

|                          |                       |
|--------------------------|-----------------------|
| LOT                      | 10                    |
| DP                       | 27133                 |
| <b>AREA CALCULATIONS</b> |                       |
| SITE AREA                | 689.31 m <sup>2</sup> |

**SITE ANALYSIS PLAN**  
1:200

**TRUE NORTH:**

**NOTES (E & OE)**

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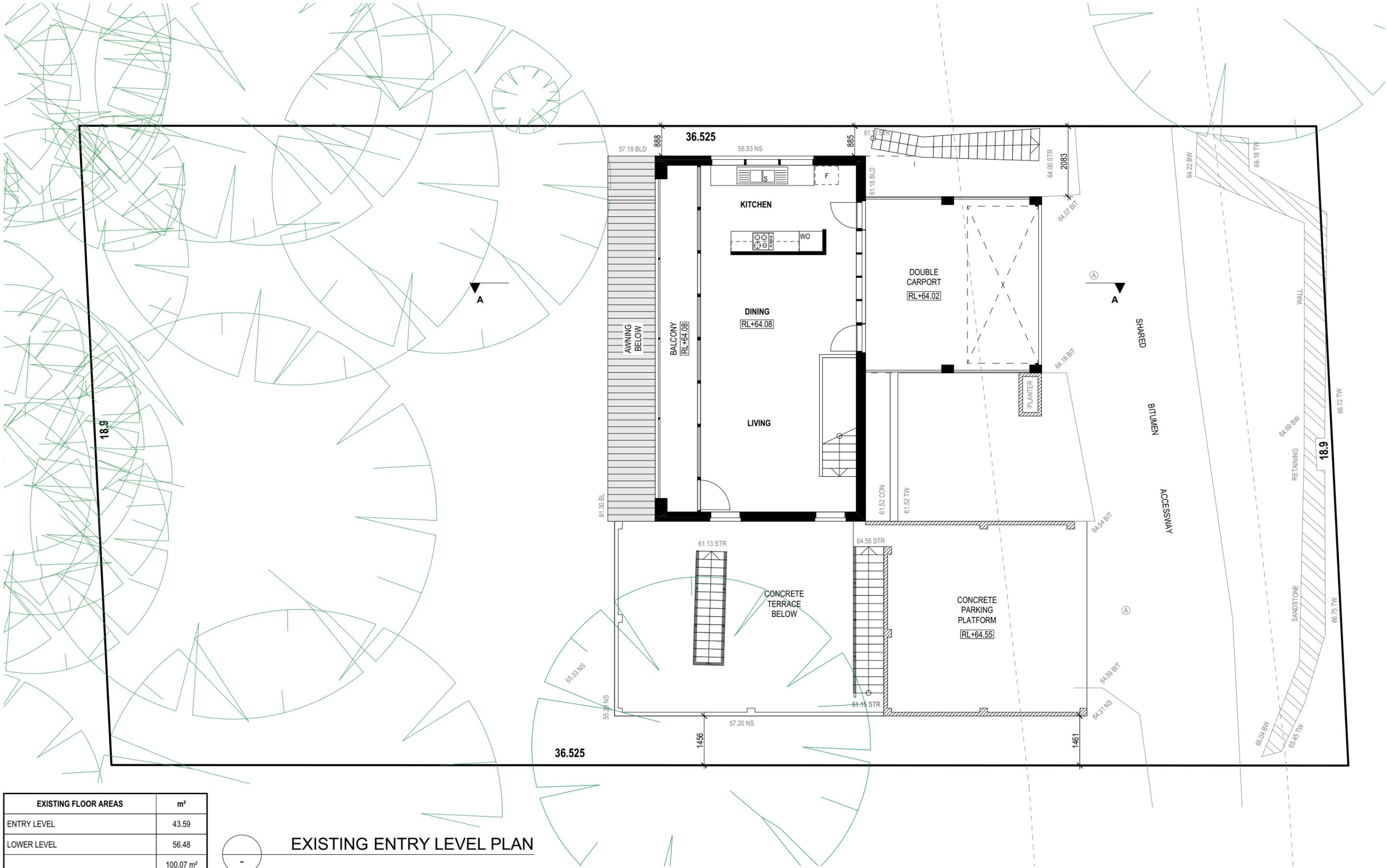
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PO Box 687, Dee Why, NSW, 2099  
Mob. 0414 717 541  
Email. jjdraft@tpg.com.au  
www.jjdrafting.com.au

| REV: | DATE:    | DESCRIPTION:                      |
|------|----------|-----------------------------------|
| A    | 29.09.20 | GYM MEZZANINE. EXTEND UPPER BALC. |
| B    | 19.11.20 | EXTEND WIP.                       |
| C    | 09.12.20 | UPDATE SURVEY                     |
| D    | 16.12.20 | BALCONY DIMS                      |
| E    | 11.01.21 | TREES REFLECT SURVEY              |
| F    | 22.03.21 | CHANGES TO DA DRAWINGS            |
| G    | 23.03.21 | CHANGES TO DA DRAWINGS            |

**PROJECT DETAILS:**  
PROPOSED ALTERATIONS AND ADDITIONS  
10 TAMINGA STREET, BAYVIEW NSW 2104

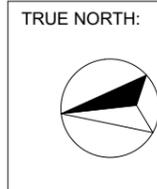
**DRAWING TITLE:**  
SITE ANALYSIS PLAN

|                          |                          |                             |
|--------------------------|--------------------------|-----------------------------|
| <b>DATE:</b><br>JULY/20  | <b>DRAWN BY:</b><br>AHB  | <b>SCALE:</b><br>1:200 @ A3 |
| <b>JOB No:</b><br>815/20 | <b>CHECKED BY:</b><br>JJ | <b>DRAWING No:</b><br>DA.01 |



| EXISTING FLOOR AREAS | m <sup>2</sup>        |
|----------------------|-----------------------|
| ENTRY LEVEL          | 43.59                 |
| LOWER LEVEL          | 56.48                 |
|                      | 100.07 m <sup>2</sup> |

EXISTING ENTRY LEVEL PLAN



**NOTES (E & OE)**

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| F    | 22.03.21 | CHANGES TO DA DRAWINGS            |
| G    | 23.03.21 | CHANGES TO DA DRAWINGS            |

**PROJECT DETAILS:**  
 PROPOSED ALTERATIONS AND ADDITIONS  
 10 TAMINGA STREET, BAYVIEW NSW 2104

**DRAWING TITLE:**  
 EXISTING ENTRY LEVEL FLOOR PLAN

**DATE:**  
 JULY/20

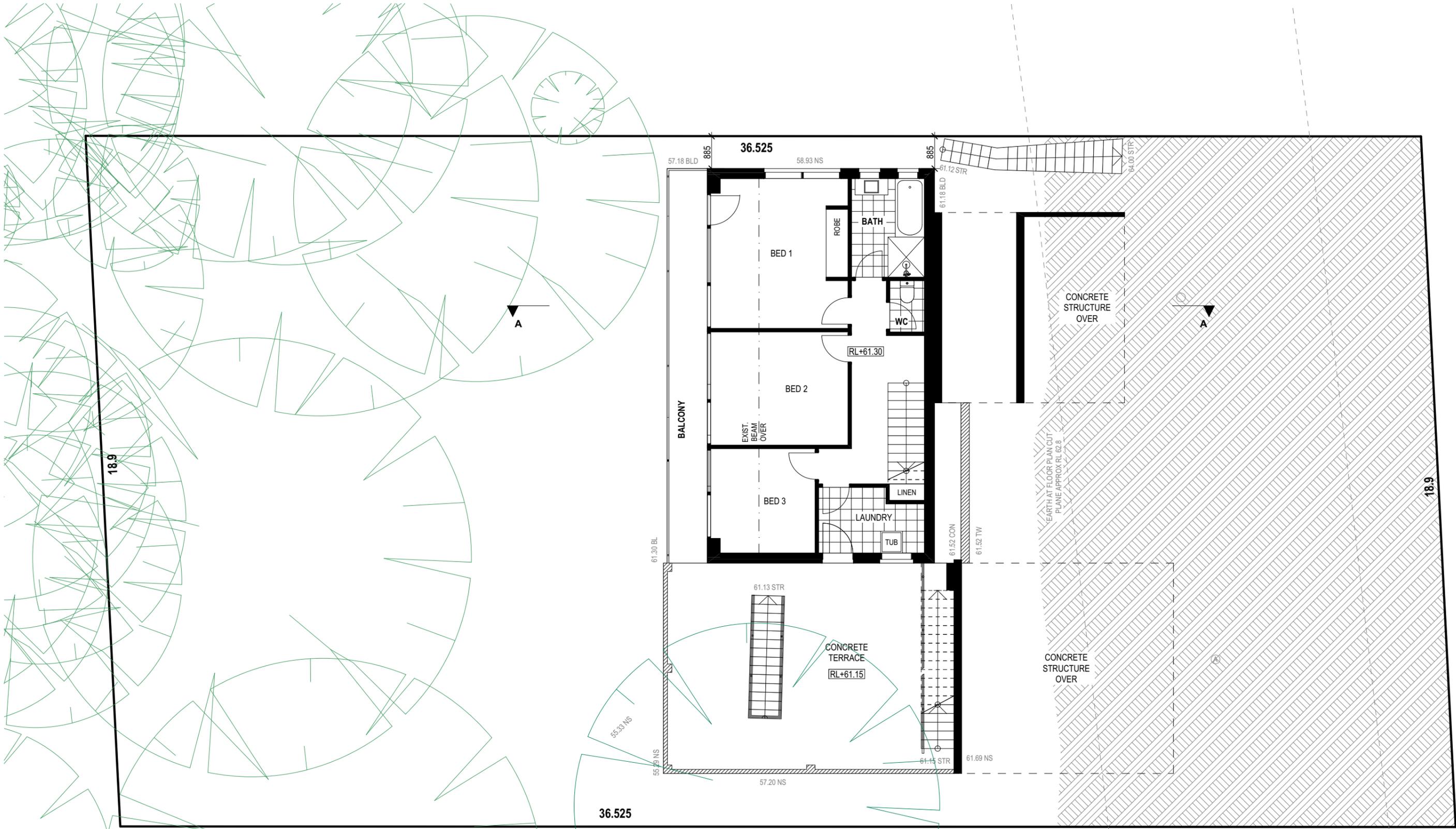
**JOB No:**  
 815/20

**DRAWN BY:**  
 AHB

**CHECKED BY:**  
 JJ

**SCALE:**  
 1:100 @ A3

**DRAWING No:**  
**DA.02**



| EXISTING FLOOR AREAS | m <sup>2</sup>        |
|----------------------|-----------------------|
| ENTRY LEVEL          | 43.59                 |
| LOWER LEVEL          | 56.48                 |
|                      | 100.07 m <sup>2</sup> |

EXISTING LOWER LEVEL PLAN

**TRUE NORTH:**

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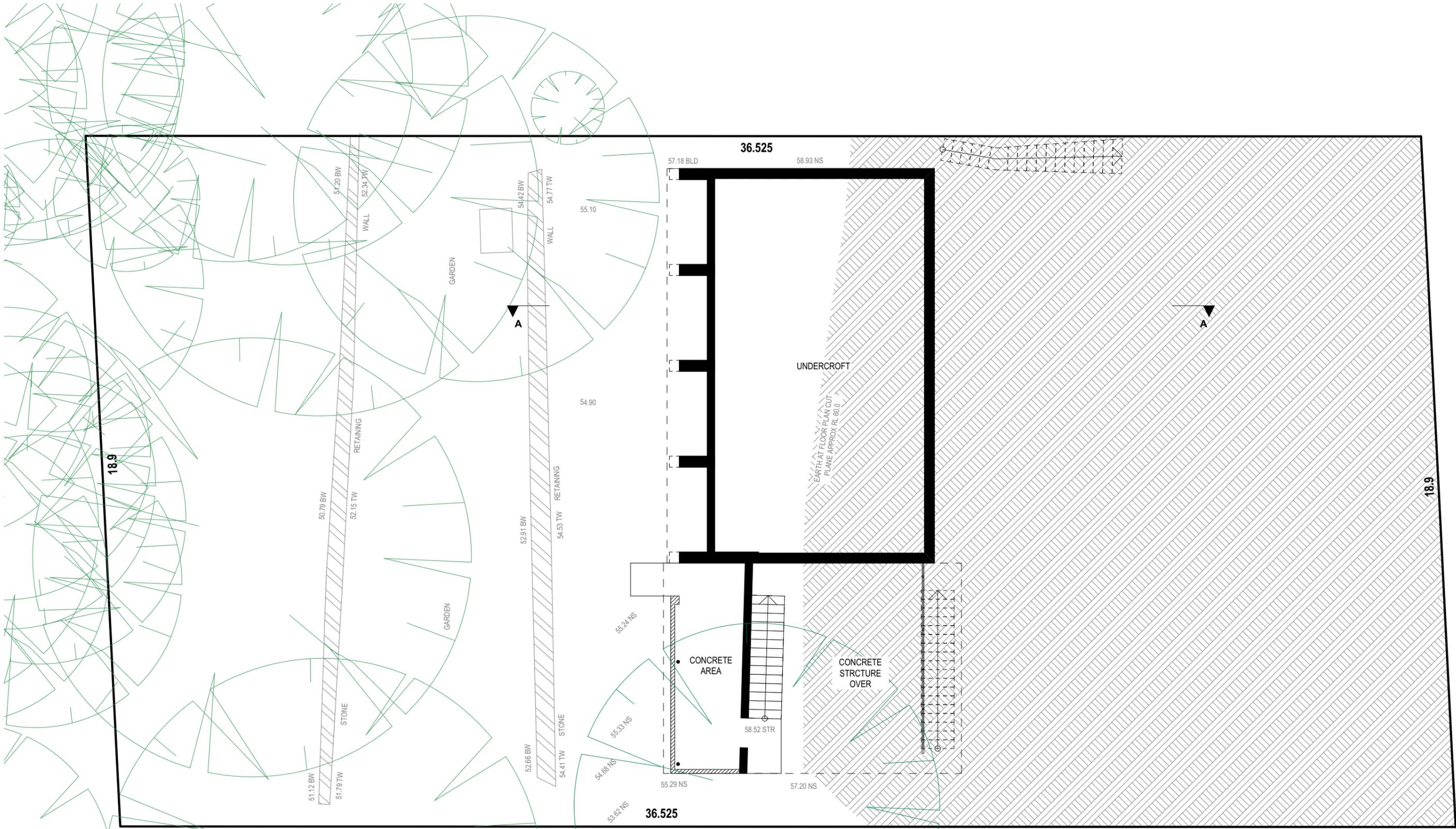
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| G    | 23.03.21 | CHANGES TO DA DRAWINGS            |

**PROJECT DETAILS:**  
 PROPOSED ALTERATIONS AND ADDITIONS  
 10 TAMINGA STREET, BAYVIEW NSW 2104

**DRAWING TITLE:**  
 EXISTING LOWER LEVEL FLOOR PLAN

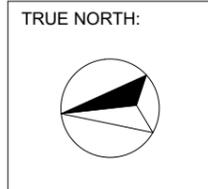
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| <b>JOB No:</b><br>815/20 | <b>CHECKED BY:</b><br>JJ | <b>DRAWING No:</b><br>DA.03 |



| EXISTING FLOOR AREAS | m <sup>2</sup>        |
|----------------------|-----------------------|
| ENTRY LEVEL          | 43.59                 |
| LOWER LEVEL          | 56.48                 |
|                      | 100.07 m <sup>2</sup> |



**EXISTING UNDERCROFT PLAN**



**NOTES (E & OE)**

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| F    | 22.03.21 | CHANGES TO DA DRAWINGS            |
| G    | 23.03.21 | CHANGES TO DA DRAWINGS            |

**PROJECT DETAILS:**  
 PROPOSED ALTERATIONS AND ADDITIONS  
 10 TAMINGA STREET, BAYVIEW NSW 2104

**DRAWING TITLE:**  
 EXISTING UNDERCROFT PLAN

**DATE:**  
 JULY/20

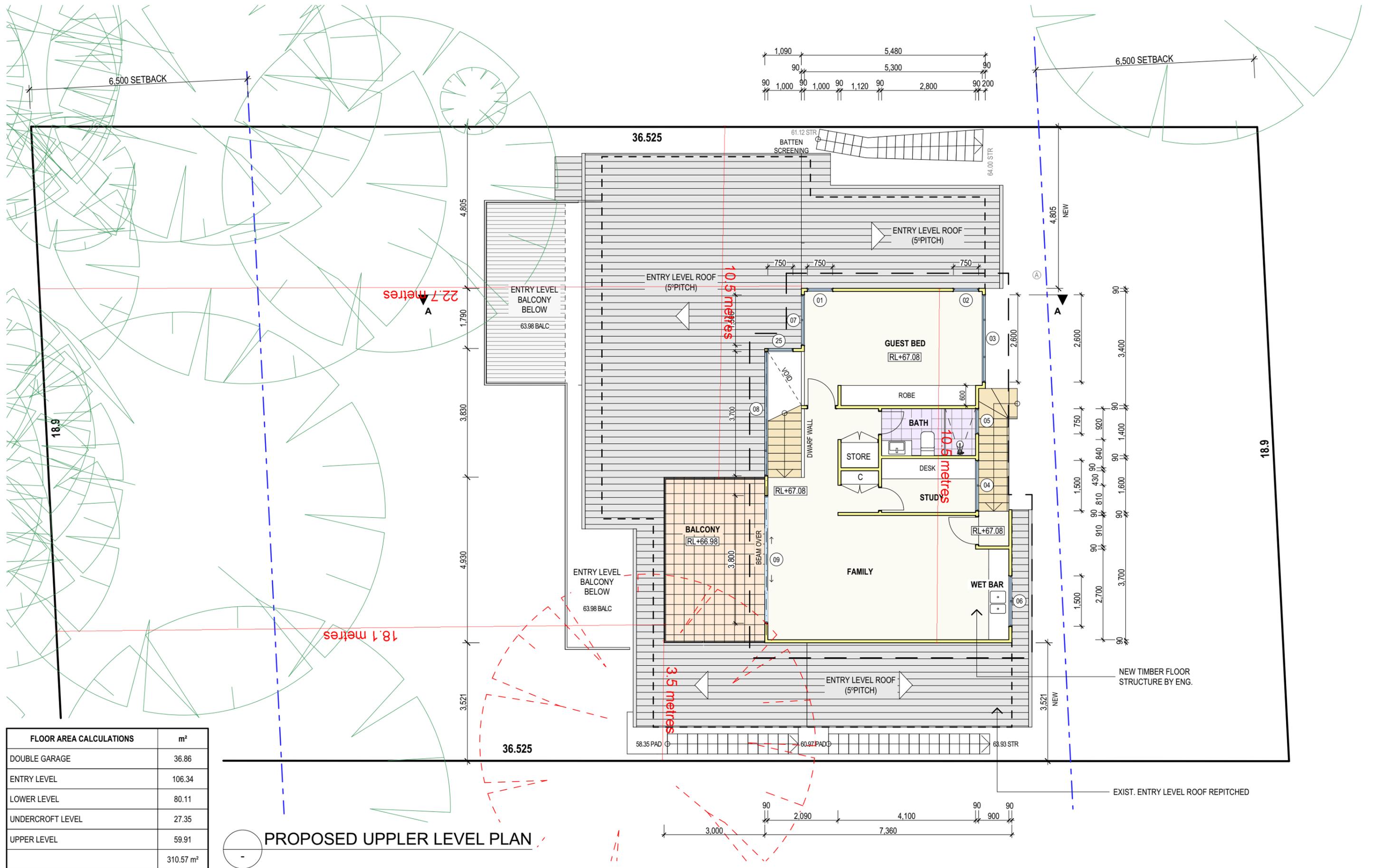
**JOB No:**  
 815/20

**DRAWN BY:**  
 AHB

**CHECKED BY:**  
 JJ

**SCALE:**  
 1:100 @ A3

**DRAWING No:**  
**DA.04**



| FLOOR AREA CALCULATIONS | m <sup>2</sup>        |
|-------------------------|-----------------------|
| DOUBLE GARAGE           | 36.86                 |
| ENTRY LEVEL             | 106.34                |
| LOWER LEVEL             | 80.11                 |
| UNDERCROFT LEVEL        | 27.35                 |
| UPPER LEVEL             | 59.91                 |
|                         | 310.57 m <sup>2</sup> |

**PROPOSED UPPER LEVEL PLAN**

**TRUE NORTH:**

**NOTES (E & OE)**

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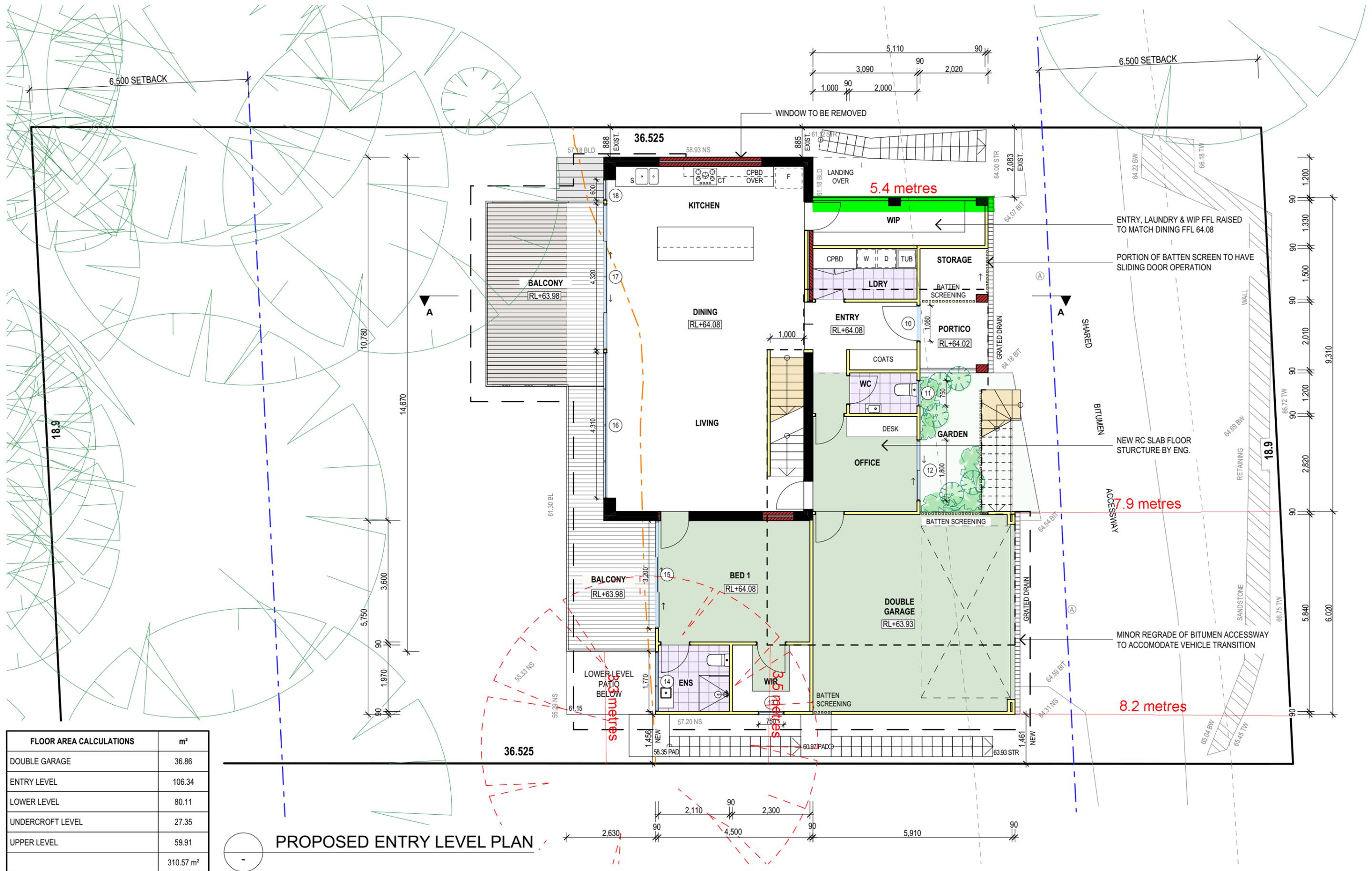
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| G    | 23.03.21 | CHANGES TO DA DRAWINGS            |

**PROJECT DETAILS:**  
 PROPOSED ALTERATIONS AND ADDITIONS  
 10 TAMINGA STREET, BAYVIEW NSW 2104

**DRAWING TITLE:**  
 PROPOSED UPPER LEVEL PLAN

|                          |                          |                             |
|--------------------------|--------------------------|-----------------------------|
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| <b>JOB No:</b><br>815/20 | <b>CHECKED BY:</b><br>JJ | <b>DRAWING No:</b><br>DA.05 |



| FLOOR AREA CALCULATIONS | m <sup>2</sup>        |
|-------------------------|-----------------------|
| DOUBLE GARAGE           | 36.86                 |
| ENTRY LEVEL             | 106.34                |
| LOWER LEVEL             | 80.11                 |
| UNDERCROFT LEVEL        | 27.35                 |
| UPPER LEVEL             | 59.91                 |
|                         | 310.57 m <sup>2</sup> |

**PROPOSED ENTRY LEVEL PLAN**

**TRUE NORTH:**

**NOTES (E & OE)**

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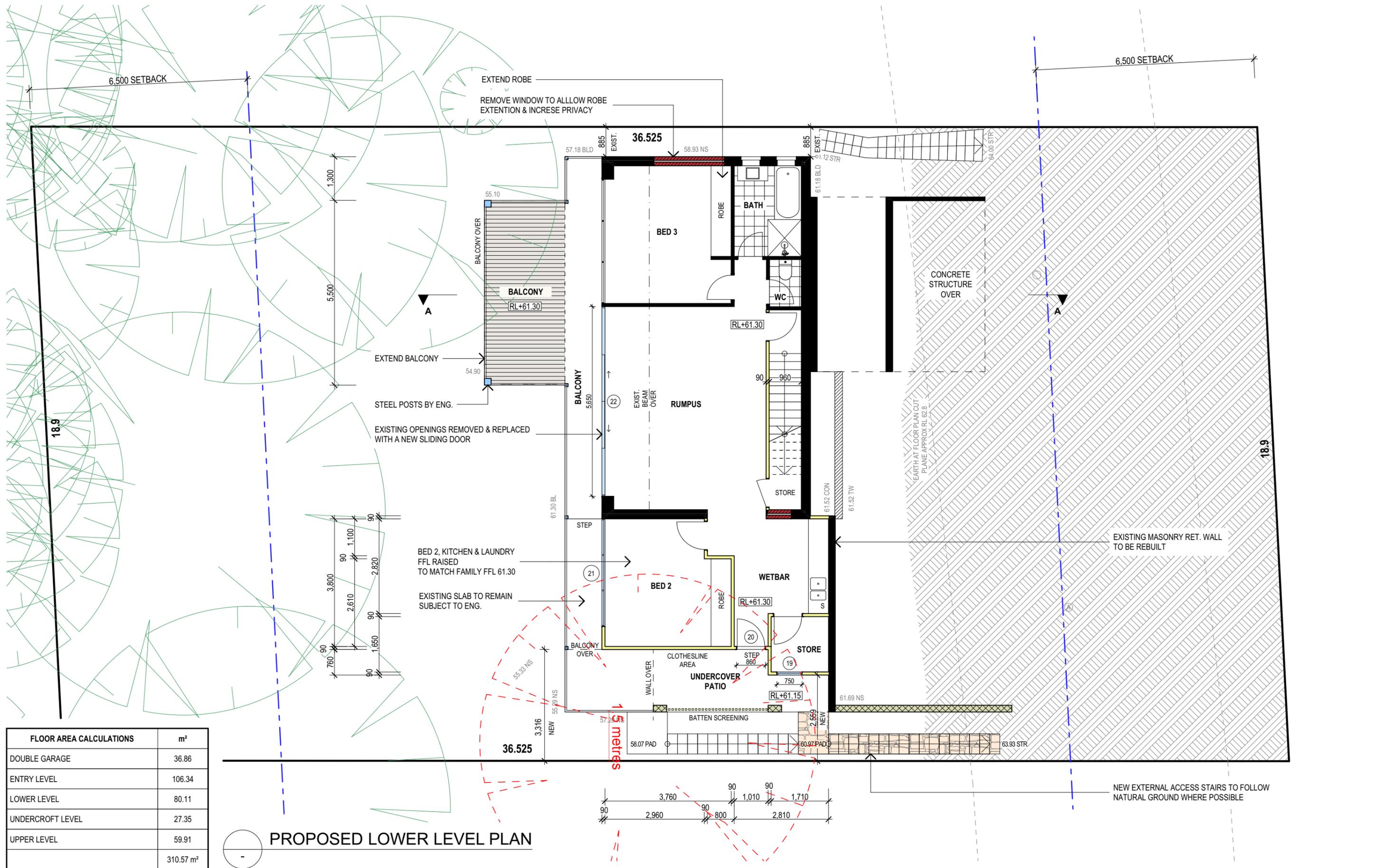
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**PROJECT DETAILS:**  
 PROPOSED ALTERATIONS AND ADDITIONS  
 10 TAMINGA STREET, BAYVIEW NSW 2104

**DRAWING TITLE:**  
 PROPOSED ENTRY LEVEL PLAN

| DATE:   | DRAWN BY:   | SCALE:       |
|---------|-------------|--------------|
| JULY/20 | AHB         | 1:100 @ A3   |
| JOB No: | CHECKED BY: | DRAWING No:  |
| 815/20  | JJ          | <b>DA.06</b> |



| FLOOR AREA CALCULATIONS | m <sup>2</sup>        |
|-------------------------|-----------------------|
| DOUBLE GARAGE           | 36.86                 |
| ENTRY LEVEL             | 106.34                |
| LOWER LEVEL             | 80.11                 |
| UNDERCROFT LEVEL        | 27.35                 |
| UPPER LEVEL             | 59.91                 |
|                         | 310.57 m <sup>2</sup> |

**PROPOSED LOWER LEVEL PLAN**

**TRUE NORTH:**

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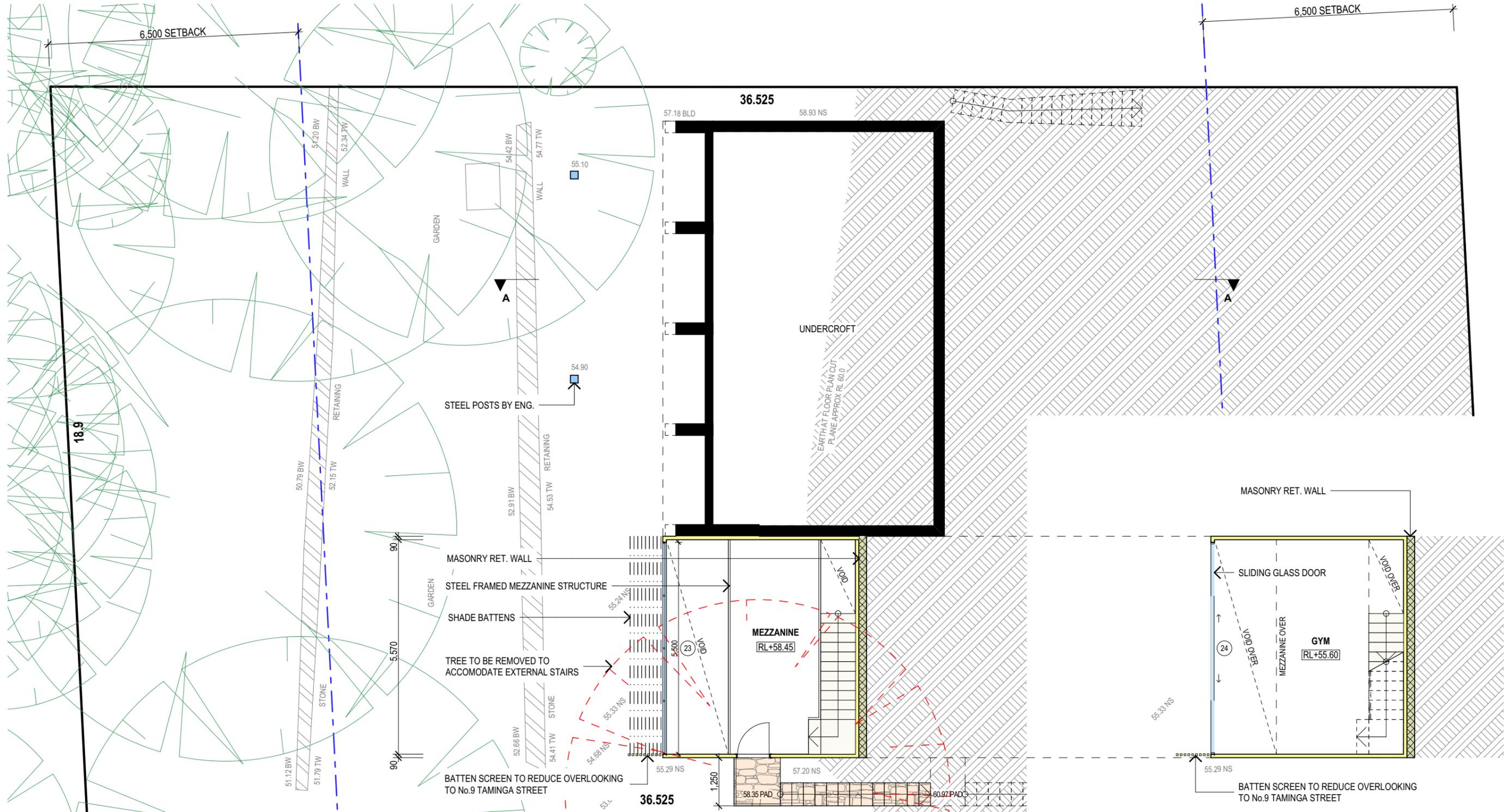
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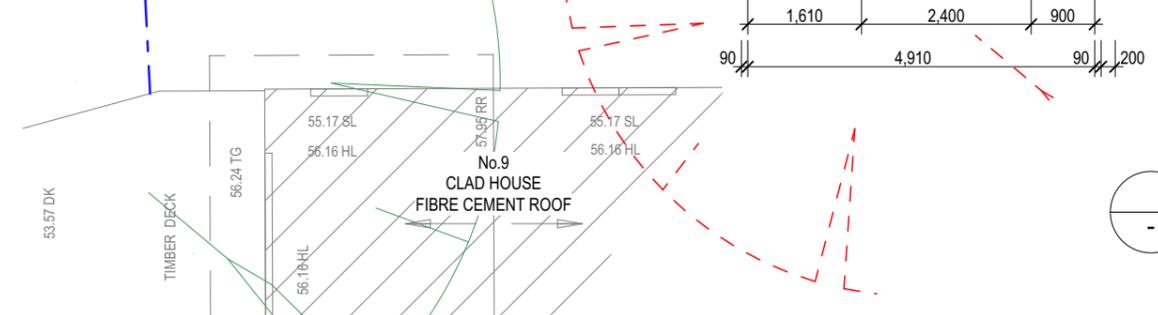
**PROJECT DETAILS:**  
 PROPOSED ALTERATIONS AND ADDITIONS  
 10 TAMINGA STREET, BAYVIEW NSW 2104

**DRAWING TITLE:**  
 PROPOSED LOWER LEVEL PLAN

|                          |                          |                             |
|--------------------------|--------------------------|-----------------------------|
| <b>DATE:</b><br>JULY/20  | <b>DRAWN BY:</b><br>AHB  | <b>SCALE:</b><br>1:100 @ A3 |
| <b>JOB No:</b><br>815/20 | <b>CHECKED BY:</b><br>JJ | <b>DRAWING No:</b><br>DA.07 |



| FLOOR AREA CALCULATIONS | m <sup>2</sup>        |
|-------------------------|-----------------------|
| DOUBLE GARAGE           | 36.86                 |
| ENTRY LEVEL             | 106.34                |
| LOWER LEVEL             | 80.11                 |
| UNDERCROFT LEVEL        | 27.35                 |
| UPPER LEVEL             | 59.91                 |
|                         | 310.57 m <sup>2</sup> |



**PROPOSED GYM & MEZZANINE LEVEL PLAN**  
1:100

**TRUE NORTH:**

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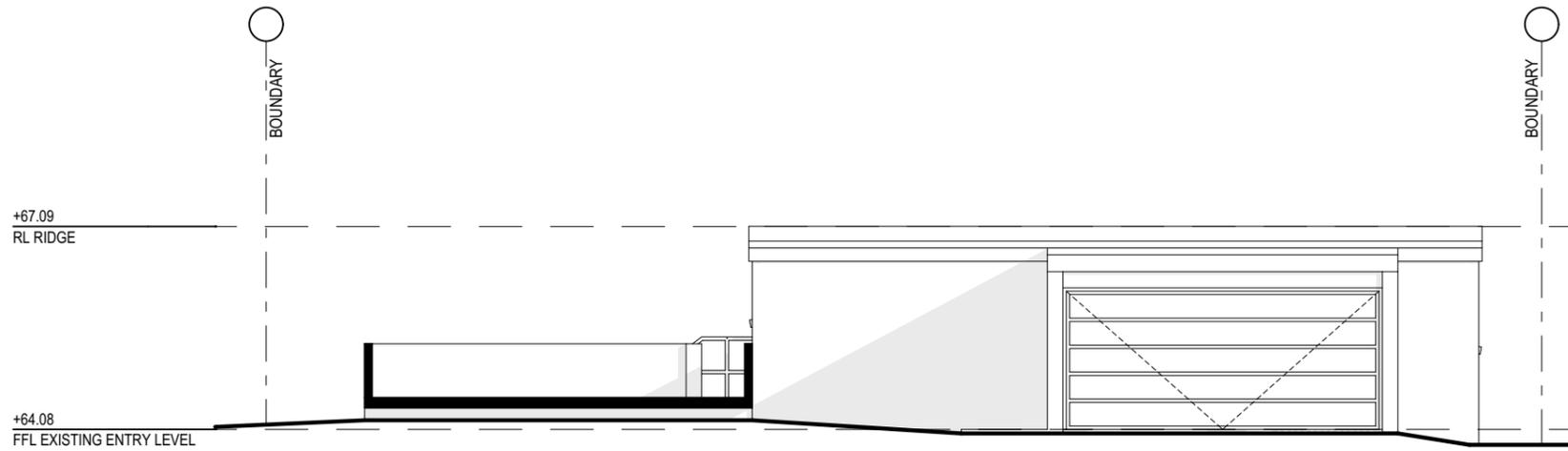
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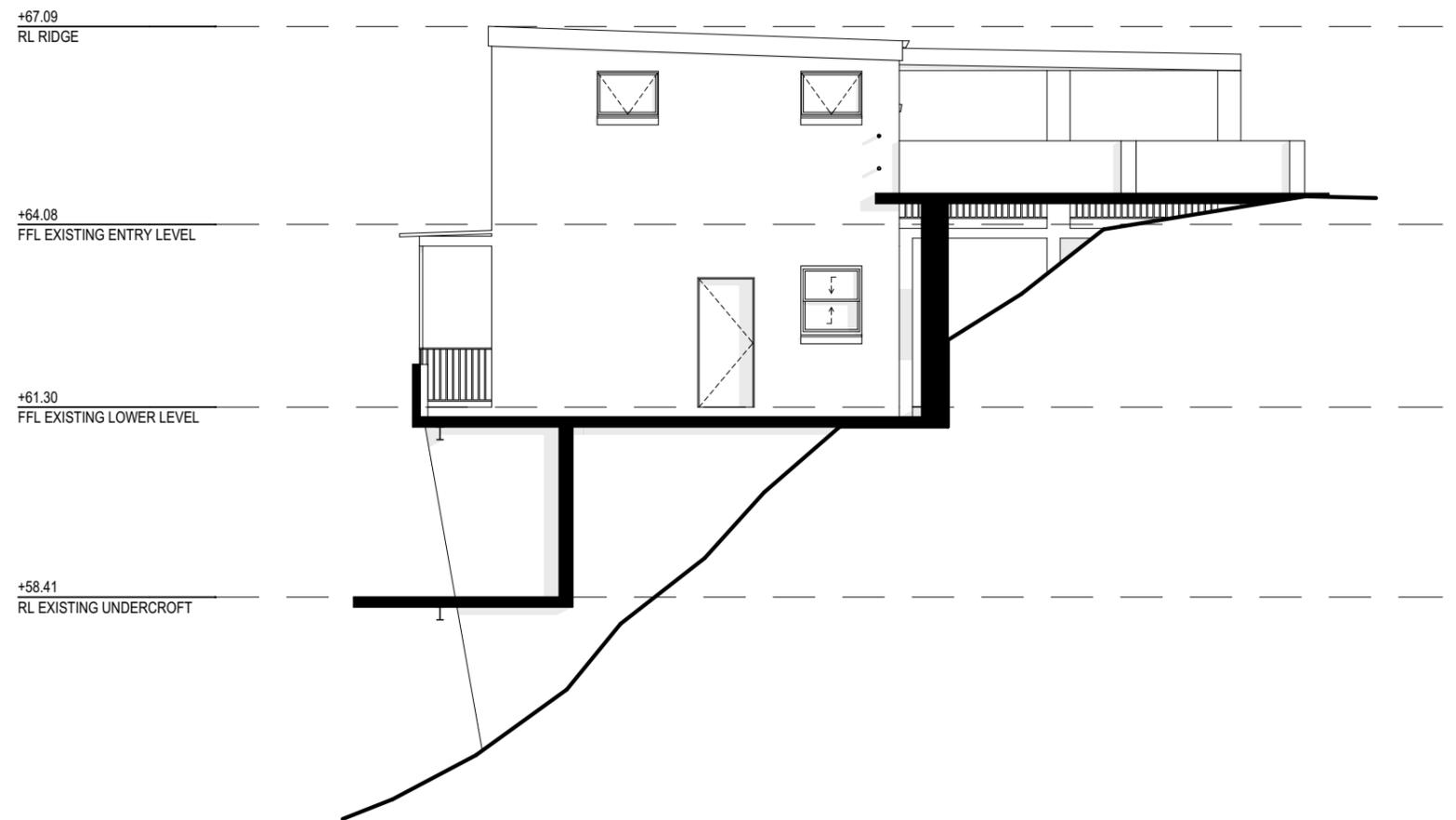
**PROJECT DETAILS:**  
 PROPOSED ALTERATIONS AND ADDITIONS  
 10 TAMINGA STREET, BAYVIEW NSW 2104

**DRAWING TITLE:**  
 PROPOSED GYM & MEZZANINE LEVEL FLOOR PLAN

|                          |                          |                             |
|--------------------------|--------------------------|-----------------------------|
| <b>DATE:</b><br>JULY/20  | <b>DRAWN BY:</b><br>AHB  | <b>SCALE:</b><br>1:100 @ A3 |
| <b>JOB No:</b><br>815/20 | <b>CHECKED BY:</b><br>JJ | <b>DRAWING No:</b><br>DA.08 |



1 EXISTING SOUTH ELEVATION  
- 1:100



2 EXISTING WEST ELEVATION  
- 1:100

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| G    | 23.03.21 | CHANGES TO DA DRAWINGS            |

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|---|
| PROJECT DETAILS:<br>PROPOSED ALTERATIONS AND ADDITIONS<br>10 TAMINGA STREET, BAYVIEW NSW 2104 |
| DRAWING TITLE:<br>EXISTING ELEVATIONS SHEET 1   |

|                   |                   |                             |
|-------------------|-------------------|-----------------------------|
| DATE:<br>JULY/20  | DRAWN BY:<br>AHB  | SCALE:<br>1:100 @ A3        |
| JOB No:<br>815/20 | CHECKED BY:<br>JJ | DRAWING No:<br><b>DA.09</b> |



1  
-  
**EXISTING NORTH ELEVATION**  
1:100



2  
-  
**EXISTING EAST ELEVATION**  
1:100

**NOTES (E & OE)**

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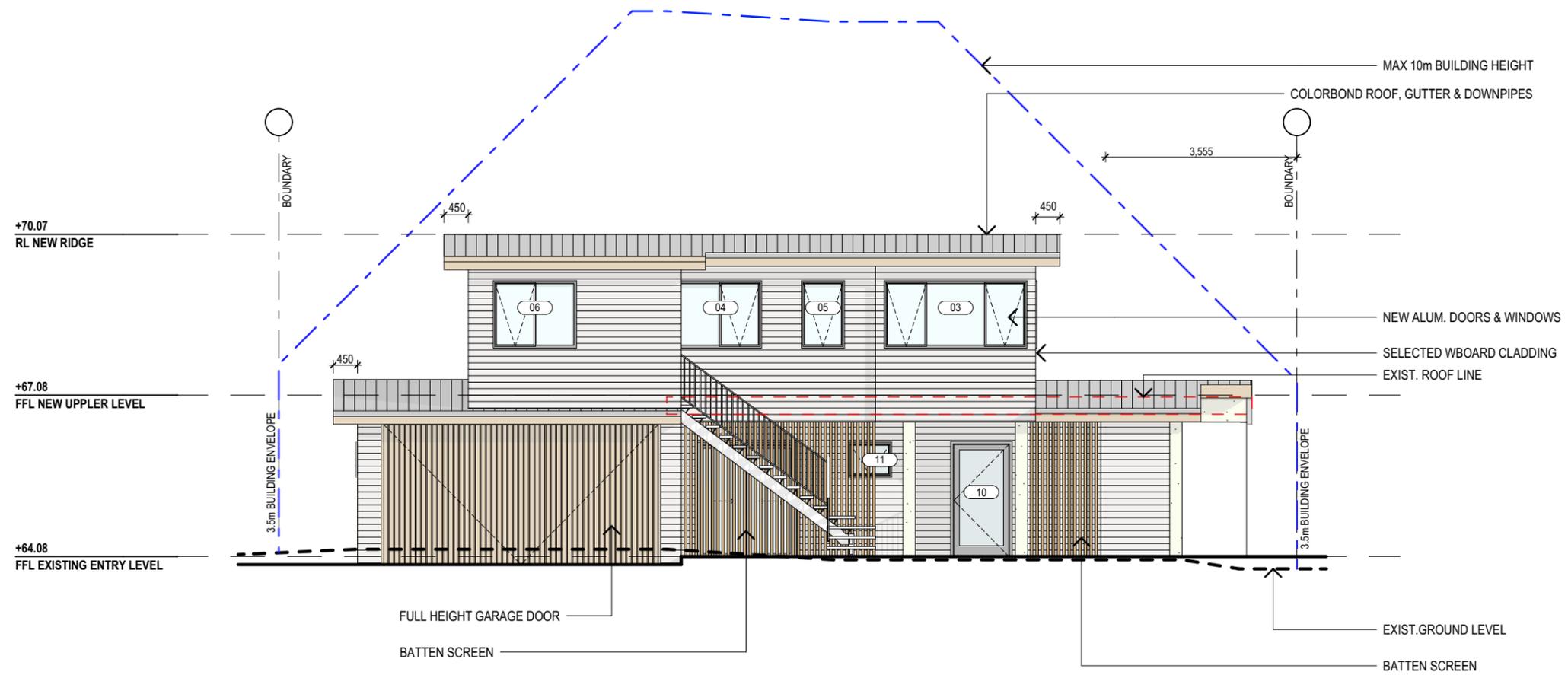
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|   |
|---|
| PROJECT DETAILS:<br>PROPOSED ALTERATIONS AND ADDITIONS<br>10 TAMINGA STREET, BAYVIEW NSW 2104 |
| DRAWING TITLE:<br>EXISTING ELEVATIONS SHEET 2   |

|                   |
|-------------------|
| DATE:<br>JULY/20  |
| JOB No:<br>815/20 |

|                   |
|-------------------|
| DRAWN BY:<br>AHB  |
| CHECKED BY:<br>JJ |

|                             |
|-----------------------------|
| SCALE:<br>1:100 @ A3        |
| DRAWING No:<br><b>DA.10</b> |



- SOUTH ELEVATION  
 1:100

**NOTES (E & OE)**

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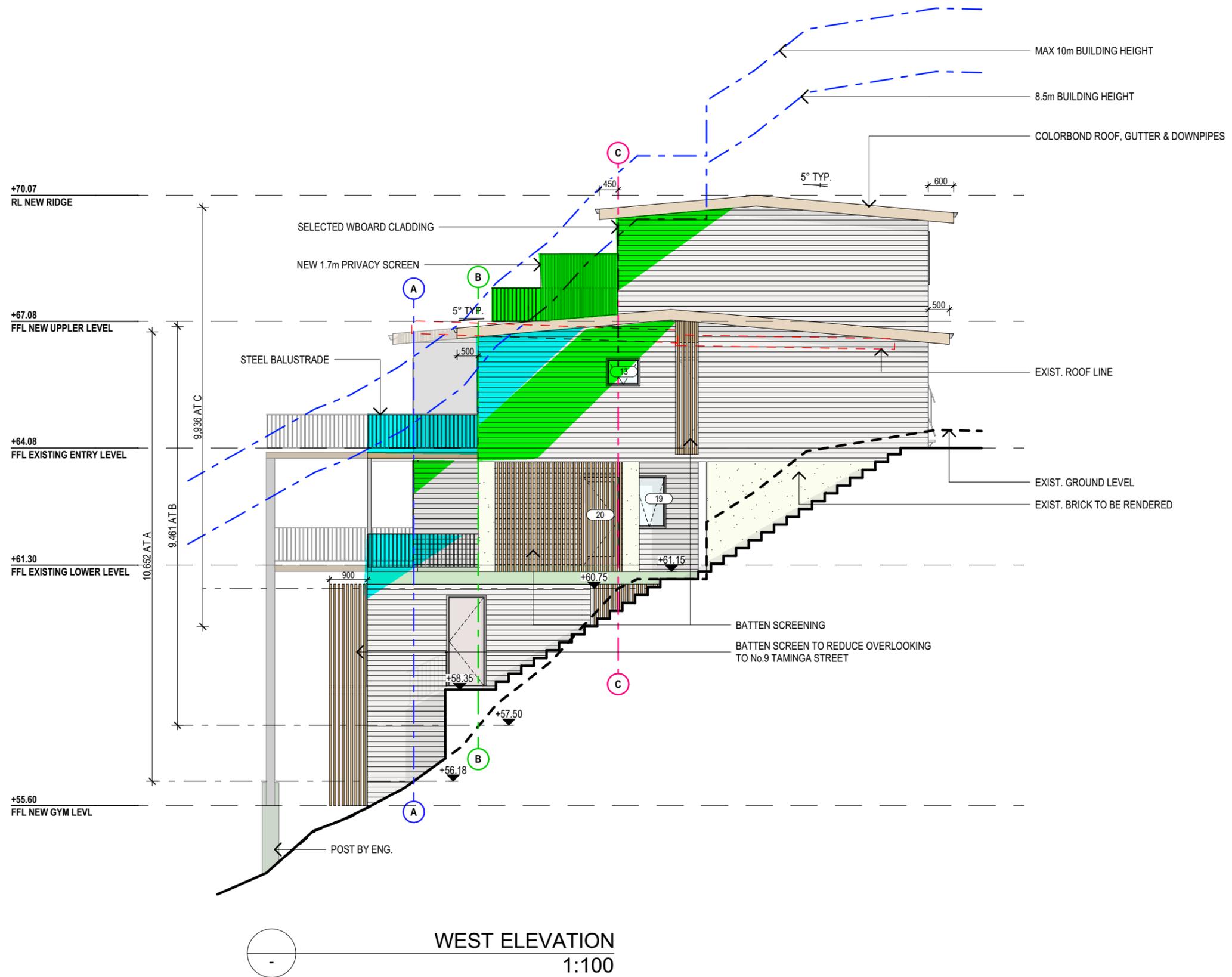
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| D    | 16.12.20 | BALCONY DIMS                      |
| E    | 11.01.21 | TREES REFLECT SURVEY              |
| F    | 22.03.21 | CHANGES TO DA DRAWINGS            |
| G    | 23.03.21 | CHANGES TO DA DRAWINGS            |

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| PROJECT DETAILS:<br>PROPOSED ALTERATIONS AND ADDITIONS<br>10 TAMINGA STREET, BAYVIEW NSW 2104 | DATE:<br>JULY/20  |
| DRAWING TITLE:<br>PROPOSED ELEVATIONS SHEET 1   | DRAWN BY:<br>AHB  |
| JOB No:<br>815/20   | CHECKED BY:<br>JJ |

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**NOTES (E & OE)**

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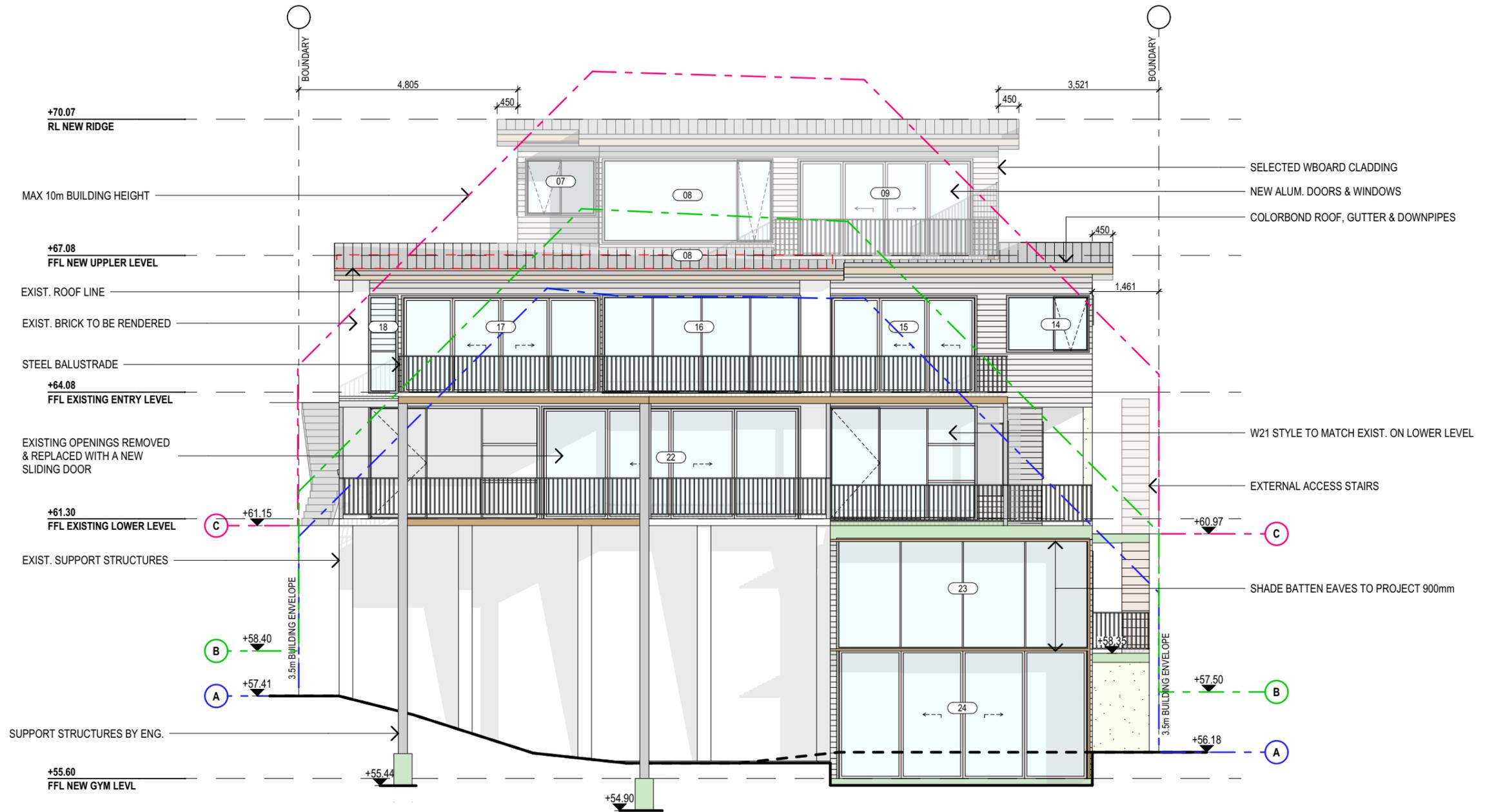
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| DRAWING TITLE:<br>PROPOSED ELEVATIONS SHEET 2   |

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| CHECKED BY:<br>JJ |

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| DRAWING No:<br><b>DA.12</b> |



NORTH ELEVATION  
1:100

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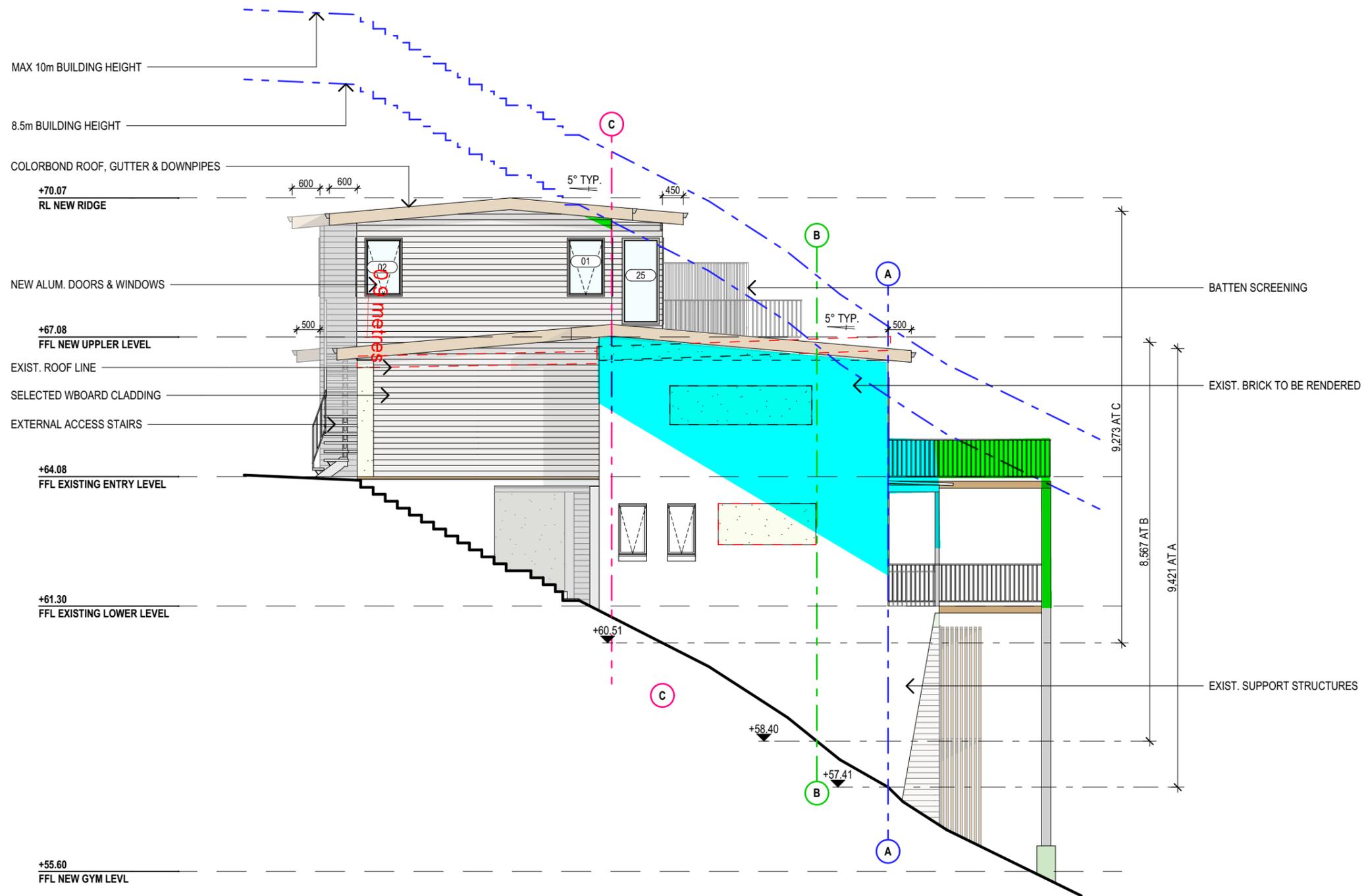
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| DRAWING TITLE:<br>PROPOSED ELEVATIONS SHEET 3   |

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|-------------------|-------------------|-----------------------------|
| DATE:<br>JULY/20  | DRAWN BY:<br>AHB  | SCALE:<br>1:100 @ A3        |
| JOB No:<br>815/20 | CHECKED BY:<br>JJ | DRAWING No:<br><b>DA.13</b> |



**EAST ELEVATION**  
 1:100

**NOTES (E & OE)**

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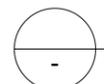
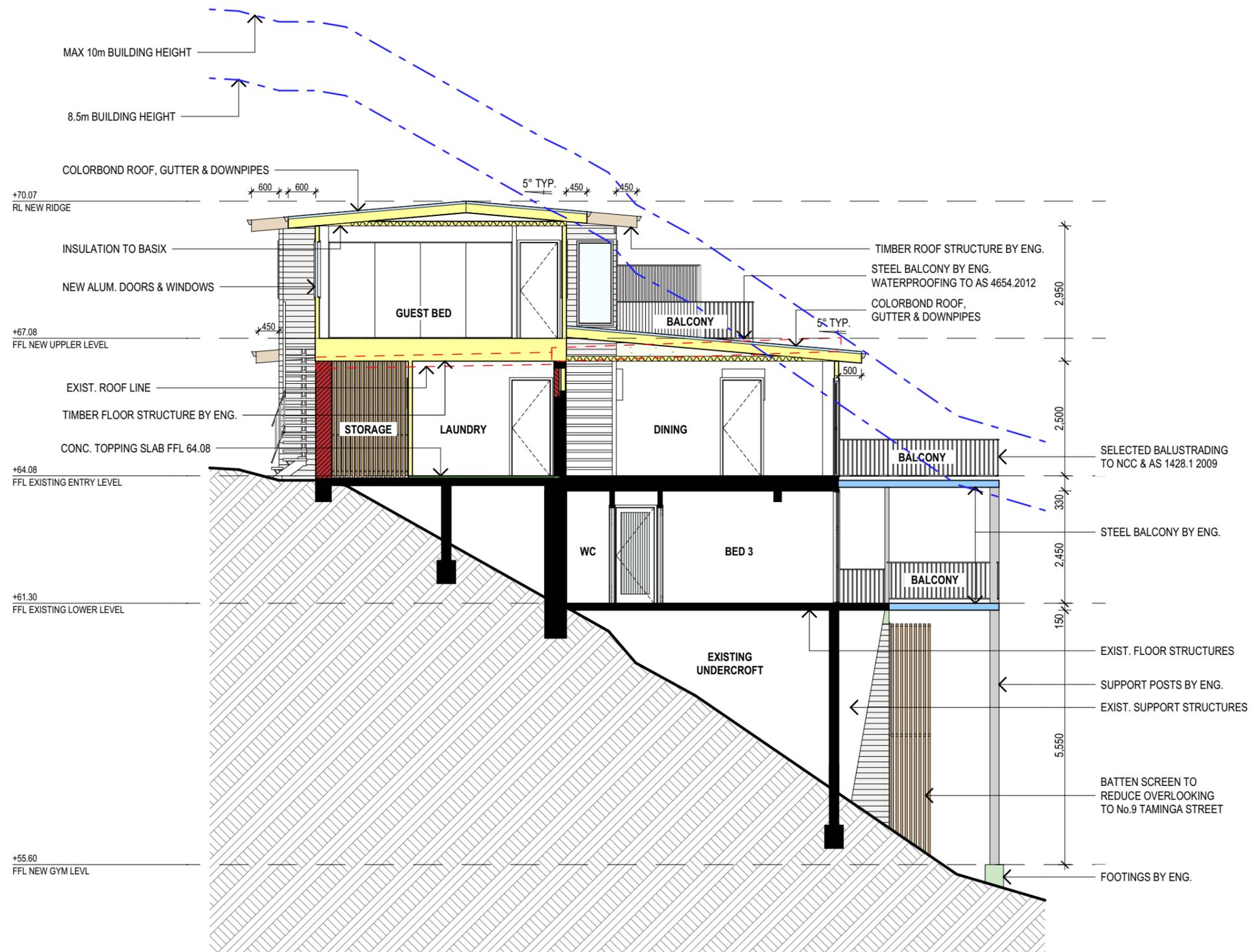
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| <b>DRAWING TITLE:</b><br>PROPOSED ELEVATIONS SHEET 4   |

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| <b>DATE:</b><br>JULY/20  |
| <b>JOB No:</b><br>815/20 |

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| <b>DRAWN BY:</b><br>AHB  |
| <b>CHECKED BY:</b><br>JJ |

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SECTION A-A  
1:100

**NOTES (E & OE)**

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| DRAWING TITLE:<br>SECTION AA  |

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| DATE:<br>JULY/20  |
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| CHECKED BY:<br>JJ |

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| SCALE:<br>1:100 @ A3        |
| DRAWING No:<br><b>DA.15</b> |

## **BASIX REQUIREMENTS**

### **BASIX INCLUSIONS FOR 10 TAMINGA STREET BAYVIEW NSW 2104**

#### **LIGHTING**

40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS.

#### **FIXTURES**

SHOWER RATING MIN. 3 STARS  
TAP RATING MIN. 3 STARS  
WC RATING MIN. 3 STARS

#### **HOT WATER**

SOLAR HOT WATER (ELECTRIC BOOSTED)

#### **INSULATION**

CONSTRUCTION ADDITIONAL INSULATION REQUIRED (R-VALUE)

|   |  |
|---|--|
| Conc. slab on ground                                    | Nil  |
| Suspended floor with open subfloor: Conc. (R0.6)        | R0.9 (down) (or R1.50 including construction)  |
| Suspended floor above garage: Framed (R0.70)            | Nil  |
| Floor above existing dwelling or building               | Nil  |
| External wall: Framed (Weatherboard, fibro, Metal clad) | R1.30 (or R1.70 including construction)  |
| Flat ceiling, pitched roof                              | Ceiling: R2.08 (up), Roof: foil backed blanket (55mm). Medium solar absorptanced 0.475 - 0.70) |

#### **GLAZING - DOORS & WINDOWS**

Standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Number: 03, 04, 06, 08, 09, 10, 11, 12, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24

Standard aluminium, single pyrolytic low-e, (or U-value: 5.7, SHGC: 0.47)

Number: 01, 02, 05, 07, 13, 25

## **SPECIFICATION NOTES**

#### **INTERNAL LINING**

- PROVIDE PLASTERBOARD LINING.

#### **EXTERNAL WALLS:**

- MASONRY WALLS WITH SELECTED RENDER FINISH. COMPLY WITH AS 3700.  
- LIGHTWEIGHT TIMBER FRAME WITH SELECTED LIGHTWEIGHT CLADDING. COMPLY WITH AS 1684.

#### **FLOOR:**

- REINFORCED CONCRETE SLAB. COMPLY WITH AS2870.  
- TIMBER FRAMED FINISHED WITH T&G HARDWOOD FLOORING. COMPLY WITH AS 1684.

#### **WET AREAS:**

- ALL INTERNAL WATERPROOFING TO COMPLY WITH AS 3740.  
- ALL EXTERNAL WATERPROOFING TO COMPLY WITH AS 4654  
- PROVIDE A GUARANTEED FLEXIBLE WATERPROOF MEMBRANE TO ALL WET AREA FLOORS & SHOWERS WALLS TO MANUFACTURES INSTRUCTIONS

#### **BEARERS AND JOISTS:**

- SHALL BE INSTALLED TO COMPLY WITH AS1684 AS AMENDED FOR TIMBER COMPONENTS OR AS3620 FOR LIGHTEWEIGHT STEEL FRAMING SECTIONS OR AS PER THE NASH ALTERNATIVES TO AS 3623.

#### **PROFILED STEEL ROOF:**

- NCC VOL.2 PART 3.5.1.  
- DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH AS/NZS 1562.

#### **ROOFING:**

- SLECTED COLORBOND ROOF CLADDING.

#### **CONCRETE:**

- SHALL BE IN ACCORDANCE WITH NCC VOL.1 PART B1.4 OR VOL.2 PART 3.2.3.  
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT EDITIONS OF THE AS3600.

#### **CONCRETE BLOCKS OR BRICKS:**

- TO COMPLY WITH TO AS4455 MANSORY BUILDING BLOCKS/PAVER.

#### **FOOTINGS:**

- FOOTINGS TO BE IN ACCORDANCE WITH AS1480.  
- FOOTINGS TO BE IN ACCORDANCE WITH NCC VOL.2 PARTS 3.2.3, 3.2.4 AND 3.2.5  
- ALL REINFORCEMENTS SHALL CONFORM TO AS1302, AS1303 AND AS1304.

#### **BRICK AND BLOCKWORK:**

- CONSTRUCTION OF MASONRY BUILDINGS SHALL BE AS PER AS3700 OR AS4773.

#### **CARPENTRY:**

- TIMBER TO COMPLY WITH AS1170.2 OR AS4055.  
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS1684 AND 1720 AS APPLICABLE.

#### **TIMBER FRAMING:**

- TO COMPLY WITH NCC VOL.2 PART 3.4  
- GROUND FLOOR TIMBERS SHALL BE ONLY OF HARDWOOD, CYPRESS PINE OR PRESSURE TREATED RADIATA OR CANADA PINE BELOW A HEIGHT OF 300mm ABOVE FINISHED GROUND LEVEL AND MUST NOT BE BUILT INTO BRICKWORK.  
- SUBFLOOR VENTILATION SHALL CONFORM TO NCC VOL.2 PART 3.4.1.  
- IN BUSHFIRE PRONE AREAS SPECIAL CONDITIONS APPLY.  
- WHERE TERMITE BARRIERS NEED TO BE INSPECTED, 400mm CLEARANCE IS REQUIRED BETWEEN THE UNDERSIDE OF BEARER AND GROUND SURFACE.  
- USE TREATED TIMBER WHERE REQUIRED FOR DURABILITY.  
- DO NOT USE TIMBER UNSUITABLE FOR EXPOSURE TO MOISTURE IN EXPOSED LOCATION.  
- PROVIDE STRUCTURE BRACING IN ACCORDANCE WITH AS1684  
- PROVIDE STRUCTURE TIEDOWN IN ACCORDANCE WITH AS1684  
- USE GALVANISED FIXINGS WHERE EXPOSED TO WEATHER.

#### **TERMITE CONTROL:**

- TO BE IN ACCORDANCE WITH TO AS3660.1  
- SHALL BE IN ACCORDANCE WITH NCC VOL.2 PART 3.1.3 OR VOL.1 PART B1.4.

#### **FLASHING AND CAPPINGS:**

- SELECTION AND INSTALLATION OF METAL RAINWATER GOODS REFER TO AS2180  
- FLASH PROJECTIONS ABOVE THE ROOF WITH TWO PART FLASHINGS CONSISTING OF AN APRON FLASHING AND OVER FLASHING, WITH AT LEAST 100mm OVERLAP.  
- PROVIDE FOR INDEPENDENT MOVEMENT BETWEEN ROOF AND PROJECTION.

#### **LIGHTING:**

- 40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS

#### **DOOR & WINDOWS:**

- ALL FRAMED WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH AS2047-48 FOR ALUMINIUM WINDOWS AND AS2047 FOR TIMBER WINDOWS.  
- ALUMINIUM FRAMED WINDOWS AND DOORS.  
- WEATHER STRIPPING IS TO BE PROVIDED TO ALL EXTERNAL WINDOWS AND DOORS.

#### **STAIRS, HANDRAILS AND BALUSTRADES:**

- SELECTED BALUSTRADE.  
- NCC VOL.2 PARTS 3.9.1 AND 3.9.2  
- RELATIONSHIP OF RISER TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED OR AS PERMITTED IN AS1657.  
- BALUSTRADES SHALL BE PROVIDED TO ALL LANDINGS, RAMPS, DECKS, ROOFS AND OTHER ELEVATED PLATFORMS WHERE THE VERTICAL DISTANCE FROM THAT LEVEL IS MORE THAN 1m ABOVE THE ADJOINING FLOOR OR FINISHED GROUND LEVEL.  
- THE HEIGHT OF BALUSTRADE MUST BE A MINIMUM OF 1m HIGH ABOVE LANDING AND NOT LESS THAN 865mm ABOVE THE NOSINGS OF ANY STAIR TREADS OR FLOOR RAMP AND HAVE NO OPENING GREATER THAN 125mm.  
- THE HEIGHT OF BALUSTRADE TO THE NEW STAIR CASES IS TO BE MEASURED A MINIMUM 865mm ABOVE THE NOSING LINE AND HAVE NO OPENING GREATER NO OPENING GREATER THAN 125mm.

#### **SLIP RESISTANCE:**

- MATERIALS TO BE USED FOR SURFACES OF FLOORS, STAIR LANDING, STEPS AND NOSINGS SHALL BE IN ACCORDANCE WITH THE CLASSIFICATIONS FOR SLIP RESISTANCE AS APPLY IN AS4586 AND HB198.

#### **STORMWATER:**

##### **EAVES GUTTERS, VALLEY GUTTERS AND DOWPIPES**

- TO COMPLY WITH AS/NZS 2179 FOR METAL AND AS1273 FOR UPVC COMPONENTS.  
- NEW DOWNPIPES TO BE CONNECTED INTO EXISTING STORMWATER LINE  
- COLORBOND GUTTERS AND DOWNPIPES  
- MINIMUM SLOPE OF EAVES AND GUTTERS 1:200

#### **GLAZING:**

- NCC VOL.1 PARTS B 1.4, D 3.12, F1.13 OR NCC VOL.2 PART 3.6

#### **SMOKE DETECTORS/ALARMS:**

- NCC VOL.2 PART 3.7.2, FIRE/SMOKE DETECTORS COMPLYING WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT ACT AND/OR STATE OR TERRITORY REGULATIONS MUST BE FITTED IN THE LOCATIONS REQUIRED AND APPROVED BY THE AUTHORITY AND SHALL BE INSTALLED IN ACCORDANCE WITH AS3786.  
- INSTALLATIONS IN BUILDINGS OTHER THAN CLASS 1 AND 10 MUST BE INSTALLED AND MANAGED TO COMPLY WITH NCC SPEC. E2.2a.  
- MULTIPLE ALARMS WITHIN HOUSES AND SOLE OCCUPANCY UNITS MUST BE HARD WIRED AND INTERCONNECTED.

#### **WASTE MANAGEMENT:**

- ALL WASTE SHALL BE TAKEN AWAY BY TRUCKS TO A SUITABLE LANDFILL OR RECYCLE DEPOT.  
- ALL WASTE SHALL BE COVERED DURING TRANSPORTATION.  
- WASTE GENERATED DURING CONSTRUCTION SHALL BE PLACED IN STEEL BINS AND TAKEN AWAY BY AN APPROVED CONTRACTOR TO A APPROVED LANDFILL SITE.

#### **SEDIMENT CONTROL:**

- A FILTER CLOTH SYSTEM SHALL BE INSTALLED TO STOP ANY SEDIMENT ENTERING COUNCILS STORMWATER SYSTEM.

#### **NOTE:**

**ALL PLANS ARE TO BE READ IN CONJUNCTION AND COMPLY WITH THE BASIX CERTIFICATE, BUSHFIRE AND GEOTECH REPORTS.**

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DRAWING TITLE:  
SPECIFICATIONS / BASIX

DATE:  
JULY/20

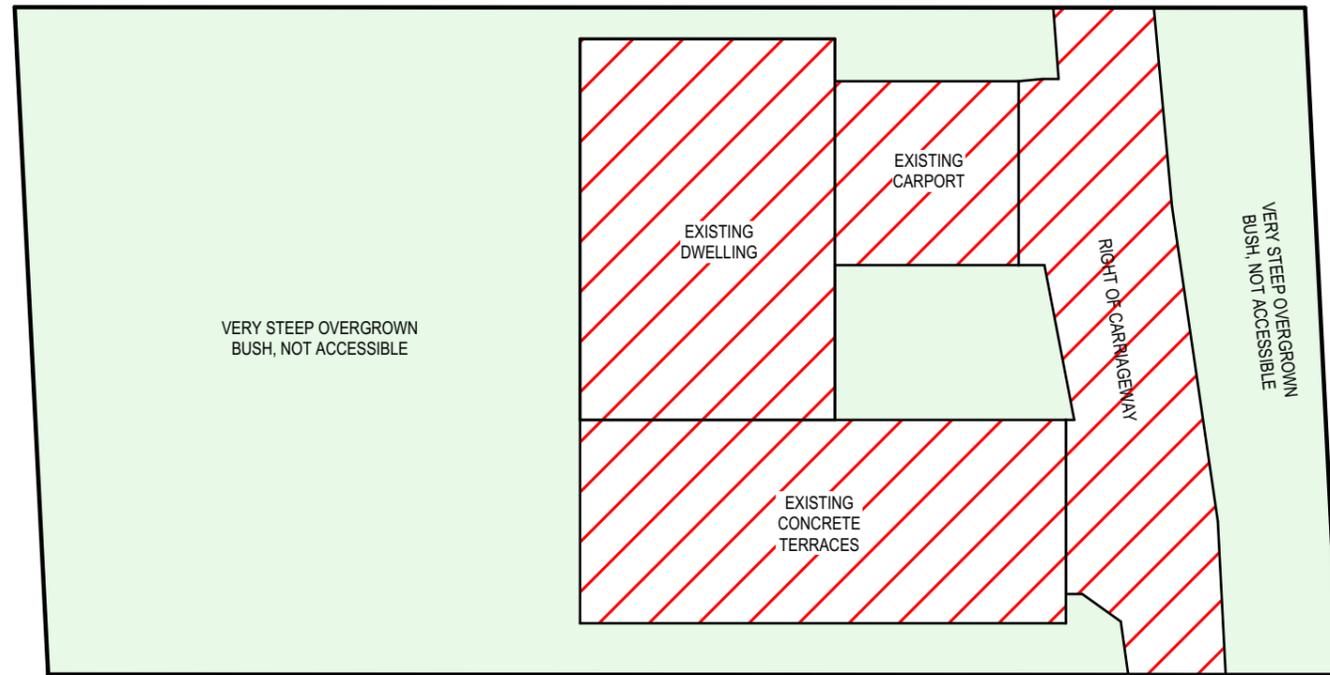
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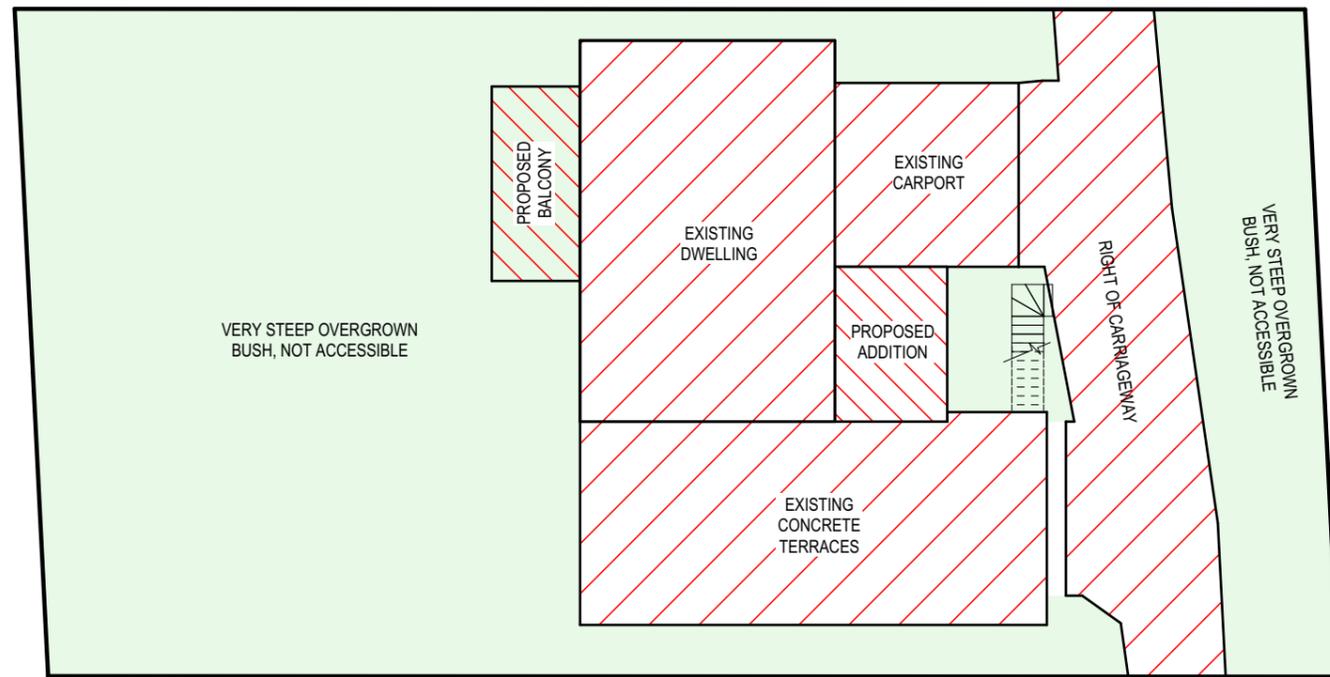
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DRAWING No:  
**DA.16**



EXISTING LANDSCAPED AREA  
1:200



PROPOSED LANDSCAPED AREA  
1:200

| CALCULATIONS               |  |        |                      |
|----------------------------|--|--------|----------------------|
| SITE AREA                  |  |        | 689.31m <sup>2</sup> |
| LANDSCAPE CONTROL          |  | 60%    | 413.59m <sup>2</sup> |
| EXISTING LANDSCAPED AREA   |  | 62.85% | 433.25m <sup>2</sup> |
| OUTDOOR RECREATIONAL AREA  |  |        | 13.75m <sup>2</sup>  |
| TOTAL LANDSCAPED AREA      |  | 60.83% | 419.32m <sup>2</sup> |
| EXISTING HARD SURFACE AREA |  |        | 256.07m <sup>2</sup> |
| NEW HARD SURFACE AREA      |  |        | 27.68m <sup>2</sup>  |
| TOTAL HARD SURFACE AREA    |  |        | 283.75m <sup>2</sup> |

TRUE NORTH:



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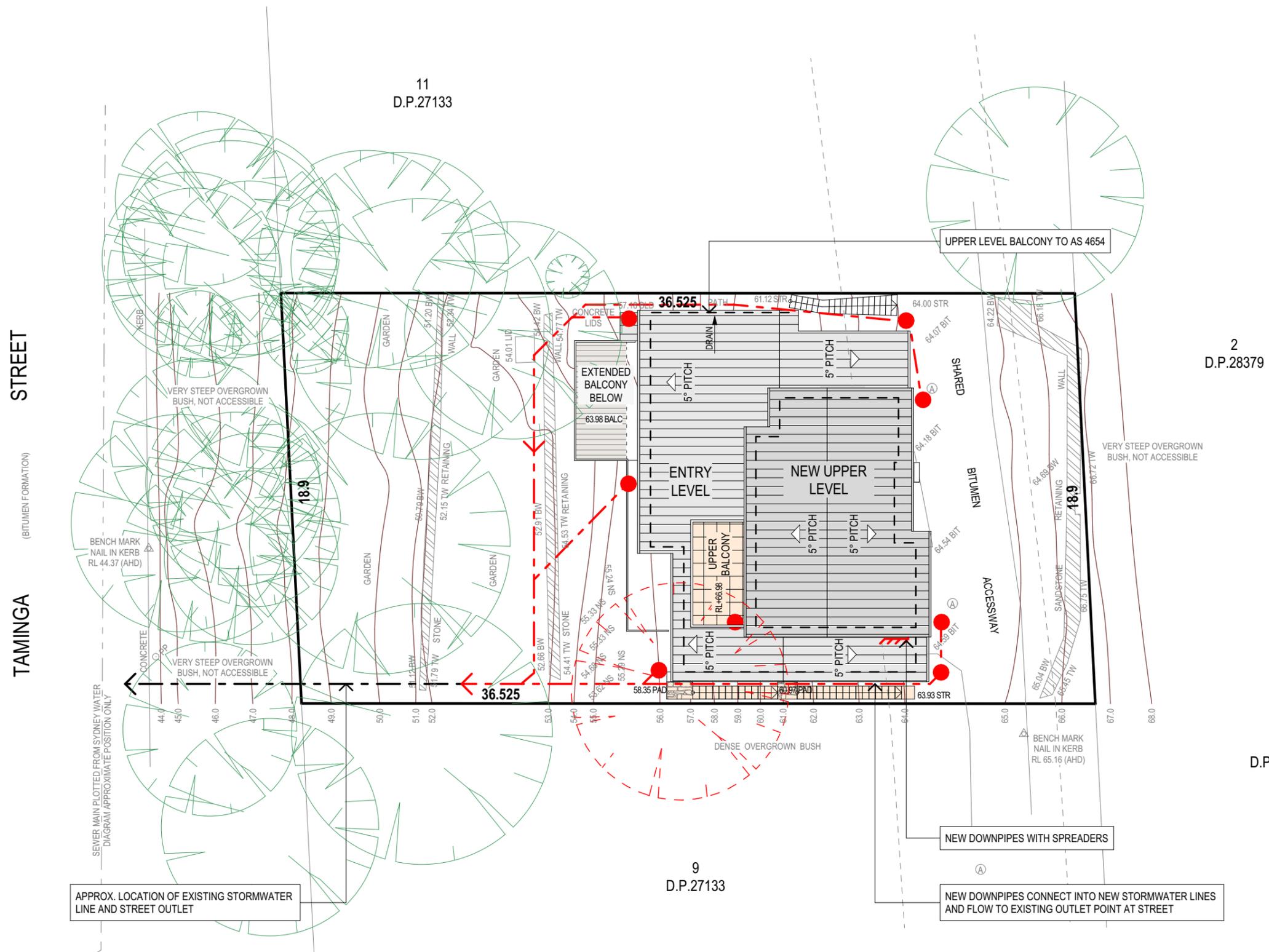
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| DRAWING TITLE:<br>LANDSCAPED AREA CALCULATION PLAN  |

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| CHECKED BY:<br>JJ |

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| SCALE:<br>1:200 @ A3        |
| DRAWING No:<br><b>DA.17</b> |



**STORMWATER CONCEPT LEGEND**

|                          |           |
|--------------------------|-----------|
| EXISTING DOWNPIPES       | ●         |
| NEW DOWNPIPES            | ●         |
| EXISTING STORMWATER LINE | - - - - - |
| NEW STORMWATER LINE      | - - - - - |

**ROOF & STORMWATER CONCEPT PLAN**  
1:200

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| G    | 23.03.21 | CHANGES TO DA DRAWINGS            |

**PROJECT DETAILS:**  
 PROPOSED ALTERATIONS AND ADDITIONS  
 10 TAMINGA STREET, BAYVIEW NSW 2104

**DRAWING TITLE:**  
 ROOF & STORMWATER CONCEPT PLAN

|                          |                          |                             |
|--------------------------|--------------------------|-----------------------------|
| <b>DATE:</b><br>JULY/20  | <b>DRAWN BY:</b><br>AHB  | <b>SCALE:</b><br>1:200 @ A3 |
| <b>JOB No:</b><br>815/20 | <b>CHECKED BY:</b><br>JJ | <b>DRAWING No:</b><br>DA.18 |

**NOTES**

**DESIGNATED SITE MANAGER/BUILDER**

PRIOR TO COMMENCEMENT OF WORK A SITE MANAGER OR BUILDER MUST BE NOMINATED. THE SITE MANAGER OR BUILDER WILL BE RESPONSIBLE AND LIABLE FOR ALL WORKS CARRIED OUT ON THE SITE. THIS ASSUMES THE RESPONSIBILITY FOR THE ACTIONS OF ALL SUBCONTRACTED PARTIES AS WELL AS ADVISING THEM OF COUNCIL'S REQUIREMENTS WHEN CARRYING OUT WORKS.

**TOPSOIL MANAGEMENT**

PRIOR TO THE STRIPPING OF TOPSOIL, THE VEGETATIVE COVER MUST BE REDUCED BY EITHER SLASHING OR MOWING. ALL TOPSOIL IS TO BE RETAINED AND PROTECTED FOR REUSE ON SITE. SOIL STOCKPILES MUST NOT BE LOCATED ON NATURE STRIPS, FOOTPATHS, ROADWAYS, KERBS, ACCESSWAYS, WITHIN DRAINAGE LINES/FLOWS/PATHS OR AROUND OR AGAINST TREE SHRUBS. SEDIMENT CONTROL MEASURES MUST BE INCORPORATED WITH ANY RESULTING STOCKPILE. THE STOCKPILE CAN BE PROTECTED FROM EROSION BY COVERING IT WITH AN IMPERVIOUS MATERIAL, IN CONJUNCTION WITH THE INSTALLATION OF A SEDIMENT FENCE AROUND IT. IF STOCKPILES ARE TO REMAIN FOR MORE THAN ONE MONTH THEY ARE TO BE GRASSED IMMEDIATELY AND STABILISED WITHIN FOURTEEN DAYS. SURPLUS TOPSOIL MUST BE REASONABLY REMOVED FROM SITE.

**BUILDING MATERIAL STOCKPILING**

SUFFICIENT AREA MUST BE ALLOCATED WITHIN THE SITE FOR SUCH STORAGE OF BUILDING MATERIALS, DEMOLITION WASTE, WASTE CONTAINERS, ETC. AS WILL BE REQUIRED.

**SEDIMENT FENCES**

A SEDIMENT FENCE SHOULD BE LOCATED ALONG THE DOWNSLOPE BOUNDARY(S) OF THE SITE, ON THE CONSTRUCTION SIDE OF THE TURF FILTER STRIP OR NATIVE VEGETATION, AND AROUND ALL STOCKPILES OF MATERIAL ON THE SITE.

**DUST CONTROL**

ALL TRUCKS/UTES MUST COVER THEIR LOADS AT ALL TIMES. APPROPRIATE METHODS ARE TO BE EMPLOYED TO PREVENT BLOWING DUST CREATING AN UNACCEPTABLE HAZARD OR NUISANCE ON THE SITE OR DOWN WIND. PRODUCTION OF DUST CAN BE MINIMISED BY LIMITING AREA OF EARTHWORKS, WATERING AND PROGRESSIVE VEGETATION. WHERE DUST IS CREATED AS A RESULT WORKS AND/OR SOIL EXPOSURE, THE BARE SOIL AREAS MUST BE WATERED, DURING AND/OR AT THE END OF EACH DAY TO LAY THE DUST. EARTH MOVING ACTIVITIES SHOULD BE AVOIDED WHERE WINDS ARE SUFFICIENTLY STRONG ENOUGH TO RAISE VISIBLE DUST.

**EROSION & SEDIMENT CONTROLS**

APPROPRIATE EROSION AND SEDIMENT CONTROLS MUST BE IMPLEMENTED ON ALL SITES THAT INVOLVE SOIL DISTURBANCE. THE MEASURES MUST BE IN PLACE PRIOR TO THE COMMENCEMENT OF WORK. THOSE CONTROLS ARE TO BE MONITORED AND MAINTAINED IN ORDER TO SERVE THEIR INTENDED FUNCTION FOR THE DURATION OF THE WORKS OR UNTIL SUCH TIME AS THE SITE IS FULLY STABILISED. IF ANY CONTROLS ARE DAMAGED OR BECOME INEFFECTIVE DURING THE COURSE OF THE WORKS THEY ARE TO BE REINSTATED OR REPLACED IMMEDIATELY. SUFFICIENT ACCESS TO THESE CONTROLS MUST BE PROVIDED IN CASE OF THE NEED TO REPAIR.

**SEDIMENT TRAPS**

WHERE A SEDIMENT FENCE IS NOT USED APPROPRIATE SEDIMENT TRAPS SHOULD BE LOCATED AT ALL POINTS WHERE STORMWATER LEAVES THE CONSTRUCTION SITE OR LEAVES THE GUTTER AND ENTERS THE DRAINAGE SYSTEM. A COMMON TECHNIQUE IS THE GRAVEL SAUSAGE.

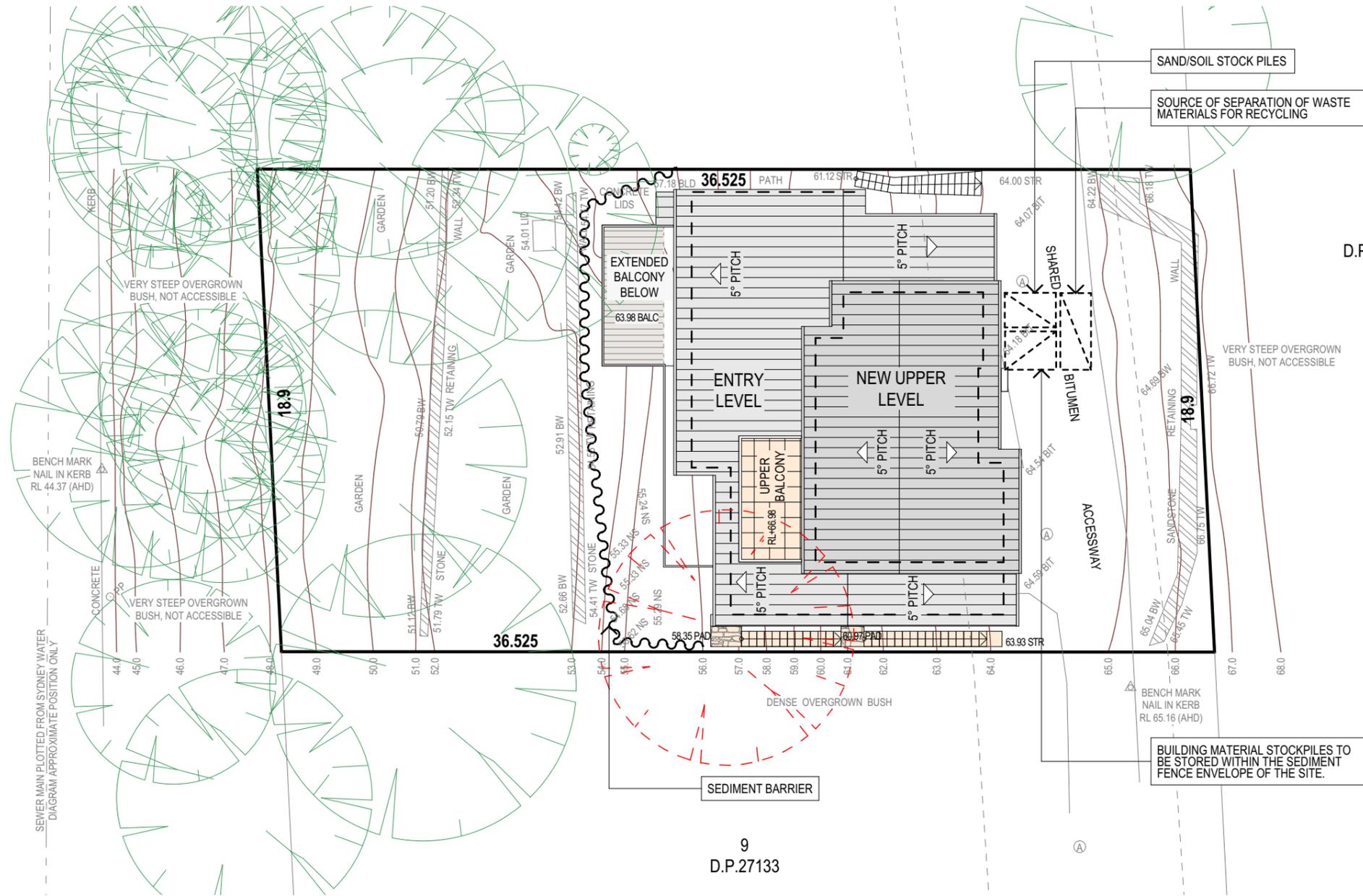
**DIVERSION CHANNELS**

A DIVERSION CHANNEL IS AN EXCAVATED EARTH DITCH OR PATH. THESE STRUCTURES ARE USED TO INTERCEPT AND DIRECT RUN-OFF TO A DESIRED LOCATION WHERE POSSIBLE. ALL STORMWATER RUN-OFF FLOWING ONTO DISTURBED AREAS, INCLUDING STOCKPILES, MUST BE INTERCEPTED, DIVERTED AND/OR SAFELY DISPOSED OF. THIS CAN BE ACHIEVED BY CONSTRUCTING A TEMPORARY EARTH BANK AROUND THE UPSLOPE EXTENT OF THE CONSTRUCTION SITE WHERE THE DIVERSION DOES NOT AFFECT THE NEIGHBOURING PROPERTIES.

**VEHICLE MOVEMENTS**

TO LIMIT DISTURBANCE TO THE SITE AND TRACKING OF MATERIAL ONTO THE STREET ALL VEHICLES AND PLANT EQUIPMENT ARE TO USE A SINGLE ENTRY/EXIT POINT UNLESS COUNCIL HAS APPROVED ALTERNATIVE ARRANGEMENTS. ACCESS POINTS AND PARKING AREAS ARE TO BE STABILISED WITH COMPACTED SUB-GRADE ASAP AFTER THEIR FORMATION. IF SPILLAGE DOES OCCUR IT IS TO BE CONTAINED IMMEDIATELY AND CAREFULLY REMOVED. THE AREA AFFECTED IS TO BE RESTORED TO A STANDARD EQUAL TO OR BETTER THAN ITS PREVIOUS CONDITION. ALL VEHICLES ARE TO BE WASHED PRIOR TO EXISTING THE SITE. THIS SERVES THE PURPOSE OF REMOVING SITE MATERIAL ON THE VEHICLE AND PREVENTS IT FROM BEING DEPOSITED ON THE ROAD NETWORK ADJACENT TO THE SITE AND THUS, THE STORMWATER SYSTEM. NO VEHICLE ASSOCIATED WITH THE WORK IS TO BE PARKED ON A FOOTPATH OR PUBLIC RESERVE. ALL VEHICLES VISITING THE SITE DURING DEMOLITION, EXCAVATION AND/OR CONSTRUCTION WORKS, ARE TO COMPLY WITH THE PARKING REQUIREMENTS IN THAT AREA.

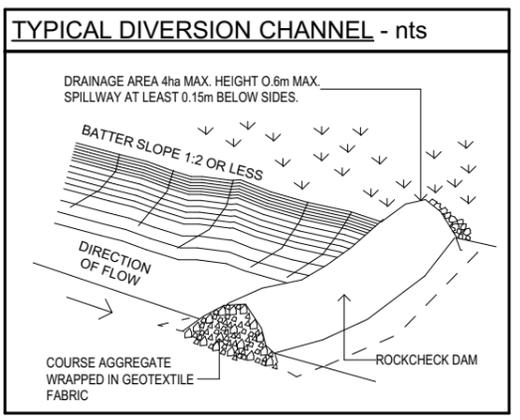
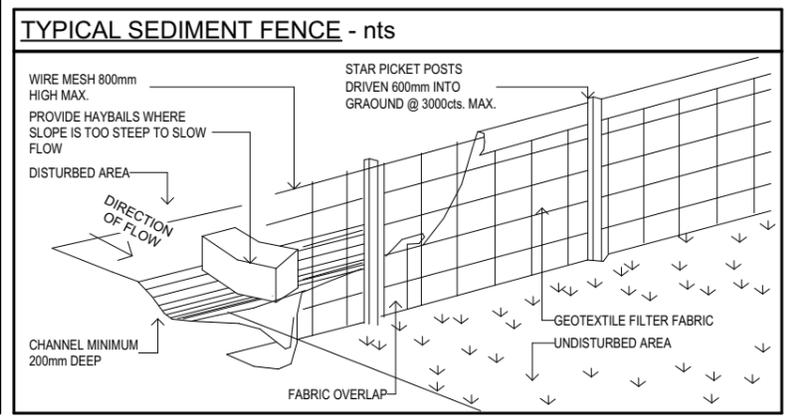
STREET  
TAMINGA  
(BITUMEN FORMATION)



2  
D.P.28379

9  
D.P.27133

**EROSION & SEDIMENT CONTROL / WASTE MANAGEMENT PLAN**



TRUE NORTH:

**NOTES (E & OE)**

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

**JJ Drafting**

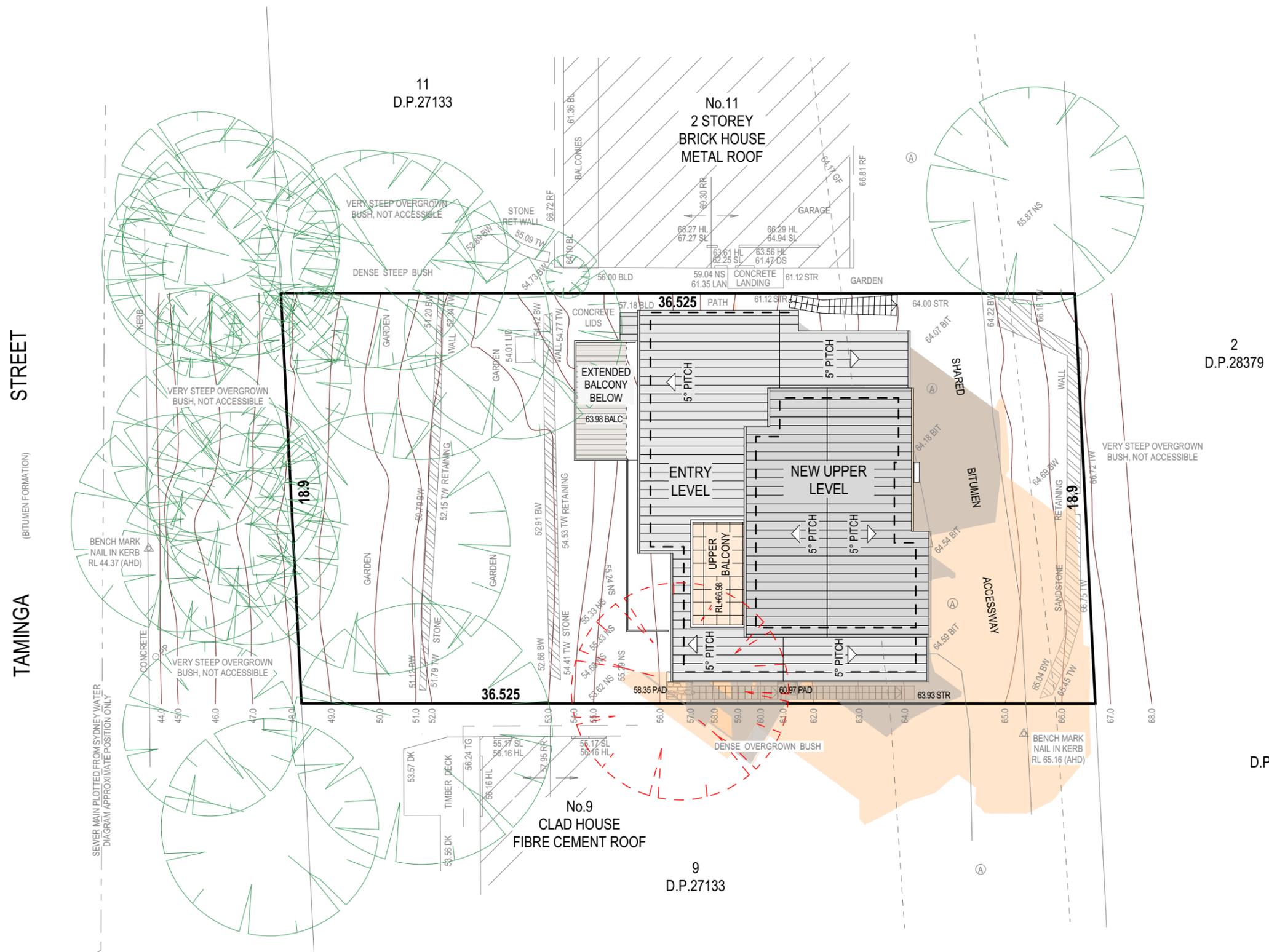
174 Garden St, North Narrabeen, NSW, 2101  
PO Box 687, Dee Why, NSW, 2099  
Mob. 0414 717 541  
Email. jidraft@tpg.com.au  
www.jidrafting.com.au

| REV: | DATE:    | DESCRIPTION:                      |
|------|----------|-----------------------------------|
| A    | 29.09.20 | GYM MEZZANINE. EXTEND UPPER BALC. |
| B    | 19.11.20 | EXTEND WIP.                       |
| C    | 09.12.20 | UPDATE SURVEY                     |
| D    | 16.12.20 | BALCONY DIMS                      |
| E    | 11.01.21 | TREES REFLECT SURVEY              |
| F    | 22.03.21 | CHANGES TO DA DRAWINGS            |
| G    | 23.03.21 | CHANGES TO DA DRAWINGS            |

**PROJECT DETAILS:**  
PROPOSED ALTERATIONS AND ADDITIONS  
10 TAMINGA STREET, BAYVIEW NSW 2104

**DRAWING TITLE:**  
EROSION & SEDIMENT CONTROL / WASTE  
MANAGEMENT PLAN

|                   |                   |                      |
|-------------------|-------------------|----------------------|
| DATE:<br>JULY/20  | DRAWN BY:<br>AHB  | SCALE:<br>1:200 @ A3 |
| JOB No:<br>815/20 | CHECKED BY:<br>JJ | DRAWING No:<br>DA.19 |



| 21 JUNE SHADOW DIAGRAM LEGEND |  |
|-------------------------------|--|
| EXISTING SHADOWS              |  |
| NEW SHADOWS                   |  |

**SHADOW DIAGRAM JUNE 21 9:00 am**  
 1:200

**TRUE NORTH:**

**NOTES (E & OE)**

- All structures including stormwater & drainage to engineer's details.
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 PO Box 687, Dee Why, NSW, 2099  
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 Email. jjdraft@tpg.com.au  
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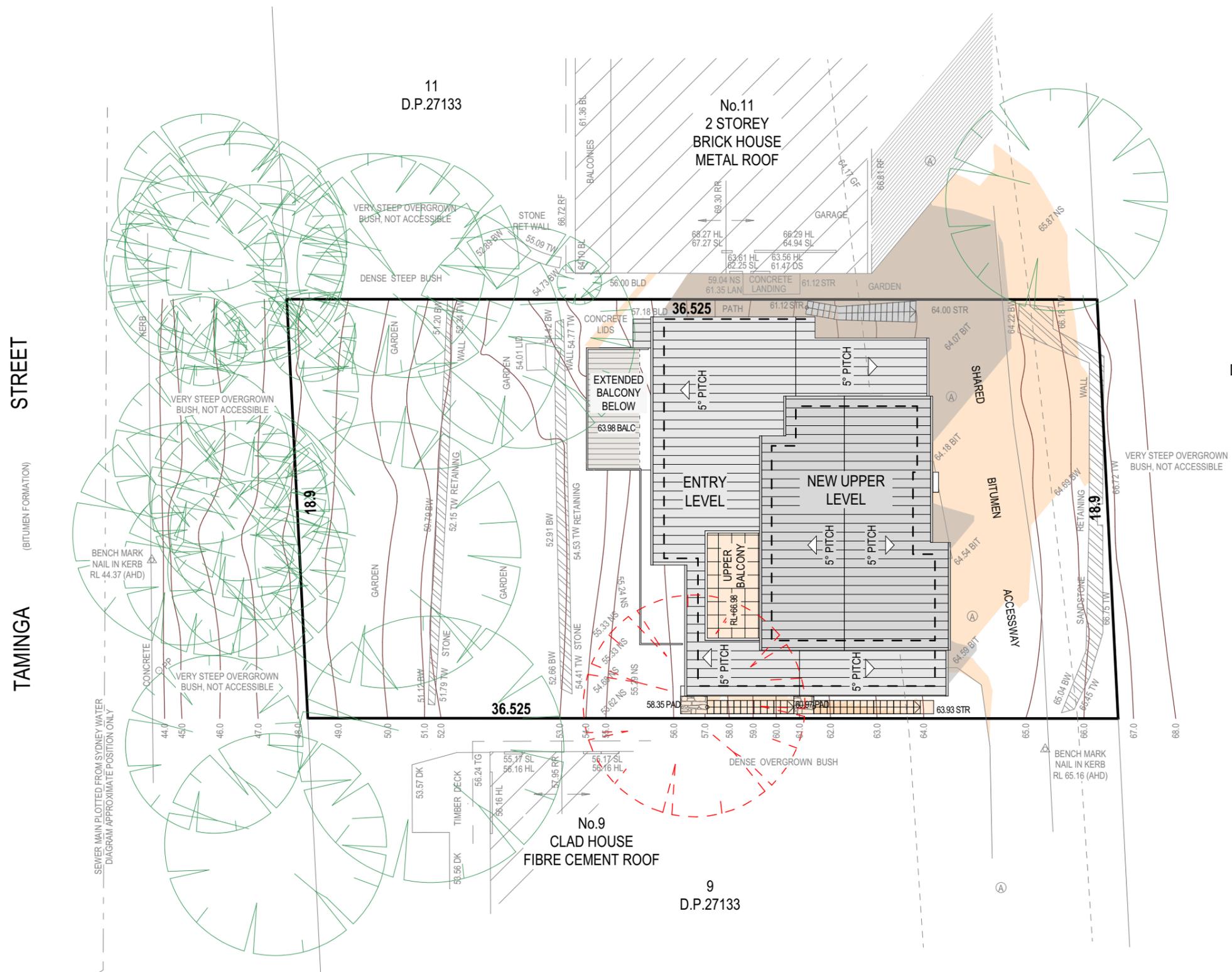
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**PROJECT DETAILS:**  
 PROPOSED ALTERATIONS AND ADDITIONS  
 10 TAMINGA STREET, BAYVIEW NSW 2104

**DRAWING TITLE:**  
 SHADOW DIAGRAM JUNE 21 9:00 am

|                          |                          |                                    |
|--------------------------|--------------------------|------------------------------------|
| <b>DATE:</b><br>JULY/20  | <b>DRAWN BY:</b><br>AHB  | <b>SCALE:</b><br>1:200 @ A3        |
| <b>JOB No:</b><br>815/20 | <b>CHECKED BY:</b><br>JJ | <b>DRAWING No:</b><br><b>DA.20</b> |





| 21 JUNE SHADOW DIAGRAM LEGEND |  |
|-------------------------------|--|
| EXISTING SHADOWS              |  |
| NEW SHADOWS                   |  |

SHADOW DIAGRAM JUNE 21 3:00 pm  
1:200

TRUE NORTH:

**NOTES (E & OE)**

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**JJ Drafting**

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**PROJECT DETAILS:**  
PROPOSED ALTERATIONS AND ADDITIONS  
10 TAMINGA STREET, BAYVIEW NSW 2104

**DRAWING TITLE:**  
SHADOW DIAGRAM JUNE 21 3:00 pm

|                   |                   |                             |
|-------------------|-------------------|-----------------------------|
| DATE:<br>JULY/20  | DRAWN BY:<br>AHB  | SCALE:<br>1:200 @ A3        |
| JOB No:<br>815/20 | CHECKED BY:<br>JJ | DRAWING No:<br><b>DA.22</b> |