

CC0030/07



CONSTRUCTION CERTIFICATE APPLICATION

Made under the Environmental Planning and Assessment Act 1979 Sections 109C (1) (b), 81a (2) and 81a (4)

Pittwater Council

PO Box 882, Mona Vale NSW 1660
Tel: (612) 9970 1111
Fax: (612) 9970 7150
Internet: www.pittwaterlga.com.au
Email: pittwater_council@pittwater.nsw.gov.au

SITE DETAILS

Unit/Suite:	Street No:	Street:
	2	Vuko Place
Suburb:	Lot No:	Deposit /Strata Plan:
Warriewood	5	737137

DEVELOPMENT CONSENT

Development Application No:	Determination Date:
N0050/07	

APPLICANT DETAILS

Name/Company:	Contact Person:
Richmond & Ross P/L	Stuart Henri
Postal Address:	Contact Numbers:
1st Floor, 38 Willoughby Rd Crows Nest NSW 2065	Phone (H/B): 02) 9490 9600 Mobile: 0423 048 151 Fax: 02) 9438 1224
Signature of Applicant:	Date:

OWNERS DETAILS

Name: McDonald's Australia Limited ABN 43 008 496 928	If Company, contact person: TASON UZICE Construction Manager NSW/ACT
Postal Address: 21-29 Central Ave Thornleigh NSW 2120	Contact Numbers: Phone (H/B): 9875 6647 Mobile: 0421 617 395 Fax: 9980 6358

As the owner of the land to which this application relates, I consent to this application. I also give consent for the authorised Council Officer to enter the land to carry out inspections.

Signature of Owners:	Date:
	19/1/2007

If more than one owner, every owner must sign. If the owner is a company, the form must be signed by an authorised director and the common seal must be stamped on this application.
If the property has been recently purchased, written confirmation from the purchaser's Solicitor must be provided.
If the contracts have been exchanged for the purchase of the land, the current owner is to sign the application.

DEVELOPMENT DETAILS

Type of Work: <input checked="" type="checkbox"/> Building Work
OR
<input type="checkbox"/> Subdivision Work
Description of proposal – (Provide brief, concise details): <i>customer order Display ^{unit} & Awning</i>

WHO WILL BE DOING THE BUILDING WORKS?

<input type="checkbox"/> Owner Builder	<i>T.B.A.</i>
Owner Builders Permit No:	
Copy of Owner Builders permit attached:	<input type="checkbox"/> Yes <input type="checkbox"/> No – to be provided with Notice of Commencement Form
<i>If you are an Owner-Builder for the residential building work exceeding \$5000 you must apply for a permit at NSW Office of Fair Trading, 1 Fitzwilliam Street, Paramatta NSW 2150 Australia. Tel: 61 2 98950111 Fax: 61 2 9895 0222.</i>	

OR

<input type="checkbox"/> Licensed Builder	Builder's License Number <i>TBA</i>
Name of Builder:	Phone:
Contact person:	Mobile:
Address:	Fax:
Insurance Company:	Insurance Certificate attached: <input type="checkbox"/> Yes <input type="checkbox"/> No – to be provided with Notification of Commencement form
<i>If you are using a licensed builder for residential building work exceeding \$12,000 you must obtain Home Building Act Insurance. A certificate of insurance must be provided with this application or submitted with the Notification of Commencement form.</i>	

VALUE OF PROPOSED DEVELOPMENT

Value of Works: \$15,000.00 (including full cost of labour and materials)

DO YOU NEED TO PAY THE BUILDING INDUSTRY LONG SERVICE LEVY?

Yes No

Only required if the development involves building works exceeding \$25,000.00.

OFFICE USE ONLY

Fee Type	Cashier's Code	Fee Amount
Construction Certificate Application Fee	TCER	789.25
Long Service Levy Fee	QLSL	
Driveway/Street Levels	ESTR	
Sec 94 Contributions		
Bonds/Guarantees		
Other Fees		
TOTAL		
Date of Receipt: 08/02/07	Receipt No: 209948	Accepted By: [Signature]

PRIVACY AND PERSONAL INFORMATION PROTECTION NOTICE

Purpose of collection:	To enable Council as the consent authority to assess your proposal.
Intended recipients	Council Staff and any other relevant government agency that may be required to assess the proposal.
Supply:	The information is required by legislation.
Consequence of Non-provision:	Your application may not be accepted, not processed or rejected for lack of information
Storage:	The Pittwater Council will store details of the application and any subsequent decision in a register that can be viewed by the public.
Retention period:	Hard copies of the application will be destroyed after 7 years and electronic records will be kept indefinitely.
Please contact Council if this information you have provided is incorrect or changes.	

CC 0030/07
= \$ 789.25

STATISTICAL RETURN FOR AUSTRALIAN BUREAU OF STATISTICS

What is the area of the land?	Area in square metres	2000	
Gross floor area of existing building?	Area in square metres	1200	
<i>If no existing building, write "NIL"</i>			
What is the existing building or site used for at present?	Main uses:	RESTAURANT	
	Other uses:		
Does the site contain a dual occupancy?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
Gross floor area of proposed building?	Proposed floor area in square metres	NIL	
What will the proposed building to be used for?	Main uses:	DRIVE THRU ORDERS	
	Other uses:		
How many dwellings:			
Are pre-existing at this property?	Dwellings:	0	
Are proposed to be demolished?	Dwellings:		
Are proposed to be constructed?	Dwellings:		
How many storeys will building consist of?	Storeys:	1	
What are the main building materials?			
Walls		Roof	
Full Brick	<input type="checkbox"/>	Aluminium	<input type="checkbox"/>
Brick veneer	<input type="checkbox"/>	Concrete or slate	<input type="checkbox"/>
Concrete, masonry	<input type="checkbox"/>	Tile	<input type="checkbox"/>
Steel	<input type="checkbox"/>	Fibrous cement	<input type="checkbox"/>
Fibrous cement	<input type="checkbox"/>	Steel	<input checked="" type="checkbox"/>
Timber/weatherboard	<input type="checkbox"/>	Other	<input type="checkbox"/>
Cladding-aluminium	<input type="checkbox"/>	Unknown	<input type="checkbox"/>
Curtain glass	<input type="checkbox"/>		
Other	<input checked="" type="checkbox"/>		
Unknown	<input type="checkbox"/>		
Floor		Frame	
Concrete	<input checked="" type="checkbox"/>	Timber	<input type="checkbox"/>
Timber	<input type="checkbox"/>	Steel	<input checked="" type="checkbox"/>
Other	<input type="checkbox"/>	Other	<input type="checkbox"/>
Unknown	<input type="checkbox"/>	Unknown	<input type="checkbox"/>

APPLICANTS CHECK LIST

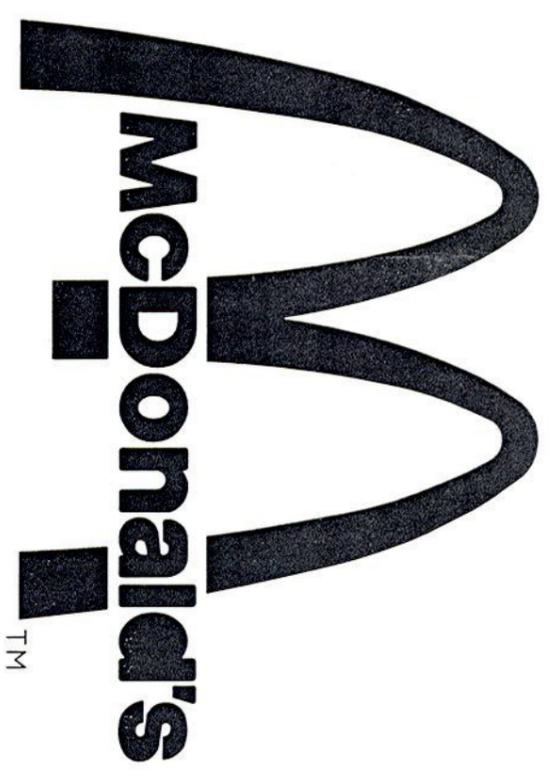
Note: This list is intended as a guide to the type of information to be submitted. Some items may not be required and Section B of the Conditions of Development Consent for the building works may specify further additional information required with submission of your Construction Certificate Application.

Application Form –

Supporting
Documentation -
(3 copies of each)

- Owners Consent
- Applicant's Signature
- Long Service Levy
- Driveway/Street levels Application

- Architectural Plans
- Quick Check Plans endorsed by Sydney Water
- Construction Specifications for Building Works
- Structural Engineer's Plans
- Structural/Geotechnical Certificates
- Landscape Plans
- Driveway Level Plans
- On-site Stormwater Detention Plans
- Drainage Plans on Site Storm Management
- Erosion and Sediment Management Plan
- Sydney Water Quick Check Plans
- Subdivision Work Plans
- Schedule of External Finishes/Colours
- Fire Safety Measures Schedule
- Form No. 2 – "Geotechnical Risk Management Policy for Pittwater"
- Details and location of fencing for Swimming Pool to comply with AS 1926-1986 "Fences and Gates for Private Swimming Pools"
- Specifications for construction of buildings in Bushfire-prone areas
- Security Deposit / Section 94 contributions



McDonald's
Australia Limited

ABN 43 008 496 928

PROPOSED COD BOOTH

AT:

**EXISTING McDONALD'S
FAMILY RESTAURANT
CNR WARRIEWOOD & PITTWATER RDS
WARRIEWOOD
NSW
2102**

STAGE:

DA ISSUE

SCOPE OF WORKS

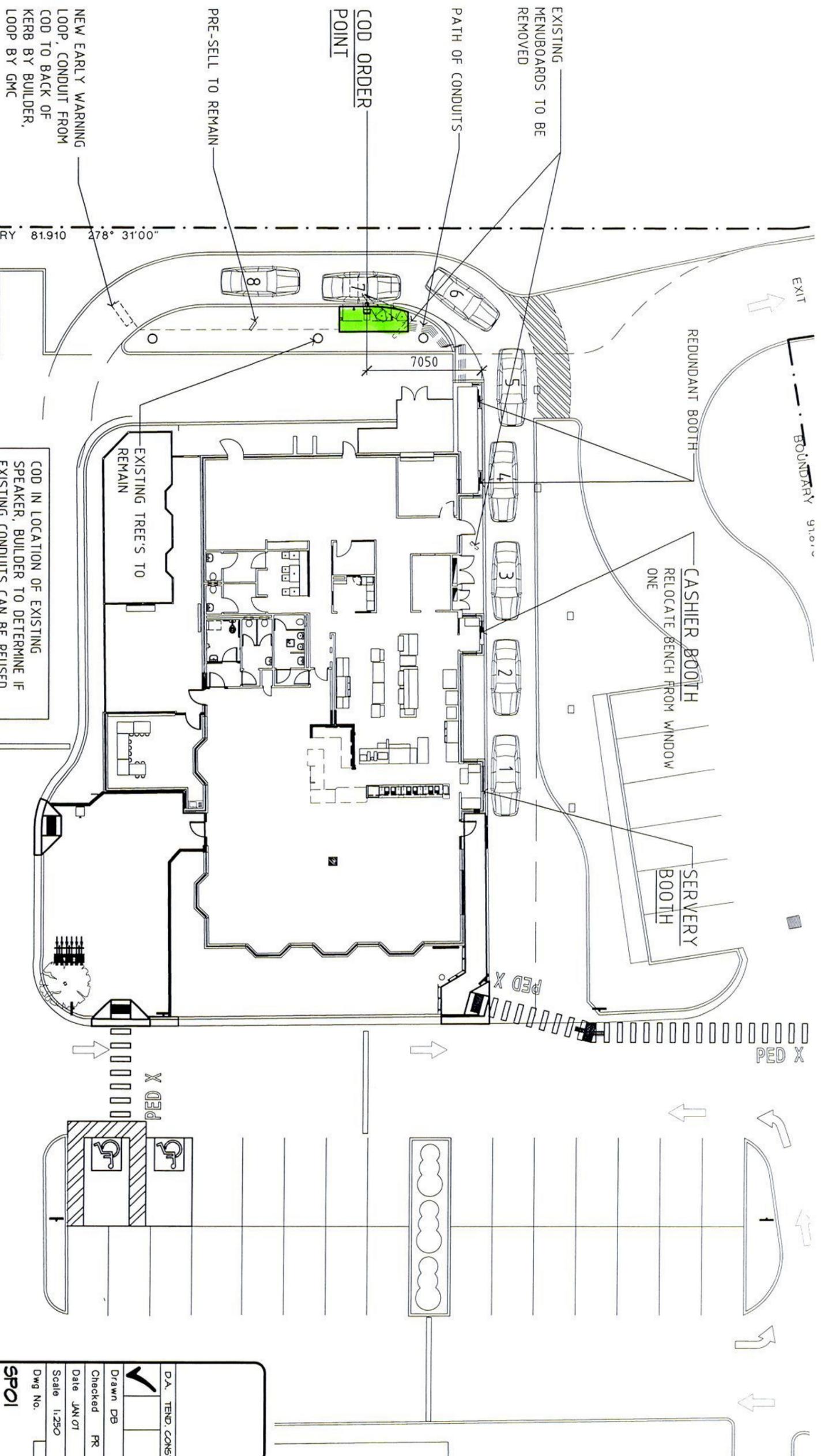
1. BUILDER TO REMOVE LANDSCAPING IN LOCATION OF PROPOSED DELPHI ORDER POINT, MENUBOARD AND AWNING. AS FAR AS PRACTICALLY POSSIBLE THE BUILDER IS TO MAINTAIN LANDSCAPING ADJACENT WORKS AND REINSTATE ANY LANDSCAPING AFFECTED BY WORKS. BUILDER TO PROVIDE KOPPERS LOG RETAINING AS REQUIRED TO SIDES OF DELPHI PAD.
2. REMOVE ALL TOPSOIL AND DELETERIOUS MATERIAL FROM FOOTING LOCATION SO THAT THERE IS A FIRM SUBGRADE FOUNDATION. EXISTING SUBSOIL DRAINAGE, IRRIGATION SUPPLY OR OTHER SERVICES TO BE MAINTAINED INTACT.
3. BUILDER TO INSTALL CONDUITS & DRAW WIRE IN LANDSCAPING BETWEEN C.O.D LOCATION AND MAIN BUILDING AS NOTED ON DRAWING SP01 WITH JUNCTION BOXES AT EXISTING CORRAL WALL AT BASE. CONDUITS TO RUN IN LANDSCAPE TO CORNER OF CORRAL WALL, RISE UP OUT OF GROUND AND RUN ALONG OUTSIDE BASE OF CORRAL WALL. CONNECTED TO WALL. CONDUITS TO PASS INTO CAVITY & RISE TO CEILING SPACE WITH DRAW WIRES IN CEILING FROM JUNCTION BOX FOR PULLING THROUGH OF DATA, AUDIO AND DELPHI POWER BY IBM. PROVIDE MECHANICAL PROTECTION TO EXPOSED CONDUITS AT BASE OF CORRAL WALL.
4. BUILDER TO CONSTRUCT COD FOOTING AND AWNING AND CO-ORDINATE WITH COATES SIGNCO, GRAHAM MUIR (02) 9699 3122 FOR INSTALLATION OF NEW MENUBOARDS.
5. BUILDER TO REMOVE EXISTING MENUBOARDS AS NOMINATED ON SP01.
6. BUILDER TO PROVIDE DECAL FILM TO REDUNDANT ORDER BOOTH WINDOWS WITH EFTPOS AVAILABLE IN DRIVE THRU TEXT. CONFIRM WITH LICENSEE. CONTACT SIGNWAVE FOR DECAL FILM.
7. BUILDER TO CO-ORDINATE WITH IBM FOR INSTALLATION OF DELPHI ORDER POINT.
8. BUILDER TO PAINT BLACK EXISTING PRE-SELL TO REMAIN.
9. BUILDER TO LIASE WITH McDONALD'S OPERATIONS MANAGER TO CONFIRM PROGRAM FOR ALL WORKS.
10. BUILDER TO REFER TO AND COMPLY WITH DEVELOPMENT APPROVAL AND CONSTRUCTION CERTIFICATE CONDITIONS.
11. BUILDER TO ATTEND HANDOVER OF COMPLETED WORKS WITH McDONALD'S DEVELOPMENT MANAGER AND OPERATIONS MANAGER.

Project	PROPOSED COD BOOTH TO EXISTING McDONALD'S RESTAURANT AT CNR WARRIEWOOD & PITWATER RD WARRIEWOOD NSW 2102
Dwg No.	SP00
Scale	1:1
Date	JAN 07
Checked	PR
Drawn	SH
D.A. TEND. CONST.	<input checked="" type="checkbox"/>
Drawing	SCOPE OF WORKS

Project
PROPOSED COD BOOTH TO EXISTING McDONALD'S RESTAURANT AT CNR WARRIEWOOD & PITWATER RD WARRIEWOOD NSW 2102

No.	Amendment	Date	Int

Consultant
Richmond+Ross Pty Limited
 CONSULTING ENGINEERS AND PROJECT LEADERS
 36 WILLOUGHBY ROAD, CROWS NEST, NSW 2065
 TEL : (02) 9438 3988 FAX : (02) 9438 1224



NOTES:

GENERIC NOTE 2.2- IBM INSTALLATION REQUIRES

1. BUILDER TO PROVIDE 150X100 JUNCTION BOX ON EXTERNAL ORDER BOOTH WALL AT BASE FOR 4 OFF POWER CONDUITS AND CABLES (1X32DIA FOR DELPHI POWER, 3X25DIA FOR MENUBOARDS AND LIGHTING).
2. BUILDER TO PROVIDE 150X100 JUNCTION BOX ON EXTERNAL ORDER BOOTH WALL AT BASE FOR 2 OFF DATA CONDUITS (2X32DIA.) DATA AND AUDIO.
3. BUILDER TO PROVIDE DRAW WIRE IN WALL CAVITY BETWEEN JUNCTION BOX AND CEILING OVER ORIGINAL BUILDING FOR FUTURE PULLING THROUGH OF 1X32DIA. POWER AND 2X32DIA. DATA AND AUDIO BY 3M.

COD IN LOCATION OF EXISTING SPEAKER, BUILDER TO DETERMINE IF EXISTING CONDUITS CAN BE REUSED. NEW DRAW WIRES WILL BE REQUIRED IN EXISTING CONDUITS. PROVIDE NEW CONDUITS AS REQUIRED

NEW EARLY WARNING LOOP, CONDUIT FROM COD TO BACK OF KERB BY BUILDER, LOOP BY GMC

PRE-SELL TO REMAIN

COD ORDER POINT

PATH OF CONDUITS

EXISTING MENUBOARDS TO BE REMOVED

EXIT

BOUNDARY 91.010

REDUNDANT BOOTHS

CASHIER BOOTHS
RELOCATE BENCH FROM WINDOW ONE

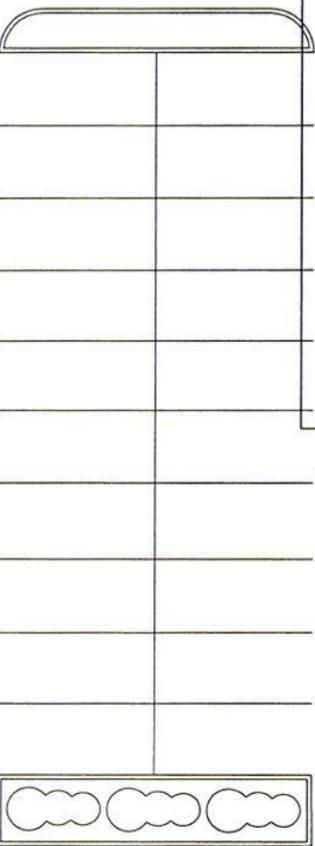
SERVERY BOOTHS

EXISTING TREE'S TO REMAIN

PED X

PED X

PED X

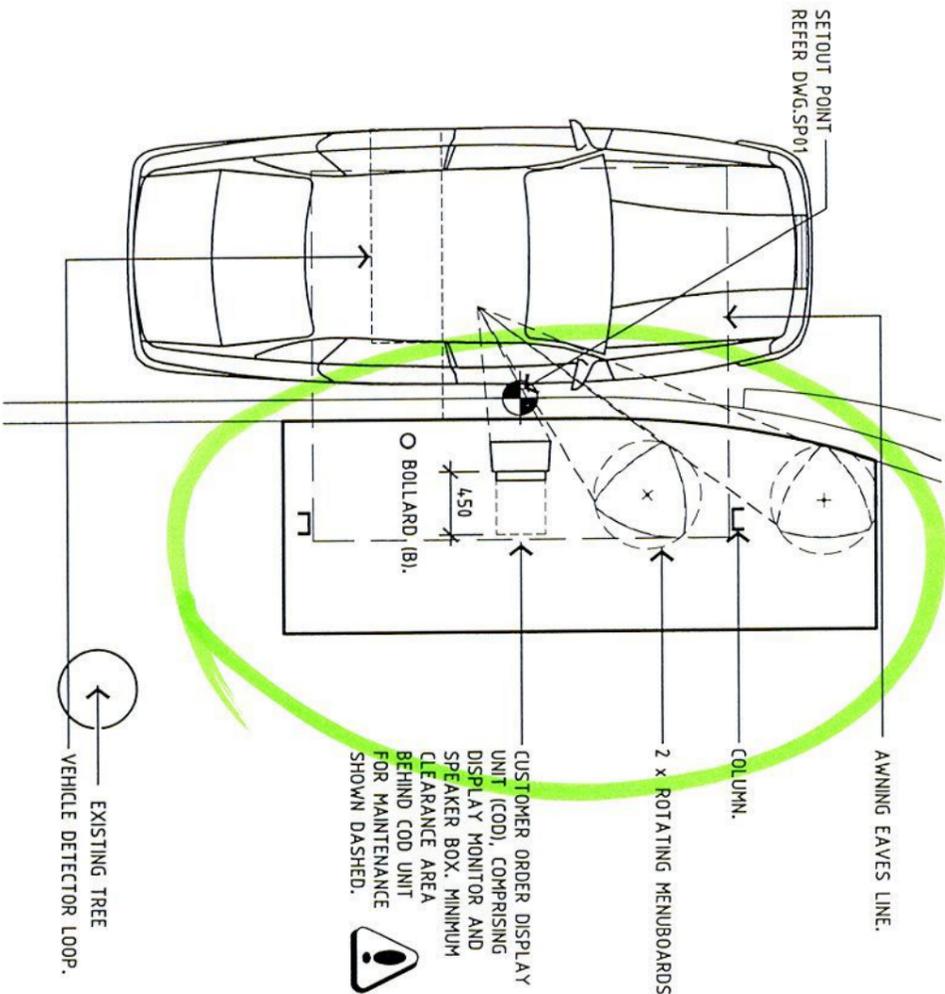


D.A. TEND. CONST	✓
Drawn DB	
Checked PR	
Date JAN 01	
Scale 1:250	
Dwg No.	
SPO1	
Drawing EXISTING SITE PLAN	

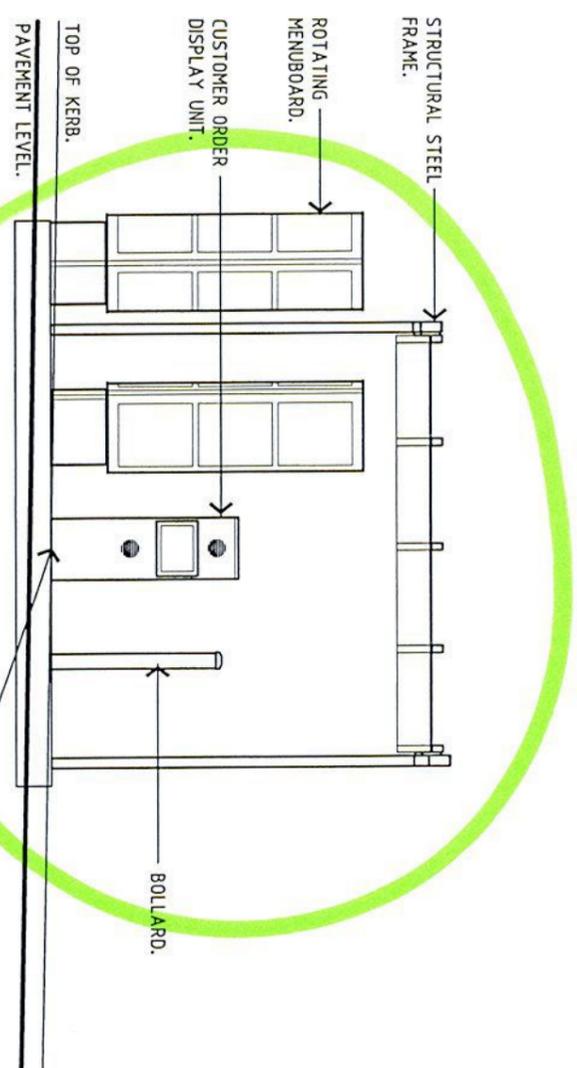
Project
PROPOSED COD BOOTHS TO EXISTING McDONALD'S RESTAURANT AT CNR WARRIEWOOD & PITWATER RD WARRIEWOOD NSW 2102

Consultant
Richmond+Ross Pty Limited
CONSULTING ENGINEERS AND PROJECT MANAGERS
36 WILLOUGHBY ROAD, CROWS NEST, NSW 2065
TEL: (02) 9438 3988 FAX: (02) 9438 1224

No.	Amendment	Date	Int

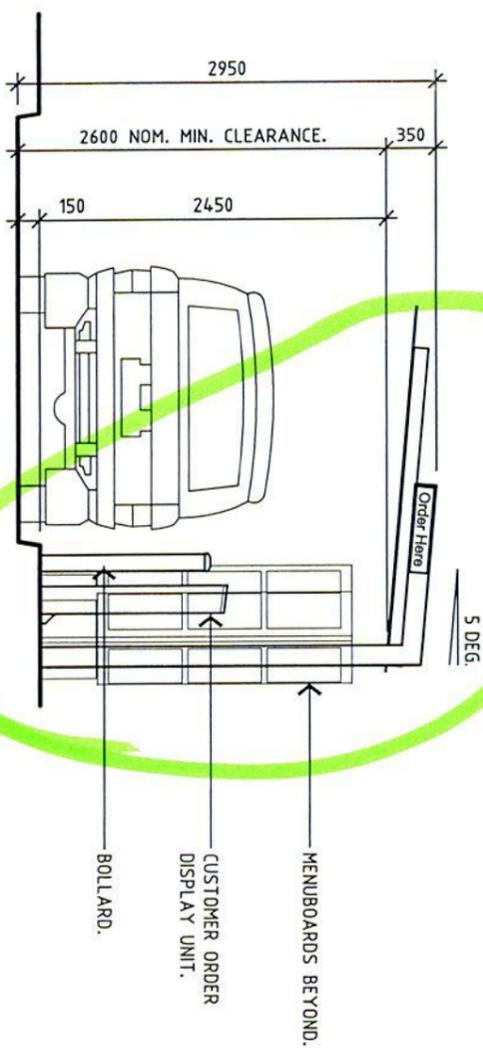


COD UNIT WITH AWNING (PLAN)
SCALE 1:50



COD UNIT WITH AWNING (FRONT ELEVATION)
SCALE 1:50

NOTE: AWNING STEEL WORK TO BE PAINTED BLACK.



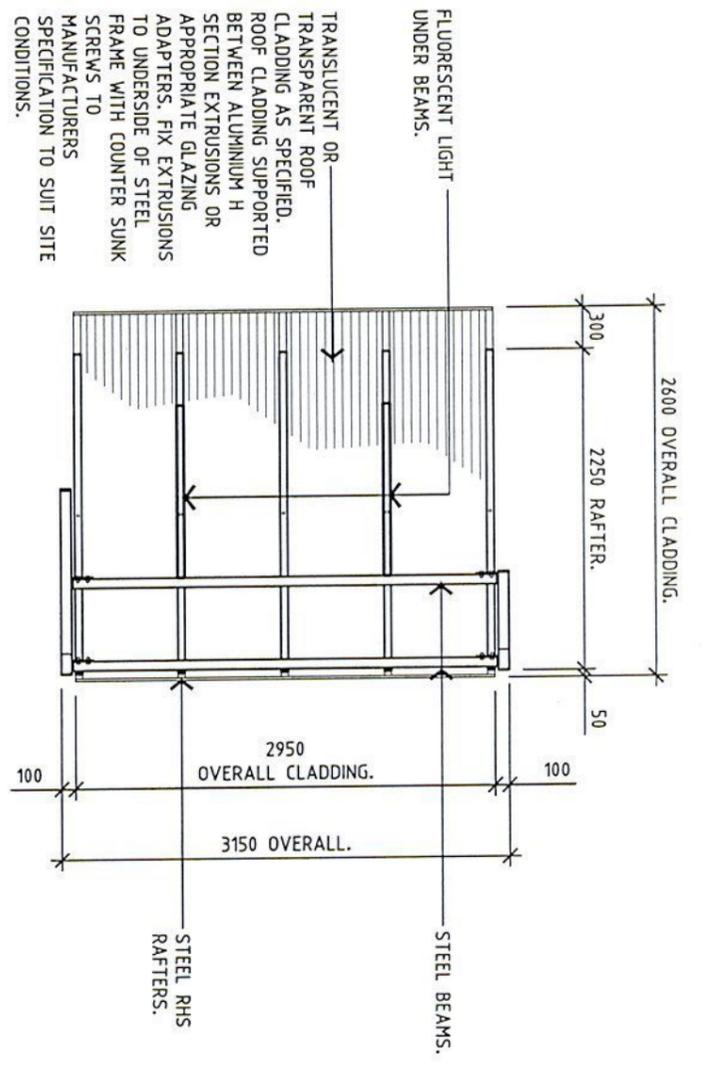
COD UNIT WITH AWNING (APPROACH SIDE ELEVATION)
SCALE 1:50

D.A. TEND. CONST			
Drawn	DB		
Checked	FR		
Date	JAN 07		
Scale	AS NOTED		
Dwg No.	A01		
Drawing COD AWNING PLAN AND ELEVATIONS			

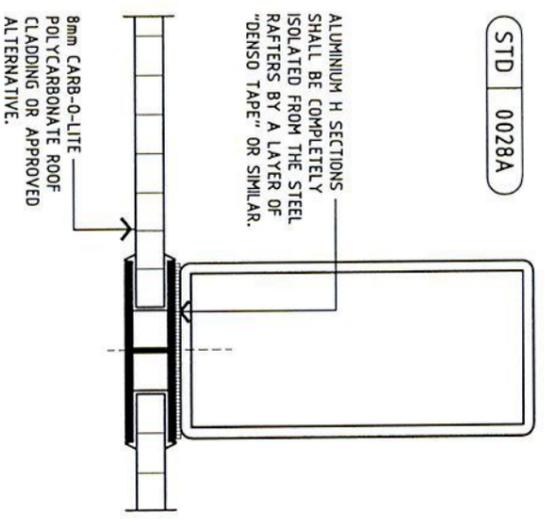
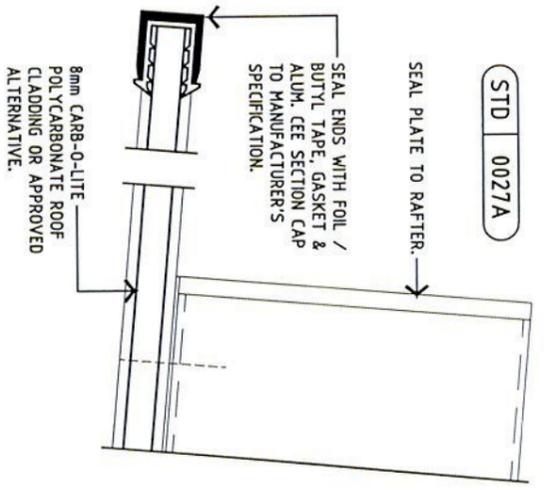
Project
PROPOSED COD BOOTH TO EXISTING McDONALD'S RESTAURANT AT CNR WARRIEWOOD & PITTSWATER RD WARRIEWOOD NSW 2102

No.	Amendment	Date	Int

Consultant 070013
Richmond+Ross Pty Limited
CONSULTING ENGINEERS AND PROJECT LEADERS
ACU 001 444 448
38 WILLOUGHBY ROAD, CROOKS HEST, NSW 2068
TEL : (02) 9438 3989 FAX : (02) 9438 1234



COD AWNING (ROOF PLAN)
SCALE 1:50



POLYCARBONATE CLADDING END DETAIL
SCALE 1:2

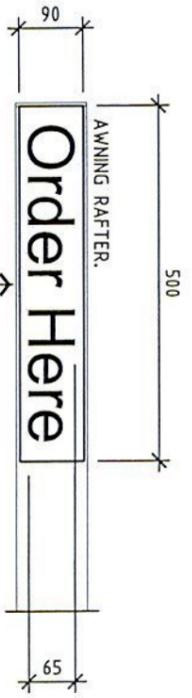
POLYCARBONATE CLADDING FIXING DET'L
SCALE 1:2

D.P.A. TEND. CONST.	<input checked="" type="checkbox"/>
Drawn	DB
Checked	PR
Date	JAN 07
Scale	AS NOTED
Dwg No.	1
Drawing	A02
COD	
AWNING	
DETAILS	

Project
PROPOSED COD BOOTH TO EXISTING McDONALD'S RESTAURANT AT CNR WARRIEWOOD & PITTWATER RD WARRIEWOOD NSW 2102

No.	Amendment	Date	Int

Consultant 070013
Richmond + Ross PTY LIMITED
CONSULTING ENGINEERS AND PROJECT LEADERS
ACR 001 444 436
38 WILLOUGHBY ROAD, CROWNS NEST, NSW 2025
TEL : (02) 9438 3888 FAX : (02) 9438 1224



NON-ILLUMINATED ADHESIVE VINYL
 GRAPHICS. BACKGROUND COLOUR:
 McDONALD'S RED PMS:485.
 LETTERING COLOUR: McDONALD'S
 WHITE (VIVID WHITE). LETTERING
 FONT: ARIAL PLAIN.

COD AWNING "ORDER HERE"
SIGN (BASIC)
 SCALE 1:10

D.A. TEND. CONST	
Drawn	SH
Checked	PR
Date	JAN 07
Scale	AS NOTED
Dwg No.	1
A03	
Drawing COD AWNING SIGNAGE DETAILS	

Project
 PROPOSED COD BOOTH TO
 EXISTING McDONALD'S
 RESTAURANT AT
 CNR WARRIEWOOD & PITWATER RD
 WARRIEWOOD NSW 2102

No.	Amendment	Date	Int

Consultant
 070013
Richmond+Ross PTY LIMITED
 CONSULTING ENGINEERS AND PROJECT LEADERS
 ACN 001 444 434
 38 WILLOUGHBY ROAD, CROWNS NEST, NSW 2065
 TEL : (02) 9439 3999 FAX : (02) 9439 1224

CONCRETE

- C1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS3600 CURRENT EDITION WITH AMENDMENTS, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- C2. READYMIX CONCRETE SHALL COMPLY WITH AS1379.
- C3. CONCRETE QUALITY SHALL BE AS TABULATED. ALL THE REQUIREMENTS OF THE ACSE CONCRETE SPECIFICATION DOCUMENT SHALL APPLY TO THE FORMWORK, REINFORCEMENT AND CONCRETE UNLESS NOTED OTHERWISE.

ELEMENT	STRENGTH GRADE	SLUMP	MAX. AGG. SIZE (mm)	CEMENT TYPE	MAX. W/C RATIO	MIN. CEMENT	MAX. SHRINK
FOOTING PAVEMENT INFILL	# 32	80	25	GP	-	-	-

PAVEMENT CONCRETE SHALL HAVE A MINIMUM FLEXURAL TENSILE STRENGTH OF 4MPa AT 90 DAYS AND A MINIMUM CHARACTERISTIC COMPRESSIVE STRENGTH OF 25 MPa PRIOR TO BEING TRAFFICED.

STRUCTURAL STEEL

- S1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS4100 EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS. FABRICATION SHALL BE CARRIED OUT IN ACCORDANCE WITH SECTION 14 OF AS4100. ERECTION SHALL BE CARRIED OUT IN ACCORDANCE WITH SECTION 15 OF AS4100.
- S2. UNLESS NOTED OTHERWISE, ALL STEEL SHALL BE OF THE FOLLOWING GRADE IN ACCORDANCE WITH AUSTRALIAN STANDARDS

TYPE OF STEEL	GRADE (MPa)
UNIVERSAL BEAMS, COLUMNS, PFCs AND LARGE ANGLES TO AS3679.1	300
WELDED SECTIONS TO AS/NZS 3679.2	300
HOT ROLLED PLATES, FLOOR PLATES AND SLABS TO AS/NZS 3678	250
HOLLOW SECTIONS TO AS1163	C350
COLD FORMED PURLINS AND GIRTS TO AS1397	G450 Z350

- S3. UNLESS NOTED OTHERWISE ALL BOLTS SHALL BE M16 GRADE 8.8/S. NO CONNECTION SHALL HAVE LESS THAN 2 BOLTS. ALL BOLTS AND WASHERS SHALL BE GALVANISED.
- S4. UNLESS NOTED OTHERWISE, ALL WELDS TO BE 6mm CONTINUOUS FILLET WELD TYPE SP USING E48xx ELECTRODES OR EQUIVALENT. BUTT WELDS, WHERE SPECIFIED SHALL BE COMPLETE PENETRATION BUTT WELDS CATEGORY SP TO AS1554.1

- S5. STRUCTURAL STEELWORK SHALL HAVE THE FOLLOWING SURFACE TREATMENT IN ACCORDANCE WITH THE SPECIFICATION

ELEMENT	SURFACE CLEANING	PRIMING
ALL UNO	CLASS 2.5 ABRASIVE BLAST	HOT DIP GALVANISED

ALL GALVANISING OF STRUCTURAL STEEL WORK SHALL BE TO AS4680. THE CONTINUOUS AVERAGE ZINC COATING MASS SHALL BE 600g/m² (550g/m² MINIMUM).

THIS IS A COMPUTER GENERATED DRAWING. DO NOT AMEND BY HAND.

NOTES

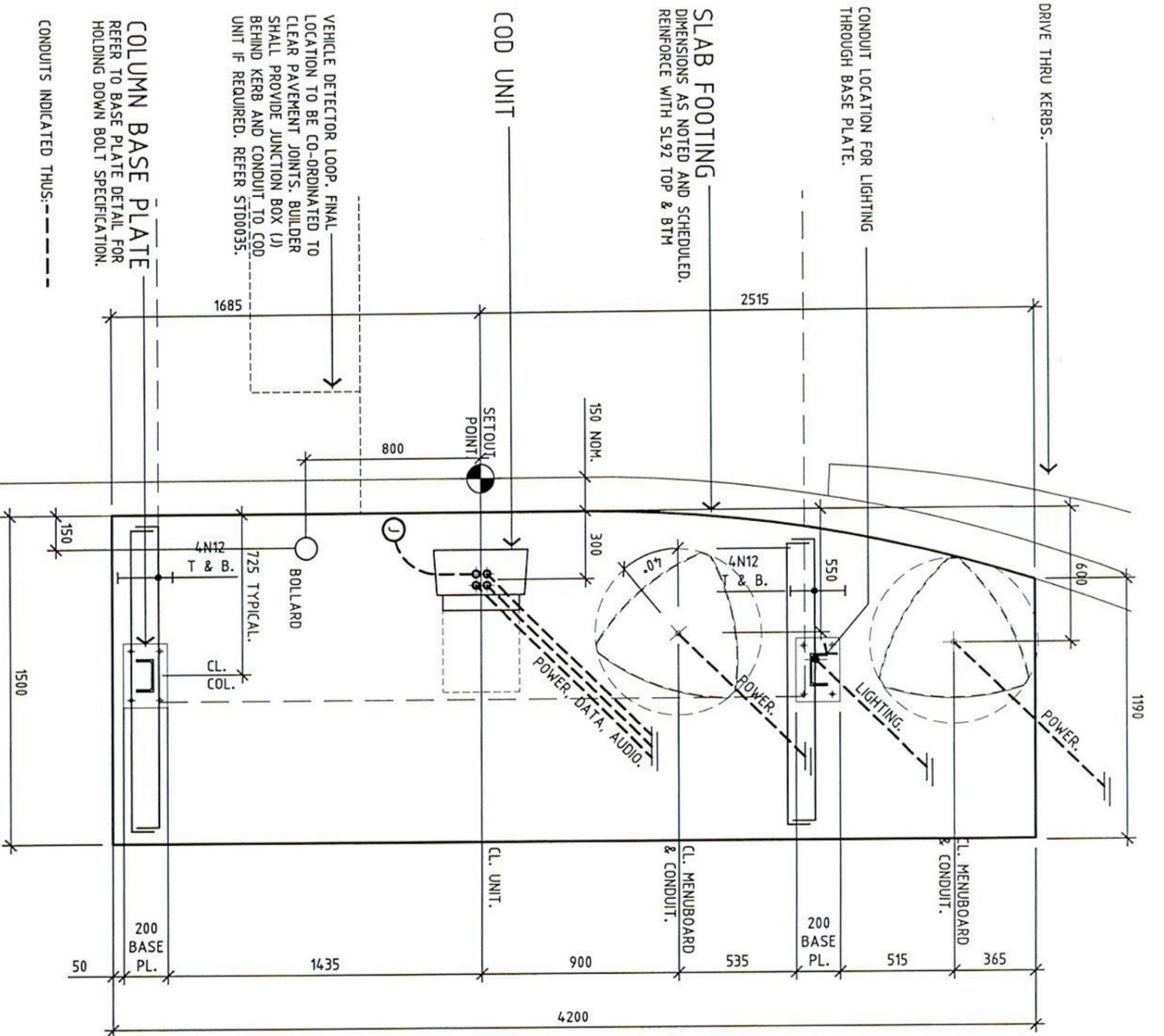
- ALL POSTS AND BEAMS SHALL BE HOT DIP GALVANISED. POSTS AND BEAMS SHALL BE COATED AND PAINTED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND THE SPECIFICATION.
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS.
- ALL SURFACES AFFECTED BY SITE WELDING SHALL BE POWER WIRE BRUSHED AND PAINTED WITH A MINIMUM OF TWO COATS OF COLD GALVANISING.
- ALL SECTIONS TO BE HOT DIP GALVANISED.
- ALL VISIBLE MANUFACTURER'S MARKS TO BE GROUND FLUSH PRIOR TO SURFACE FINISHING.
- REFER SIGNAGE CONTRACTOR FOR HOLDING DOWN BOLTS FOR MENUBOARD TO BE CAST IN.

D.A. TEND. CONST	<input checked="" type="checkbox"/>
Drawn DB	
Checked FR	
Date JAN 07	
Scale	
Dwg No.	
501	
Drawing C.O.D. ANNING STRUCTURAL NOTES	

Project
PROPOSED COD BOOTH TO EXISTING McDONALD'S RESTAURANT AT CNR WARRIEWOOD & PITWATER RD WARRIEWOOD NSW 2102

Consultant 070013
Richmond+Ross Pty Limited
CONSULTING ENGINEERS AND PROJECT LEADERS
ACN 001 466 436
38 WILLOUGHBY ROAD, CROMBIE WEST, NSW 2085
TEL : (02) 9438 3988 FAX : (02) 9438 1224

No.	Amendment	Date	Int



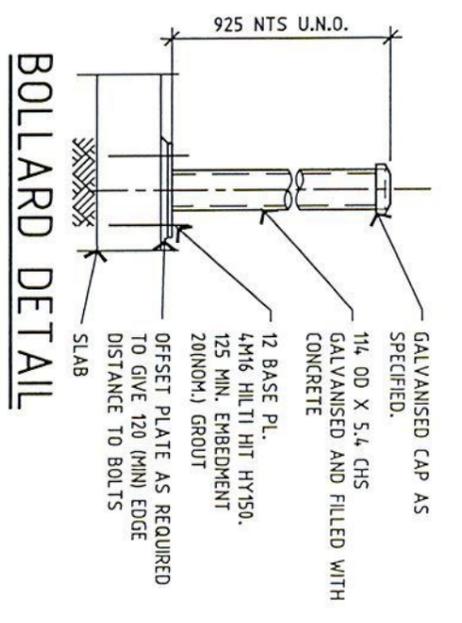
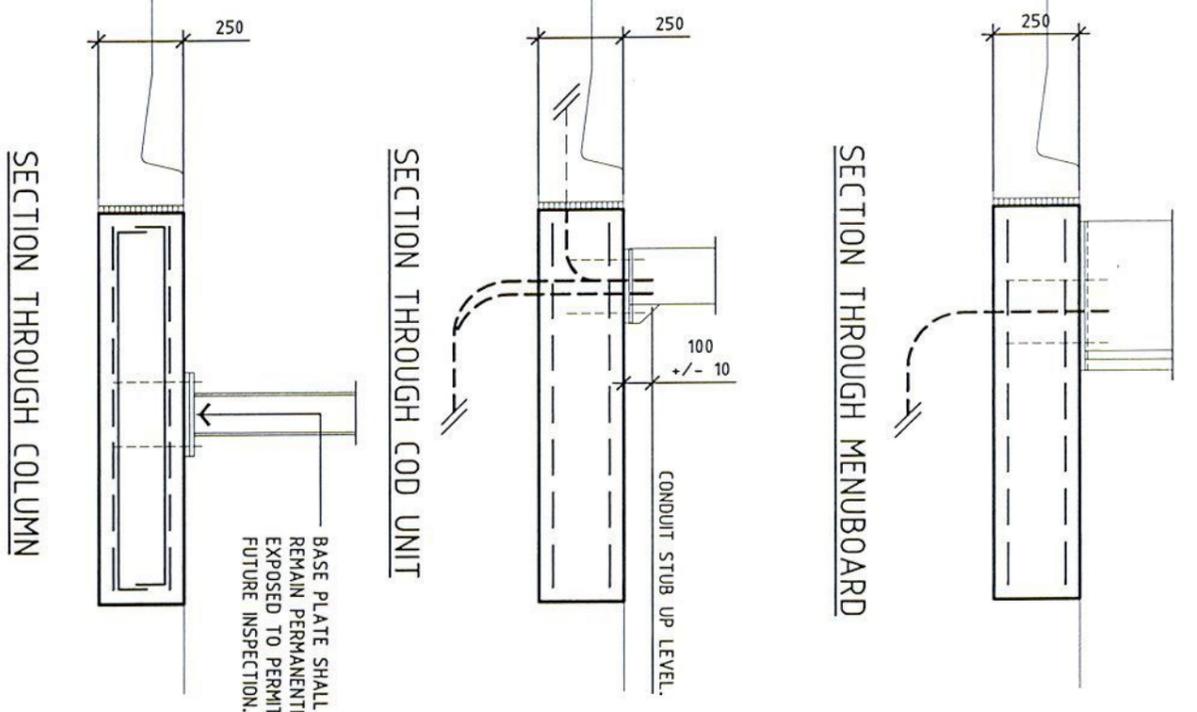
**COD UNIT WITH AWNING
(SLAB FOOTING & SETOUT DETAILS)**

SCALE 1:25

NOTE:

SLAB FOOTING TO HAVE BLACK OXIDE FINISH.

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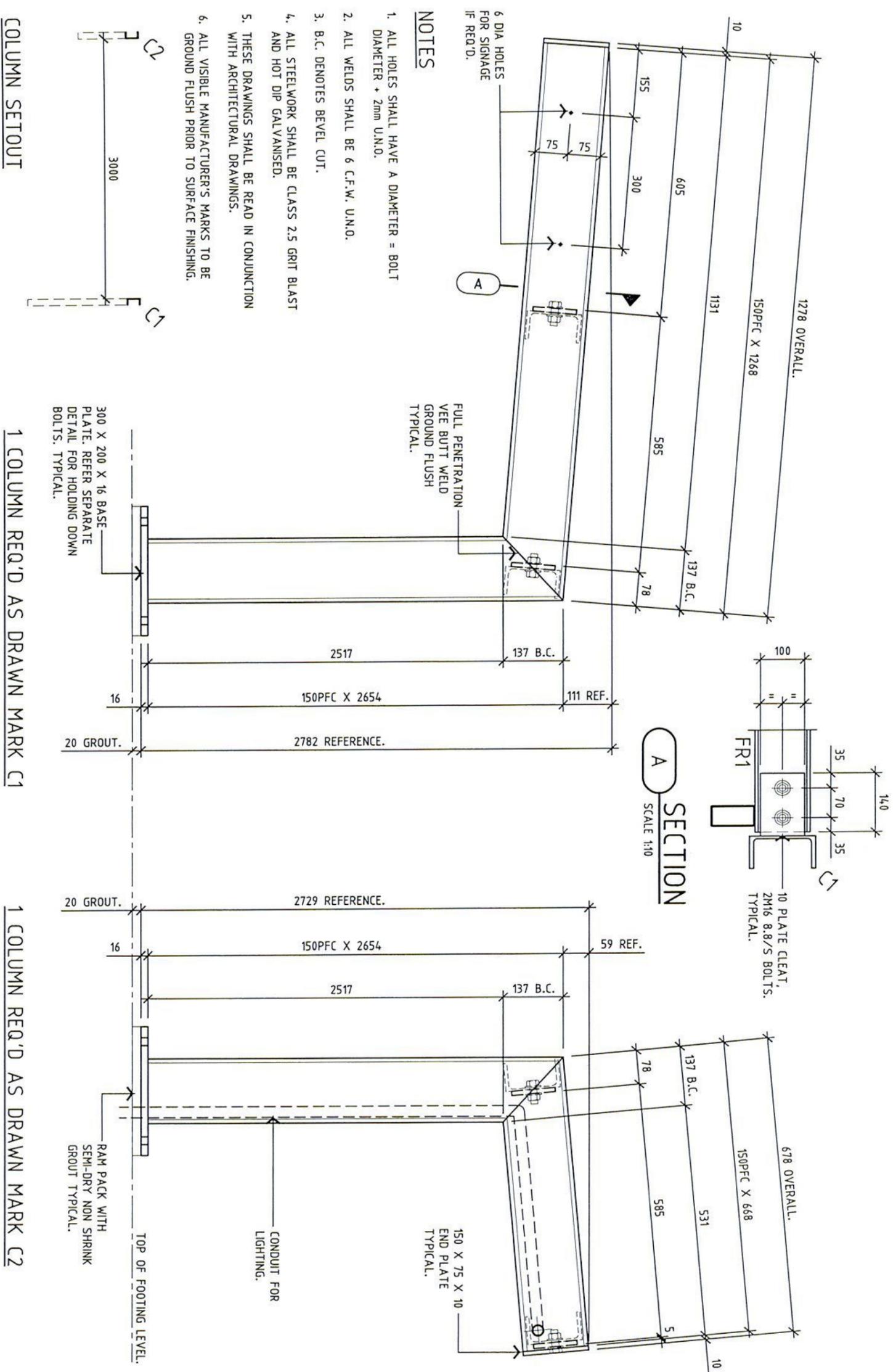


Dwg No.	S02
Scale	AS NOTED
Date	JAN 07
Checked	FR
Drawn	SH
P.A. TEND. CONST	<input checked="" type="checkbox"/>
Drawing COD AWNING STRUCTURAL SLAB PLAN AND DETAILS	

Project
PROPOSED COD BOOTH TO EXISTING McDONALD'S RESTAURANT AT CNR WARRIEWOOD & PITWATER RD WARRIEWOOD NSW 2102

No.	Amendment	Date	Int

Consultant 070013
Richmond+Ross Pty Limited
CONSULTING ENGINEERS AND PROJECT LEADERS
36 WILLOUGHBY ROAD, CROWS NEST, NSW 2065
TEL: (02) 9438 3988 FAX: (02) 9438 1224



COD AWNING STEELWORK DETAILS (COLUMNS)

SCALE 1:10

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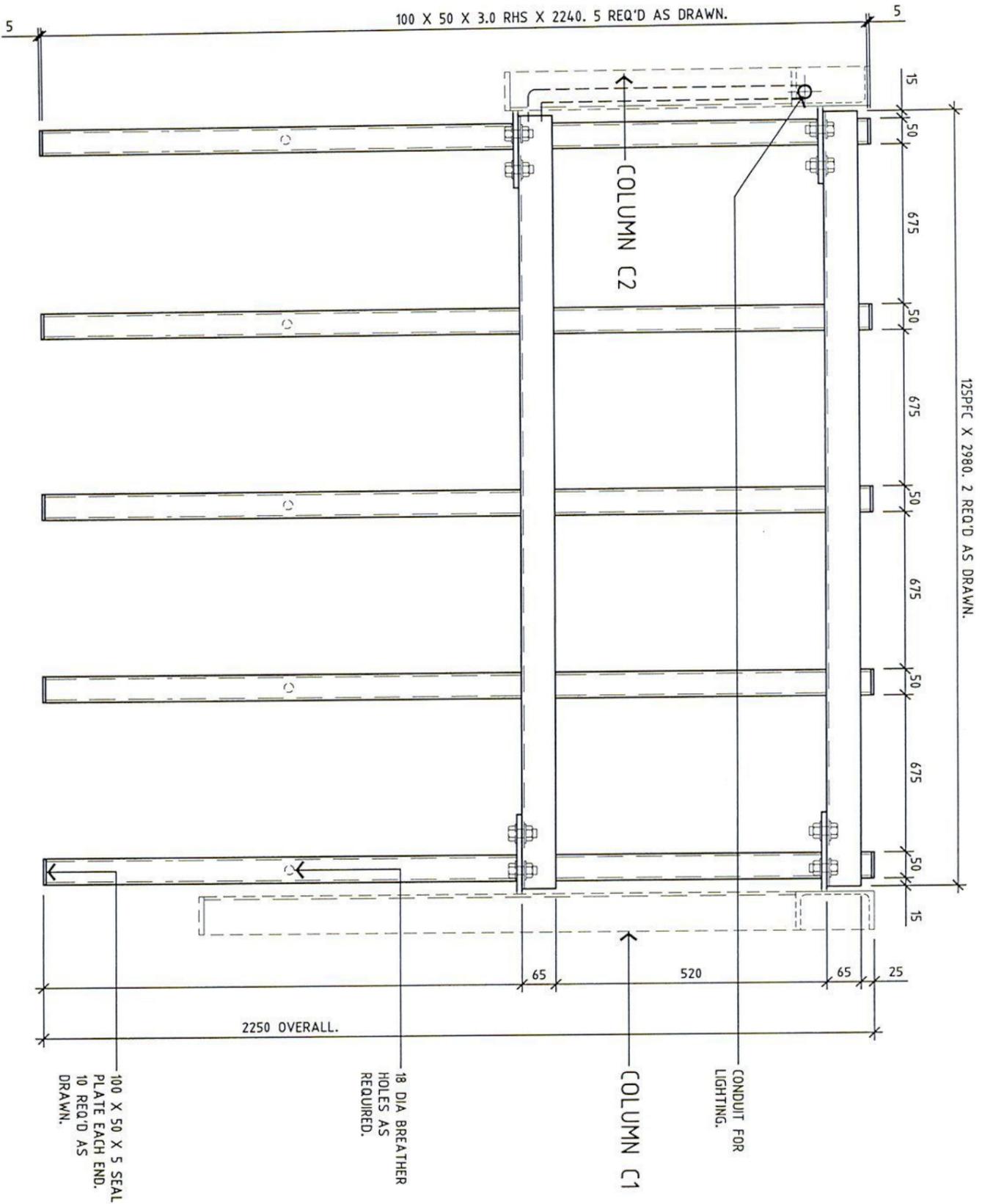
© 2005 McDonald's Corporation and affiliates

No.	Amendment	Date	Int.

Project
PROPOSED COD BOOTH TO EXISTING McDONALD'S RESTAURANT AT CNR WARRIEWOOD & PITTWATER RD WARRIEWOOD NSW 2102

Consultant
Richmond+Ross PTY LIMITED
 CONSULTING ENGINEERS AND PROJECT LEADERS
 ACN 001 466 436
 38 WILLOUGHBY ROAD, CROMS REST, NSW 2065
 TEL: (02) 9438 3988 FAX: (02) 9438 1224

D.A. TEND. CONST	✓
Drawn	SH
Checked	PR
Date	JAN 07
Scale	AS NOTED
Dwg No.	2
S03	
Drawing	COD AWNING
DETAILS	STRUCTURAL
SHEET 1	



1 FRAME REQ'D AS DRAWN MARK FR1

COD AWNING STEELWORK DETAILS (ROOF FRAME)

SCALE 1:10

12SPFC X 2980. 2 REQ'D AS DRAWN.

NOTES

1. ALL HOLES SHALL HAVE A DIAMETER = BOLT DIAMETER + 2mm U.N.O.
2. ALL WELDS SHALL BE 6 C.F.W. U.N.O.
3. B.C. DENOTES BEVEL CUT.
4. ALL STEELWORK SHALL BE CLASS 2.5 GRIT BLAST AND HOT DIP GALVANISED. PROVIDE BREATHER HOLES AS REQUIRED AND WHERE SHOWN.
5. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS.
6. ALL VISIBLE MANUFACTURER'S MARKS TO BE GROUND FLUSH PRIOR TO SURFACE FINISHING.

100 X 50 X 5 SEAL PLATE EACH END, 10 REQ'D AS DRAWN.

18 DIA BREATHER HOLES AS REQUIRED.

2250 OVERALL.

COLUMN C1

CONDUIT FOR LIGHTING.

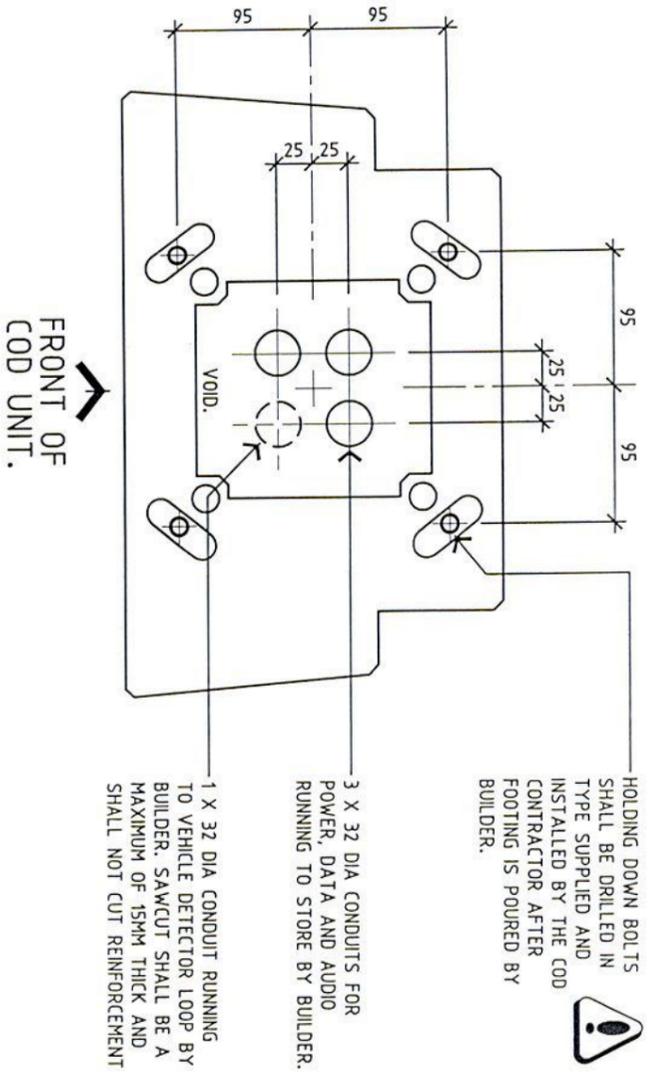
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No.	Amendment	Date	Int.

D.A. TEND. CONST.	
Drawn	SH
Checked	FR
Date	JAN 07
Scale	AS NOTED
Dwg No.	2
S04	
Drawing COD AWNING STRUCTURAL DETAILS SHEET 2	

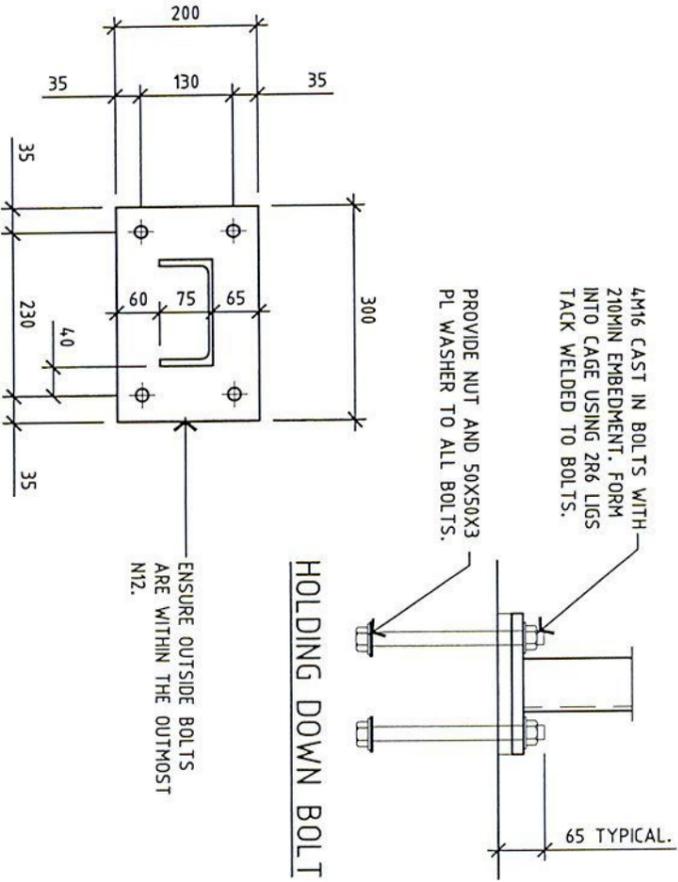
Project
PROPOSED COD BOOTH TO
EXISTING McDONALD'S
RESTAURANT AT
CNR WARRIEWOOD & PITTWATER RD
WARRIEWOOD NSW 2102

Consultant
Richmond + Ross Pty Limited
CONSULTING ENGINEERS AND PROJECT LEADERS
RCH 001 466 436
38 WILLOUGHBY ROAD, CROOKS NEST, NSW 2066
TEL : (02) 9438 3988 FAX : (02) 9438 1244



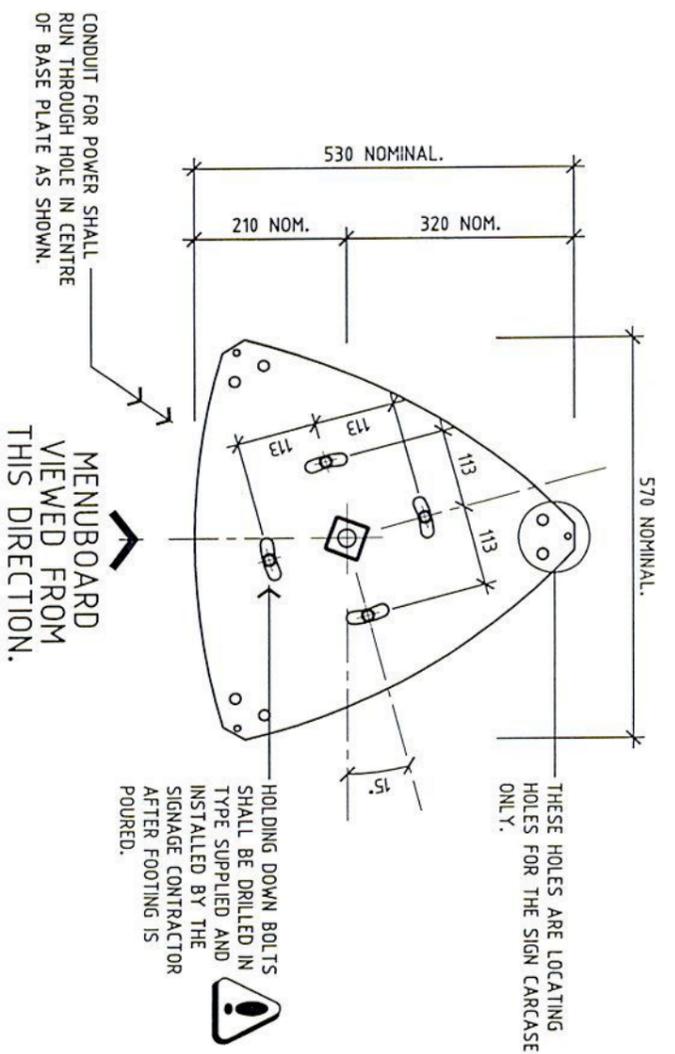
COD UNIT BASE PLATE DETAIL

SCALE 1:5



COD AWNING COLUMN BASE PLATE

SCALE 1:10



COATES MENUBOARD BASE PLATE

SCALE 1:10

P.A. TEND. CONST	✓
Drawn	SH
Checked	PR
Date	JAN 07
Scale	AS NOTED
Dwg No.	2
S05	
Drawing BASE PLATE DETAILS	

Project
PROPOSED COD BOOTH TO EXISTING McDONALD'S RESTAURANT AT CNR WARRIEWOOD & PITWATER RD WARRIEWOOD NSW 2102

No.	Amendment	Date	Int

Consultant
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