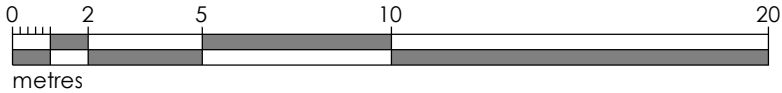


- LEGEND**
- NOTE:** ALL SERVICE LOCATIONS ARE SUPPLIED BY OTHERS AND ARE APPROXIMATE ONLY, SUBJECT TO ONSITE INVESTIGATION &/OR SERVICES LOCATOR
- ALL NEWLY PROPOSED SETBACK DIMENSIONS ARE TO STRUCTURAL WALLS AND ARE SUBJECT TO FINISHING LININGS BEING APPLIED
- EXISTING SPOT LEVEL
 - PROPOSED FINISHED SPOT LEVEL
 - EXISTING SEWER LINE
 - EXISTING TOWN WATER LINE
 - EXISTING TELSTRA LINE
 - EXISTING POWER
 - EXISTING WATER HYDRANT
 - EXISTING POWER POLE
 - EXISTING SEWER MAINTENANCE HOLE
 - EXISTING SEWER INSPECTION OPENING
 - EXISTING WATER METER
 - EXISTING TREE TO REMAIN
 - EXISTING TREE TO BE REMOVED

SITE PLAN
1 : 200 @ A3

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2024/1827



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ARCHITECTS

ABN: 77653550237 Nominated Architect:
David Buehler-Craig NSW Reg #12472

DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION

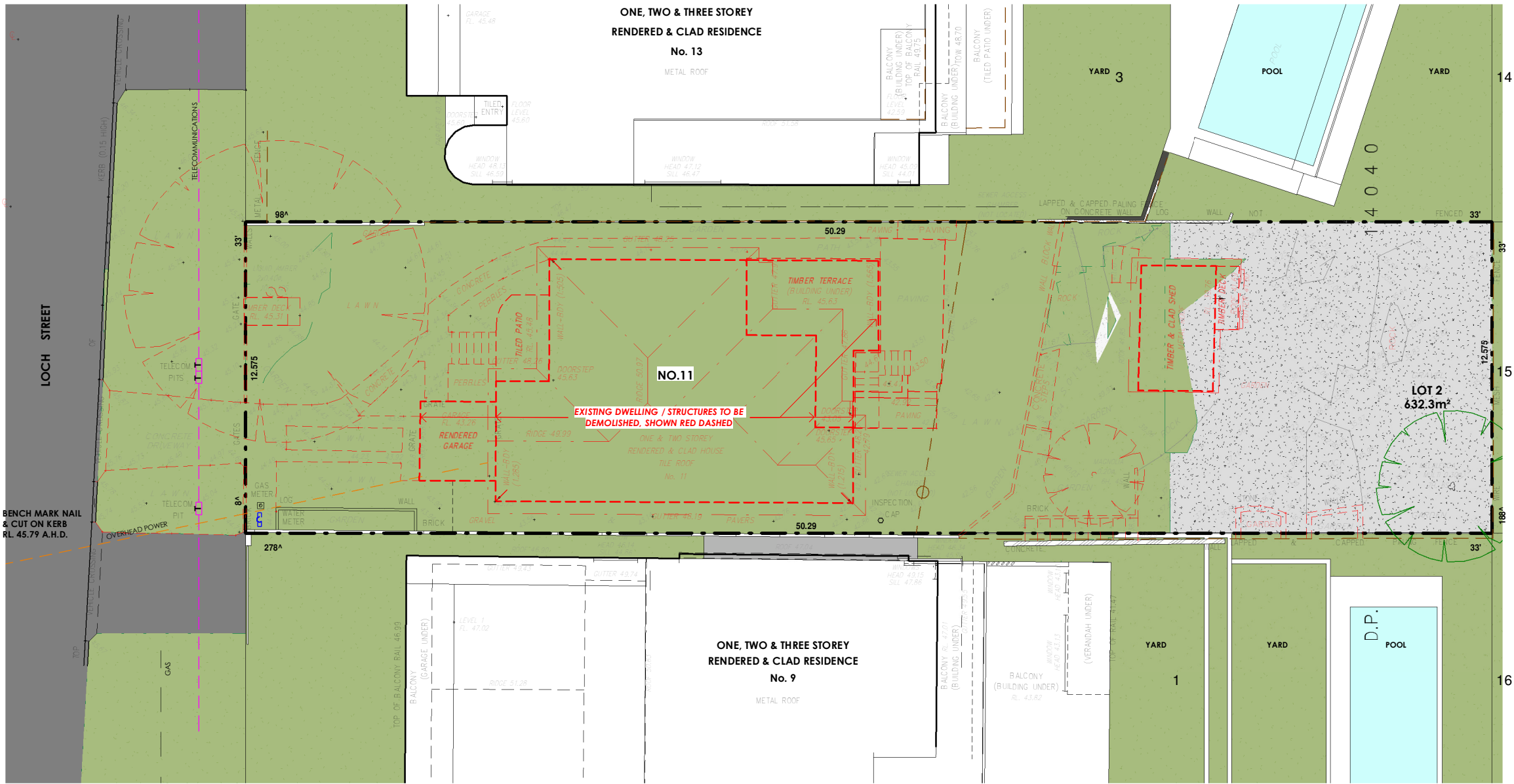
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- ALL TIMBER FRAMING IS TO BE MINIMUM H2 TREATED, OR ABOVE, SPECIFIC TO THE APPLICATION

JOB REF
2409

NORTH

TITLE	SITE PLAN	
SHEET	A001	A3 SCALE As indicated
PROJECT	PROPOSED NEW DWELLING WITH POOL, ASSOCIATED SITE WORKS. DEMOLITION OF EX'G DWELLING	
CLIENT	GEORGE & LAURA AITKEN	
ADDRESS	11 LOCH ST, FRESHWATER LOT 2 IN D.P 14040	

REVISIONS	
DATE	DESCRIPTION
2025.05.29	RE-ISSUE FOR DEVELOPMENT APPLICATION
2025.05.13	CONSULTANT ISSUE
2025.03.05	ISSUE TO COUNCIL
2025.02.28	ISSUE FOR CLIENT REVIEW
2025.02.26	ISSUE FOR CLIENT REVIEW
2024.12.16	ISSUE FOR DEVELOPMENT APPLICATION
2024.12.03	CLIENT & CONSULTANT ISSUE
2024.11.22	CONSULTANT ISSUE



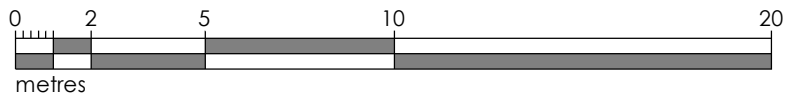
LEGEND

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- + 10.00 EXISTING SPOT LEVEL
- FFL 10.000 PROPOSED FINISHED SPOT LEVEL
- EXISTING SEWER LINE
- EXISTING TOWN WATER LINE
- EXISTING TELSTRA LINE
- EXISTING POWER
- HYD EXISTING WATER HYDRANT
- PP EXISTING POWER POLE
- SMH EXISTING SEWER MAINTENANCE HOLE
- SIO EXISTING SEWER INSPECTION OPENING
- WM EXISTING WATER METER
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED

1 DEMOLITION PLAN
1 : 200 @ A3



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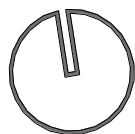
ABN: 77653550237 Nominated Architect:
David Buehler-Craig NSW Reg #12472

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- ALL TIMBER FRAMING IS TO BE MINIMUM H2 TREATED, OR ABOVE, SPECIFIC TO THE APPLICATION

JOB REF
2409

NORTH



TITLE **DEMOLITION PLAN**

SHEET **A002** A3 SCALE **As indicated**

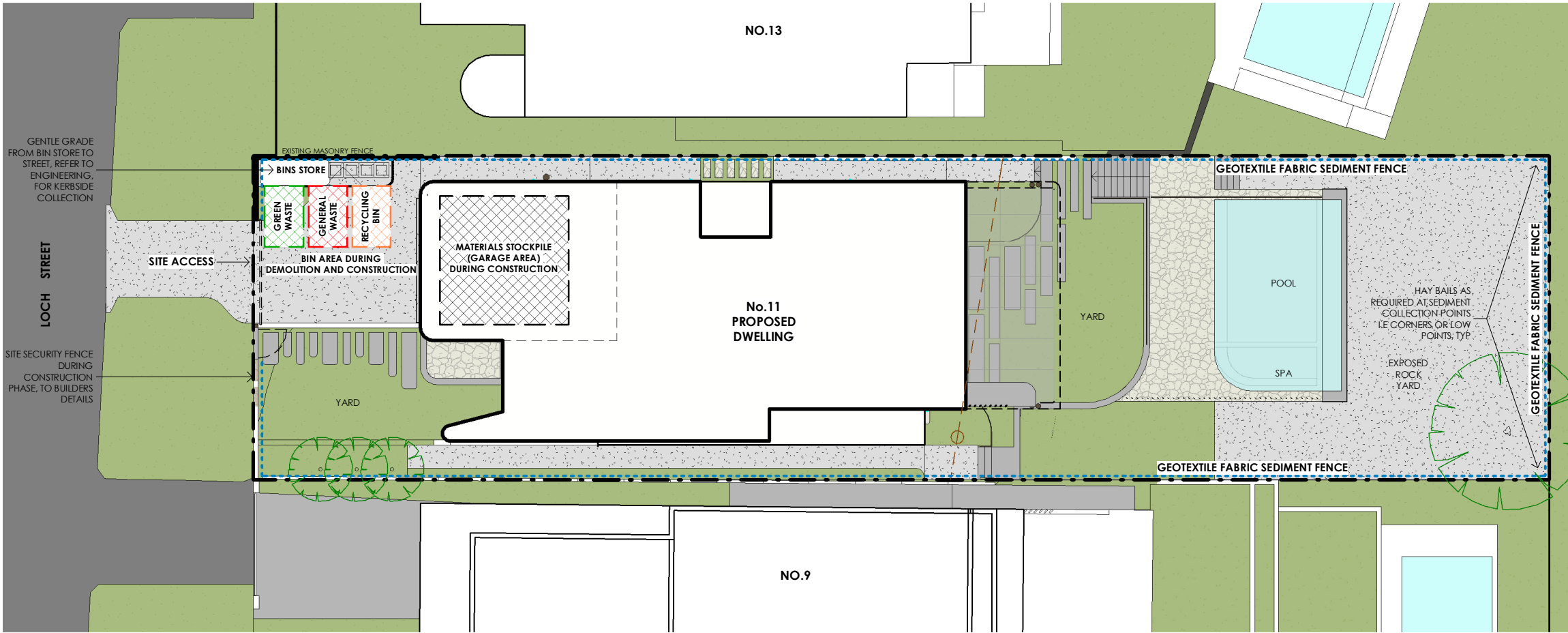
PROJECT **PROPOSED NEW DWELLING WITH POOL, ASSOCIATED SITE WORKS. DEMOLITION OF EX'G DWELLING**

CLIENT **GEORGE & LAURA AITKEN**

ADDRESS **11 LOCH ST, FRESHWATER LOT 2 IN D.P. 14040**

REVISIONS

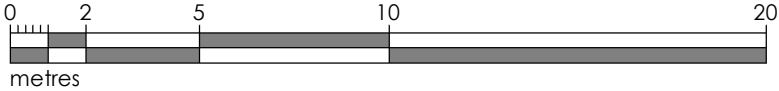
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beaches
council

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THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2024/1827



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ABN: 77653550237 Nominated Architect:
David Buehler-Craig NSW Reg #12472

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- SMOKE ALARMS TO BE INSTALLED AS PER AS3786

JOB REF
2409

NORTH



TITLE
WASTE MGMT, EROSION/SEDIMENT CONTROL

SHEET
A003

A3 SCALE
1 : 200

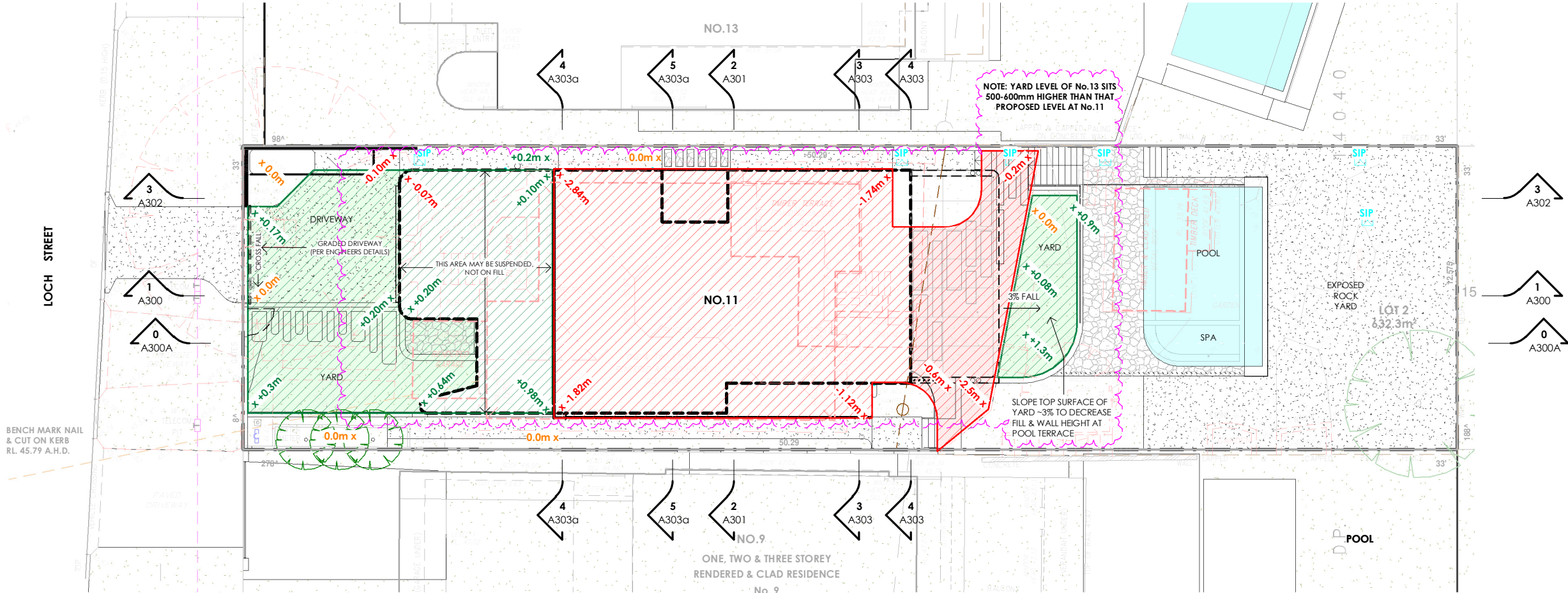
PROJECT
PROPOSED NEW DWELLING WITH POOL, ASSOCIATED SITE WORKS. DEMOLITION OF EX'G DWELLING

CLIENT
GEORGE & LAURA AITKEN

ADDRESS
**11 LOCH ST, FRESHWATER
LOT 2 IN D.P 14040**

REVISIONS

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LEGEND

AREA OF PROPOSED FILL /
DEPTH OF PROPOSED FILL
x +0.45m

AREA OF PROPOSED CUT /
DEPTH OF PROPOSED CUT
x -1.3m

x 0.0m NATURAL GROUND

 **northern
beaches
council**

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CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2024/1827

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TITLE	CUT & FILL PLAN	
SHEET	A004	A3 SCALE 1 : 200
PROJECT	PROPOSED NEW DWELLING WITH POOL, ASSOCIATED SITE WORKS. DEMOLITION OF EX'G DWELLING	
CLIENT	GEORGE & LAURA AITKEN	
ADDRESS	11 LOCH ST, FRESHWATER LOT 2 IN D.P 14040	

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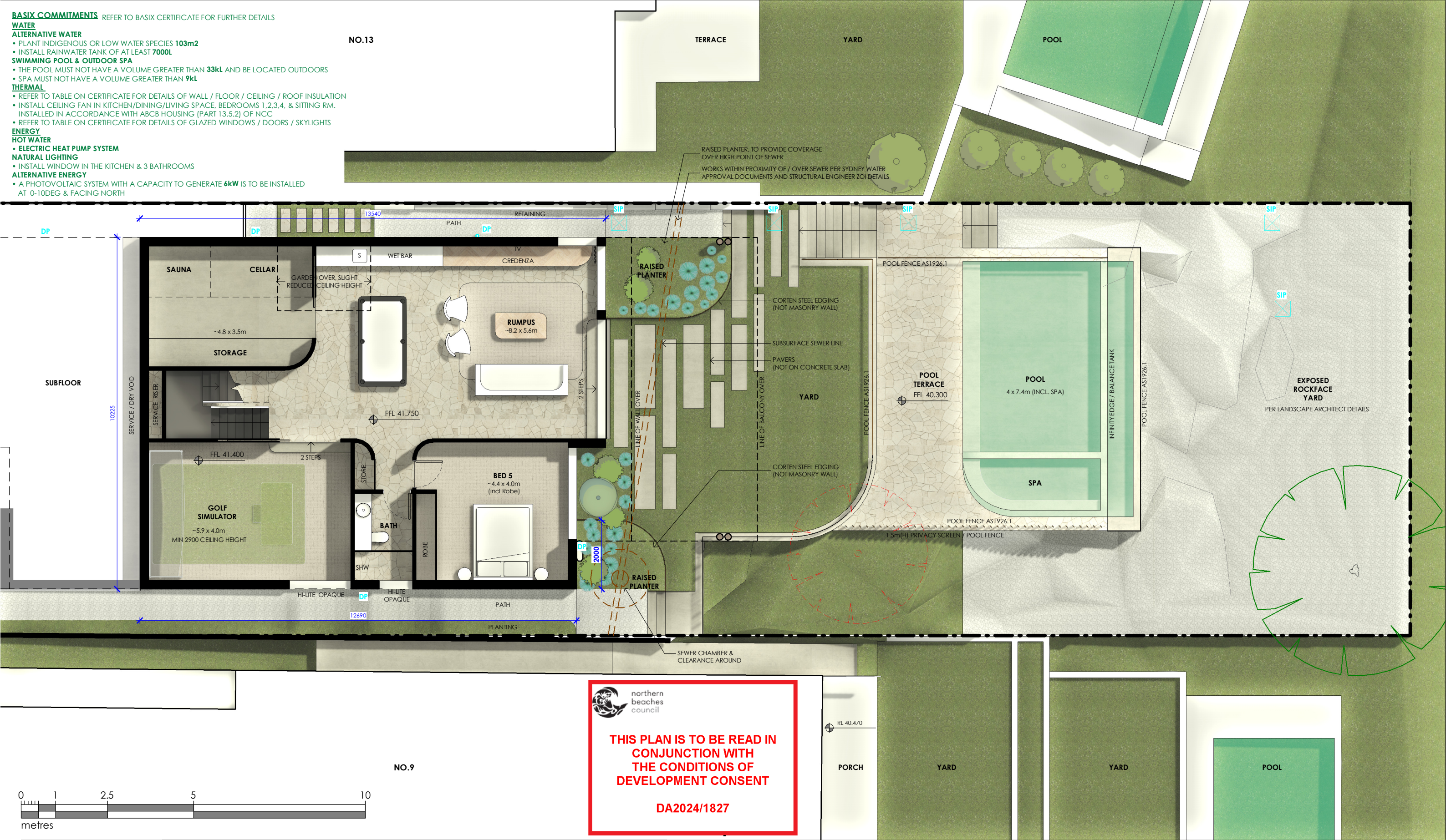
INFO@FBCARCHITECTS.COM.AU



**fb
c**
ARCHITECTS

ABN: 77653550237 Nominated Architect:
David Buehler-Craig NSW Reg #12472

- BASIX COMMITMENTS** REFER TO BASIX CERTIFICATE FOR FURTHER DETAILS
- WATER**
- ALTERNATIVE WATER**
- PLANT INDIGENOUS OR LOW WATER SPECIES 103m2
 - INSTALL RAINWATER TANK OF AT LEAST 7000L
- SWIMMING POOL & OUTDOOR SPA**
- THE POOL MUST NOT HAVE A VOLUME GREATER THAN 33kl AND BE LOCATED OUTDOORS
 - SPA MUST NOT HAVE A VOLUME GREATER THAN 9kl
- THERMAL**
- REFER TO TABLE ON CERTIFICATE FOR DETAILS OF WALL / FLOOR / CEILING / ROOF INSULATION
 - INSTALL CEILING FAN IN KITCHEN/DINING/LIVING SPACE, BEDROOMS 1,2,3,4, & SITTING RM. INSTALLED IN ACCORDANCE WITH ABCB HOUSING (PART 13.5.2) OF NCC
 - REFER TO TABLE ON CERTIFICATE FOR DETAILS OF GLAZED WINDOWS / DOORS / SKYLIGHTS
- ENERGY**
- HOT WATER**
- **ELECTRIC HEAT PUMP SYSTEM**
- NATURAL LIGHTING**
- INSTALL WINDOW IN THE KITCHEN & 3 BATHROOMS
- ALTERNATIVE ENERGY**
- A PHOTOVOLTAIC SYSTEM WITH A CAPACITY TO GENERATE 6kW IS TO BE INSTALLED AT 0-10DEG & FACING NORTH



DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION

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fb ARCHITECTS

ABN: 77653550237 Nominated Architect:
David Buehler-Craig NSW Reg #12472

JOB REF
2409

NORTH

TITLE
LOWER GROUND FLOOR PLAN

SHEET
A100

PROJECT
PROPOSED NEW DWELLING WITH POOL, ASSOCIATED SITE WORKS. DEMOLITION OF EX'G DWELLING

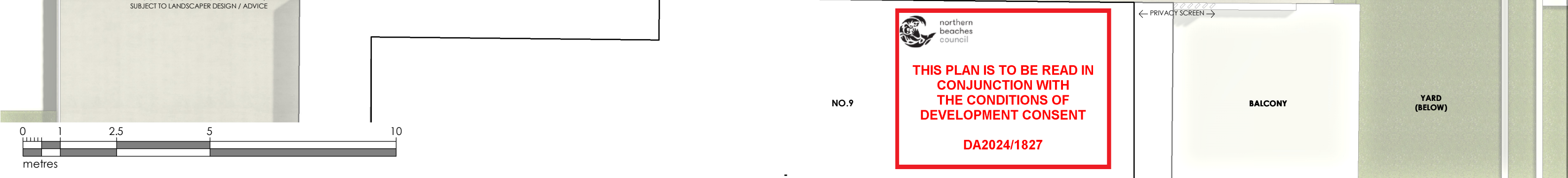
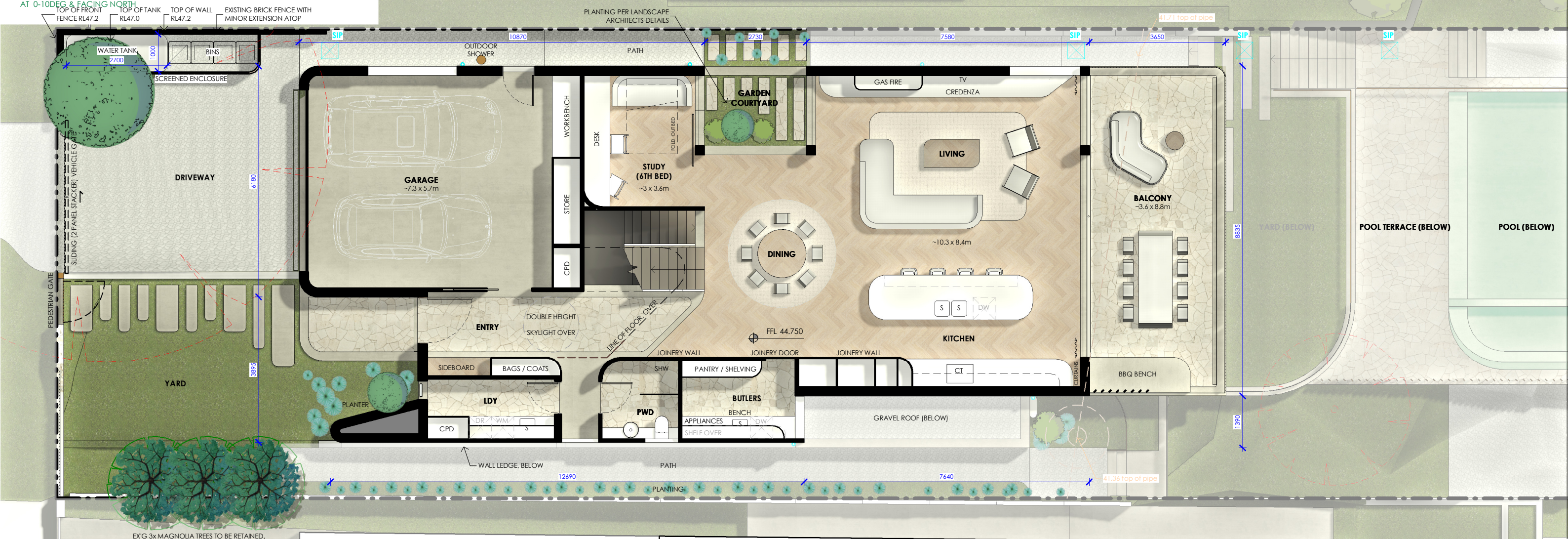
CLIENT
GEORGE & LAURA AITKEN



ADDRESS
11 LOCH ST, FRESHWATER LOT 2 IN D.P 14040

A3 SCALE
1 : 100

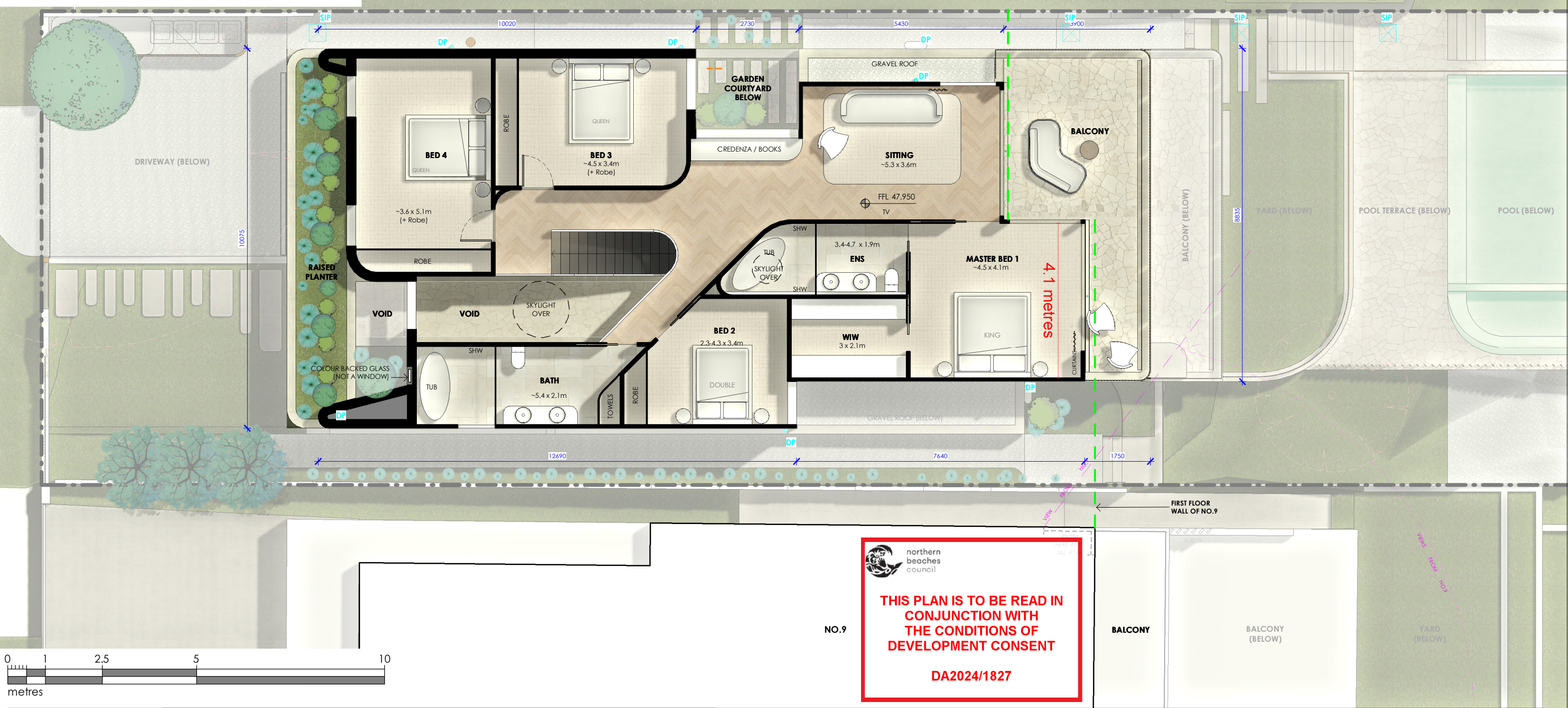
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2024.12.03	CLIENT & CONSULTANT ISSUE
2024.11.22	CONSULTANT ISSUE
2024.11.14	CONSULTANT ISSUE
DATE	DESCRIPTION

- WATER**
- PLANT INDIGENOUS OR LOW WATER SPECIES 103m²
 - INSTALL RAINWATER TANK OF AT LEAST 7000L
- SWIMMING POOL & OUTDOOR SPA**
- THE POOL MUST NOT HAVE A VOLUME GREATER THAN 33kL AND BE LOCATED OUTDOORS
 - SPA MUST NOT HAVE A VOLUME GREATER THAN 9kL
- THERMAL**
- REFER TO TABLE ON CERTIFICATE FOR DETAILS OF WALL / FLOOR / CEILING / ROOF INSULATION
 - INSTALL CEILING FAN IN KITCHEN/DINING/LIVING SPACE, BEDROOMS 1,2,3,4, & SITTING RM.
 - INSTALLED IN ACCORDANCE WITH ABCB HOUSING (PART 13.5.2) OF NCC
- ENERGY**
- REFER TO TABLE ON CERTIFICATE FOR DETAILS OF GLAZED WINDOWS / DOORS / SKYLIGHTS
- HOT WATER**
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- NATURAL LIGHTING**
- INSTALL WINDOW IN THE KITCHEN & 3 BATHROOMS
- ALTERNATIVE ENERGY**
- A PHOTOVOLTAIC SYSTEM WITH A CAPACITY TO GENERATE 6kW IS TO BE INSTALLED AT 0-10DEG & FACING NORTH



DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION		TITLE		REVISIONS	
 <p>INFO@FBCARCHITECTS.COM.AU</p> <p>ABN: 77653550237 Nominated Architect: David Buehler-Craig NSW Reg #12472</p>	<p>ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE 2022 (NCC) / BUILDING CODE OF AUSTRALIA (BCA), RELEVANT AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS / CONSENT CONDITIONS, WITHOUT EXCEPTION</p> <p>DO NOT SCALE OFF THIS DRAWING. FIGURED DIMENSIONS ONLY TO BE USED. ALL DIMENSIONS TO BE CHECKED AND VERIFIED BY CONTRACTOR PRIOR TO INITIATING WORKS & CONFIRMED ON SITE PRIOR TO CONSTRUCTION. ANY INCONSISTENCIES IN DIMENSIONS TO BE COMMUNICATED TO FBC ARCHITECTS</p> <p>THIS DRAWING REMAINS THE PROPERTY OF FBC ARCHITECTS. DRAWINGS NOT TO BE COMMERCIALISED, REPRODUCED OR DISCLOSED TO ANY PERSONS WITHOUT EXPRESS WRITTEN CONSENT OF FBC ARCHITECTS. COPYRIGHT IS RESERVED</p> <p>ALL LEVELS, CONTOURS AND R.L.'S, ARE TO AUSTRALIAN HEIGHT DATUM (AHD) AND ARE IN METRES, U.N.O</p> <p>SITE INFORMATION HAS BEEN SUPPLIED BY OTHERS. FBC ARCHITECTS TAKES NO RESPONSIBILITY FOR ITS ACCURACY. CONTRACTOR TO CONFIRM LOCATION OF ALL SERVICES, VEGETATION AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS WITH ANY DISCREPANCIES REPORTED TO FBC ARCHITECTS</p> <p>IT IS THE CONTRACTOR'S RESPONSIBILITY TO LIAISE WITH SUPPLIERS / SUBCONTRACTORS TO CONFIRM EXACT REQUIREMENTS/CLEARANCES/TREATMENTS ETC FOR ALL FINISHES / FIXTURES / FITTINGS, UNDER NO CIRCUMSTANCE IS THERE TO BE NON-CONFORMING OR NON-COMPLYING BUILDING PRODUCTS USED</p> <p>SMOKE ALARMS TO BE INSTALLED AS PER AS3786</p>	<p>ALL DRAWINGS AND DOCUMENTATION TO BE READ IN CONJUNCTION WITH RELEVANT PROJECT SPECIFIC CONSULTANT / ENGINEERS REPORTS &/OR DRAWINGS</p> <p>ALL WORK IS TO BE COMPLETED IN ACCORDANCE WITH THE SPECIFICATIONS LISTED IN THE RELEVANT BASIX CERTIFICATE. THE CONTRACTOR / SUB-CONTRACTORS & OWNER MUST ENSURE THAT THE MINIMUM REQUIREMENTS ARE MET.</p> <p>ALL DESIGN IS CONSIDERED REASONABLY SAFE AND PRACTICAL. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS AND WITH REGARD TO SAFETY DATA SHEETS. BUILDER / CONTRACTOR TO CONTACT FBC ARCHITECTS WITH ANY CONCERNS</p> <p>WET AREAS TYPICALLY TO BE SETDOWN NOMINAL 50mm (U.N.O) TO ENSURE FINISHED FLOOR IS FLUSH WITH ADJOINING. INTERNAL FLOOR FINISHES ARE TO BE FLUSH THROUGHOUT</p> <p>ALL STAIRS TO HAVE SUP-RESISTANT FINISH TO NOSINGS AS PER NCC REQUIREMENTS</p> <p>ALL WINDOWS WITH FALLS OVER 2M TO HAVE RESTRICTED OPENINGS PER NCC REQUIREMENTS</p> <p>IF SITE IS DEEMED TO BE WITHIN A BUSHFIRE PRONE AREA, ALL WORKS ARE TO BE COMPLETED IN ACCORDANCE WITH RELEVANT BAL (BUSHFIRE ATTACK LEVEL) RATING AND AS 3959- CONSTRUCTION OF BUILDINGS IN BUSHFIRE-PRONE AREAS</p> <p>ALL TIMBER FRAMING IS TO BE MINIMUM H2 TREATED, OR ABOVE, SPECIFIC TO THE APPLICATION</p>	<p>JOB REF 2409</p> <p>NORTH</p> 	<p>SHEET A101 A3 SCALE 1 : 100</p> <p>PROJECT PROPOSED NEW DWELLING WITH POOL, ASSOCIATED SITE WORKS. DEMOLITION OF EX'G DWELLING</p> <p>CLIENT GEORGE & LAURA AITKEN</p> <p>ADDRESS 11 LOCH ST, FRESHWATER LOT 2 IN D.P 14040</p>	<p>2025.05.29 RE-ISSUE FOR DEVELOPMENT APPLICATION</p> <p>2025.05.13 CONSULTANT ISSUE</p> <p>2025.03.05 ISSUE TO COUNCIL</p> <p>2025.02.28 ISSUE FOR CLIENT REVIEW</p> <p>2025.02.26 ISSUE FOR CLIENT REVIEW</p> <p>2024.12.16 ISSUE FOR DEVELOPMENT APPLICATION</p> <p>2024.12.03 CLIENT & CONSULTANT ISSUE</p> <p>2024.11.22 CONSULTANT ISSUE</p> <p>2024.11.14 CONSULTANT ISSUE</p> <p>DATE DESCRIPTION</p>

- BASIX COMMITMENTS** REFER TO BASIX CERTIFICATE FOR FURTHER DETAILS
- WATER**
- ALTERNATIVE WATER**
- PLANT INDIGENOUS OR LOW WATER SPECIES **103m2**
 - INSTALL RAINWATER TANK OF AT LEAST **7000L**
- SWIMMING POOL & OUTDOOR SPA**
- THE POOL MUST NOT HAVE A VOLUME GREATER THAN **33kL** AND BE LOCATED OUTDOORS
 - SPA MUST NOT HAVE A VOLUME GREATER THAN **9kL**
- THERMAL**
- REFER TO TABLE ON CERTIFICATE FOR DETAILS OF WALL / FLOOR / CEILING / ROOF INSULATION
 - INSTALL CEILING FAN IN KITCHEN/DINING/LIVING SPACE, BEDROOMS 1,2,3,4, & SITTING RM.
 - INSTALLED IN ACCORDANCE WITH ABCB HOUSING (PART 13.5.2) OF NCC
 - REFER TO TABLE ON CERTIFICATE FOR DETAILS OF GLAZED WINDOWS / DOORS / SKYLIGHTS
- ENERGY**
- HOT WATER**
- **ELECTRIC HEAT PUMP SYSTEM**
- NATURAL LIGHTING**
- INSTALL WINDOW IN THE KITCHEN & 3 BATHROOMS
- ALTERNATIVE ENERGY**
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ENERGY

HOT WATER

- ELECTRIC HEAT PUMP SYSTEM

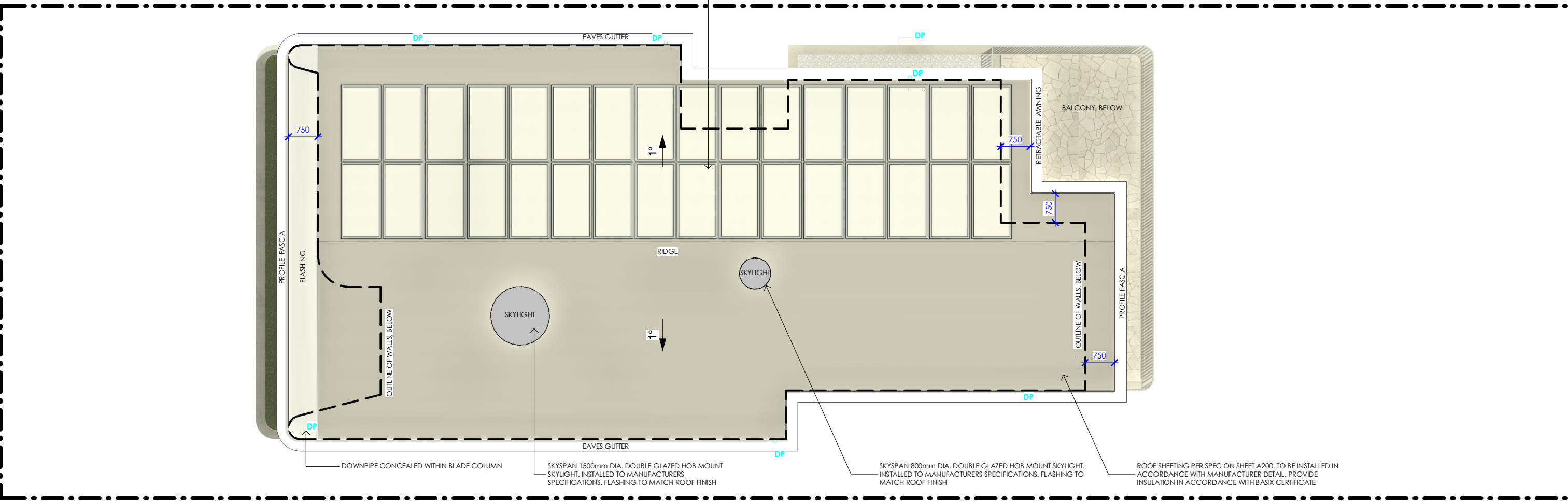
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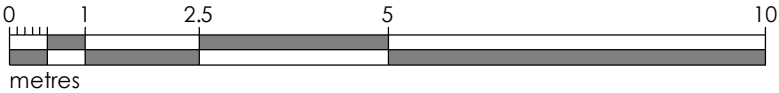
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SOLAR PANELS INSTALLED TO SUPPLIERS SPECIFICATIONS, TO COMPLY WITH BASIX CERTIFICATE REQUIREMENTS AT A MINIMUM. ALLOW TO MAKE GOOD TO ANY ROOF PENETRATIONS



**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2024/1827



INFO@FBCARCHITECTS.COM.AU



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JOB REF
2409

NORTH



TITLE

ROOF PLAN

SHEET

A103

A3 SCALE

1 : 100

PROJECT

PROPOSED NEW DWELLING WITH POOL, ASSOCIATED SITE WORKS. DEMOLITION OF EX'G DWELLING

CLIENT

GEORGE & LAURA AITKEN

ADDRESS

**11 LOCH ST, FRESHWATER
LOT 2 IN D.P 14040**

REVISIONS

DATE	DESCRIPTION
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CN: CONCRETE
OFF FORM OR CONCRETE LOOK FINISH



RF: ROOF
COLOUR - DUNE (OR EQUIVALENT)



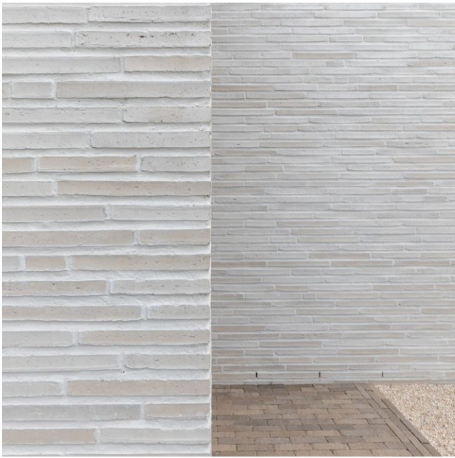
CZY: CRAZY PAVING OR TILE



GD: GARAGE DOOR
ALUMINIUM BATTENS DARK BRONZE



BAL 1: BALUSTRADE
AS1926.1 COMPLIANT
WHERE APPLICABLE



MAS: MASONRY WALLING
FACE BRICK, OR COMMON BRICK W/ APPLIED FINISH OVER



RND: RENDER
ACRYLIC - TEXTURED / MARBLED FINISH



CL: CLADDING
TIMBER, OR TIMBER LOOK ALUMINIUM



ST: STONE



WND: WINDOWS & GLAZED DOORS
TIMBER FRAMED, GLAZING PER BASIX CERTIFICATE



northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
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DEVELOPMENT CONSENT

DA2024/1827

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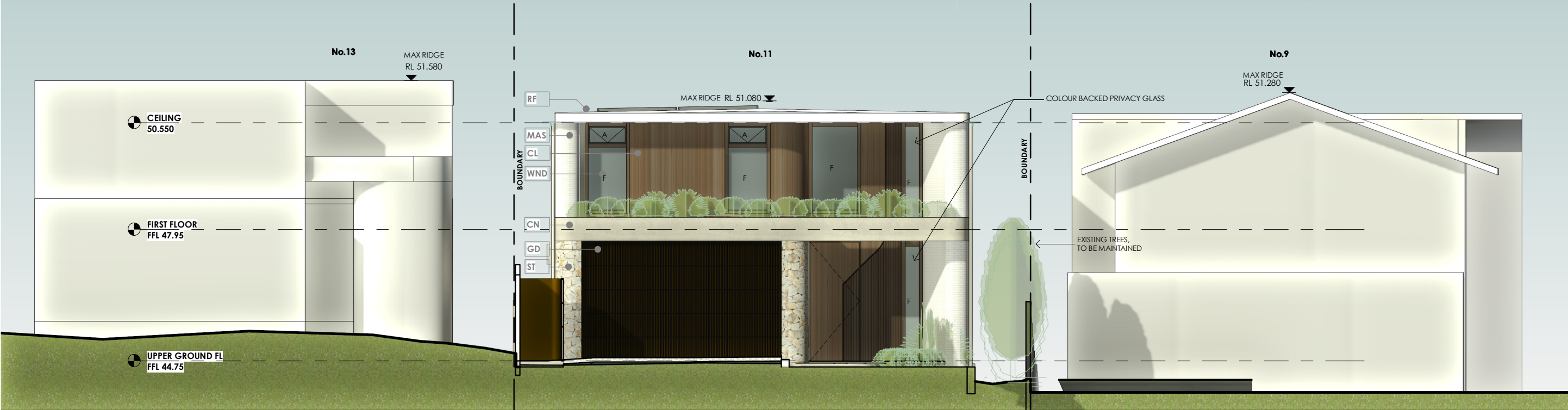


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TITLE	EXTERNAL FINISHES SCHEDULE		REVISIONS	
JOB REF	A200		A3 SCALE	
2409	PROPOSED NEW DWELLING WITH POOL, ASSOCIATED SITE WORKS. DEMOLITION OF EX'G DWELLING		2025.05.29	
NORTH	GEORGE & LAURA AITKEN		2025.03.05	
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				CONSULTANT ISSUE



1 WEST ELEVATION (TAKEN WITHIN SITE)
1 : 100 @ A3

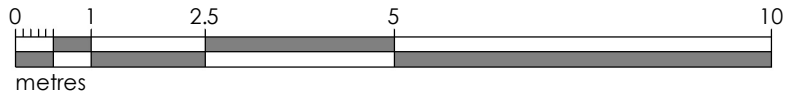



0 FRONT FENCE - WEST ELEVATION (STREET)
1 : 100 @ A3

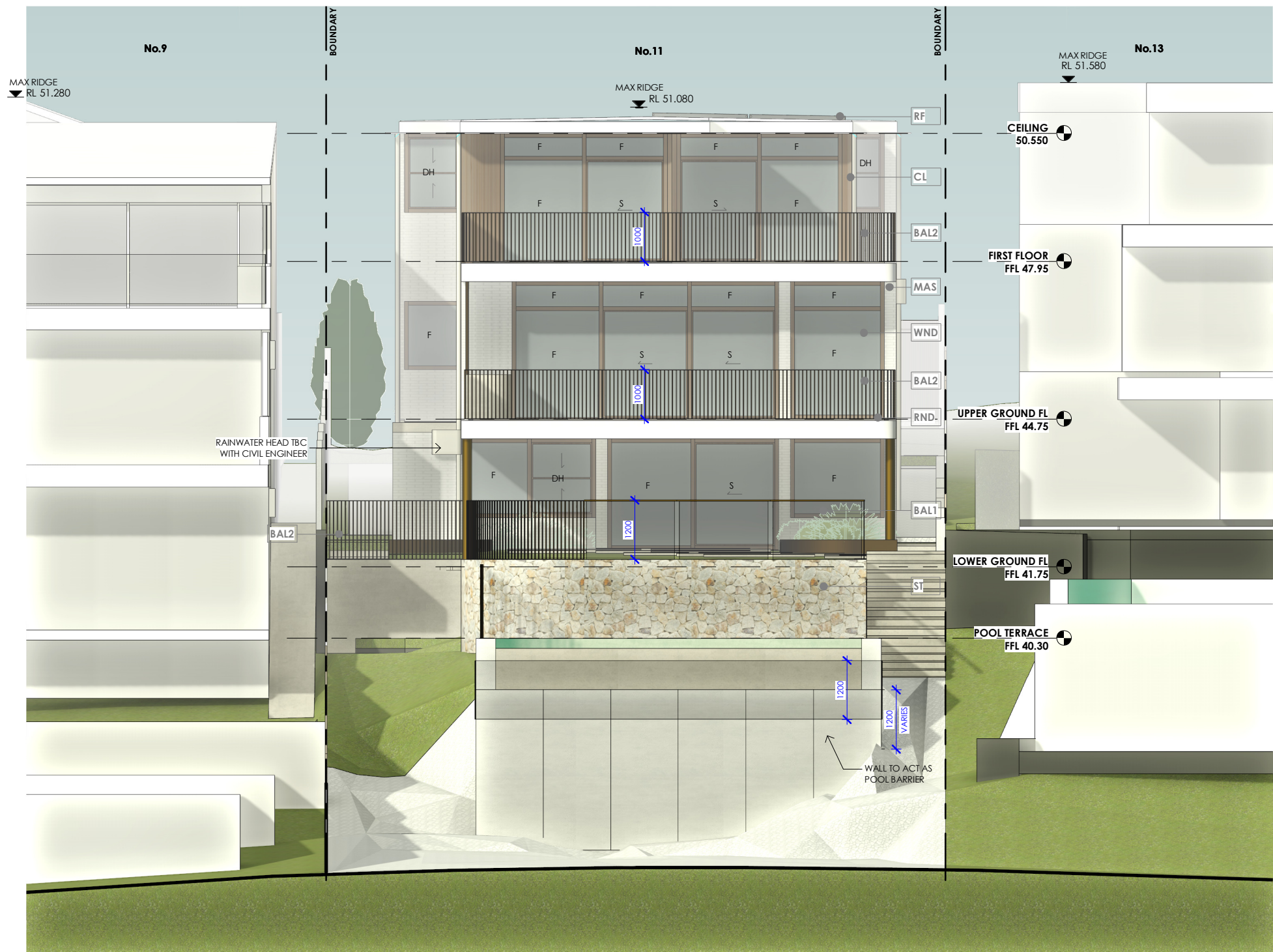
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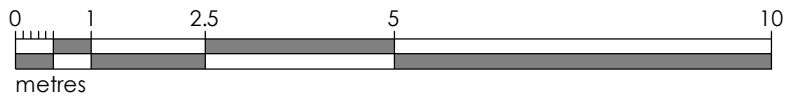
INFO@FBCARCHITECTS.COM.AU		DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION			TITLE		ELEVATIONS		REVISIONS								
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	2409			A201		A3 SCALE		1 : 100		2025.05.29	RE-ISSUE FOR DEVELOPMENT APPLICATION						
	NORTH				PROPOSED NEW DWELLING WITH POOL, ASSOCIATED SITE WORKS. DEMOLITION OF EX'G DWELLING						2025.05.13	CONSULTANT ISSUE					
					GEORGE & LAURA AITKEN						2025.03.05	ISSUE TO COUNCIL					
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										2024.11.22	CONSULTANT ISSUE						
										DATE	DESCRIPTION						



EAST ELEVATION

2

1 : 100 @ A3




 northern
beaches
council

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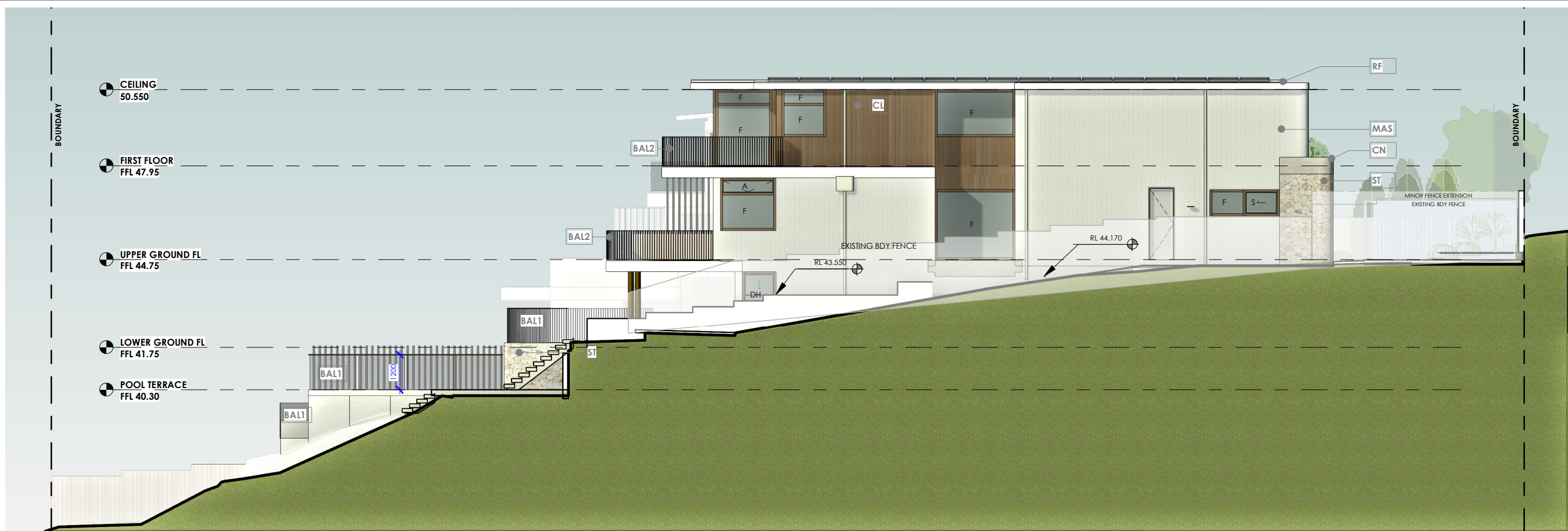
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SMOKE ALARMS TO BE INSTALLED AS PER AS3786

TITLE	ELEVATIONS		REVISIONS
JOB REF	SHEET	A3 SCALE	1 : 100
2409	A202		
NORTH	PROJECT	PROPOSED NEW DWELLING WITH POOL, ASSOCIATED SITE WORKS. DEMOLITION OF EX'G DWELLING	
	CLIENT	GEORGE & LAURA AITKEN	
	ADDRESS	11 LOCH ST, FRESHWATER LOT 2 IN D.P 14040	

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2024.11.22	CONSULTANT ISSUE

3 NORTH ELEVATION
1 : 150 @ A3



4 SOUTH ELEVATION
1 : 150 @ A3



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ARCHITECTS

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JOB REF
2409

NORTH

TITLE
ELEVATIONS

SHEET
A203

PROJECT
PROPOSED NEW DWELLING WITH POOL, ASSOCIATED SITE WORKS. DEMOLITION OF EX'G DWELLING

CLIENT
GEORGE & LAURA AITKEN

ADDRESS
**11 LOCH ST, FRESHWATER
LOT 2 IN D.P 14040**

REVISIONS

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BASIX COMMITMENTS REFER TO BASIX CERTIFICATE FOR FURTHER DETAILS

WATER

ALTERNATIVE WATER

- PLANT INDIGENOUS OR LOW WATER SPECIES **103m2**
- INSTALL RAINWATER TANK OF AT LEAST **7000L**

SWIMMING POOL & OUTDOOR SPA

- THE POOL MUST NOT HAVE A VOLUME GREATER THAN **33kL** AND BE LOCATED OUTDOORS
- SPA MUST NOT HAVE A VOLUME GREATER THAN **9kL**

THERMAL

- REFER TO TABLE ON CERTIFICATE FOR DETAILS OF WALL / FLOOR / CEILING / ROOF INSULATION
- INSTALL CEILING FAN IN KITCHEN/DINING/LIVING SPACE, BEDROOMS 1,2,3,4, & SITTING RM.
INSTALLED IN ACCORDANCE WITH ABCB HOUSING (PART 13.5.2) OF NCC
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ENERGY

HOT WATER

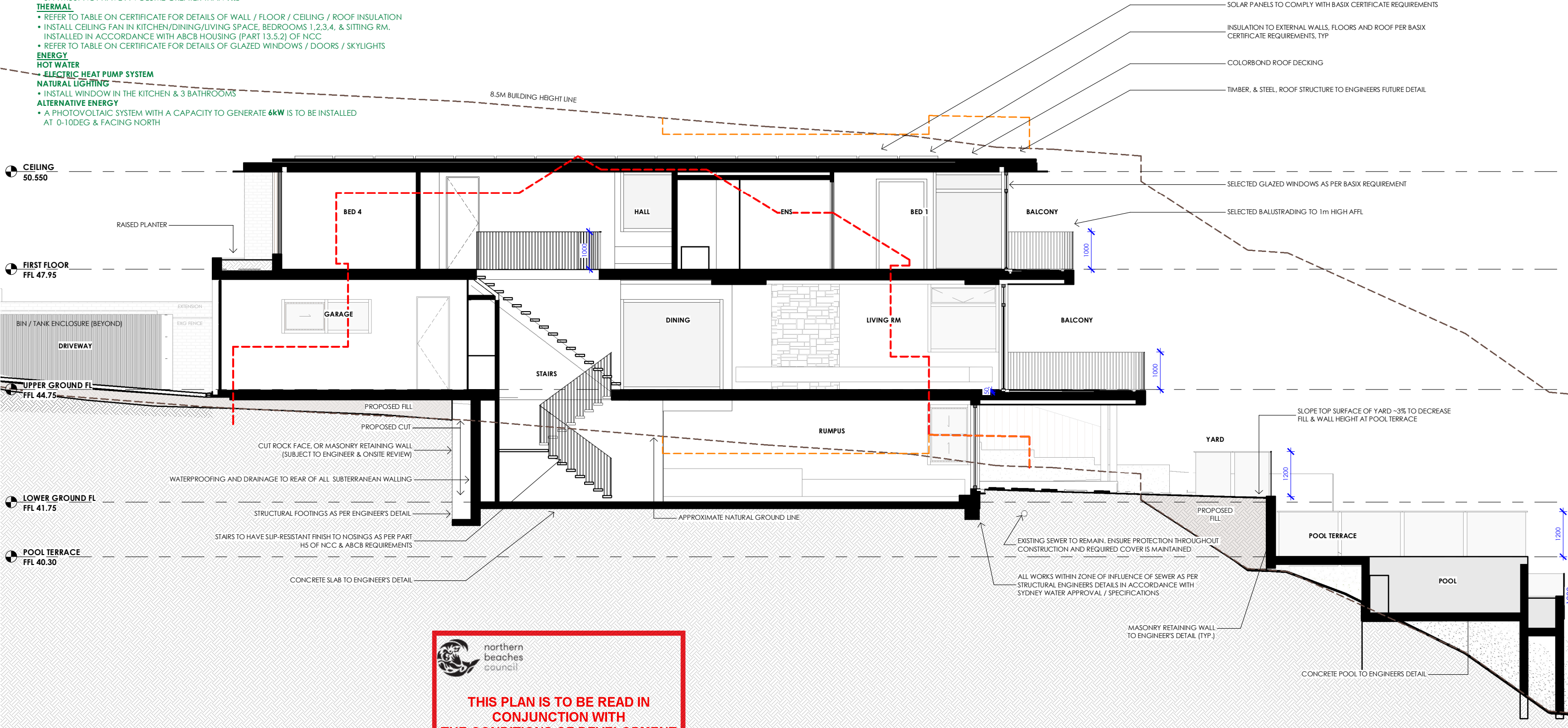
ELECTRIC HEAT PUMP SYSTEM

NATURAL LIGHTING

- INSTALL WINDOW IN THE KITCHEN & 3 BATHROOMS

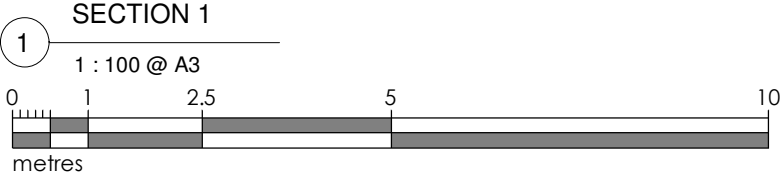
ALTERNATIVE ENERGY

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CONSENT**

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TITLE	SECTIONS		
SHEET	A300	A3 SCALE	1 : 100
PROJECT	PROPOSED NEW DWELLING WITH POOL, ASSOCIATED SITE WORKS. DEMOLITION OF EX'G DWELLING		
CLIENT	GEORGE & LAURA AITKEN		
ADDRESS	11 LOCH ST, FRESHWATER LOT 2 IN D.P 14040		

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2024.11.14	CONSULTANT ISSUE

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WATER

ALTERNATIVE WATER

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ENERGY

HOT WATER

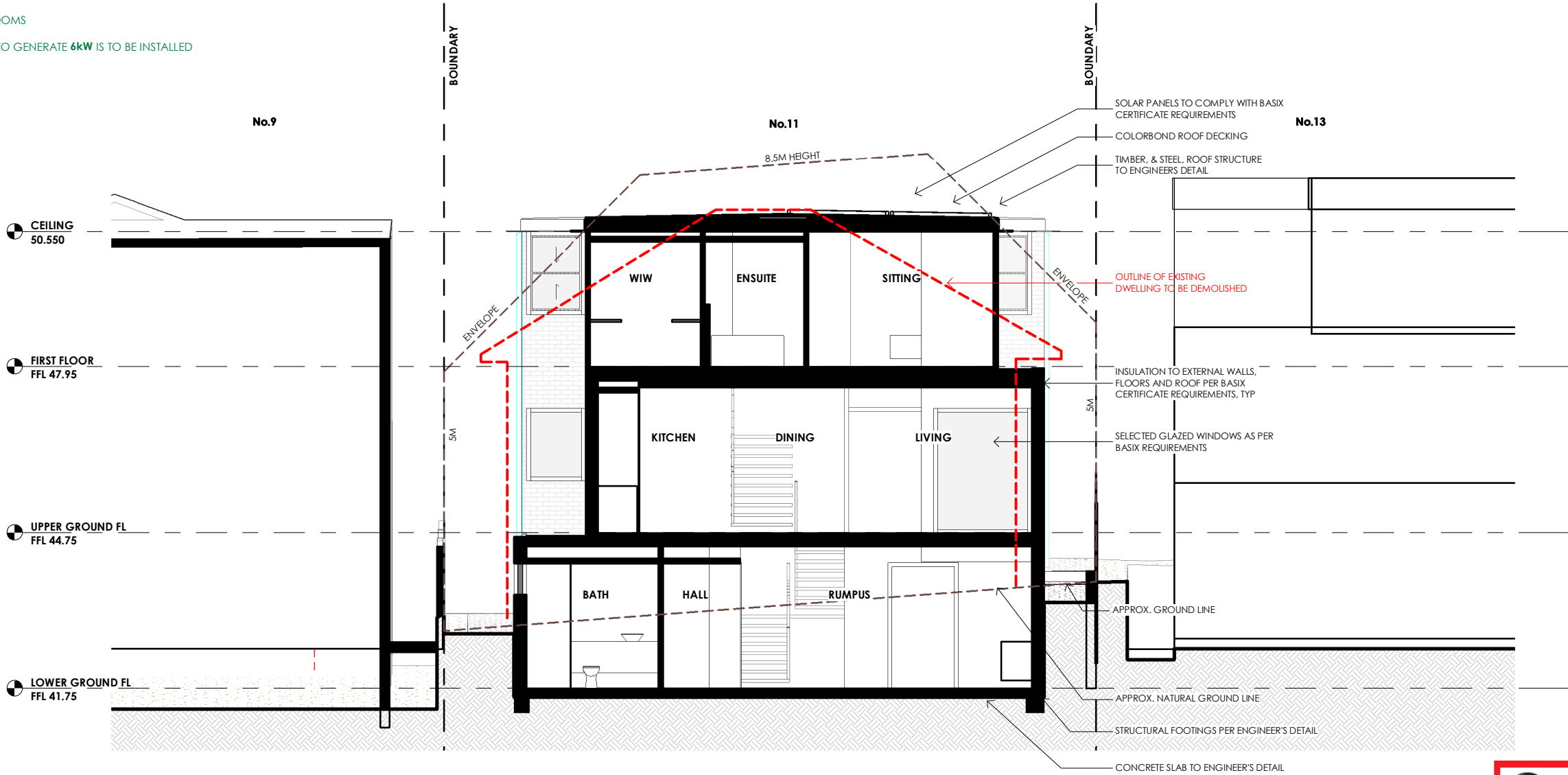
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NATURAL LIGHTING

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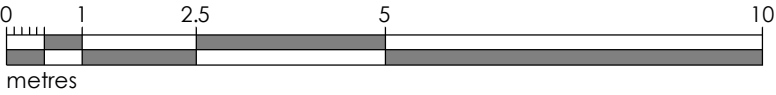


SECTION 2
1 : 100 @ A3



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TITLE

SECTIONS

SHEET

A301

A3 SCALE

1 : 100

PROJECT

PROPOSED NEW DWELLING WITH POOL, ASSOCIATED SITE WORKS. DEMOLITION OF EX'G DWELLING

CLIENT

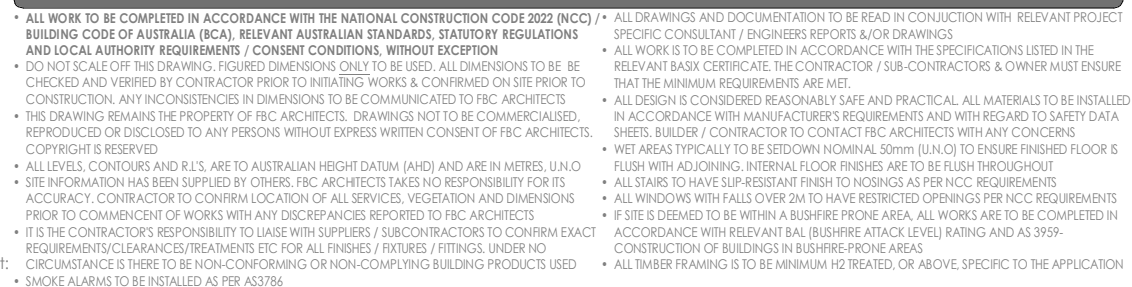
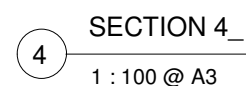
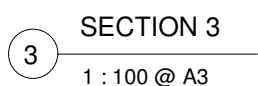
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TITTLE		SECTIONS		REVISIONS	
SHEET	A303	A3 SCALE	1 : 100		
PROJECT	PROPOSED NEW DWELLING WITH POOL, ASSOCIATED SITE WORKS. DEMOLITION OF EX'G DWELLING			2025.05.29	RE-ISSUE FOR DEVELOPMENT APPLICATION
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ADDRESS	11 LOCH ST, FRESHWATER LOT 2 IN D.P 14040			2025.02.26	ISSUE FOR CLIENT REVIEW
				DATE	DESCRIPTION

— STEEL EDGE TO LAWN

MULCHED GARDEN BED

TURF

TREE PLANTING					
CODE	BOTANICAL NAME	MATURE HEIGHT	COMMON NAME	POT SIZE	TOTAL
ACE pal DS	Acer palmatum 'Dissectum Seiryu'	4m	Japanese Maple 'Dissectum Seiryu'	45L	1
OLE eur M	Olea europaea 'Manzanillo'	6m	Spanish Olive Tree	100L	1

GROUND COVERS & CLIMBERS PLANTING				
CODE	BOTANICAL NAME	COMMON NAME	POT SIZE	TOTAL
AGA ten B	Agave 'Tennyson Blue'	Agave 'Blue Glow'	300mm	1
DIC rep	Dichondra repens	Kidney Weed	300mm	76
DOO asp	Doodia aspera	Prickly Rasp Fern	300mm	9
PHI xan	Philodendron 'Xanadu'	Xanadu	300mm	5



Sheet Number
LPL_1401

LEGEND

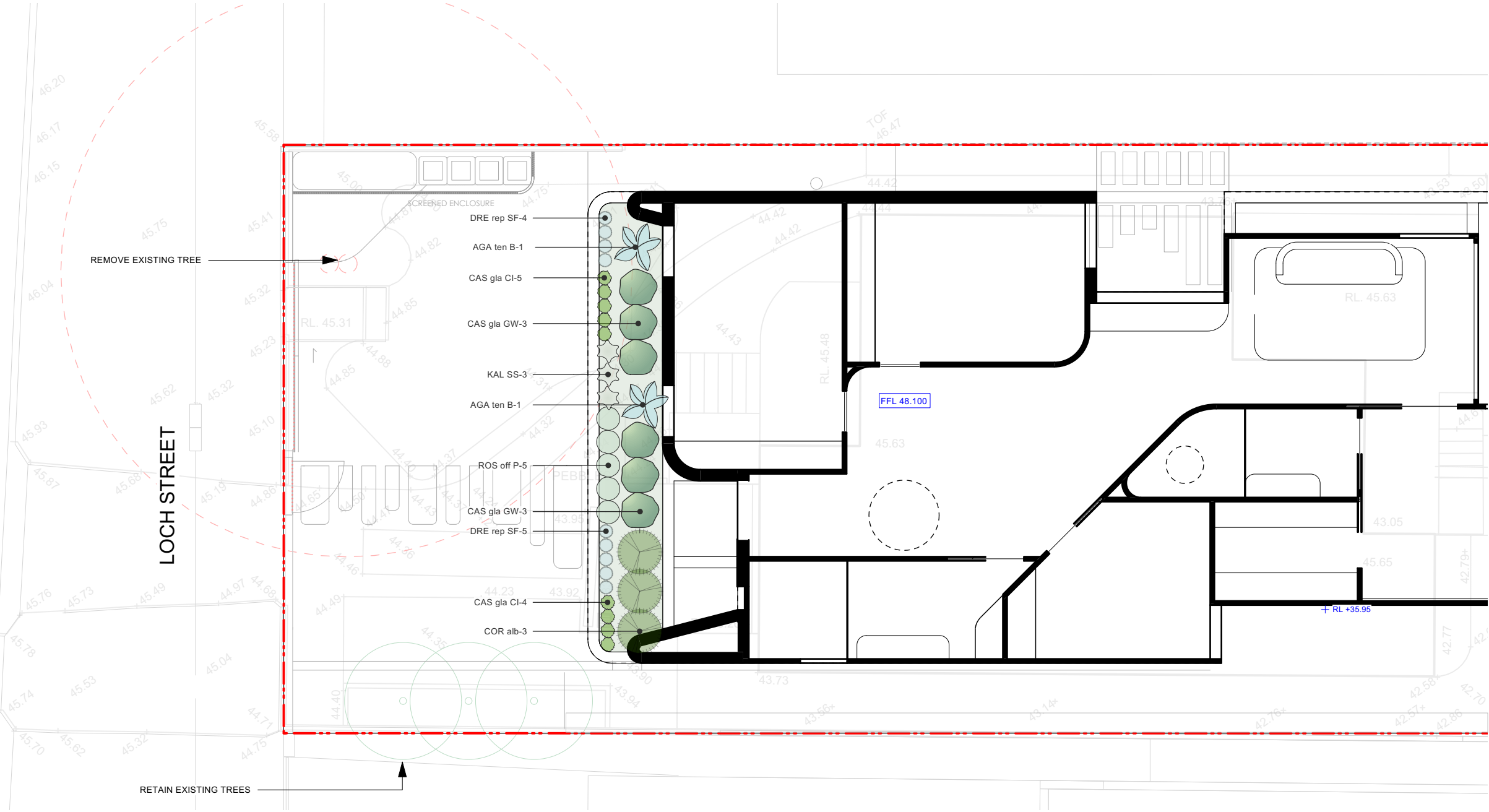
MULCHED GARDEN BED

PLANTING SCHEDULE

SHRUB PLANTING				
CODE	BOTANICAL NAME	COMMON NAME	POT SIZE	TOTAL
AGA ten B	Agave 'Tennyson Blue'	Agave 'Blue Glow'	300mm	2
CAS gla GW	Casuarina glauca 'Green wave'	Cousin It	140mm	6
COR alb	Correa alba	White Correa	300mm	3

GROUND COVERS & CLIMBERS PLANTING				
CODE	BOTANICAL NAME	COMMON NAME	POT SIZE	TOTAL
CAS gla CI	Casuarina glauca	Cousin It	140mm	9
DRE rep SF	Dichondra repens Silver Falls	Dichondra 'Silver Falls'	140mm	9
KAL SS	Kalanchoe beharensis	Felt bush	140mm	3
ROS off P	Rosmarinus officinalis 'Prostratus'	Prostrate rosemary	140mm	5

NOTE:
The plant symbols shown do not represent the exact placement of individual species but rather shows design intent. The plant numbers allow for plants to be spaced according to their growth habit and potential mature size. Exact plant locations will be confirmed prior to construction



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Project

George Aitken
11 Loch Street
Freshwater 2096 NSW

Project Number

LPL_2887

Stage

DEVELOPMENT APPLICATION

North



Scale

1:100@A3
0 1 2 M

Issue Log

D	ISSUE FOR DEVELOPMENT APPLICATION		29/05/2025
C	ISSUE FOR DEVELOPMENT APPLICATION	AT/RF	25/03/2025
B	ISSUE FOR DEVELOPMENT APPLICATION	AT/RF	19/12/2024
A	ISSUE FOR INFORMATION	AT/RF	13/12/2024

Rev	Revision Description	By / Checked	Date
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Sheet Title

LANDSCAPE PLAN FIRST FLOOR

Sheet Number

LPL_1402

LEGEND

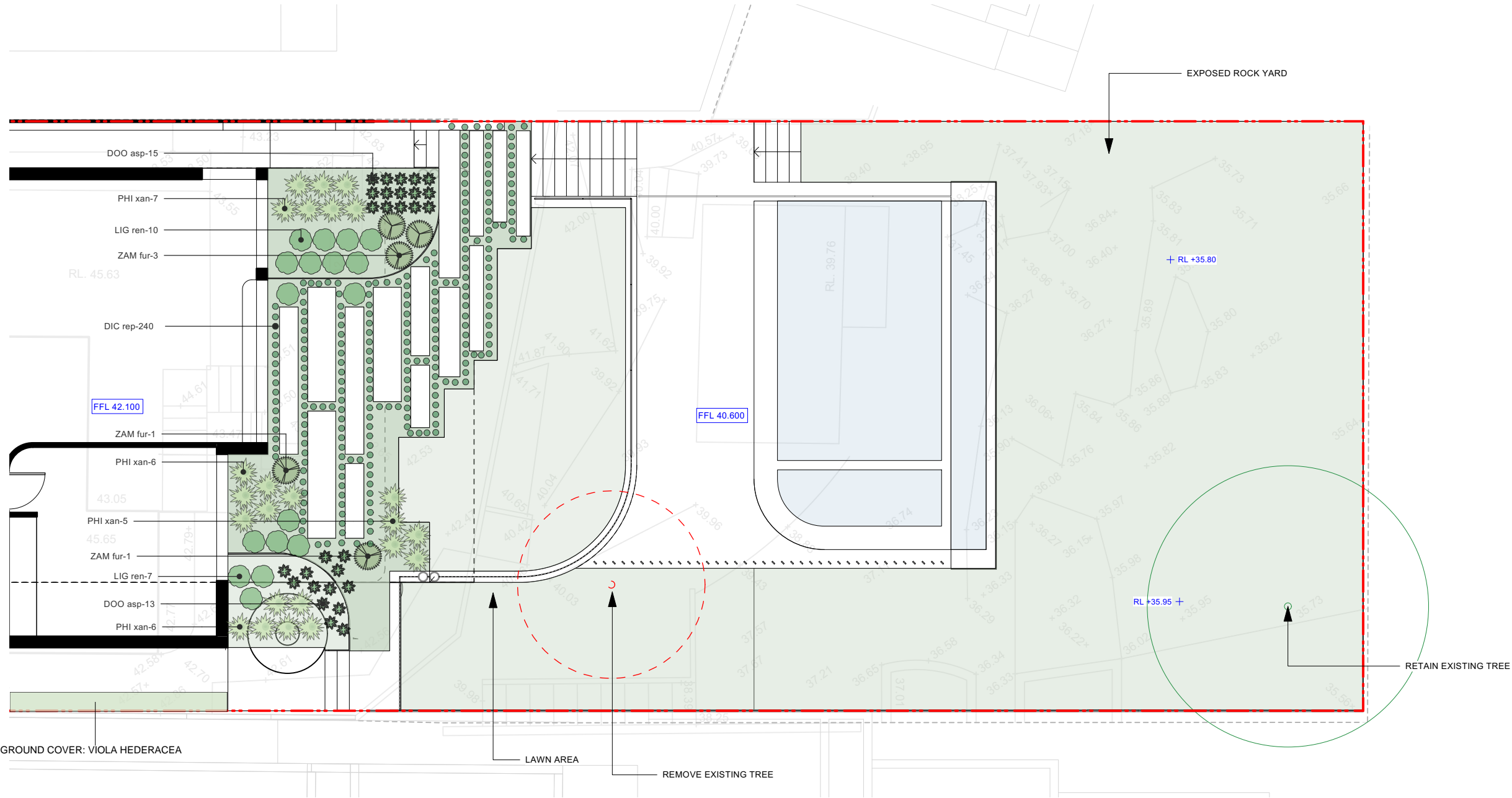
- STEEL EDGE TO LAWN
- MULCHED GARDEN BED
- TURF

NOTE:
The plant symbols shown do not represent the exact placement of individual species but rather shows design intent. The plant numbers allow for plants to be spaced according to their growth habit and potential mature size. Exact plant locations will be confirmed prior to construction

PLANTING SCHEDULE

SHRUB PLANTING				
CODE	BOTANICAL NAME	COMMON NAME	POT SIZE	TOTAL
DOO asp	Doodia aspera	Prickly Rasp Fern	300mm	28
LIG ren	Ligularia reniformis	Tractor seat	300mm	17
PHI xan	Philodendon 'Xanadu'	Xanadu	300mm	24
ZAM fur	Zamia furfuracea	Cardboard Cycad	300mm	5

GROUND COVERS & CLIMBERS PLANTING				
CODE	BOTANICAL NAME	COMMON NAME	POT SIZE	TOTAL
DIC rep	Dichondra repens	Kidney Weed	300mm	240





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North



Scale

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0 1 2 M

Issue Log

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Rev	Revision Description	By / Checked	Date
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Sheet Title

LANDSCAPE PLAN LOWER
GROUND

Sheet Number

LPL_1403






GENERAL NOTES:

- 1... These drawings shall be read in conjunction with Architectural and all other Consultant's drawings and specifications, and with such other written instructions as may be issued during the course of the works.
- 2... No building works shall be constructed on or over any allotment boundary or easement or other similar such property title without the necessary permits and/or approvals. These drawings do not constitute such permits and/or approvals irrespective of whether building works are so indicated on or over such property titles.

STORMWATER NOTES:

- 1... All plumbing and drainage within the site shall be constructed in accordance with **AS3500.3** Plumbing and Drainage - Stormwater drainage.
- 2... All pipes to have a minimum cover of 450mm under trafficable areas, and 100mm elsewhere - UNO.
- 3... All pipes to be laid on a minimum grade of 1% - UNO.
- 4... All pipes less than 300mm diameter to be uPVC - UNO.
- 5... Minimum surface grade of 0.5% for overland flow paths.
- 6... Plastic pits may be used in non-trafficable areas only.
- 7... All pipes to be SN6 sewer grade uPVC and shall be resistant to ultraviolet light when installed in direct sunlight.
- 8... Roof gutters to & downpipes to future design
- 9... Charged line pipework to be sewer grade.

Catchment Areas

-  Impervious area - first & upper ground
A = 47 m²
Connected to OSD tank via gravity system
-  Driveway area
A = 31 m²
-  Hardstand area
A = 90 m²
-  Main roof area
A = 145 m²
Connected to RWT2
-  Main roof area
A = 70 m²
Connected to RWT1

Compliance with Northern Beaches Council DCP:

OSD storage: 200 m³/ha = 633 m² x 0.02
= 12.66 m³

Permissible site discharge: 400 L/s/ha = 633 x 0.04
= 25.3 L/s

Required rainwater tank (BASIX): 7,000 L

Revised OSD storage = 12.66 - 7
= 5.66 m³

Q₁₀₀ RWT1 = 10.6L/s

Q_{OSD} outlet = 14.7 L/s

OSD outlet RL = 39.20

RL top of storage = 40.20 m

Available head = 1.0 m

Orifice plate diameter = 158 mm

SITE SUMMARY:

(1) SITE AREA	= 633 m ²
(2) TOTAL IMPERVIOUS	= 383 m ²
(3) TOTAL ROOF AREA CONNECTED TO TANKS	= 215 m ²
(4) TOTAL IMPERVIOUS AREA CONNECTED TO OSD	= 70 m ²
(5) TOTAL IMPERVIOUS UNMANAGED	= 101 m ²
(6) SITE DISCHARGE INDEX (5/1)	= 16.0 %

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SITE & CATCHMENT PLAN
PROPOSED DWELLING
11 LOCH STREET, FRESHWATER
G & L AITKEN

Drawing:

245016

Sheet:
C1

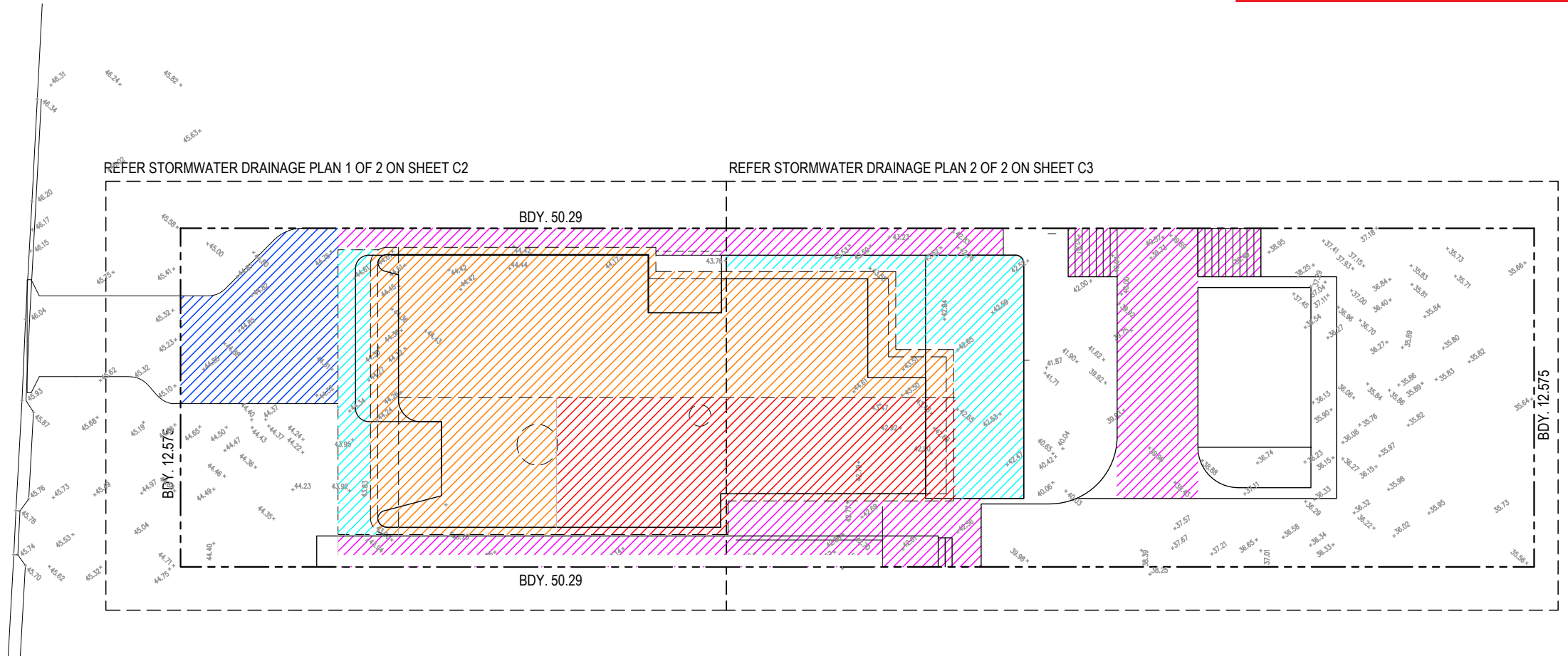
Revision:
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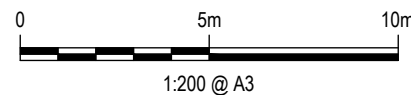
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SITE & CATCHMENT PLAN

SCALE 1:200



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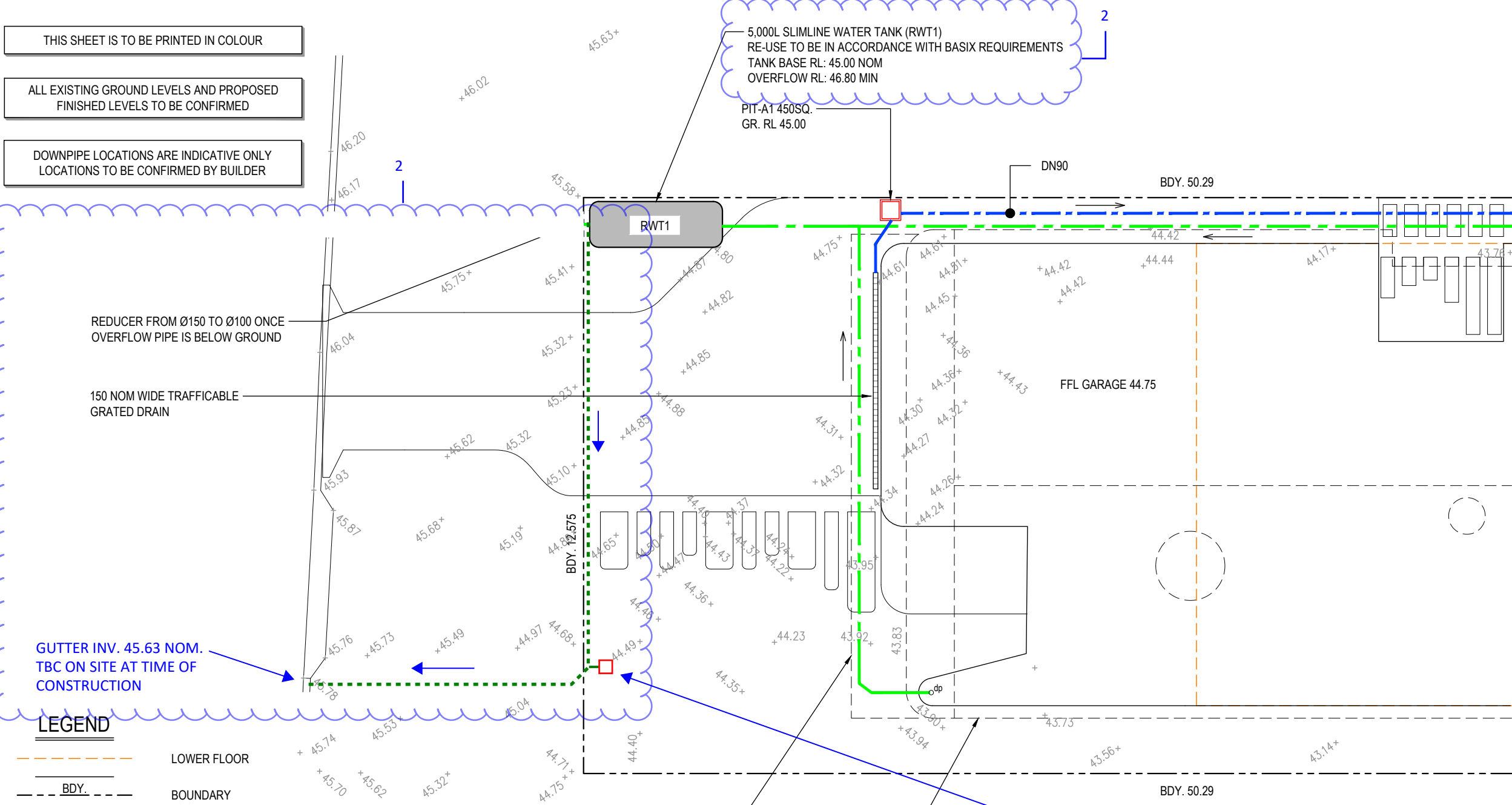
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ALL EXISTING GROUND LEVELS AND PROPOSED FINISHED LEVELS TO BE CONFIRMED

DOWNPIPE LOCATIONS ARE INDICATIVE ONLY LOCATIONS TO BE CONFIRMED BY BUILDER



STORMWATER DRAINAGE PLAN 1 OF 2
SCALE 1:200



northern beaches council

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REV.	DATE	ISSUE DESCRIPTION	DESIGN	DRAWN	CHECKED
2	29.05.25	Minor changes to RWT1 outlet	JDF		
1	21.03.25	Revised Architectural Drawings, DA Issue - Not for Construction	JDF	HH	JDF
-	18.12.24	DA Issue - Not for Construction	JDF	CRV/HH	JDF

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STORMWATER DRAINAGE PLAN 1 OF 2
PROPOSED DWELLING
11 LOCH STREET, FRESHWATER
G & L AITKEN

Drawing:	245016
Sheet:	C2
Revision:	2
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LOCATIONS TO BE CONFIRMED BY BUILDER

PIT-A3 450SQ.
GR. RL 42.00

PIT-A2 450SQ.
GR. RL 42.40
PROVIDE CAPPED
ENDS TO CHARGED
LINES

PIT-A4 450SQ.
GR. RL 40.30

APPROX LOCATION OF PROPOSED OSD TANK.
MINIMUM STORAGE VOLUME: 5700L
STORAGE: 1400W x 4200L x 1000D

PIT-A5 450SQ.
GR. RL 35.80

5000 MIN LONG LEVEL
SPREADER OUTLET.
LEVEL SPREADER TO BE
POSITIONED 3000 MIN OFF
REAR & SIDE BOUNDARIES.
FINAL LOCATION TBC BY
BUILDER ON SITE AT TIME OF
CONSTRUCTION

LINE OF UPPER GROUND FLOOR OVER
FFL 44.75

LINE OF ROOF OVER

LOWER GROUND FFL 41.75

FSL 42.00

FSL 40.30

LEGEND

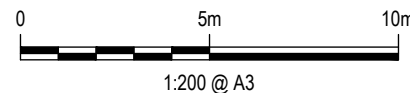
	LOWER GROUND FLOOR
	BOUNDARY
	STORMWATER DRAINAGE PIPE - REFER PLAN
	Ø100 CHARGED STORMWATER DRAINAGE PIPE
	STORMWATER DRAINAGE PIT - REFER PLAN
	DIRECTION OF ROOF DRAINAGE
	DIRECTION OF PIPE FLOW
	OVERLAND FLOW PATH
	DOWNPIPE

INDICATIVE 2,000L UNDERGROUND
WATER TANK (RWT2)
REUSE TO BE IN ACCORDANCE
WITH BASIX REQUIREMENTS

RETAINING WALL TO FUTURE DESIGN
- TYP.

STORMWATER DRAINAGE PLAN 2 OF 2

SCALE 1:200



450 SQ. SURCHARGE PIT
- RELIN HEAVY DUTY 410
SERIES - OR EQUIV.
GR. 35.90 NOM.

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STORMWATER DRAINAGE PLAN 2 OF 2
PROPOSED DWELLING
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Drawing: **245016**

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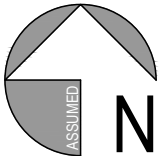
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THE ADEQUACY OF EXISTING DOWNPIPES AND
GUTTERS HAS NOT BEEN ASSESSED

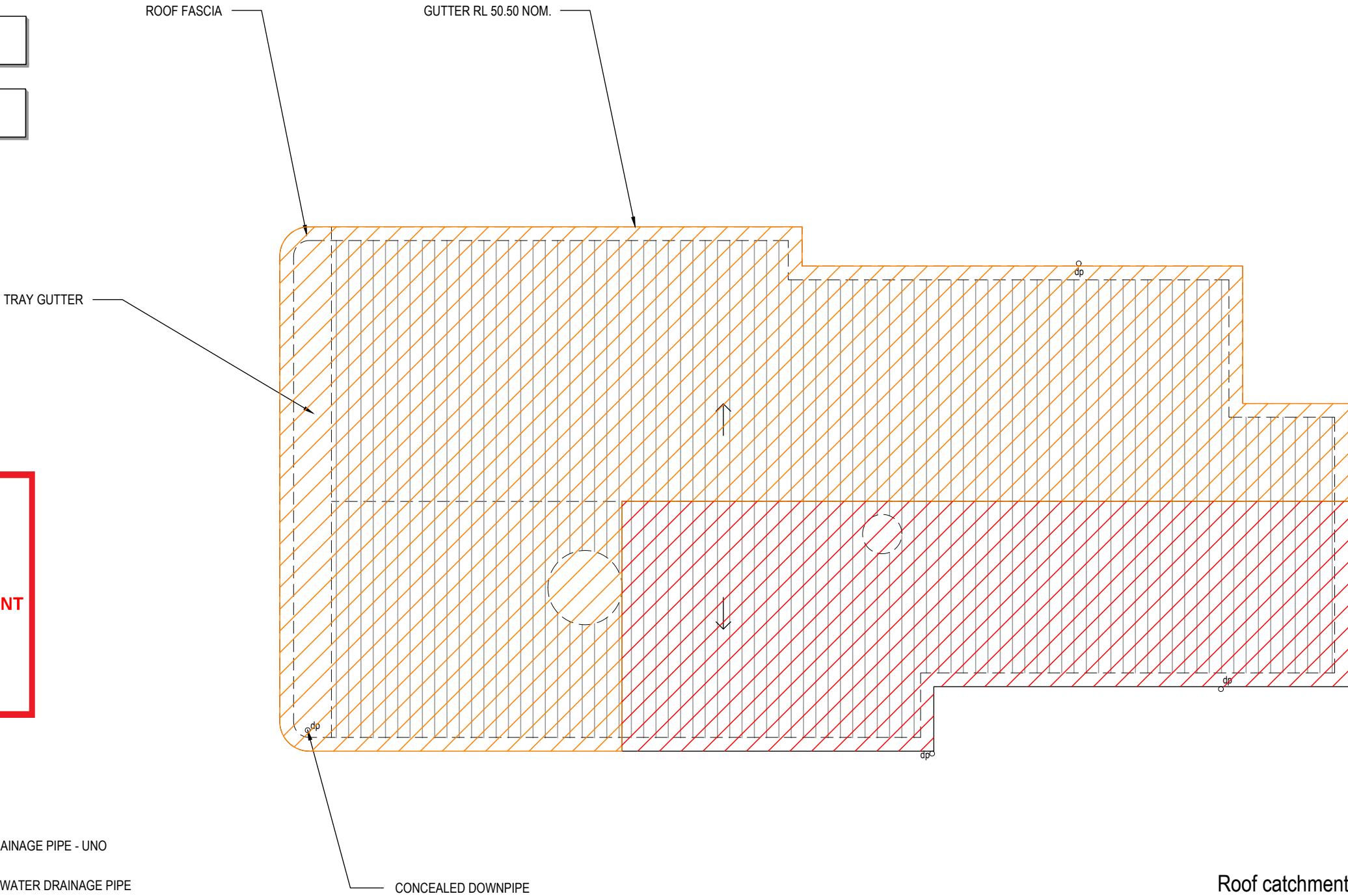


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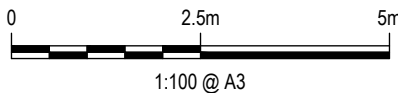
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- LEGEND**
- BDY. --- BOUNDARY
- Ø100 STORMWATER DRAINAGE PIPE - UNO
- Ø100 CHARGED STORMWATER DRAINAGE PIPE
- STORMWATER DRAINAGE PIT - REFER PLAN
- DIRECTION OF ROOF DRAINAGE
- DIRECTION OF PIPE FLOW
- OVERLAND FLOW PATH
- dp DOWNPIPE



ROOF DRAINAGE PLAN
SCALE 1:100



Roof catchment summary

-  Connected to RWT1
A = 145 m²
Q₂₀ = 8.1 L/s
Q₁₀₀ = 10.6 L/s
-  Connected to RWT1
A = 70 m²
Q₂₀ = 3.7 L/s
Q₁₀₀ = 5.1 L/s

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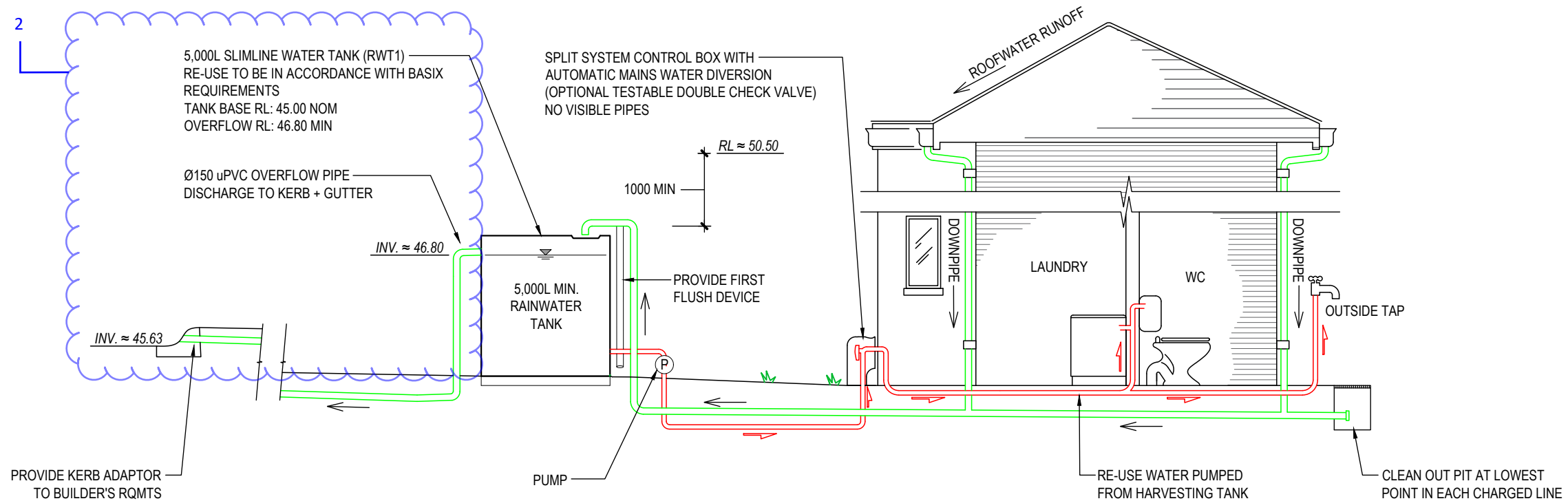


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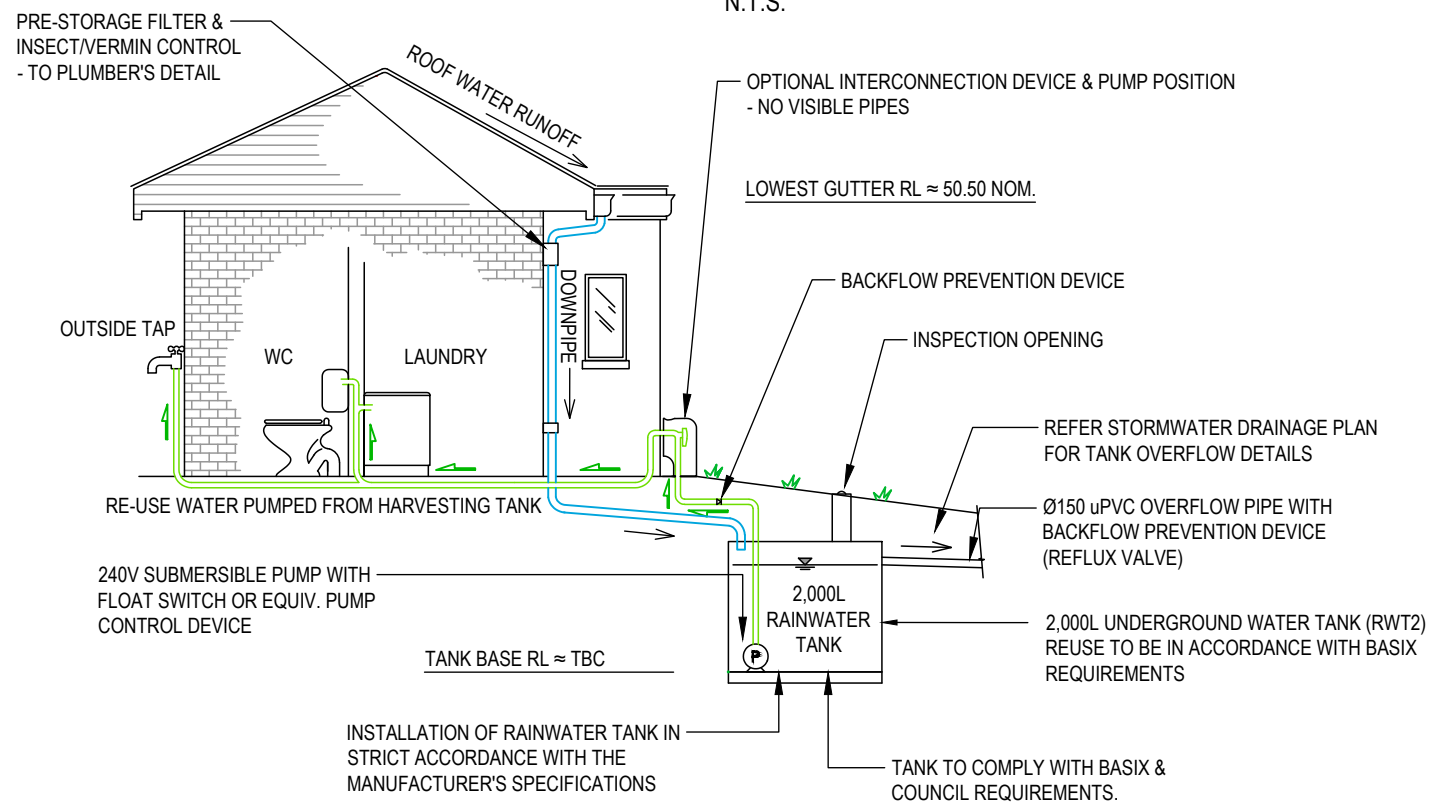
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ROOF DRAINAGE PLAN
PROPOSED DWELLING
11 LOCH STREET, FRESHWATER
G & L AITKEN

Drawing:	245016
Sheet:	C4
Revision:	2
Original Sheet Size: A3	



RWT1 HARVESTING TANK SCHEMATIC
N.T.S.



RWT2 HARVESTING TANK SCHEMATIC
N.T.S.

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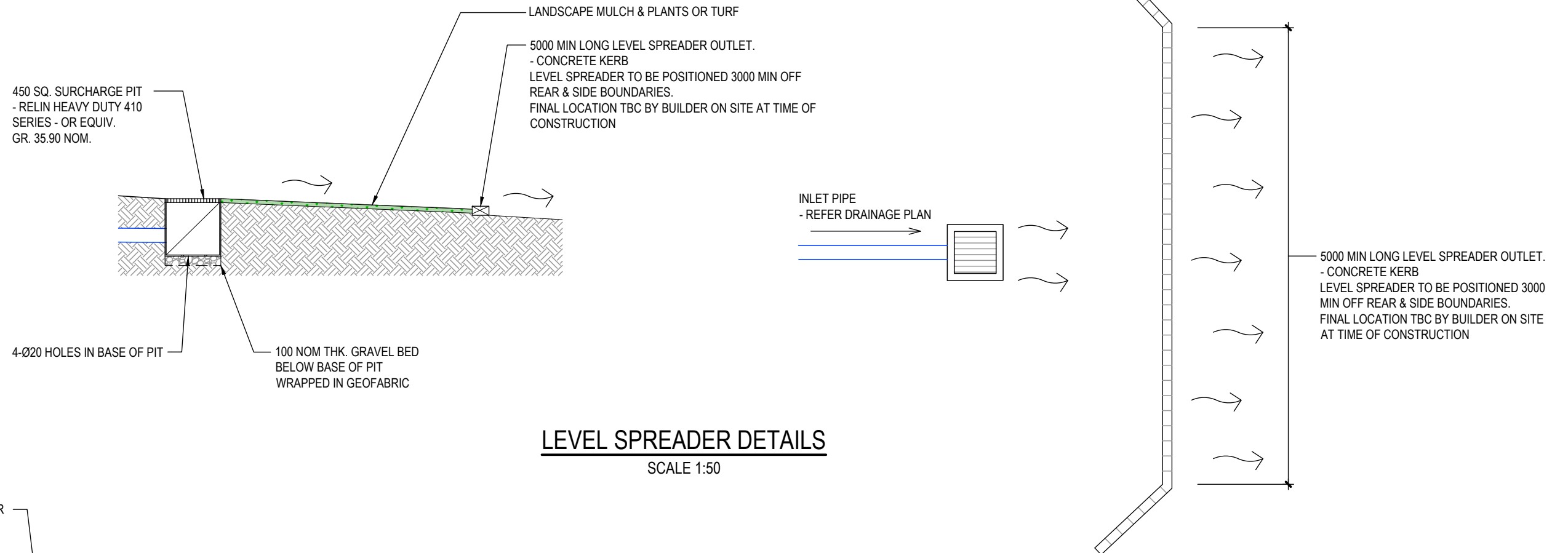
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**HARVESTING TANK SCHEMATICS
PROPOSED DWELLING
11 LOCH STREET, FRESHWATER
G & L AITKEN**

Drawing: **245016**

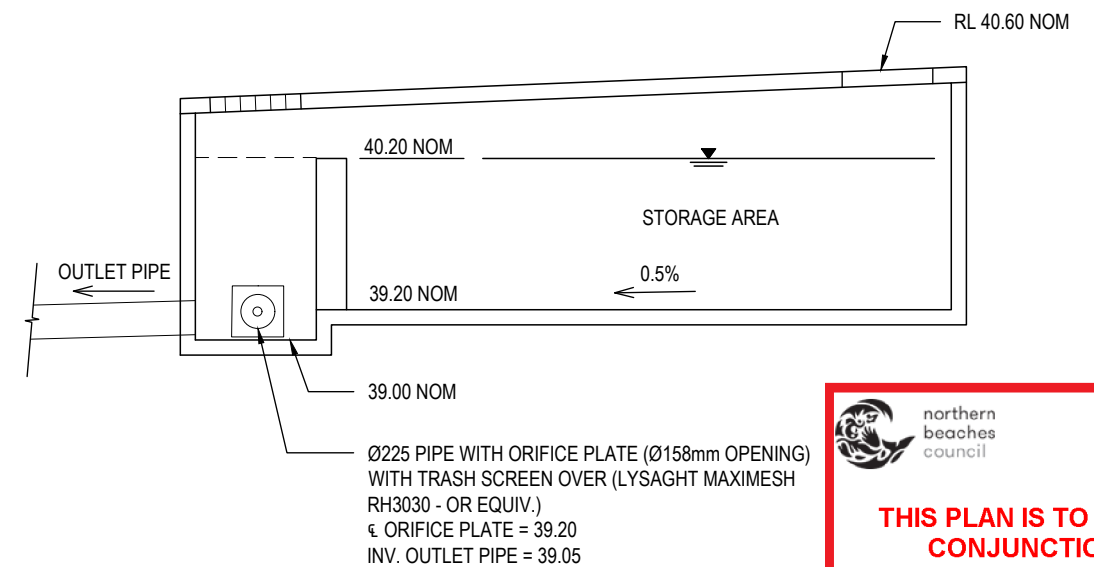
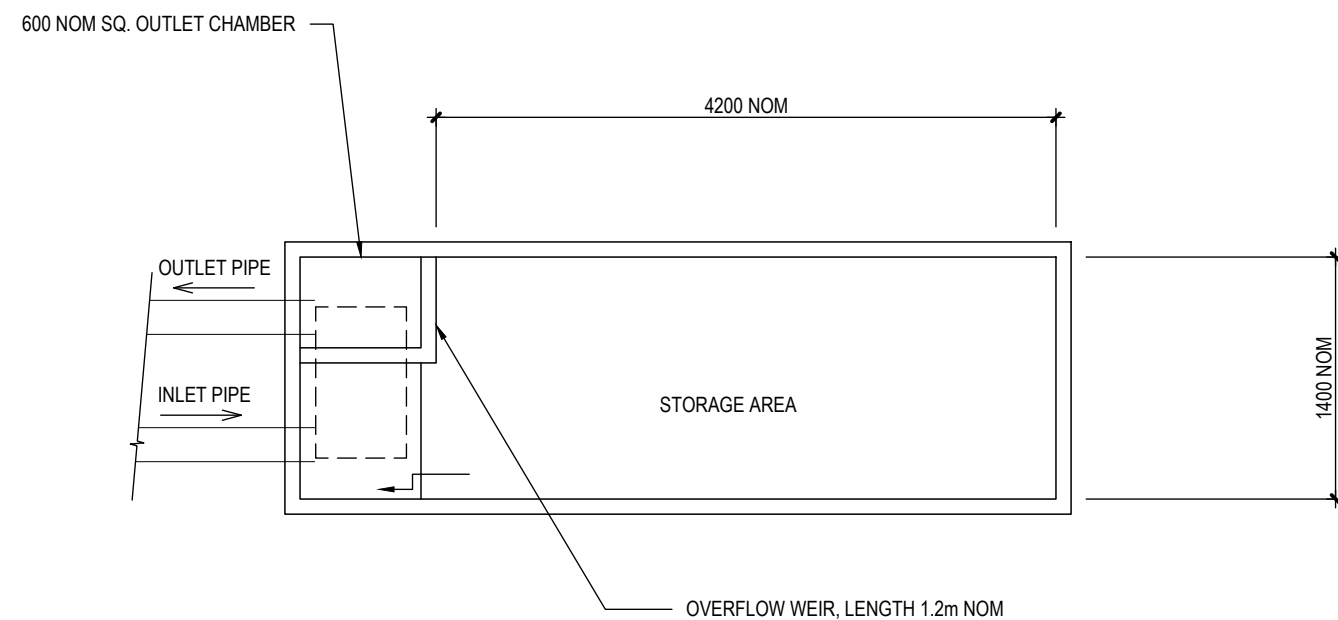
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LEVEL SPREADER DETAILS

SCALE 1:50



OSD TANK SCHEMATIC

N.T.S.



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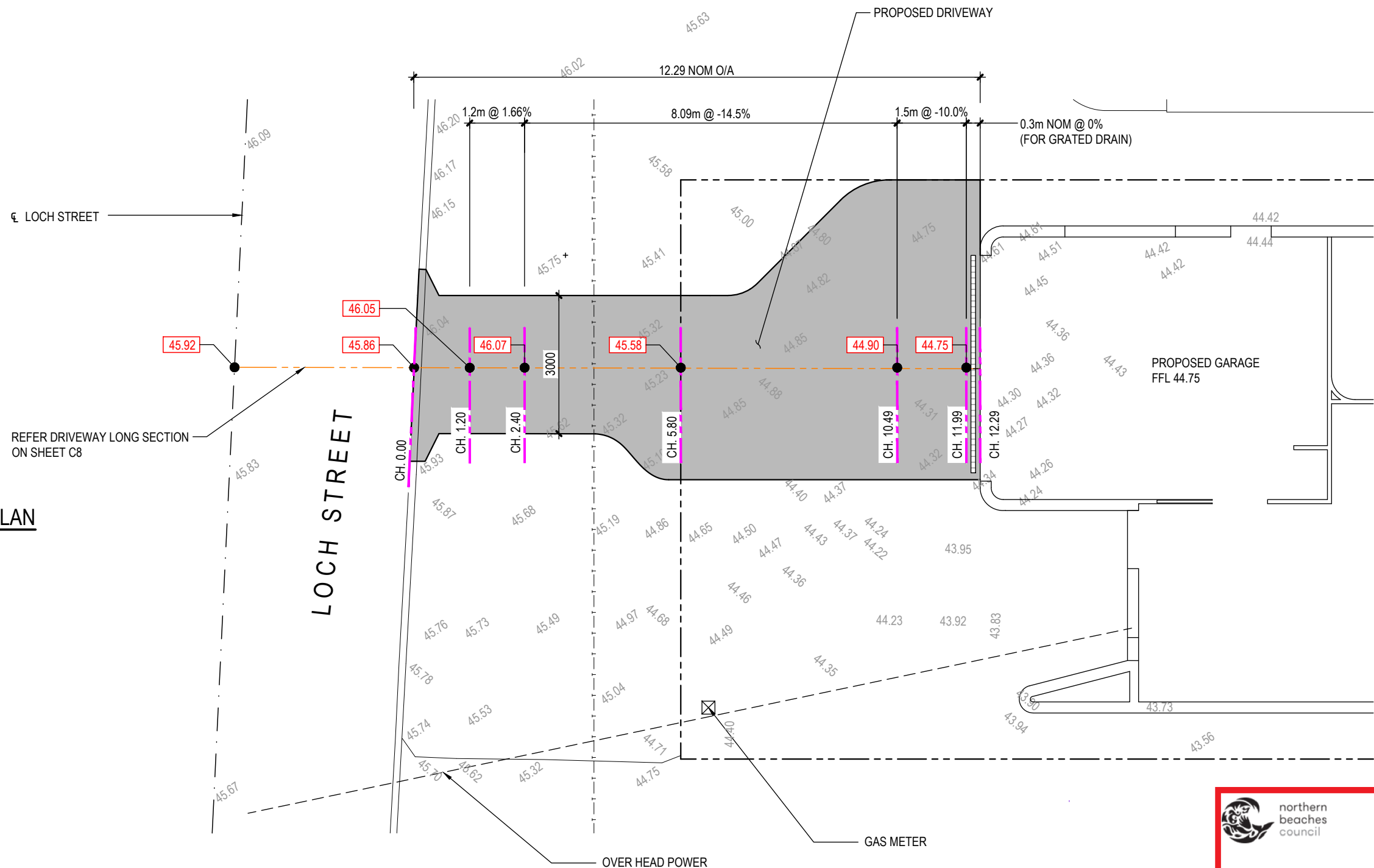
OSD TANK SCHEMATIC
PROPOSED DWELLING
11 LOCH STREET, FRESHWATER
G & L AITKEN

Drawing: **245016**

Sheet: **C6** Revision: **2**


Original Sheet Size: **A3**

DRIVEWAY PLAN
SCALE 1:100



LEGEND:

1.23 = PROPOSED FINISHED SURFACE LEVEL



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											Sheet: C7	Revision: 2
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