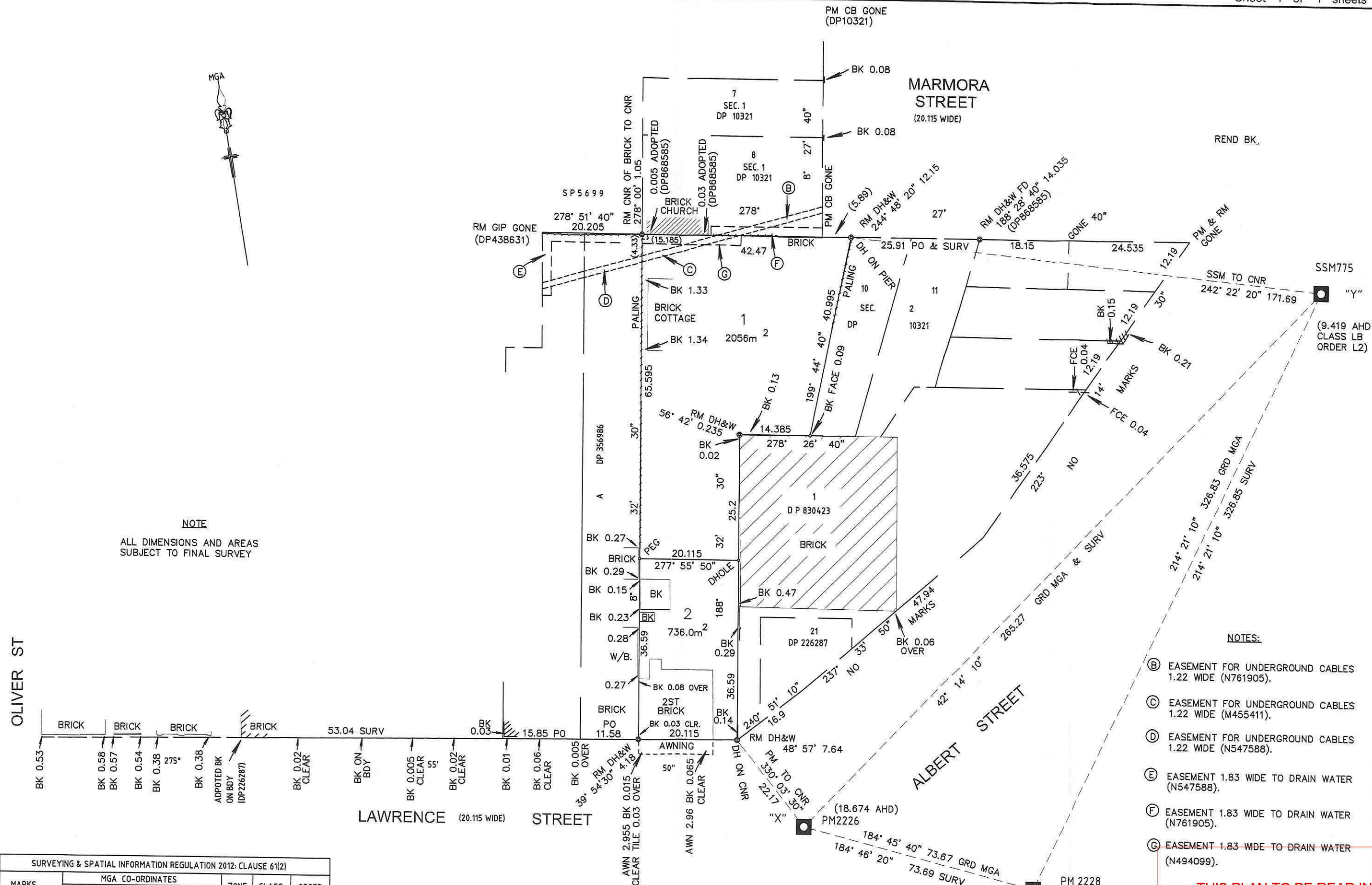




SURVEYING & SPATIAL INFORMATION REGULATION 2012: CLAUSE 61(2)					
MARKS	MGA CO-ORDINATES		ZONE	CLASS	ORDER
	EASTING	NORTHING			
SSM 775	341 404.225	6 261 214.994	56	B	2
PM 2226	341 225.937	6 261 018.611	56	B	2
PM 2228	341 219.822	6 260 945.194	56	B	2

SOURCE: MGA CO-ORDINATES ADOPTED FROM SCIMS ON THE 7-12-2012
COMBINED SEA LEVEL & SCALE FACTOR = 0.999904

Surveyor: ROB KIPROVICH
Date of Survey: 7-12-2012
Surveyor's Ref: 07_113DP2

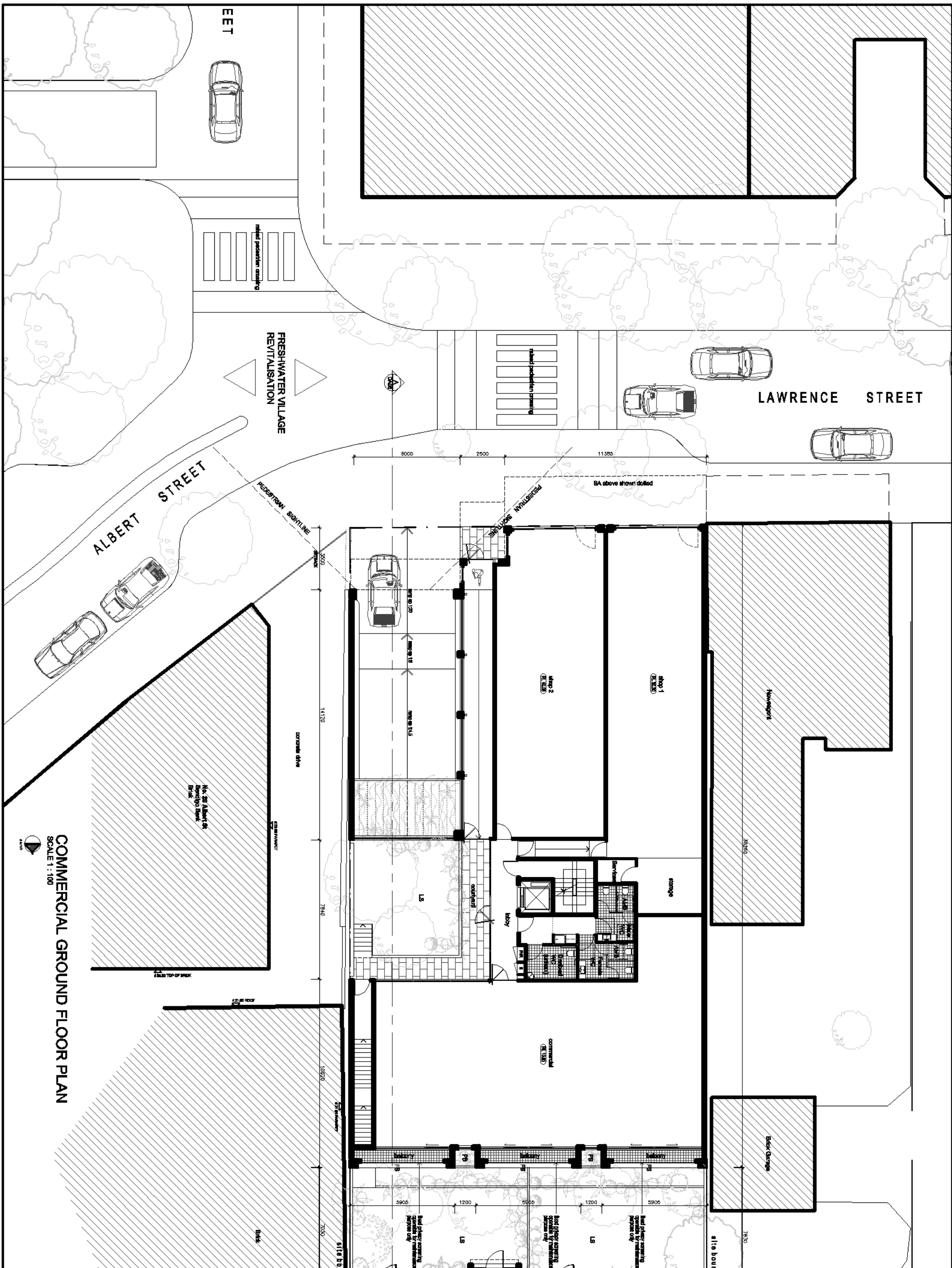
PLAN OF SUBDIVISION OF
LOTS A & B IN DP 375558 &
LOT 9 SEC.2 IN D.P 10321

LGA: WARRINGAH
Locality: FRESHWATER
Subdivision No:
Lengths are in metres. Reduction Ratio 1: 500

Registered:

THIS PLAN TO BE READ IN
CONJUNCTION WITH

DRAFT
MOD 2013/0112
DP 1181713
WARRINGAH COUNCIL

[illegible]

NOTES

- [illegible]

[illegible]

LEGEND	
ACU	air conditioning equipment only
FB	first floor only - boundary to commercial building, available for
FB	intermediate floor only
GB	gross building area (G.B.A.) - to be taken from building details
GC	gross carrying area
HA	habitable area
LA	landscaped area - to be taken from architectural site plan
LC	landscaped area - to be taken from architectural site plan
LD	landscaped area - to be taken from architectural site plan
LE	landscaped area - to be taken from architectural site plan
LF	landscaped area - to be taken from architectural site plan
LG	landscaped area - to be taken from architectural site plan
LH	landscaped area - to be taken from architectural site plan
LI	landscaped area - to be taken from architectural site plan
LJ	landscaped area - to be taken from architectural site plan
LK	landscaped area - to be taken from architectural site plan
LL	landscaped area - to be taken from architectural site plan
LM	landscaped area - to be taken from architectural site plan
LN	landscaped area - to be taken from architectural site plan
LO	landscaped area - to be taken from architectural site plan
LP	landscaped area - to be taken from architectural site plan
LQ	landscaped area - to be taken from architectural site plan
LR	landscaped area - to be taken from architectural site plan
LS	landscaped area - to be taken from architectural site plan
LT	landscaped area - to be taken from architectural site plan
LU	landscaped area - to be taken from architectural site plan
LV	landscaped area - to be taken from architectural site plan
LW	landscaped area - to be taken from architectural site plan
LX	landscaped area - to be taken from architectural site plan
LY	landscaped area - to be taken from architectural site plan
LZ	landscaped area - to be taken from architectural site plan

NOTES

1. All work shall be done in accordance with the following:
- Building A
- Building B
- Building C
- Building D

1. All work shall be done in accordance with the following:

Building A

Building B

Building C

Building D

1. All work shall be done in accordance with the following:

Building A

Building B

Building C

Building D

1. All work shall be done in accordance with the following:

Building A

Building B

Building C

Building D

1. All work shall be done in accordance with the following:

Building A

Building B

Building C

Building D

1. All work shall be done in accordance with the following:

Building A

Building B

Building C

Building D

1. All work shall be done in accordance with the following:

Building A

Building B

Building C

Building D

LEGEND	
ACU	air conditioner condenser unit
FS	fire privacy screening to commercial building, operable for maintenance purposes only
GB	glass balustrade with rail to store architect's details
GC	glass canopy roof
HA	operable hatch
LS	landscaping refer to landscape architect's seal drawings
MG	metal / glass awning to store architect's details
NG	metal ground level
PB	planterbox
PP	power pole
PS	privacy screening to residential units balcony to future details
RC	render onto masonry wall with landing
RW	render & paint finish onto masonry wall
RS	roof skylight
SG	stainless steel / glass awning
SW	stucco across finish fixed to masonry wall
TE	existing tree
TR	concrete slab roofing to manufacturers specification
+ also existing RT's / levels	
+ EL 3.50 / new RT's / levels	

NOTES

- All wet areas to be tiled and mechanically ventilated
- Building B
- Gas instantaneous hot water
- External walls insulation: R1.0
- Unit 6 Ceiling insulation (with roof above): R1.5
- Unit 6 Ceiling insulation: R2.5
- Building C
- Gas instantaneous hot water
- External walls insulation: R1.0
- Unit 6 Ceiling insulation (with roof above): R1.5
- Unit 6 Ceiling insulation: R2.5
- Building D
- Gas instantaneous hot water
- External walls insulation: R1.0
- Ceiling insulation: R2.5
- ISSUE 9
- Addressing issues in council correspondence dated 14.01.08
1. Building C external fence raised to 2m from northern boundary (filum)
2. High level windows added for cross ventilation to garages
3. screen profile added to length of northern fence of apartment 10
4. deep screen landscaping added to area between building C and
5. garden landscaping pathway amended to suit accommodation
6. external driveway identified as 60km building D)
7. privacy screen added (to Urban Seal)

ISSUE	DATE	DESCRIPTION
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BLACKMORE design group

Architects & Project Managers
Blackmore Design Group Pty. Limited A/CN 903 689 328
Level 4, 80 York Street, Sydney, NSW 2000 Australia
Ph: (02) 9298 3100 Fax: (02) 9298 3786
E-mail: info@blackmoredesign.com.au
Website: www.blackmoredesign.com.au

CLIENT
Mr. Frank Minnici
PO Box 5112
Wheeler Heights NSW 2097

PROJECT
Proposed mixed use development
5-7 Lavendera Street & 18 Marmora Street
Freshwater NSW

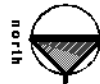
RESIDENTIAL ROOF PLAN

SCALE	1:100 @ A1	DATE	06.10.10
DATE	02.2008	Drawn by	TL
Drawn by	TL	DA14	B
Revised by	PB		



RESIDENTIAL ROOF PLAN

SCALE 1:100

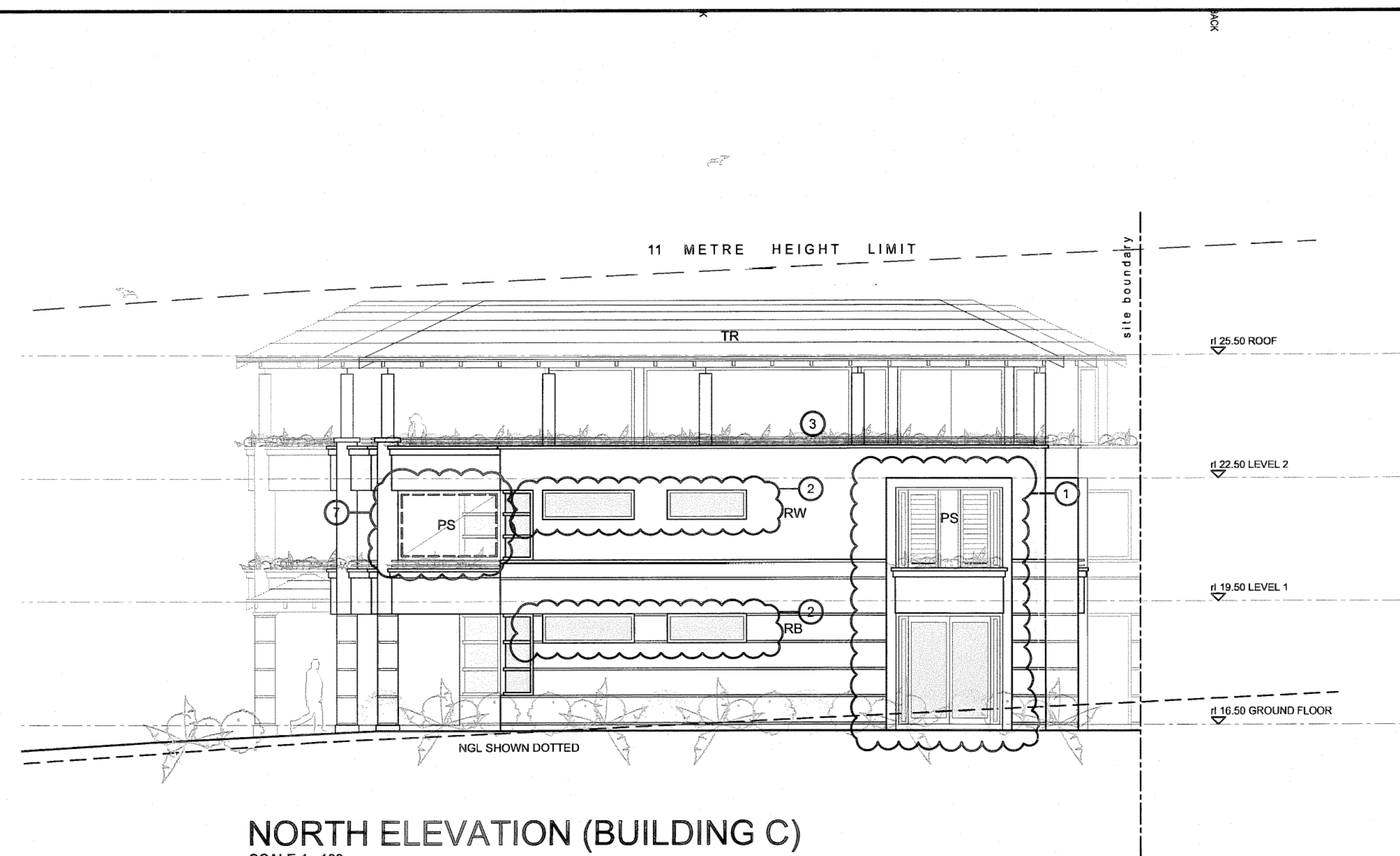


THIS PLAN TO BE READ IN CONJUNCTION WITH
MODJ2013/0112
WARRINGAH COUNCIL



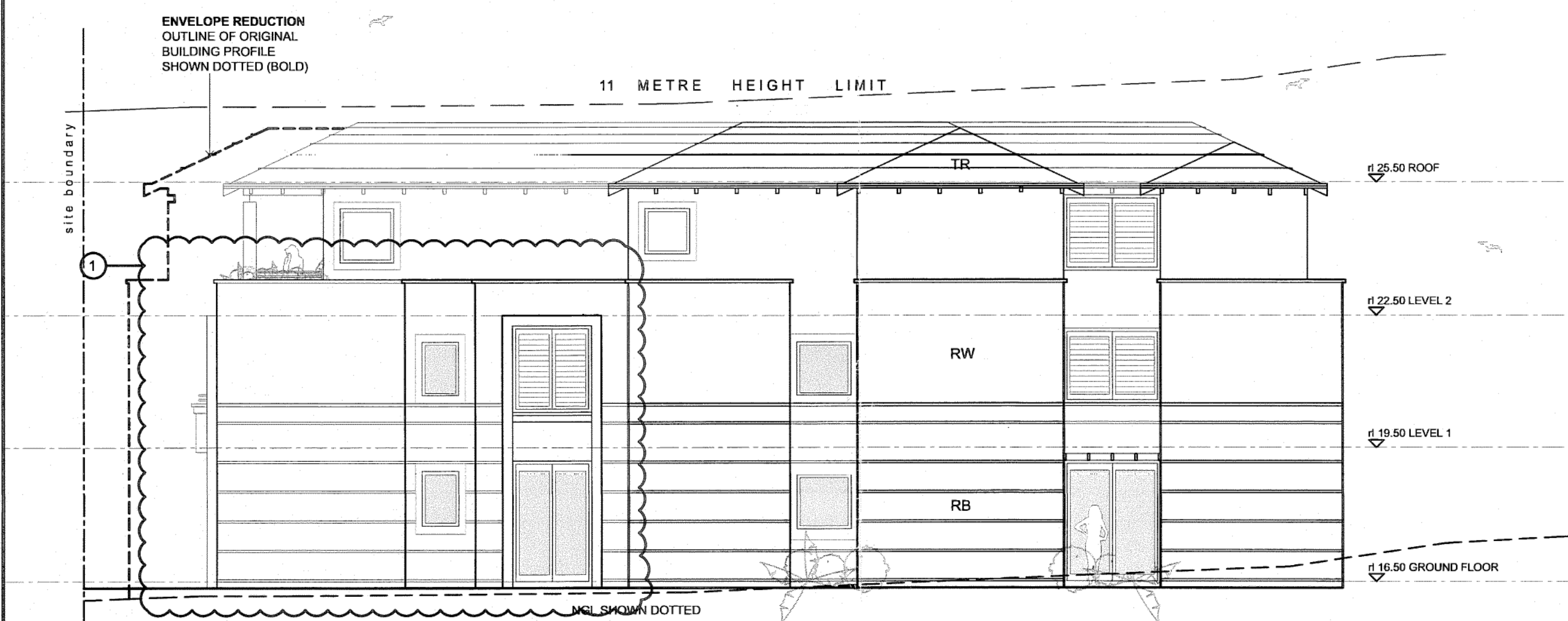
EAST ELEVATION (BUILDING C)

SCALE 1 : 100



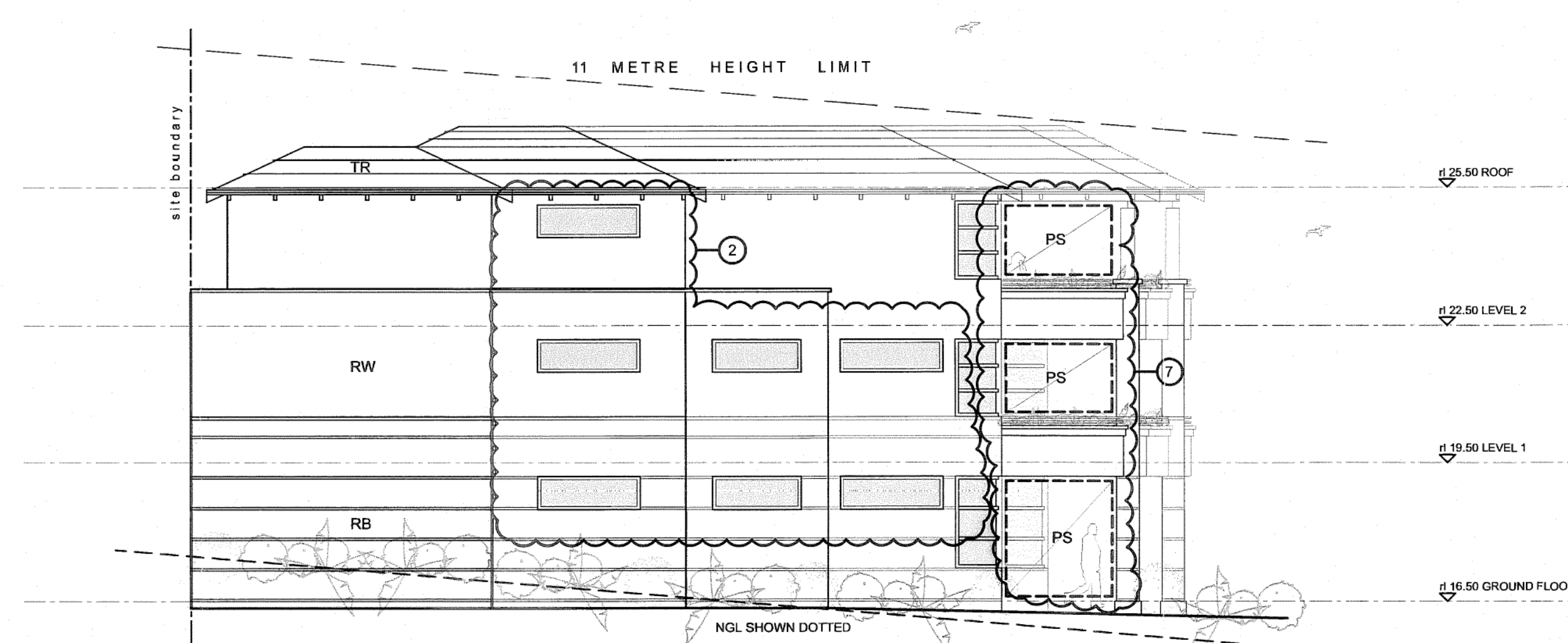
NORTH ELEVATION (BUILDING C)

SCALE 1 : 100



WEST ELEVATION (BUILDING C)

SCALE 1 : 100



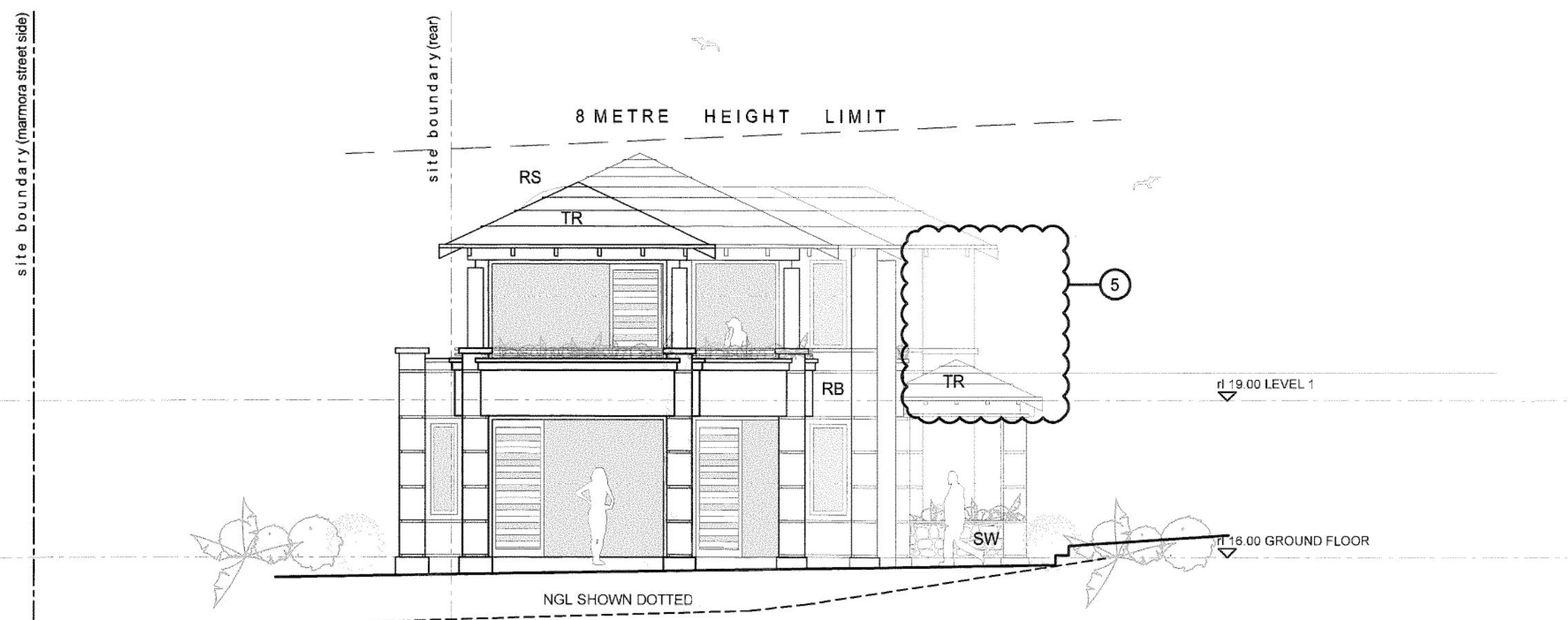
SOUTH ELEVATION (BUILDING C)

SCALE 1 : 100

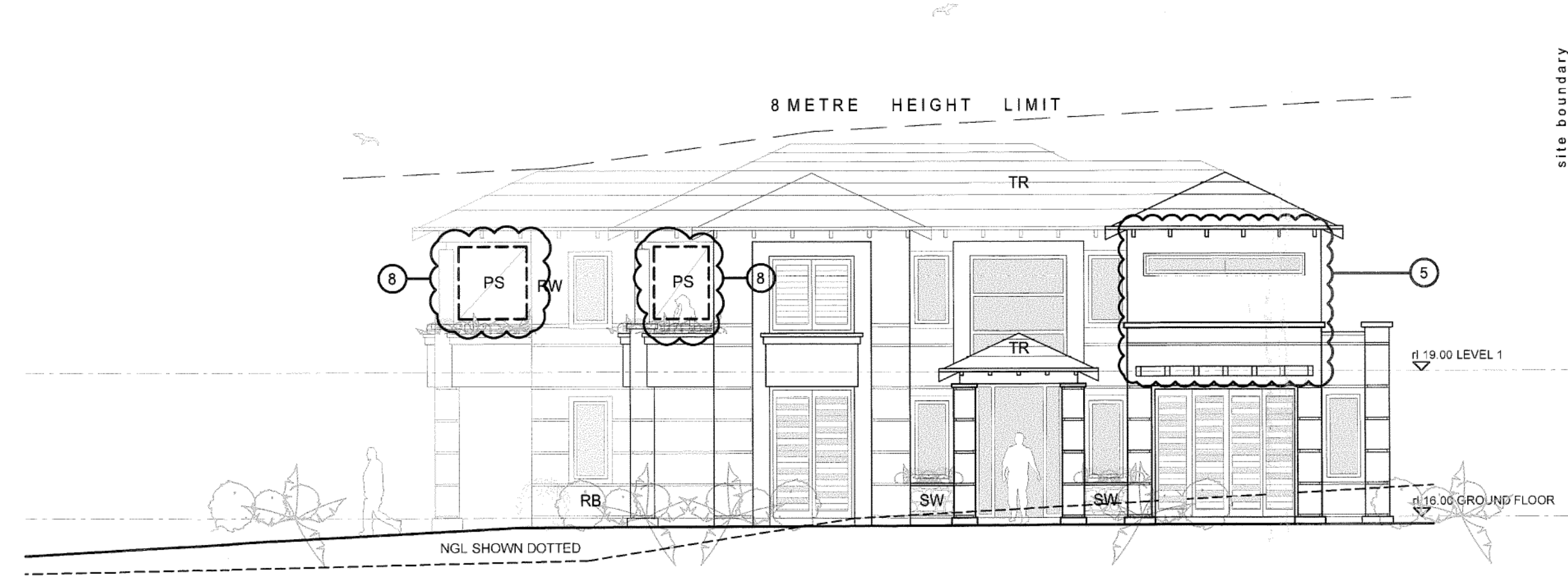
LEGEND		
ACU	air conditioner condenser units	
FS	fixed privacy screening to commercial building, operable for maintenance purpose only	
GB	glass balustrade with rail to future architect's details	
GC	glass canopy roof	
HA	operable hatch	
LS	landscaping: refer to landscape architect's detail drawings	
MG	Metal / glass awning to future architect's details	
NGL	natural ground level	
PB	planterbox	
PP	power pole	
PS	privacy screening to residential units balcony to future details	
RB	render unto masonry wall with banding	
RC	reinforced concrete	
RW	render & paint finish unto masonry wall	
RS	roof skylight	
SG	stainless steel / glass awning	
SW	selected stone finish fixed to masonry wall	
TE	existing tree	
TR	ceramic slate roofing to manufacturers specification	
+11.9.50	existing r/s / levels	
(RL3.50)	new r/s / levels	
NOTES		
All wet areas to be tiled and mechanically ventilated		
Building B Gas instantaneous hot water External walls insulation: R1.0 Unit 1 & 2 Floors insulation (area above carpark only): R1.5 Unit 4 Ceiling insulation (with roof above): R1.5 Unit 5 Ceiling insulation: R2.5		
Building C Gas instantaneous hot water External walls insulation: R1.0 Unit 6 & 7 Floors insulation: R1.5 Unit 9 Ceiling insulation (with roof above): R1.5 Unit 10 Ceiling insulation: R2.5		
Building D Gas instantaneous hot water External walls insulation: R1.0 Ceiling insulation: R2.5		
ISSUE B Amendment list (Addressing issues in council correspondence dated 14.01.08)		
1. building c setback increased to 3m from northern boundary (internal planning adjustments & elevation amendments to suit)		
2. highlight windows added for cross ventilation to apartments		
3. screen planter added to length of northern terrace of apartment 10		
4. deep screen landscaping added to area between building C and northern boundary		
5. grade of pedestrian pathway amended to suit accessible access		
6. setback dimensions clarified as 900m (building D)		
7. privacy screen added (to future detail)		
06 NOV 2008 FILED		
ISSUE	DATE	DESCRIPTION
B	19 March 2008	Issue for DA
CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK. FIGURED DIMENSIONS GIVEN ARE TO BE TAKEN IN PREFERENCE TO DETAILING. COPYRIGHT OF DRAWING SHOWN HEREIN IS RETAINED BY THIS OFFICE. AUTHORITY IS REQUIRED FOR ANY REPRODUCTION.		
BLACKMORE design group		
Architects & Project Managers		
Blackmore Design Group Pty. Limited ACN 003 699 358		
Level 4, 80 York Street, Sydney, NSW 2000 Australia		
Ph: (02) 9299 3100 Fax: (02) 9299 3766		
E-mail: info@blackmoredesign.com.au		
Website: www.blackmoredesign.com.au		
CLIENT		
Mr. Frank Minnici		
PO Box 5112		
Wheeler Heights NSW 2097		
PROJECT		
Proposed mixed use development:		
5-7 Lawrence Street & 18 Mamora Street		
Freshwater NSW		
DRAWING		
RESIDENTIAL ELEVATIONS (BUILDING C)		
SCALE	1:100 @ A1	JOB# 06.LSH.02
DATE	19.03.2008	DWG NO
DRAWN BY	TL	ISSUE
CHKD. BY	PB	

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH

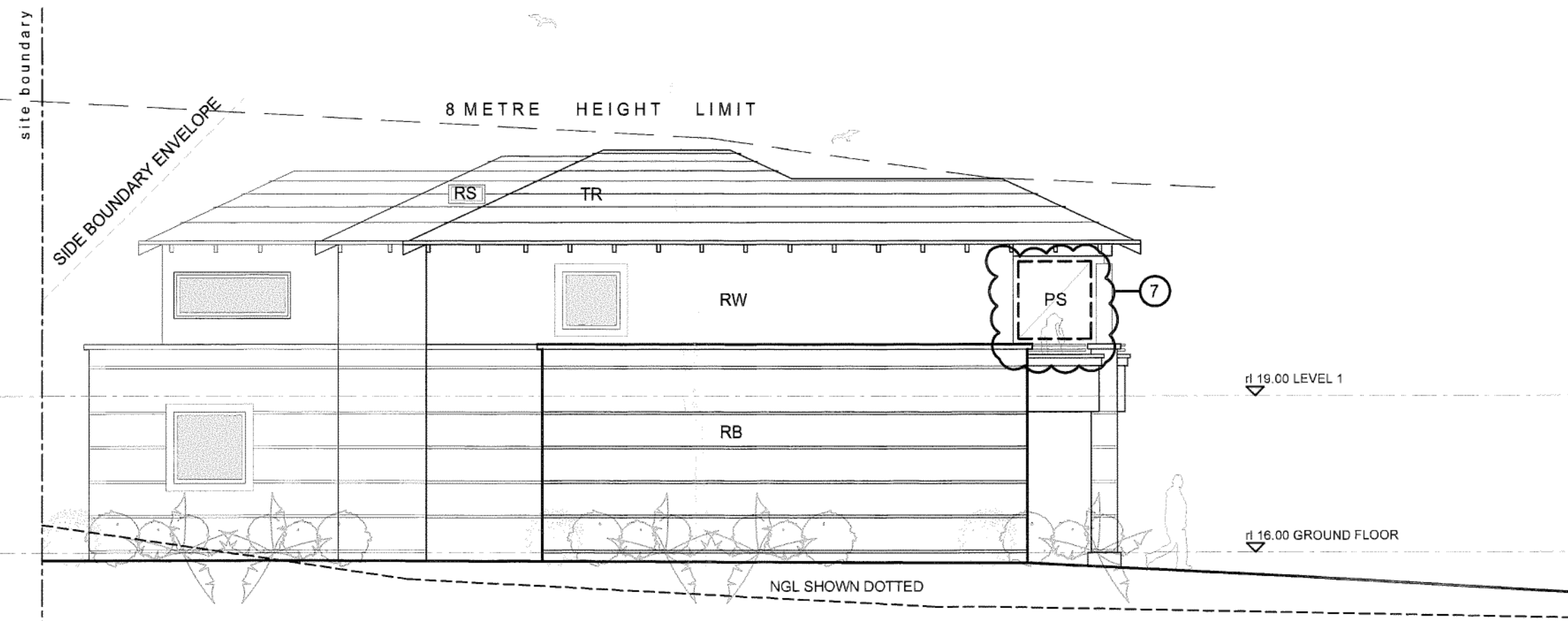
MOD2013/0112
WARRINGAH COUNCIL



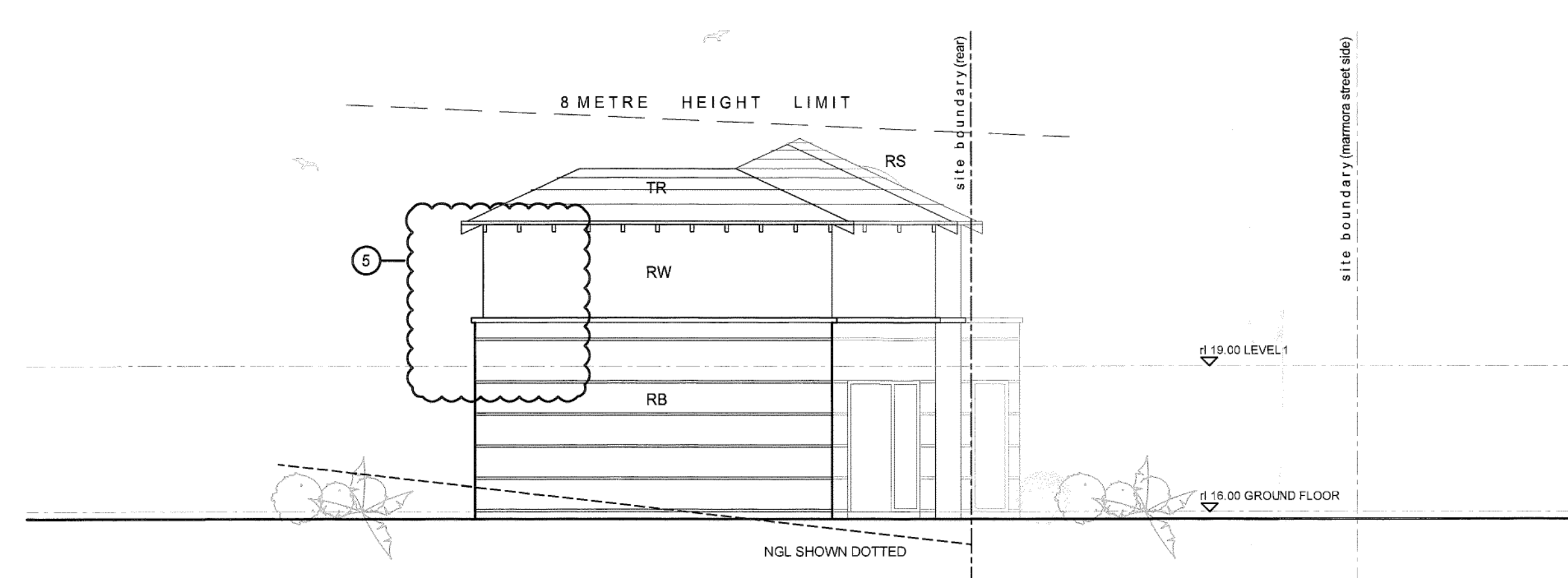
NORTH ELEVATION (BUILDING D)
SCALE 1 : 100



WEST ELEVATION (BUILDING D)
SCALE 1 : 100



EAST ELEVATION (BUILDING D)
SCALE 1 : 100



SOUTH ELEVATION (BUILDING D)
SCALE 1 : 100

LEGEND		
ACU	air conditioner condenser units	
FS	fixed privacy screening to commercial building, operable for maintenance purpose only	
GB	glass balustrade with rail to future architect's details	
GC	glass canopy roof	
HA	operable hatch	
LS	landscaping: refer to landscape architect's detail drawings	
MG	Metal / glass awning to future architect's details	
NGL	natural ground level	
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SW	selected stone finish fixed to masonry wall	
TE	existing tree	
TR	ceramic slate roofing to manufacturers specification	
• 11.9.00 existing r/s / levels		
• 11.9.30 new r/s / levels		
NOTES		
All wet areas to be tiled and mechanically ventilated		
Building B		
Gas instantaneous hot water		
External walls insulation: R1.0		
Unit 1 & 2 Floors insulation (area above carpark only): R1.5		
Unit 4 Ceiling insulation (with roof above): R1.5		
Unit 5 Ceiling insulation: R2.5		
Building C		
Gas instantaneous hot water		
External walls insulation: R1.0		
Unit 6 & 7 Floors insulation: R1.5		
Unit 9 Ceiling insulation (with roof above): R1.5		
Unit 10 Ceiling insulation: R2.5		
Building D		
Gas instantaneous hot water		
External walls insulation: R1.0		
Ceiling insulation: R2.5		
ISSUE C		
Amendment list		
(Addressing issues raised post-DA mediation)		
1. communal open space/ landscaping reconfigured		
2. increased setbacks/ screening to garbage room and entry portico		
3. passing bay/ loading area reconfigured and size increased		
4. additional setbacks to building d eastern boundary and internals reconfigured to suit		
5. balcony deleted and highlight window added		
6. additional setbacks/ screening to boundary		
7. planter box screening provided to balcony perimeter		
8. fixed privacy screen to balcony		
9. lift overrun reduced to minimum manufacturers specifications, 1m high safety balustrade to future detail.		
C	27 February 2009	Issue for post DA mediation
ISSUE	DATE	DESCRIPTION
CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK. FIGURED DIMENSIONS GIVEN ARE TO BE TAKEN IN PREFERENCE TO SCALES. SUPPLY OF DESIGN SHOWN HEREIN IS RETAINED BY THIS OFFICE. AUTHORITY IS REQUIRED FOR ANY REPRODUCTION.		
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RESIDENTIAL ELEVATIONS		
(BUILDING D)		
SCALE 1:100 @ A1		
JOB 06.LSH.02		
DATE	27.02.2009	DWG NO
DRAWN BY	TL	ISSUE
CHKD. BY	PB	DA20 D
THIS PLAN TO BE READ IN CONJUNCTION WITH		
MOD2013/0112		
WARRINGAH COUNCIL		