER-STRIP WINDOWS AND ENTRY DOORS. GARAGE DOOR SEAL IS NOT REQUIRED. WINDOW FRAMES TO BE ALUMINIUM DOUBLE GLAZED TYPE OR APPROVED EQUIVALENT.

SUBSTITUTIONS:

MATERIALS, PRODUCTS, FINISHES + PROPRIETARY SYSTEMS SPECIFIED HEREIN MAY BE SUBSTITUTED FOR EQUAL AND SIMILAR PRODUCTS AND SYSTEMS AT THE DISCRETION OF THE BUILDING OWNER. WHERE SUBSTITUTION + VARIATION IS PROPOSED TO ANY PRODUCT, FINISH OR SYSTEM, THE OWNER AND BUILDING CONTRACTOR SHALL ENSURE THAT ALL SUCH SUBSTITUTIONS SATISFY THE PERFORMANCE REQUIREMENTS OF THE NATIONAL CONSTRUCTION CODE AND THE MINIMUM PERFORMANCE REQUIREMENTS OF THE ORIGINAL ITEM TO BE REPLACED.
Min. PERFORMANCE REQUIREMENTS SHALL INCLUDE, BUT NOT LIMITED TO THE FOLLOWING:
- WEATHERPROOFING AND WATERPROOFING
- BUSHFIRE PROTECTION
- THERMAL PERFORMANCE
- COATINGS DURABILITY
- SANITARY
WHERE REQUIRED, and/or UPON REQUEST OF THE BUILDING CERTIFIER, ALL PRODUCT INFORMATION FOR SUBSTITUTED BUILDING AND FINISHING ELEMENTS SHALL BE PROVIDED BY THE OWNER AND THE RELATED SUB-TRADE TO THE BUILDING CERTIFIER. THIS INFORMATION SHALL INCLUDE PERFORMANCE AND INSTALLATION INFORMATION, CLEARLY IDENTIFYING COMPLIANCE WITH THE RELEVANT CODES OF PRACTICE AND THE PERFORMANCE REQUIREMENTS OF THE NATIONAL CONSTRUCTION CODE.

WATERPROOFING INTERNAL AREAS:

ALL INTERNAL WET AREAS SHALL BE WATERPROOFED STRICTLY IN ACCORDANCE WITH AS3740. SHOWER CUBICLES SHALL HAVE EITHER A PROPRIETARY TRAY FLOOR SYSTEM INSTALLED, SUITABLE FOR WATER PROOFING AND TILING, OR ALTERNATIVELY FORMED WITH A SPLASH HOB AND SCREEDED INTERNAL FALL TO SHOWER WASTE OUTLET. WATERSTOPS SHALL BE FORMED AT ALL WET AREAS ROOM DOORWAY THRESHOLDS.

LEGEND

New works coloured in accordance with NS DA Requirements.

- Brick
- Roof tiles
- Fibre cement sheeting
- Concrete
- Sandstone
- Glass
- Plasterboard stud wall + timber
- Tiles
- Steel + aluminium
- Demolish existing walls

S.B.

DISCLAIMER

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PROJECT	LIEBKE RESIDENCE	DRAWING NO.	DA.09
ADDRESS	73 BRIGHTON STREET, CURL CURL	REVISION	.
DOCUMENT	DEVELOPMENT APPLICATION	SCALE	1:50 / A2
DRAWING	PROPOSED SECTION 'A - A'	DATE	09.12.24

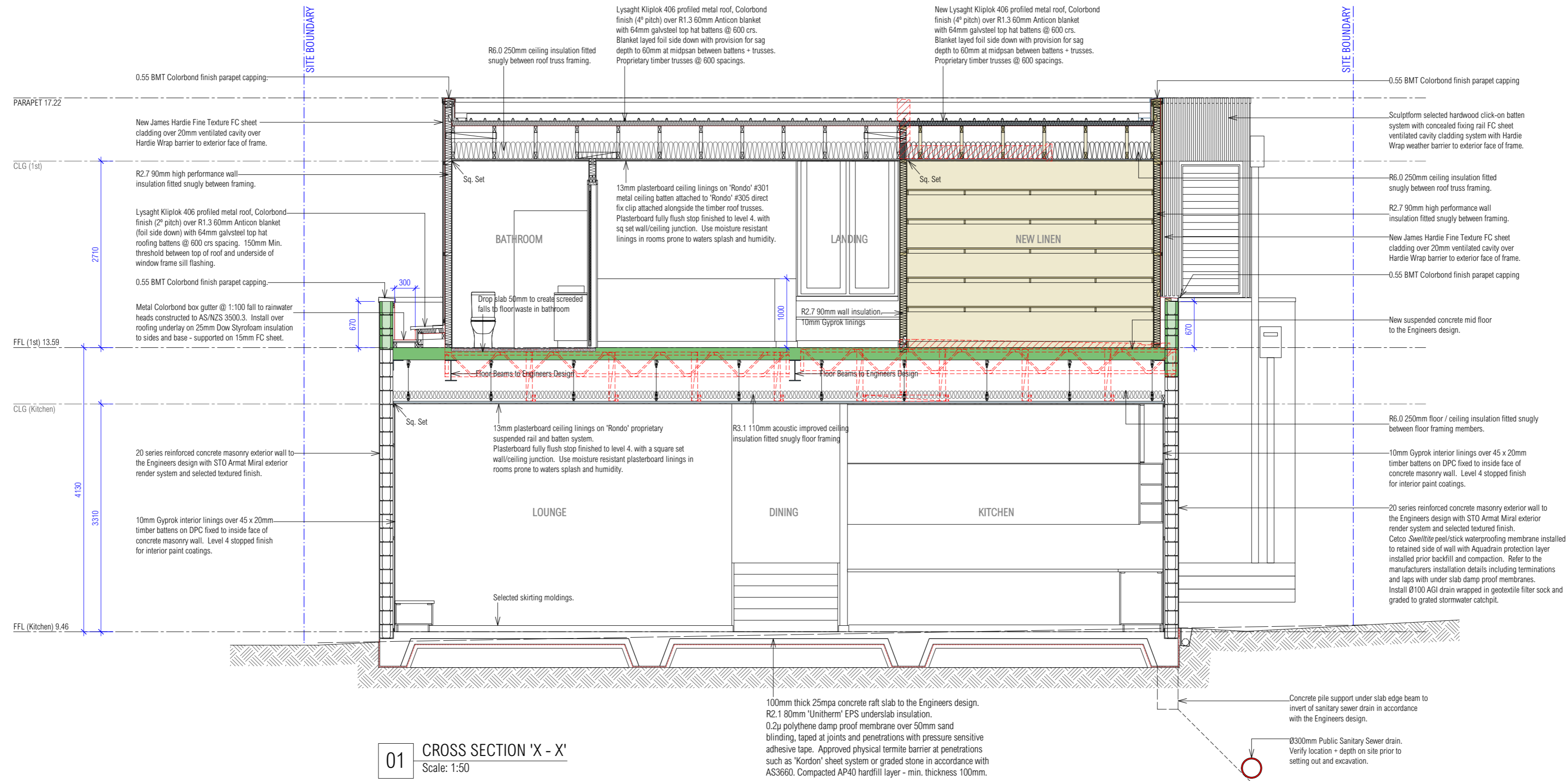


SARAH BLACKER

ARCHITECT + INTERIOR DESIGNER

ARCHITECT'S REG NO. 8403

PO Box 1313, Potts Point NSW 1335
T: 0412 660 754 E: info@sarahblacker.com.au



01 CROSS SECTION 'X - X'
Scale: 1:50

GENERAL NOTES:

- SMOKE DETECTION** - PROVIDE + INSTALL MAINS POWERED SMOKE DETECTOR ALARMS CONFORMING TO AS 3786 AND IN ACCORDANCE WITH BCA Vol.2, Section 9.5 ADJACENT BEDROOM DOORS AND TO THE SATISFACTION OF THE RELEVANT BUILDING CERTIFIER. MULTIPLE SMOKE DETECTORS SHALL BE INTERCONNECTED.
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STEELWORK:

ALL STRUCTURAL STEEL ITEMS SHALL COMPLY WITH AS 4100, AS 3678 AND AS 3679, HAVE PROTECTIVE COATINGS APPLIED IN ACCORDANCE WITH AS/NZS 2312:2014. HOT DIP GALVANISED STEEL SECTIONS AND STEEL FASTENERS SHALL COMPLY WITH AS/NZS 4680 AND AS 1214.

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INSULATION + BUILDING SEALING:

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LEGEND

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- Brick
- Roof tiles
- Fibre cement sheeting
- Concrete
- Sandstone
- Glass
- Plasterboard stud wall + timber
- Tiles
- Steel + aluminium
- Demolish existing walls

S.B.

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PROJECT	LIEBKE RESIDENCE	DRAWING NO.	DA.10
ADDRESS	73 BRIGHTON STREET, CURL CURL	REVISION	.
DOCUMENT	DEVELOPMENT APPLICATION	SCALE	1:50 / A2
DRAWING	PROPOSED SECTION 'X - X'	DATE	09.12.24



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

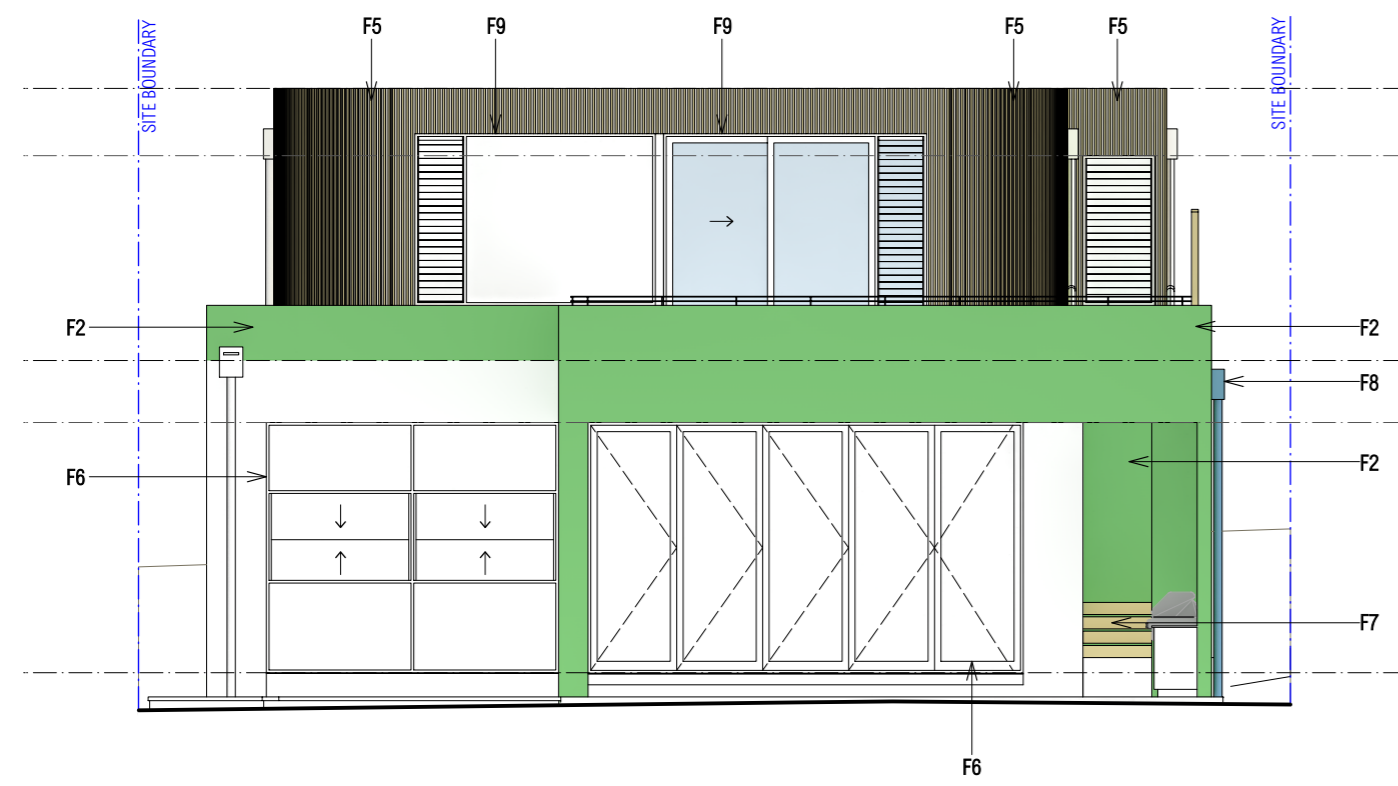
DA2025/0803

SARAH BLACKER

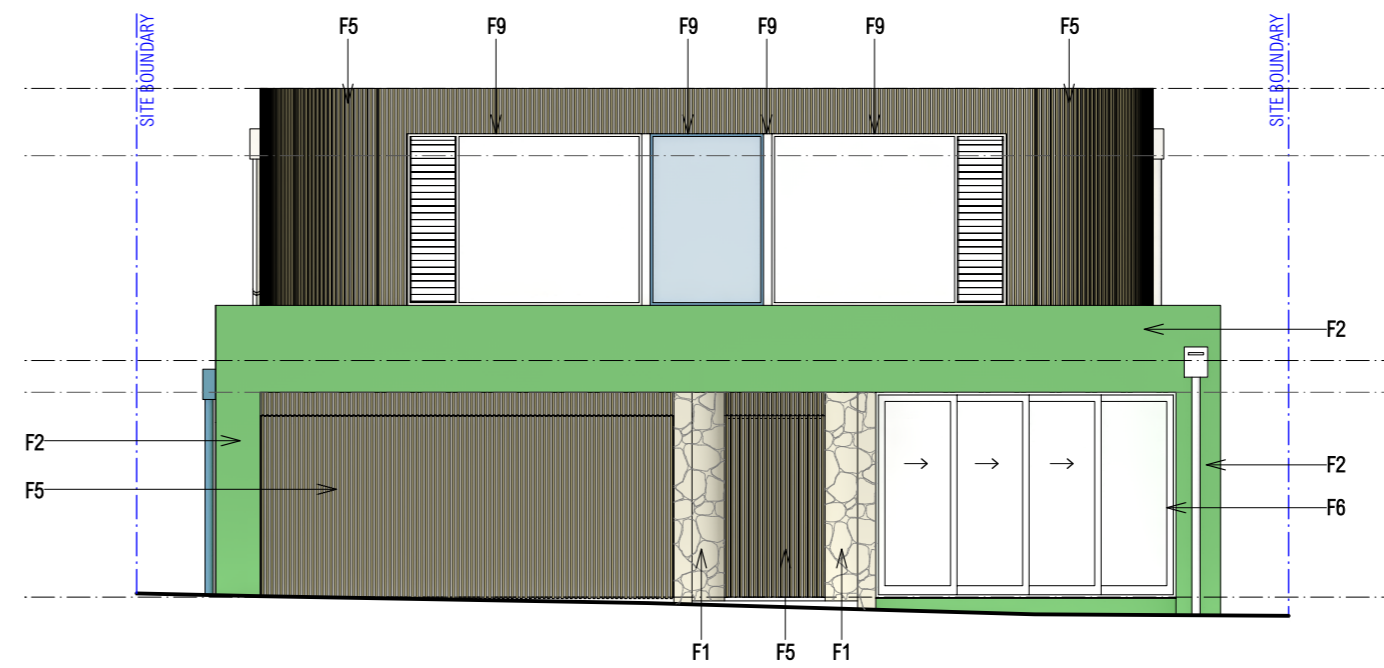
ARCHITECT + INTERIOR DESIGNER

ARCHITECT'S REG NO. 8403

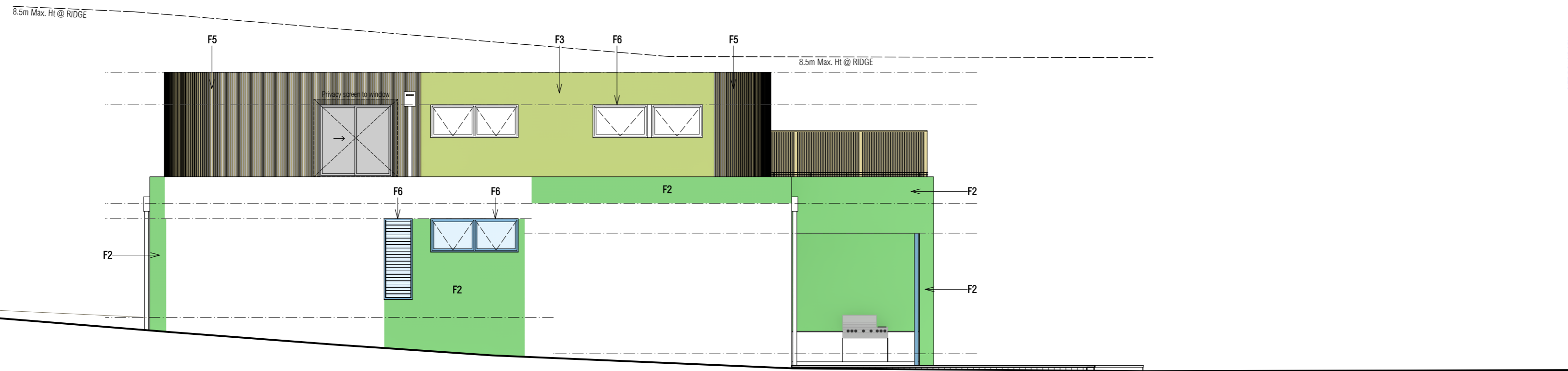
PO Box 1313, Potts Point NSW 1335
T: 0412 660 754 E: info@sarahblacker.com.au



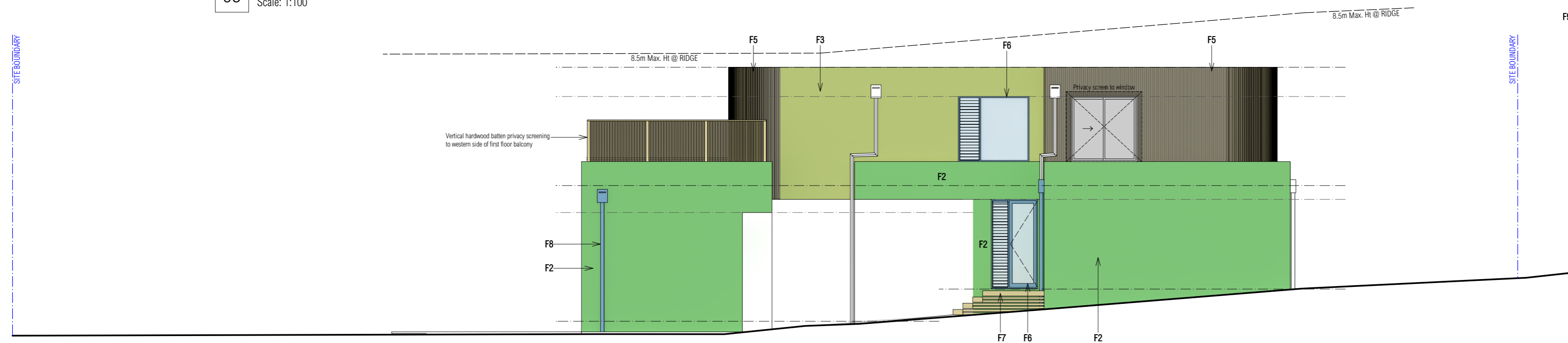
01 PROPOSED NORTH ELEVATION
Scale: 1:100



02 PROPOSED SOUTH ELEVATION
Scale: 1:100



03 PROPOSED EAST ELEVATION
Scale: 1:100



04 PROPOSED WEST ELEVATION
Scale: 1:100

MATERIALS + FINISHES

CODE	SAMPLE	COLOUR + SPEC	LOCATION
F1		STONE FINISH: 'Callala Stone Cladding'	ENTRY FEATURE
F2		TEXTURE FINISH: Hybrid cementitious exterior render system. 'White'	EXTERIOR BLOCK WALLS AND HEBEL FACADE
F3		TEXTURE FINISH: James Hardie Fine Texture FC Sheet exterior cladding. 'White'	FIRST FLOOR WALLS
F4		PAINT FINISH: White	EXTERNAL EAVES AND TRIM
F5		CLICK ON BATTENS: Proprietary click on hardwood timber batten. 'Tasmanian Oak'	GARAGE + ENTRY DOOR FIRST FLOOR WALLS
F6		POWDERCOAT FINISH: DURATEC 'Citi Silver Pearl'	ALUMINIUM WINDOWS + DOORS (SELECTED)
F7		HARDWOOD DECKING: 'Blackbutt'	LANDING DECK AND EXTERNAL STEPS
F8		COLORBOND FINISH: 'Windspray'	FLASHINGS + METAL RAINWATER ITEMS
F9		POWDERCOAT FINISH: DURATEC 'Nightsky'	ALUMINIUM WINDOWS + DOORS (SELECTED)

LEGEND

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	Fibre cement sheeting
	Concrete
	Sandstone
	Glass
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S.B.

DISCLAIMER

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PROJECT LIEBKE RESIDENCE
ADDRESS 73 BRIGHTON STREET, CURL CURL
DOCUMENT DEVELOPMENT APPLICATION
DRAWING SAMPLE BOARD

DRAWING NO. DA.11
REVISION .
SCALE 1:100 / A2
DATE 09.12.24



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2025/0803

SARAH BLACKER

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