

10-28 Lawrence Street Freshwater Landscape Design Report

Date November 2024

Revision B

Client Lawrence Street Pty Ltd

Architect Chrofi



Landscape Design Report

Project Name: 10-28 Lawrence Street
Project Address: 10-28 Lawrence Street Freshwater, NSW
Client: Lawrence Street Pty Ltd
Architect: Chrofi

Revision	Issue Description	Date	By	Checked
A	Draft DA Submission	28.11.2024	JG	LB
B	DA Submission	29.11.2024	JG	LB



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Contents

Introduction		4
1.1	Purpose of Report	5
1.2	Reference Documents	6
1.3	Location & Context	7
1.4	Site Character	8
1.5	Site Analysis	9
Landscape Approach		10
2.1	Landscape Design Principles	11
2.2	Landscape Typologies	12
2.3	Design Statement	13
2.4	Visualisations	14
Landscape Plans		15
3.1	Ground Floor Plan	16
3.2	Level 01 Plan	17
3.3	Level 02 Plan	18
3.4	Level 03 Plan	19
3.5	Level 04 Plan (Rooftop)	20
3.6	Typical Details	21
3.7	Planting Palette	22
3.8	Planting Schedule	23
Landscape Maintenance		24
4.1	Landscape Maintenance Statement	25
4.2	Landscape Maintenance Schedule	27

1 Introduction

1.1 Purpose of Report

INTRODUCTION

360 Degrees Landscape Architects have been engaged by Lawrence Street Pty Ltd to prepare a Landscape Design document to support a Development Application for the development of a mixed-use development at 10-28 Lawrence Street, Freshwater. As part of a collaborative design team, 360 Degrees Landscape Architects propose to create an engaging and memorable landscape design that provides flexibility of use for the building's occupants and general public. Careful consideration of the surrounding context, architecture, site character and conceptual collaboration with the client, architects and consultant team has contributed to the landscape design solutions.

In general the Landscape Architectural design sets out to provide a stimulating environment responsive to the scale, function and location of the development. The plant selection has been composed of species suited to the various microclimatic conditions and site requirements with local native and indigenous species used where applicable, including a review of Council's weed management policy and the local Indigenous plant list.

The overall design aims for an environmental and socially sustainable landscape and an integrated landscape experience with the building architecture and function, activating the site and creating a vibrant precinct and place to live, visit and socialise.

REPORT OVERVIEW

This document sets forth the guiding principles for the landscape design, the public domain, communal outdoor spaces and private landscape amenity within the development at 10-28 Lawrence Street, Freshwater.

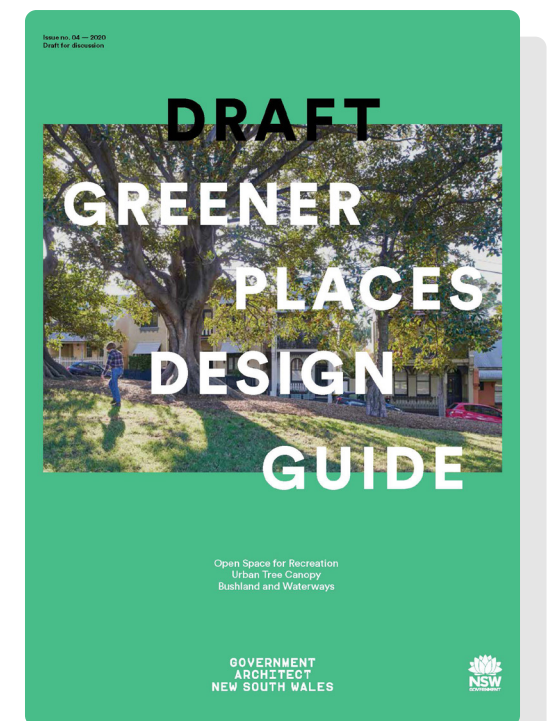
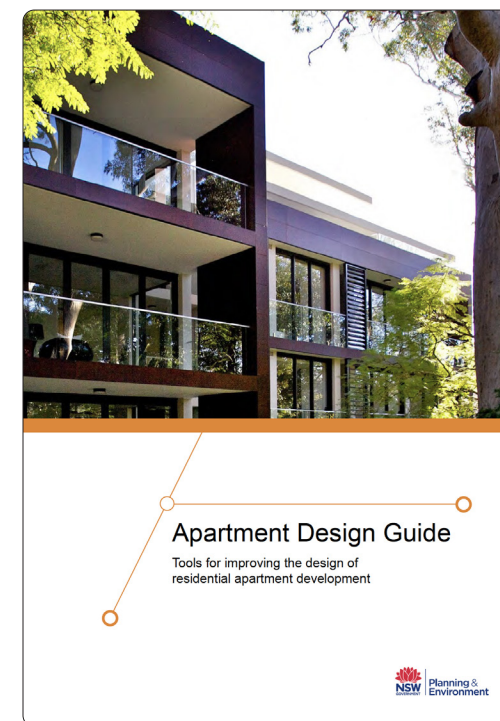
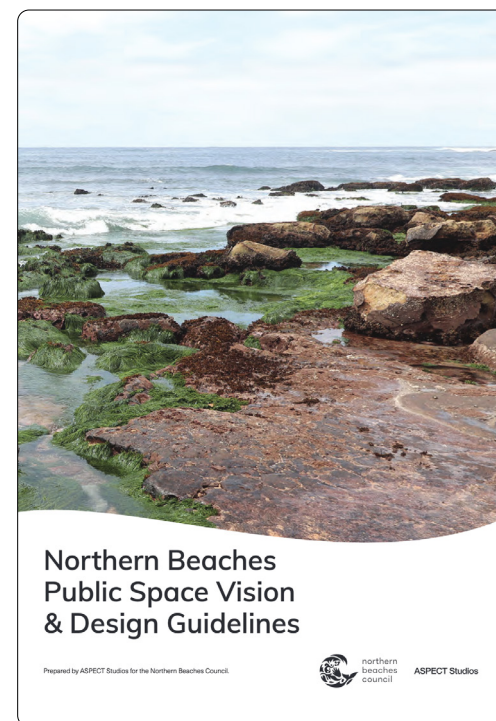


1.2 Reference Documents

Reference Documents

This document sets forth the guiding principles for the landscape design, the public domain, communal outdoor spaces and private landscape amenity within the development at 10-28 Lawrence Street, Freshwater. The proposed DA Landscape Plan has been designed and set out in accordance with;

- Warringah Council DCP 2011
- Warringah Council Local Strategic Planning statement
- Northern Beaches Public Space Vision & Design Guidelines
- NSW Apartment Design Guide
- Government Architect NSW (GANSW) - Greener Places Design Guide
- Architectural plans by Chrofi Architects



1.3 Location & Context

Site Description

Where surfboard riding was popularised in Australia. Freshwater is the quintessential coastal village, situated between 2 headlands and is part of the Manly-Freshwater National and World Surfing Reserve that recognises the historical, cultural, and environmental values of famous surfing beaches.

The site is located on the high end of Lawrence Street in the Village Centre with views east to the beach. Freshwater village is 500 metres inland from Freshwater Beach. The village is known for its attractive highstreet, which features boutique fashion and surf-wear, homewares, cafes, bars, beauticians and bakeries. The unique retail mix, combined with a laid-back atmosphere, beckons barefooted surfers, workers and families alike.

The suburb boasts many reserves and parks. Warringah Council has revealed its proposals for the Freshwater Beach Masterplan, which includes several upgrades to the seafront parkland adjacent to Freshwater Beach. The village services the populations of surrounding suburbs of Freshwater and Queenscliff. Shops and services – including pre-schools, community library and general practice – are concentrated on Lawrence and Albert Streets.

History and heritage are important to Freshwater. The Aboriginal Heritage Office, which celebrates and builds understanding of Aboriginal culture, moved to Freshwater in 2019. Next door is the Harbord Literary Institute, a heritage building that was constructed in 1918. Stories and history capture the local imagination. The genesis of surfing at 'Freshie' beach, the great Harbord/ Freshwater naming struggle, and the sacrifice of local soldiers abroad are some of the stories commemorated in print and public art.



1.4 Site Character

Precinct Character

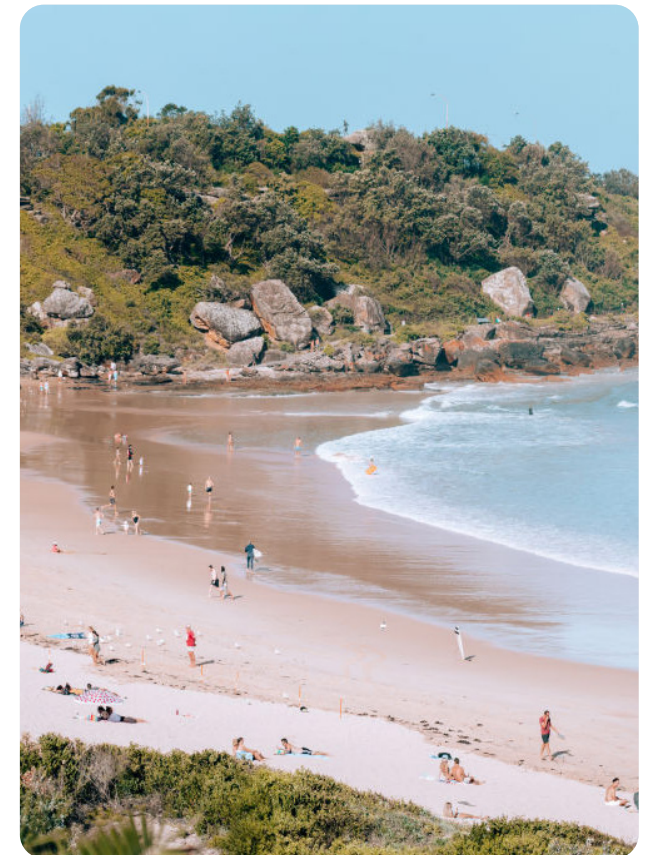
Freshwater has a bustling high street hub located along Albert Street and Lawrence Street. In the village, you can find a butcher, florist and bakeries as well as boutique fashion and homewares. A cluster of cafes and eateries has emerged in recent years, with an emphasis on day-time dining. The retail offerings are supplemented with local necessities including pharmacy and banks.

Beyond the high street, Freshwater businesses are predominantly professional services, scientific and technical services (28.3%). This is followed by construction (19.5%) and health care and social assistance businesses (6.1%). This reflects the diverse business opportunities harnessed in Freshwater.

Landscape Character

Freshwater is a coastal suburb, rich in recreational space. The prized Freshwater Beach and iconic ocean pool are a short stroll from the village centre. The suburb boasts many reserves and parks. Freshwater Beach Reserve is very popular for picnics and barbecues – particularly in the summer – and Jacka Park, Freshwater Community Garden and Freshwater View Reserve are favourite places for play, cultivation and celebration.

The town centre is zoned mixed-use and features retail on the ground floor. Outside of the town centre, Freshwater is largely residential. In recent years, redevelopment on Lawrence and Albert Streets has seen the introduction of shop-top housing in the village centre. Along the southern border of Freshwater there is a concentration of apartment blocks. 57% of dwellings in Freshwater are medium to high density, compared to the Northern Beaches average of 43%. Freshwater also includes a small pocket of light industrial land along Pittwater Road. This pocket is useful for housing urban services – such as mechanics – and large format retail.



1.5 Site Analysis

Site Analysis

The site has a primary street frontage to Lawrence Street. The site is currently occupied by shop-top housing which services the surrounding community and visitors. The site frontage to Lawrence St is an active retail corridor busy with village traffic and people heading east to the Beach. The site has direct linkages to the adjacent Freshwater Park, and is in close proximity to the City's Commercial Centre.

SURROUNDING DEVELOPMENT

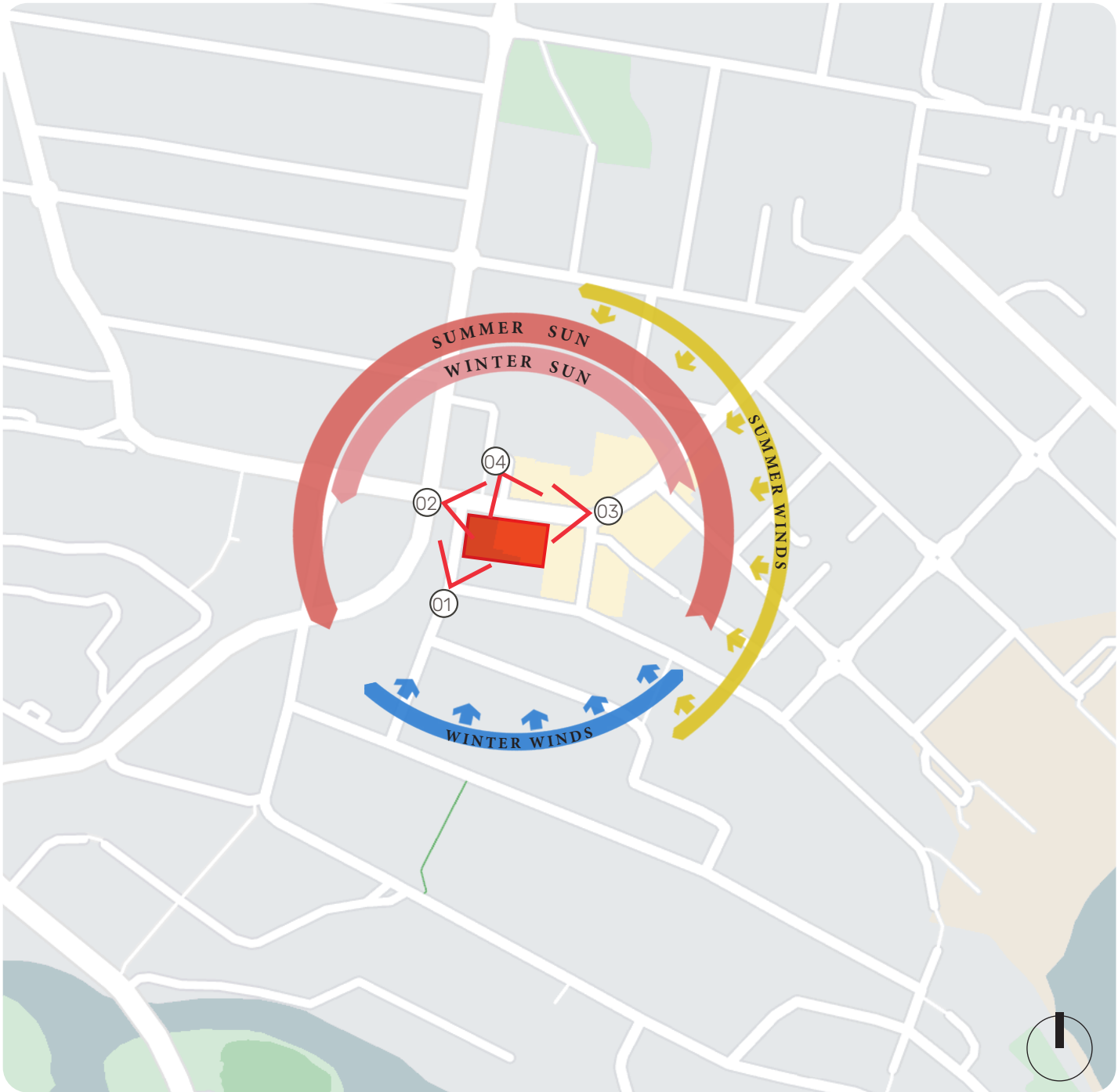
One of the biggest new residential projects from the past few years was the redevelopment of the Harbord Diggers club into a sleek new precinct, including over-55s residences, restaurants, bars, a gym, cafe and terrace with dramatic ocean views.

Another oceanfront head-turner is the recent transformation of the old-time Harbord Beach Hotel into the chic new Harbord Hotel – an instant hit with Freshie locals. Directly adjacent 10-28 Lawrence Street on the corner of Dowling, construction has commenced on a boutique mixed-use multi residential development.

Development at 10-28 Lawrence St will follow these examples to create a precinct representative and sympathetic of Freshwater's village lifestyle, and coastal landscape.



10-28 Lawrence Street – Freshwater
Landscape Design Report
Rev B November 2024



2 Landscape Approach

2.1 Landscape Design Principles

Enhance the Public Domain experience for the precinct

Grounded in a verdant landscape, the public domain creates a vibrant exchange between the building and community.

The ground floor engages with the community, extending the public realm within the site, providing retail tenancies and an activated street frontage for public occupation. The public offerings and connections ensure successful patronage and activation of the site

- Create spaces which encourage social gathering and activation of the streetscape
- Enliven the public streetscape with a varied offering of retail and commercial tenancies
- Enhance the street presence along Tweed Coast Road through local native landscape treatment



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Landscape Design Report
Rev B November 2024

Be recognisably ‘Freshwater’, and complement its unique identity

The development provides an opportunity to create a landscape that reflects Freshwater’s relaxed lifestyle and display its diverse and beautiful flora.

- Verdant landscape consisting of predominantly local native species and is distinct from the surrounding commercial developments
- Use planting to create environments representative of local ecosystems and create biodiverse habitat
- Celebrate the Architecture through landscape integration and connection with the building
- Use materials complementary of the local area
-



Provide contemporary communal amenity and facilities

The design provides an abundance of landscaping opportunities throughout the site, providing residents and visitors with connection to landscape, and varied garden experiences.

- Adaptive & flexible outdoor spaces that encourage social interaction, chance encounters and active occupation
- Design varied outdoor respite, gathering and movement spaces to provide options for year round comfort and use
- The L04 roof conceals a private exclusive use terrace. The facilities provide space for residents to be immersed in nature, and benefit from northern aspect and eastern view toward the coastline.



Incorporate environmentally sustainable initiatives

Sustainable landscape principles underpin all aspects of the landscape design.

Integration of landscape and architecture in addition to its social benefit, also provides environmental benefits including reduction of the heat island effect and creation of urban habitat.

- Biophilic benefits through connection to nature
- Inclusion of Green Roofs provide climatic balance to urban centres to reduce ambient temperatures
- The ecological value of the development is improved through the application of extensive gardens
- Improve habitat through considered selection of appropriate local and endemic plant species



2.2 Landscape Typologies

Ground Floor Retail / Public Domain

The retail laneway and public domain is a landscaped entrance to the building. It imbues the architecture with a calm and welcoming overlay that entices residence and visitors to slow, sit, and occupy the space.

Not only a transient space for arrival and departure, it is a place to linger and engage with conversation and chance encounters with neighbours and develop a strong social fabric intrinsic to Freshwater.

The subtle landscape gesture provides an external space which supports the retail tenancies, offering option for outdoor dining, or space for respite to sit and observe the gardens which inhabit various corners of the building.



Lightwells, Balconies & Courtyards

Outlook to landscape is provided from most aspects of the development, including corridors, rooms and common internal amenity.

A series of terracing planters to the south follow the sites topography and give a verdant visual separation and privacy between apartments and the neighbouring houses.

Landscape is injected into all aspects of the built form, occupying balcony edges, awnings and walls, while carefully considered voids provide passive air flow, natural light and ventilation to create a natural environment for both pedestrian comfort and habitat.



Roof

The communal roof garden will offer occupants opportunity for respite, exercise and well-being, leisure (bbq) and private retreat. The restrained palette and composition allows the landscape to be celebrated.

The roof is populated with the twisted pandanus found along the coast, as well as framing views of the iconic northern beaches coastline.



Building Edge

The building edges are occupied by landscape. The architectural parapet edge has been designed to incorporate linear planters to the northern street front and rear western edge.

The buildings landscape contributes as much to the public, surrounding developments and character of the area as it does to its inhabitants. The facade treatment also establishes a connection to Freshwater Village and begins a dialogue of landscape which continues beyond the boundaries of the property to enliven and support the streets retail and shopping precinct.



2.4 Landscape Design Statement

DESIGN SUMMARY

The landscape is conceived as a holistic urban garden, it is a counterpoint to the modern architecture and a complement to the surrounding ecology. The whole of building landscape approach seeks to create a cohesive environmental and socially sustainable landscape.

This development demonstrates a progressive approach to landscape in our urban centres. In this development, the garden contributes as much to the local ecology as it does to the enjoyment of the buildings tenants. The studied integration of landscape and architecture also provides environmental benefits including reduction of the heat island effect, stormwater absorption and creation of urban habitat.

LANDSCAPE AMENITY

The Streetscape, and retail precinct are for residents and visitors, integrating the private and the public domain. The landscape allows for visual clarity to the lobby entries with generous public dining concourse and articulated entries with on street activation engaged by retail tenancies.

The proposed planting, simple planter edges and continuous surface treatment to the public domain create a unified street edge and continuous pedestrian space. The entries from the street and the façades of the new building articulates the main entry points from Lawrence Street. The architectural design establishes clear lobby entry points, which are reinforced through integrated gardens, while the addition of laneway gardens unifies the precinct and establishes a clear identity sympathetic to Freshwater's character.

From a social sustainability standpoint, the building's central lane will provide a landscape offering unique to the development. As a passive garden it focouses on ecology and habitat creation, providing an environment that supports local fauna, playing host to native bird, reptile and insect communities. Additionally this garden facilitates passive respite through garden exploration and direct connection to nature. This garden is unpretentious, and represents the coastal foreshore landscape which Freshwater is recognised for.

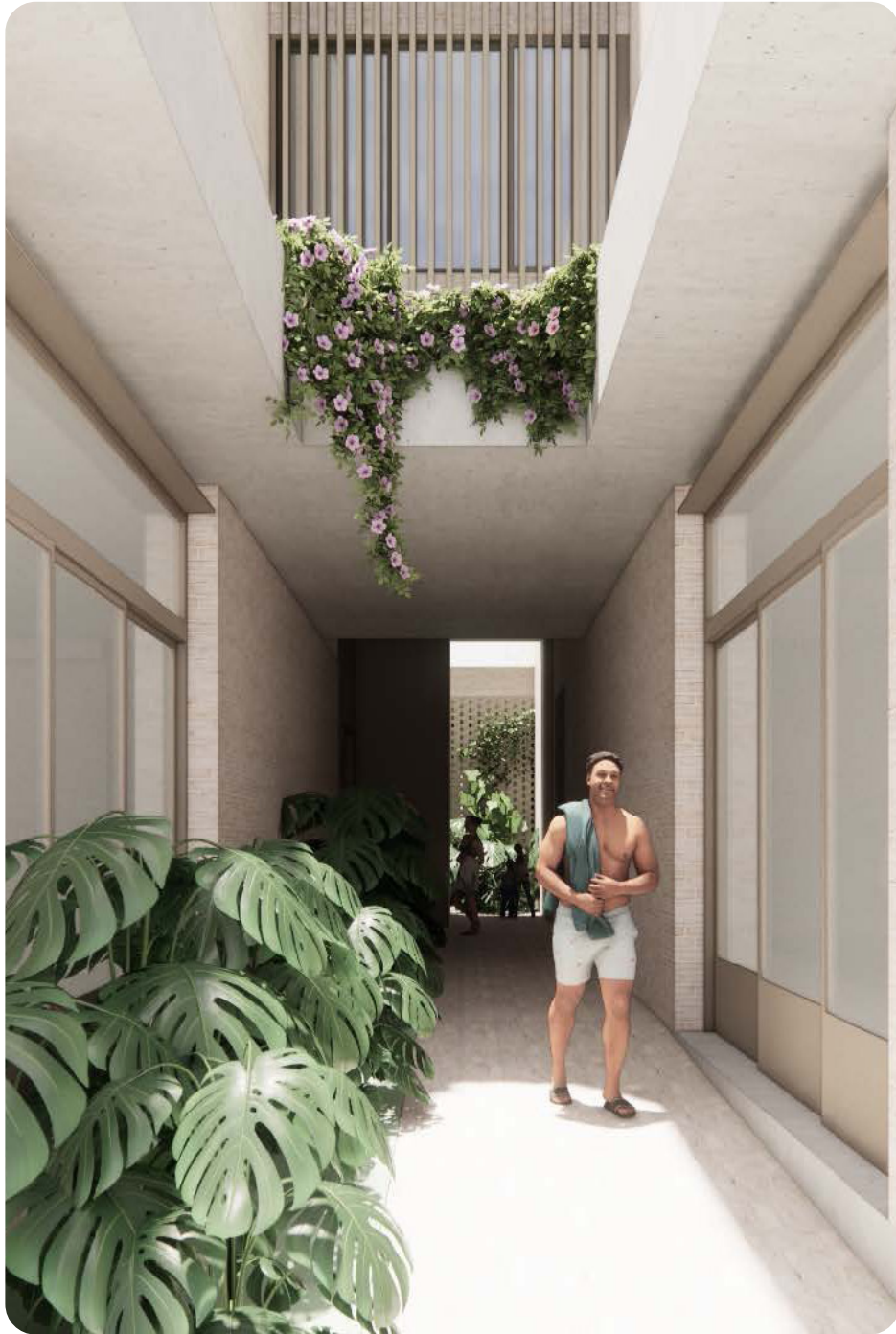
Fundamentally the Landscape Architectural design sets out to provide a stimulating environment responsive to the scale of the development that adheres to the local development controls. Innovative spatial responses have been developed by creating a protected rear courtyard for south facing apartments, providing expansive gardens the offer privacy between the development and adjoining residence.

CONCLUSION

The landscape design supports the projects value proposition of establishing an environment that fosters community ownership, which caters to resident's needs through engaging and memorable landscape design. The proposed landscape plan encourages indoor/outdoor relationships, the buildings edge seamlessly transitions to the surrounding landscape, offering a unified internal and external spatial experience. We believe that the proposed Landscape design for the development will contribute to the urban character and visual quality of the area and provide a rich and rewarding environment for residents to promote environmental and social sustainability.



2.4 Landscape Visuals



3 Landscape Plans

3.1 Ground Floor Plan

- LEGEND
- 1

Public Domain in accordance with Warringah Council Public Domain Guidelines.
- 2

Existing Pedestrian crossing and planter
- 3

Retain Existing Footpath dining and umbrellas
- 4

Proposed new planters to street verge.
- 5

Planter announces entrance and discretely integrates the level transition. Refer planting palette for species list.
- 6

Raised seating platform with planter provides social space to laneway activated by adjacent retail tenancies. Palm trees occupy the central planter fronting the street extending between the buildings wings, marking the entrance and reflecting the surrounding coastal landscape.
- 7

Rear garden with lightwell above providing tranquil garden to the end of lane and visual interest.
- 8

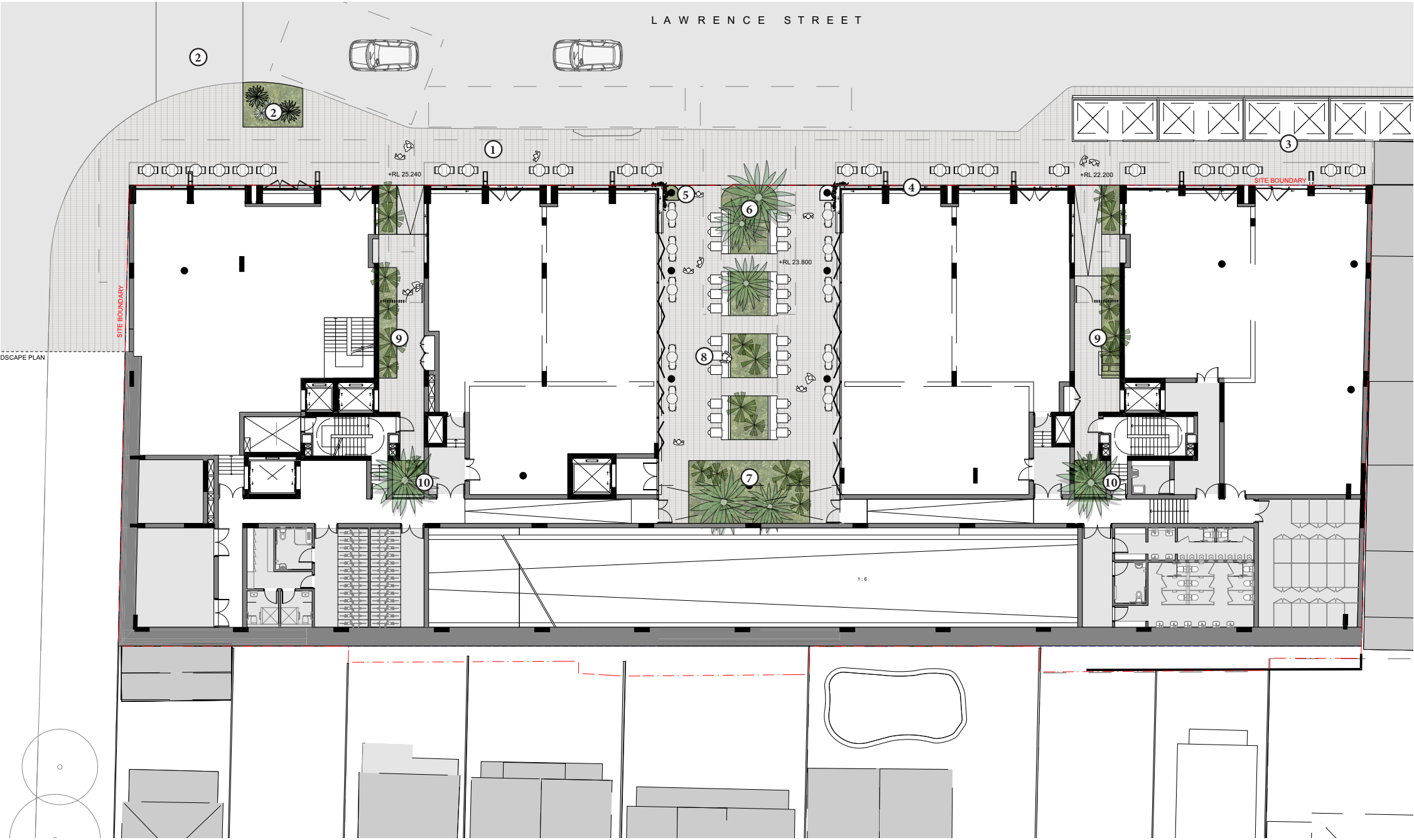
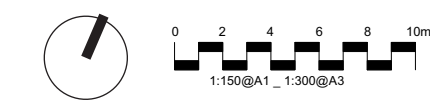
Bench seating and external dining tables provide pocketed spaces for visitos to occupy. Intended as passive spaces, the public can find spaces to read, meet, work, or have a quiet place of reflection. The areas can also operate as dedicated outdoor dining for adjacent tenancies.
- 9

Private residential lobby entries are occupied by gardens creating a landscape corridor and soft counterpoint to the architecture.
- 10

Lightwell gardens at the residential lift lobbies provides natural solar access, passive airflow and verdant landscape. Palm trees extend vertically through the lightwell.

NOTE.

PUBLIC DOMAIN WORKS SHOWN IN DA PLANS ARE INDICATIVE AND SUBJECT TO A SEPARATE PUBLIC DOMAIN CC SUBMISSION.



3.2 Level 01 Plan

- LEGEND
- 1

Public Domain in accordance with City of Freshwater Public Domain Guidelines.
- 2

Existing tree to be removed. Remove existing lawn and pave in accordance with Warringah Council Public Domain Guidelines.
- 3

Existing tree in lawn to be retained.
- 4

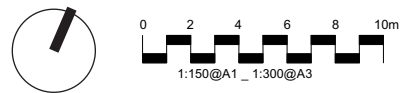
New Vehicle driveway crossover in accordance with Warringah Council Public Domain Guidelines. Refer civil engineers design for details.
- 5

Building Awning over Lawrence St planted with shallow soil profile and dunal plant species. Species include Casuarina cousin it, carpobrotus, canavalia and lomandra. Refer planting palette for species list.
- 6

Private residential courtyard with extensive podium landscape. Planting consisting of large screening trees (tristaniopsis, tuckeroos and banksias) underplanted with shrubs, grasses and ground covers. Tree canopy punctuated with palms, including Kentias and livistonas. Refer planting palette for species list.
- 7

Extensive Deep soil gardens. Planting consists of mixed palms, trees, and understory planting. Key species include Baksias, Kentias, Livistonas, and Tristaniopsis. Refer planting palette for species list.

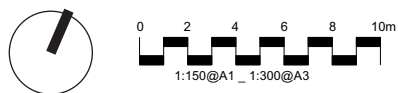
NOTE.
PUBLIC DOMAIN WORKS SHOWN IN DA PLANS ARE
INDICATIVE AND SUBJECT TO A SEPARATE PUBLIC
DOMAIN CC SUBMISSION.



3.3 Level 02 Plan

LEGEND

- | | |
|---|--|
| 1 | Private residential courtyard with extensive podium landscape. Planting consisting of large screening trees (tristaniopsis, tuckeroos and banksias) underplanted with shrubs, grasses and ground covers. Tree canopy punctuated with palms, including Kentias and livistonas. Refer planting palette for species list. |
| 2 | Private residential balconies with planter integrated into parapet edge to provide additional privacy and visual separation to adjacent properties to the south. |
| 3 | Landscape to lower level 1 terrace (shown in background) |
| 4 | Level 1 awning below (shown in background) |



3.4 Level 03 Plan

LEGEND

- 1 Private residential balconies with planter integrated into parapet edge to provide additional privacy and visual separation to adjacent properties to the south.

LAWRENCE STREET



3.5 Level 04 Plan (Rooftop)

- LEGEND
- 1

450mm high parapet wall with garden and balustrade to perimeter. Balustrade concealed within garden,
- 2

Outdoor dining area with central seating space, pergola strucutre over head and edge seating wall with steps up to lawn
- 3

Compliant 1:20 walkway behind BBQ up to lawn and gardens
- 4

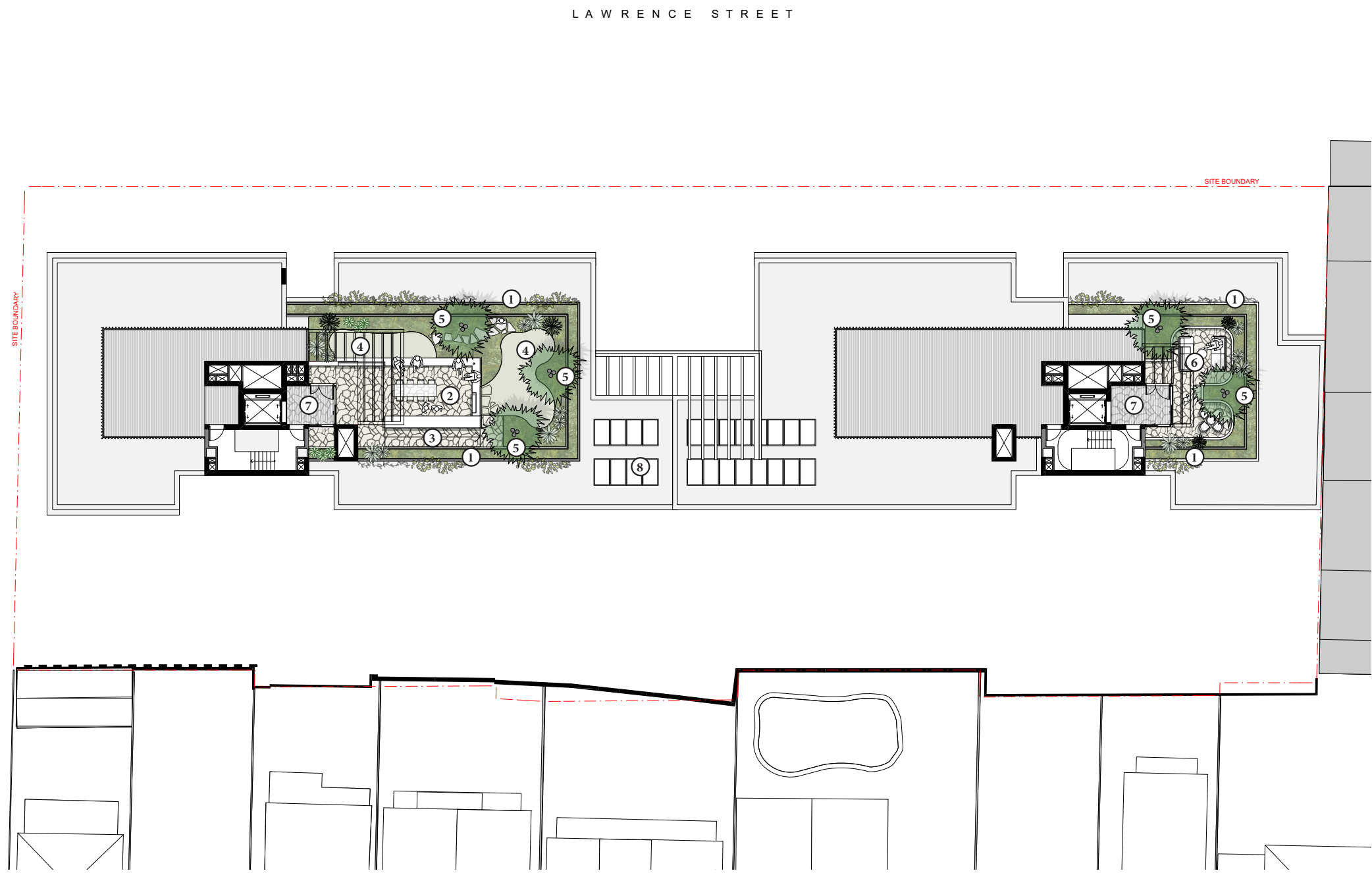
Pocketed lawn spaces for quiet retreat and respite
- 5

Feature pandanus trees in garden to frame views and provide shade.
- 6

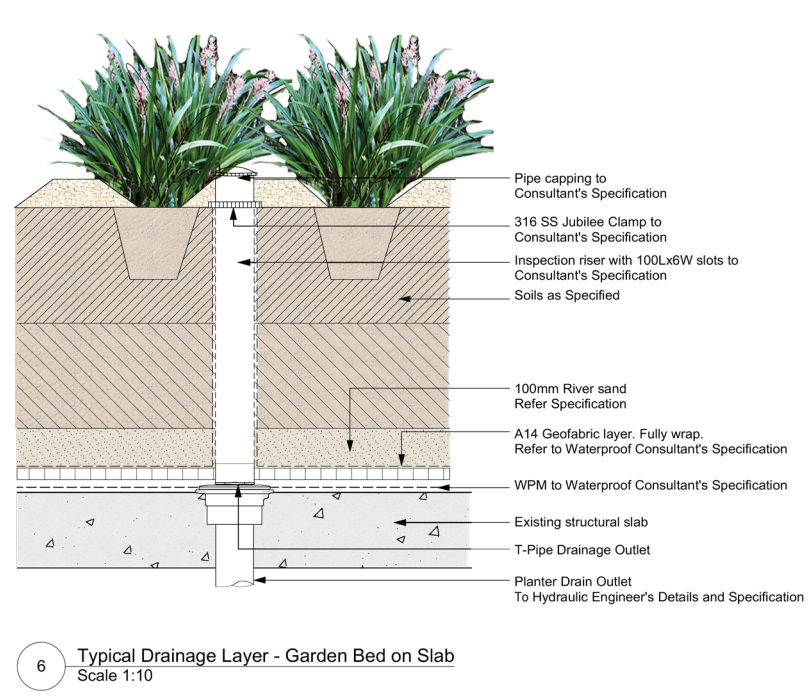
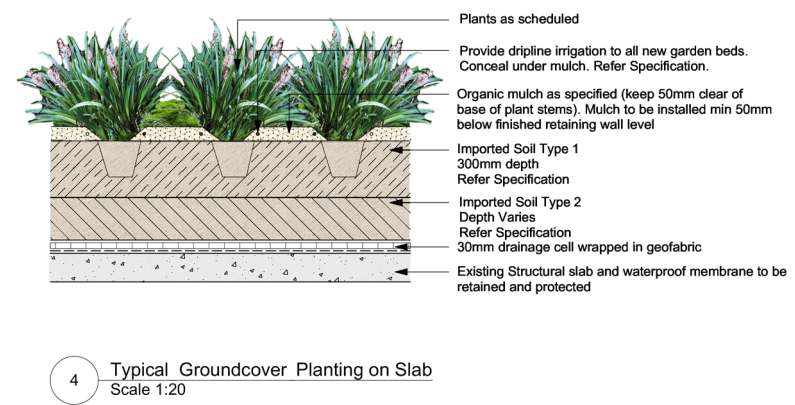
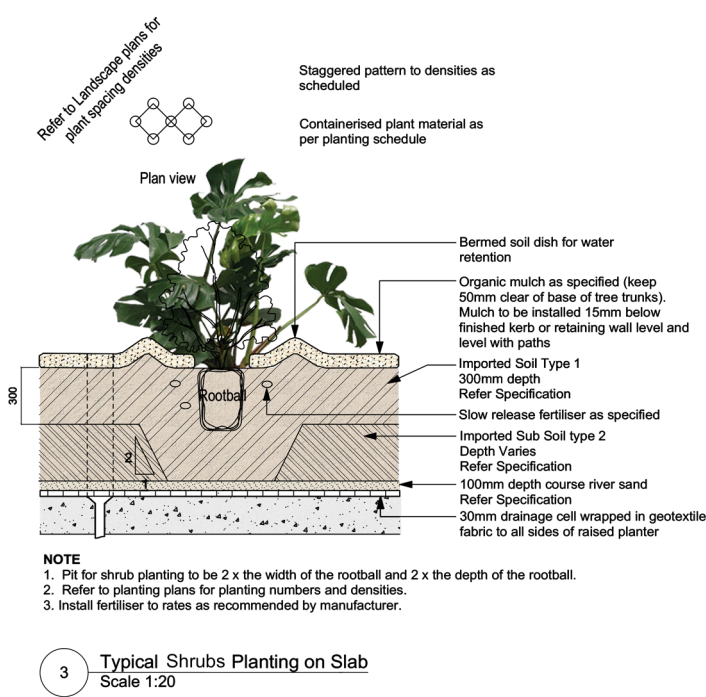
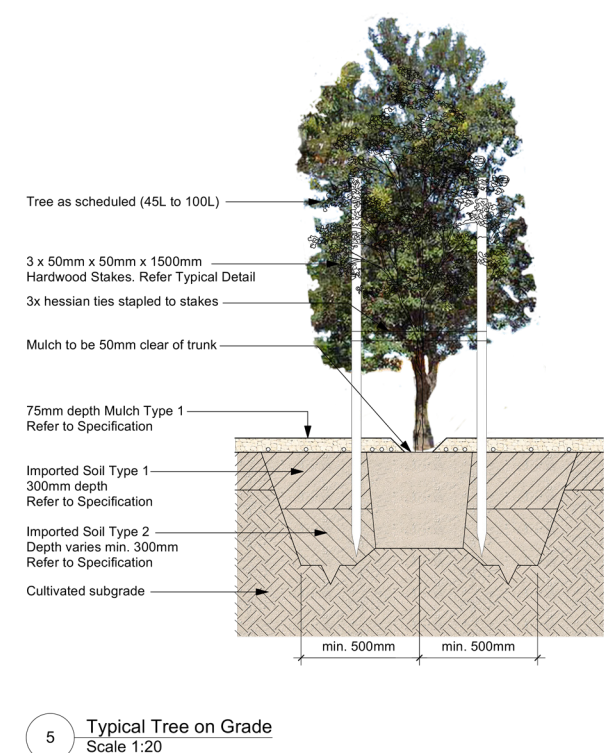
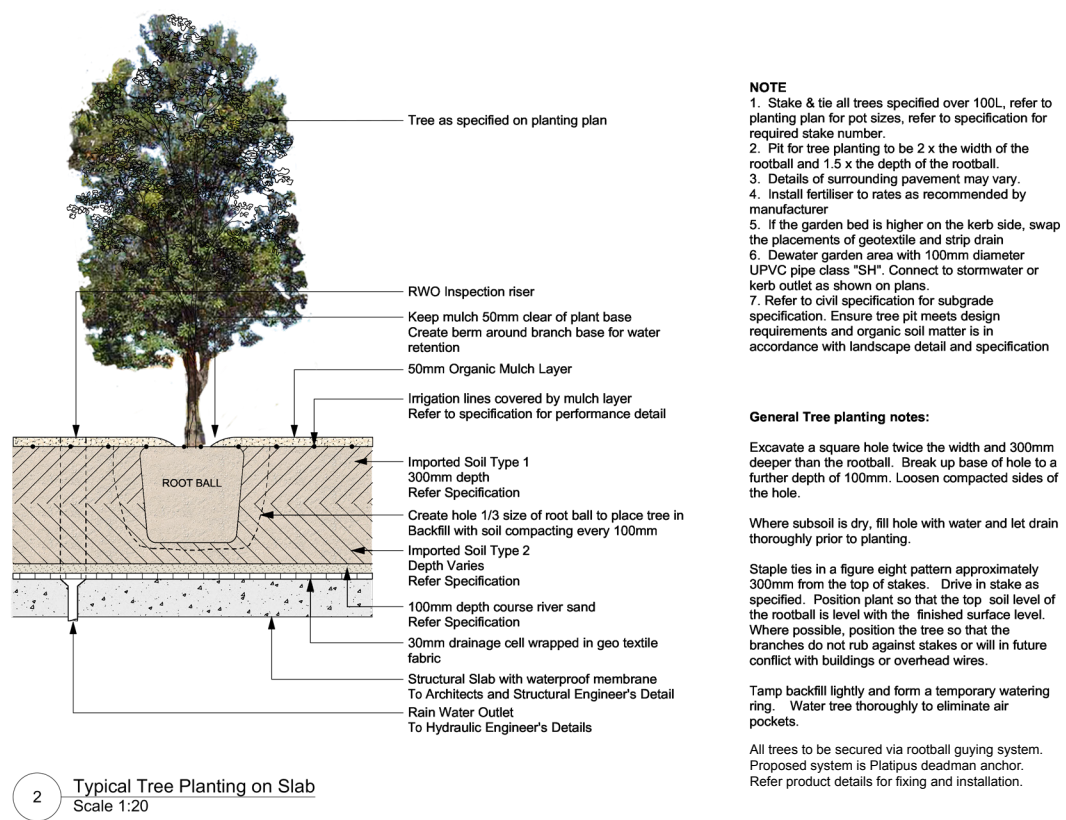
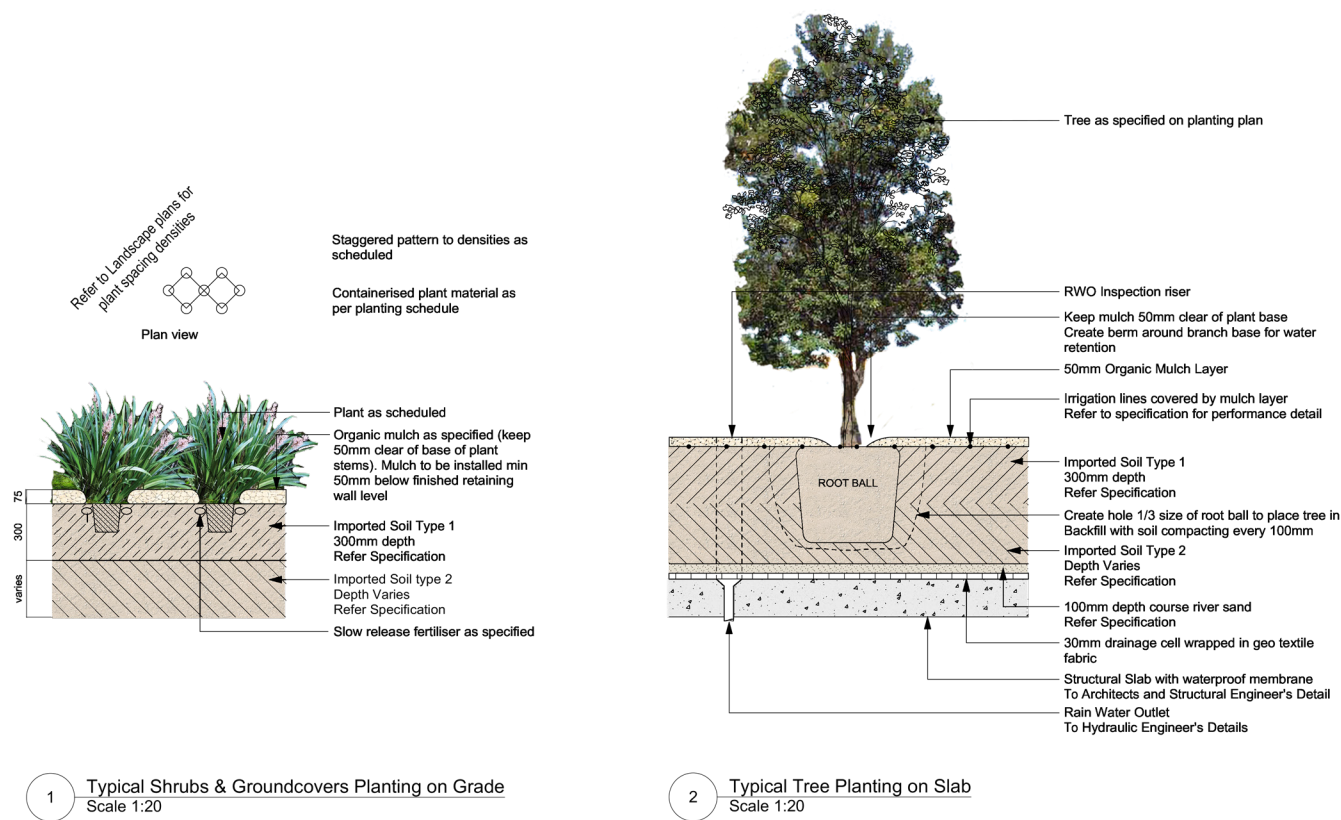
Outdoor lounge / seating spaces within garden
- 7

Internal Lift lobby
- 8

Plant equipment located on roof (refer arch and services engineers plans)



3.7 Typical Details



3.8 Planting Palette

TREES + PALMS



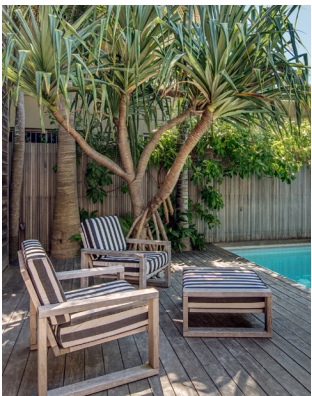
Howea forsteriana
(Kentia Palm)



Livistona australis
(Cabbage-tree Palm)



Cyathea cooperi
(Australian Tree Fern)



Pandanus tectorius
(Screw Pine)



Banksia integrifolia
(Coast Banksia)



Caupaniopsis anacardioides
(Tuckeroo)



Tristaniopsis laurina luscious
(Watergum / Kanooka)

SHRUBS, GRASSES & GROUNDCOVERS



Alpinia nutans
(Native Ginger)



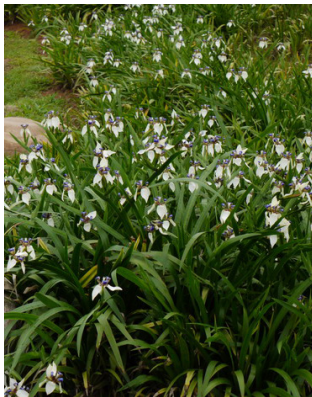
Monstera deliciosa
(Swiss Cheese Plant)



Ligularia reniformis
(Tractor Seat)



Ophiopogon jaburan
(Giant Lily Turf)



Neomarica gracilis
(Walking Iris)



Westringia fruticosa
(Coastal Rosemary)



Lomandra 'Lime Tuff'
(Lime Tuff)



Licuala ramsayi
(Queensland Fan Palm)



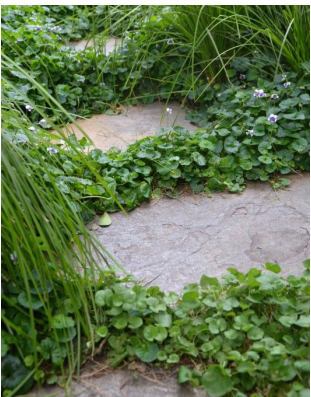
Monstera deliciosa
(Swiss Cheese Plant)



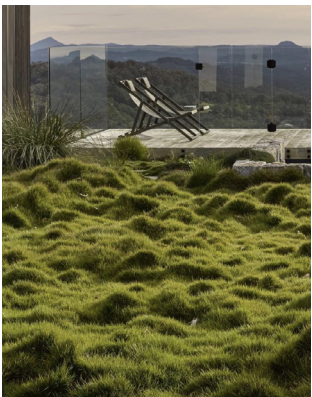
Blechnum 'Silver Lady'
(Dwarf Tree Fern)



Doodia aspera
(Prickly Rasp Fern)



Viola hederacea
(Native Violet)



Zoysia tenuifolia
(Carpet Grass)



Canavalia rosea
(Beach Bean)



Carpobrotus glaucescens
(Pig Face)



Casuarina 'Cousin It'
(Cousin It!)



Grevillea rosmarinifolia
(Chinese Silver Grass)



Plectranthus nico
(Swedish Ivy)

3.8 Planting Schedule

Ground Floor Planting				
Code	Botanical Name	Common Name	Pot Size	Spacing
Trees				
Cya coo	Cyathea cooperi	Tree Fern	Ex-Ground	As shown
How for	Howea forsteriana	Kentia Palm	Ex-Ground	As shown
Liv dec	Livistona australis	Cabbage-tree Palm	Ex-Ground	As shown
Shrubs, Grasses, Ferns, Groundcovers				
Alp nut	Alpinia nutans	Native Ginger	200mm	500mm
Ble SL	Blechnum 'Silver Lady'	Dwarf Tree Fern	200mm	500mm
Can ros	Canavalia rosea	Beach Bean	150mm	800mm
Lig ren	Ligularia reniformis	Tracor Seat	200mm	400mm
Mon del	Monstera deliciosa	Swiss Cheese Plant	200mm	400mm
Neo gra	Neomarica gracillis	Walking Iris	150mm	200mm
Oph jab	Ophiopogon jaburan	Dwarf Lilyturf	150mm	200mm
Vio hed	Viola hederacea	Native Violet	150mm	200mm
Zoy ten	Zoysia tenuifolia	Carpet Grass	150mm	200mm
Level 01 Awning Palette				
Code	Botanical Name	Common Name	Pot Size	Spacing
Shrubs, Grasses, Ferns, Groundcovers				
Can ros	Canavalia rosea	Beach Bean	150mm	800mm
Car gla	Carpobrotus glaucescens	Pig Face	150mm	400mm
Cas CI	Casuarina 'Cousin It'	Cousin It	300mm	500mm
Cas GW	Casuarina 'Green Wave'	Green Wave	300mm	800mm
Dor exc	Doryanthes excelsa	Gynea Lily	300mm	800mm
Lom LT	Lomandra 'Lime Tuff'	Lime Tuff	150mm	500mm
Rap OP	Raphiolepis 'Oriental Pearl'	Oriental Pearl	300mm	500mm
Wes fru	Westringia 'Wynyabbie Gem'	Coastal Rosemary	300mm	800mm
Zoy ten	Zoysia tenuifolia	Carpet Grass	150mm	200mm

Private Courtyards (Level 1 & 2)				
Code	Botanical Name	Common Name	Pot Size	Spacing
Trees				
Cya coo	Cyathea cooperi	Tree Fern	Ex-Ground	As shown
Shrubs, Grasses, Ferns, Groundcovers				
Cas CI	Asplenium australasicum	Bird's Nest Fern	300mm	800mm
Ble SL	Blechnum 'Silver Lady'	Dwarf Tree Fern	200mm	500mm
Cal lut	Calathea lutea	Cuban Cigar Plant	300mm	800mm
Can ros	Canavalia rosea	Beach Bean	150mm	800mm
Hoy aus	Hoya australis	Wax Plant	200mm	400mm
Lic ram	Licuala ramsayi	Queensland Fan Palm	300mm	800mm
Mon tau	Monstera tauerii	Swiss Cheese Plant	200mm	400mm
Neo gra	Neomarica gracillis	Walking Iris	150mm	200mm
Ple nic	Plectranthus nico	Swedish Ivy	150mm	400mm
Vio hed	Viola hederacea	Native Violet	150mm	200mm
Zoy ten	Zoysia tenuifolia	Carpet Grass	150mm	200mm
Roof Top Planting				
Code	Botanical Name	Common Name	Pot Size	Spacing
Trees				
Pan tec	Pandanus tectorius	Screw Pine	400L	As shown
Shrubs, Grasses, Ferns, Groundcovers				
Aga gem	Agave geminiflora	Twin Flowered Agave	300mm	500mm
Can ros	Canavalia rosea	Beach Bean	150mm	800mm
Car gla	Carpobrotus glaucescens	Pig Face	150mm	400mm
Cas CI	Casuarina 'Cousin It'	Cousin It	300mm	500mm
Cas GW	Casuarina 'Green Wave'	Green Wave	300mm	800mm
Dor exc	Doryanthes excelsa	Gynea Lily	300mm	800mm
Gre ros	Grevillea rosmarinifolia	Rosemary Grevillea	300mm	800mm
Lom LT	Lomandra 'Lime Tuff'	Lime Tuff	150mm	400mm
Myo par	Myoporum parvifolium 'Fine Leaf'	Creeping boobialla	150mm	400mm
Pen naf	Pennisetum nafray	Swamp Foxtail Grass	150mm	400mm
Rap OP	Raphiolepis 'Oriental Pearl'	Oriental Pearl	300mm	500mm
Sen ser	Senecio serpens	Blue Chalk Sticks	150mm	400mm
Sol max	Solandra maxima	Golden Chalice Vine	150mm	800mm
Wes WG	Westringia 'Wynyabbie Gem'	Wynyabbie Gem	300mm	500mm
Zoy ten	Zoysia tenuifolia	Carpet Grass	150mm	200mm

4

Landscape
Maintenance

4.1 Landscape Maintenance Statement

Standards of Meintenance

- Maintain whole of landscape works from the date of practical completion of “Landscape Works”
- All work is to be performed in accordance with all applicable laws, ordinances and regulations required by authorities having jurisdiction over such work and are to provide for all inspections and permits required by Federal, State and Local Governments and Authorities in procuring and transporting materials.
- Unless otherwise specified, current relevant Australian Standards are to be observed.
- Ensure site is maintained in a safe, and as far as practicable, clean and tidy condition.
- Airborne dust is to be kept to a minimum.
- Ensure that no spillages or discharges of oil, fuel or other pollutants occur during servicing, refuelling or works operations.
- Driving of vehicles within council parks and reserves is to be minimised.
- Parking and driving of vehicles within TPZ is prohibited.
- Unless absolutely necessary to carry out works, the driving of plant and equipment in the following areas is to be avoided:
 - irrigated areas
 - landscaped areas
 - tree root zones
 - Council infrastructure areas.
- Access to open space areas for specific works is to be coordinated with the Superintendent.

Rectification of Damage

- Contractor is to rectify, at their own expense, any damage to landscaped areas, including compaction and wheel ruts
 - shrubs, plants and trees;
 - footpaths
 - medians;
 - kerb and channel;
 - any other council or public property caused by

- maintenance operations or the movement of vehicles or plant.
- Uphold a no net loss of vegetation philosophy, and all plants that are damaged beyond rectification (as assessed by Project Arborist) are to be replaced at a minimum ratio of 1:1.
- If a tree is is removed in error or damaged beyond the point of rectification, a ‘no net canopy loss offset’ replacement is required. This offset considers the area of the tree canopy and number of new trees to achieve the same area of canopy within a given timeframe.

General Maintenance

- Throughout the planting establishment period, the Contractor is to carry out all maintenance work including:
- watering;
 - weeding & rubbish removal
 - fertilising & pest and disease control
 - reseeding;
 - staking and tying replanting
 - cultivating, pruning & hedge clipping
 - aerating & mulch reinstatement
 - renovation & trellis maintenance
 - Provide the Superintendent with a report (at monthly intervals) of activities completed

Weed Control

- Inspect garden beds and mass planting areas for weeds and rectify as required to prevent seeding, germination and competition.
- Weeds within tree basins are to be removed by hand.
- Retaining mulch levels within tree basins assists in keeping weed growth to a minimum.
- Stream banks, damp exposed areas and other weed prone areas are to have appropriate weed control measures enforced.
- Hand weeding should be part of an integrated approach to weed control, particularly if there is a

possible risk to waterways or damaging desirable plant species.

- Avoid herbicide residue leaching into nearby waterways.
- Eradicate weeds using an approved herbicide.
- Adhere strictly to manufacturers application instruction, rates and safety procedures.
- Herbicides are to be applied outside normal operating areas, but not during extreme temperature or high wind periods.
- Watering is to be delayed for the recommended period after application.

Pest and Disease Control

- Immediate notice is to be given to Superintendent when evidence of significant insect attack or disease amongst plant material is found.
- If pests and diseases are identified, affected portions are to be removed from the plant and disposed of off site.
- Chemical methods are to be secondary control measures where pruning is not successful. Where required, spray with non-toxic organic pesticide, fungicide, or both, at the discretion of the Superintendent / Arborist.
- Approval is to be obtained from Superintendent 5 days prior to the use of pest and disease control chemicals.
- Adhere strictly to manufacturers application instructions, rates and safety procedures.
- Pesticides are to be applied outside normal operating hours.
- Pesticides are not to be applied during extreme temperature, high wind or rain periods.
- Irrigation is to be delayed for the recommended period after application.

Litter Collection & Removal

- Waste from contractors activities is to be removed from site.
- In hardstand areas, vegetative matter is to be removed from around trees and shrubs.
- Mulch spilt from garden areas is to be reinstated
- Collection of all hard waste and litter from within the subject site
- Sweep/vacuum leaf litter

Watering

- Mass planted areas, trees and palms are to be sufficiently watered to maintain adequate soil moisture during the specified maintenance period. This should be achieved using low pressure with adequate volume.
- Generally every two to three days in summer.
- Generally every three to four days in winter.
- Allow soil surface to partially dry out between watering.
- Watering shall be increased during periods of wind, drought and/or where soils have low moisture retaining characteristics.
- Rates may be decreased during periods of high rainfall.
- Ensure moisture is maintained in planting media in sufficient quantities to promote plant growth and minimise stress after installation.
- Watering is to be prioritised for early morning or night application to lessen evaporation.
- Water used for plant establishment and maintenance is to have:
 - a pH of between 5.5 – 7.5
 - total soluble salts less than 1000mg/L
 - no phytotoxic substances.

Plant Maintenance

1. General Prunning

- Prior to pruning activities, plants are to be evaluated for natural growth habit and relationship to total landscape.
- Shrubs and groundcovers are to be pruned to encourage natural plant form.
- Smooth, clean cuts are to be used to encourage fast healing.
- Equipment is to be sharp and sized appropriately for pruning requirements.
- Generally, plants are to be pruned after flowering.
- The combined techniques of thinning out and dead heading are to be used to encourage natural growth habit.
- Remove dead organic matter and diseased plant material.
- Remove branches and foliage overhanging pavements and paths, in line with current standards for road and footpath clearances.
- All vines and creepers are to be pruned to keep clear of all tree trunks and canopies

2. Specific Pruning Techniques

- Shrubs
- Prune in a manner that encourages natural form.
- Allow skirt to grow down to ground level.
- Do not prune off bottom growth.
- Groundcovers
- Prune to encourage dense coverage.
- Vines
- Encourage horizontal spread by removing vertical growth.
- Allow spreading to form a dense mat.
- Trim groundcovers in planter boxes to formalise cascading beyond the planter.
- Prune to keep the height and spread in scale with surrounding planter boxes and remove runners that have a tangled appearance

3. Fertilising

- A general purpose fertiliser is to be applied as per the manufacturers application instructions, rates and safety procedures.
- Soils are to be moist.
- Irrigation systems or hand held hoses are to be used to wash excess fertiliser from plants to prevent burning.
- Landscaped areas are to have repeat irrigation the morning following the fertiliser application.

4. Replacement

- Where plants fail or die during the ‘on maintenance’ period, it is the contractors responsibility to replace those plants, as soon as practicable.
- Approval is required by the Superintendent prior to purchasing and planting of replacement plants.
- Replacement plants are to be the same size as described in the contract, plant schedule and/or landscape drawings.

Tree Maintenance

1. General Pruning

- All tree pruning, maintenance, pest and disease control, etc. is to be undertaken under the guidance and supervision of a council approved Arborist.
- Prior to commencing any pruning operation, evaluate trees for their natural growth habit and relationship to the total landscape.
- Pruned trees are to be left in an aesthetically pleasing condition.

- Trees are to maintain a shape and character appropriate for the species and the environment.
- Tree pruning may be required to:
 - enhance tree health and structure
 - reduce failure risk
 - meet specified clearance requirements
 - meet traffic visibility requirements
 - improve form
 - encourage growth direction in young trees.
- Pruning is to be undertaken by a qualified Arborist, experienced in the formative pruning of young trees and in a manner that minimises damage to trees, in accordance with AS 4373:2007 – Pruning of Amenity Trees.
- Key elements of this include:
 - no lopping or topping of trees
 - no flush cuts
 - no greater than 25% of tree crown removed.
- generally to be pruned to maintain clearances and access beneath the canopy
- remove lower branches where required, to provide clearance over footpaths and roads to improve visibility and maintain CPTED guidelines
- remove dead, diseased or damaged limbs
- remove suckers from the base of tree
- improve the structure of tree, e.g. pruning to define a leader in a codominant tree.
- formative pruning works are to focus on defining a leading stem or to improve the overall branching framework or structure of a tree.

2. Damage

- Where damage occurs to trees as a result of the actions of the contractor, the contractor will be held responsible for the repair or replacement of tree or palm stock.

3. Disposal of plant material

- Dead timber, dead trees and large diameter trunks are to be removed from site by the contractor and delivered to green waste dumps
- Contaminated or infected materials must be taken directly to a tipping site

4. Soil Aeration

- Deep aeration of the soil should be conducted to decompact tree root zones, where required.
- Equipment that uses compressed air to fracture the

soil is to be utilised for decompaction work e.g. Air spade or equivalent.

5. Soil Aeration

Large trees:

- Core 50mm holes around the drip line perimeter 500mm apart and 500mm deep.
- Backfill holes with a mixture of 50% soil and 50% Dynamic Lifter (or equivalent) granular form.
- Use a liquid soil injection system at the same spacing around the dripline, as described above.

Smaller, young trees:

- Surface fertiliser with Dynamic Lifter (or equivalent) and cultivate lightly into the ground surface.

6. Re-mulching

- Replenish mulched areas to maintain a consistent depth of 75mm–100mm.
- Mulch used is to be a pebble mulch and to match originally specified material. No organic mulch (leaf litter or bark mulch) is to be used in order to comply with Bushfire regulations.
- Mulch is to be raked to an even surface to the level of the surrounding finish.
- Spread mulch so that after settling it is smooth and evenly graded toward the base of plant stems, forming a shallow dish drain with the aim of preserving soil moisture, providing essential soil nutrients and suppressing weed growth.
- Mulch is not to be closer than 100mm from the plant stem / trunk

7. Replacement

- Replacement trees or palms are to be the same size and type as described in the contract

Plant Maintenance Process

Routine maintenance of all gardens is to be undertaken. Following completion of the ‘on’ maintenance period, the contractor is to provide a detailed maintenance manual for the ongoing maintenance. During the maintenance period, site visits are to be undertaken on a weekly basis for the initial period of 8 weeks post practical completion, then reducing to bi-monthly visits. Below is a summary of the observations and actions that are to be carried out during each visit.

1. Observations:

- Comment on plant performance, make note of each

species in reference to their appearance since last visit.

- Look for damage resulting from pests or disease on each species
- Check growth rate and performance
- Soil moisture level

2. Actions:

- Check and adjust as appropriate pH or nutrient levels of the soil
- Treat for pests and disease as necessary
- Remove irrigation filter and clean (monthly)
- Adjust irrigation rates according to season and external factors
- check for dead or unhealthy foliage and remove using appropriate methods to avoid risk of infection to plants
- prune any plants that are growing too far from intended cable system
- Trim plants as necessary to encourage lateral or branching growth to avoid woody understory
- Remove weeds

3. Recordings:

- Observations of plant performance
- Current irrigation schedule and adjustments
- Document pictures
- Additions of nutrients etc
- Pest or disease presence and treatment

Bushfire Control Measures

- Grass to be kept mown, no more than 100mm in height.
- Leaves and vegetation debris to be removed.
- Mulch used must be inorganic ie.gravel/pebble mulch.
- Trees and shrubs located far enough from buildings so that they will not ignite the building.
- Garden beds with flammable shrubs not located under trees or within 10m of any windows or doors.
- Minimize plant species that keep dead material or drop large quantities of ground fuel.
- Tree canopy cover not more than 15%
- Tree canopies not located within 2m of the building.
- Trees separated by 2-5m and do not provide a continuous canopy from the hazard to the building.
- Lower limbs of trees removed up to a height of 2m above the ground.

4.2 Landscape Maintenance Schedule

Activity	Other	Weekly	Fortnightly	Monthly	3 Months	6 Months	Action
General							
Logbook		Summer	Winter				Complete a logbook entry of maintenance work every day at site and at least every two weeks. All actions listed below require a logbook entry. Include details of any chemicals used. Make the log book available for inspection on request. Submit copies of new entries in the logbook to the Contract Administrator on a monthly basis.
Plants							
Plants		Summer, Winter during weeks 1-12 from Practical Completion					Inspect all garden beds and planter boxes and attend to all softworks maintenance requirements as required. Inspect and remove spent flowers and dead stalks as they become apparent.
Hand Watering	Every day irrigation does not run during weeks 1-12 after Practical Completion. Afterwards as required.						Supplement irrigation with handwatering during the establishment period. Watering will be dependant on plant requirements, seasonal changes and prolonged periods of dry and windy weather. Adjust as required for optimal plant growth. Do not allow soil and plants to dehydrate. Water in the early morning or late afternoon to avoid excessive evaporation during the heat of the day. Comply with authority regulations for water use where applicable.
Stakes and Ties		Summer	Winter				Inspect and adjust and/or replace as necessary but remove as plants mature and are able to support themselves.
Trailing Plants		Summer	Winter				Inspect groundcovers are trailing & train or prune as required
Overgrown vegetation		Summer	Winter				Inspect and remove overgrown vegetation including that growing on paths and hardscapes
Pruning		Summer	Winter				Inspect and prune as necessary to remove dead wood, improve plant shape and promote healthy vigorous new growth.
Leaf Litter		Summer	Winter				Remove leaf litter as necessary
Pest & Disease Control		Summer	Winter				Inspect and action as necessary. Use pesticides only if non-chemical methods will not be effective. Spray for disease control only when absolutely necessary.
Plant Replacement		Summer	Winter				Inspect and replace failed, damaged or stolen plants within 2 weeks of observation. Match species, original size and location of new with old.
Fertilising							Fertilise gardens every 3 months or other frequency in accordance with fertiliser manufacturer's directions.

Activity	Other	Weekly	Fortnightly	Monthly	3 Months	6 Months	Action
Garden Beds & Planter Boxes							
Weeding		Summer	Winter				Remove all weeds and dispose off site legally
Erosion Control		Summer	Winter				Inspect and repair ground, soil and mulch immediately. Maintain erosion control device as necessary.
Remulching		Summer	Winter		Topup		Inspect and replace mulch deficiencies within 2 weeks of observation. Prior to placing new mulch aerate the soil by fork turning to a depth of at least 100mm, roughly level the soil and then place mulch. Do not disturb major plant roots while aerating soil. Top up mulch every 3 months.
Soilworks							Check soil depths for slumping and top up to design levels using original specified soils
Irrigation and Drainage							
Inspect irrigation system		Summer	Winter				Inspect and adjust the irrigation system to suit plant requirements, seasonal changes and prolonged periods of dry and windy weather.
Inspect and clear drains							Inspect clear drains immediately. Additional inspections are required after heavy rainfall.
Hardworks							
Inspect all fixtures and fittings							Inspect and adjust all fixtures and fittings to original specification. Replace as necessary
Oil timber							Oil timber every 6 months or to manufacturer's recommendations
Miscellaneous							
Litter							Remove all litter, rubbish and debris and the like offsite. Dispose of legally. Do not place in public or other residents bins.
Clean Site							Remove all grass clippings, weeds, dead plant material and the like offsite. Dispose of legally. Do not place in public or other residents bins.
Urgent Works							As required. Complete immediately and within 24hrs of notification

360°



FRESHIE MIXED-USE DEVELOPMENT

10-28 LAWRENCE STREET, FRESHWATER

LANDSCAPE DOCUMENTATION

DEVELOPMENT APPLICATION

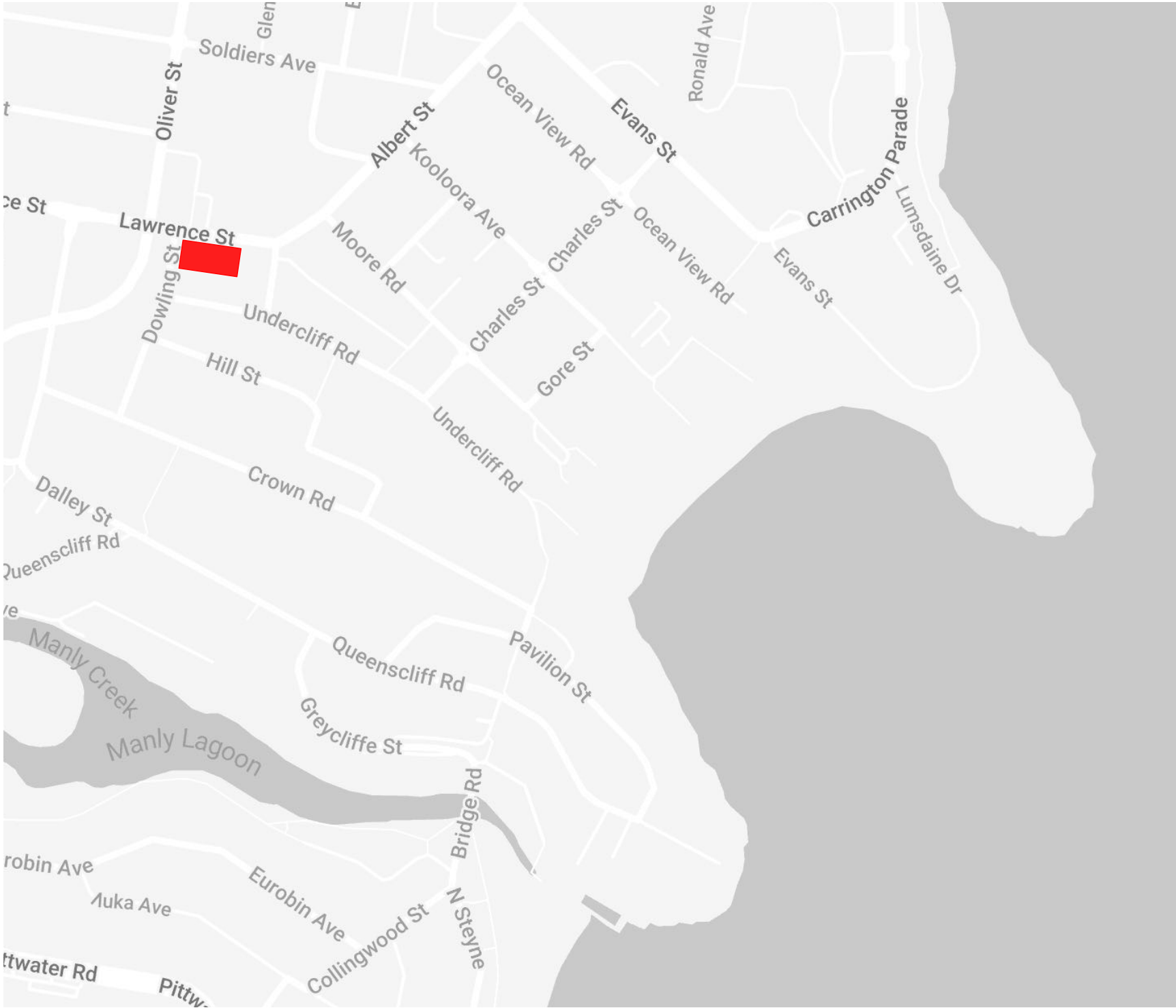
DRAWING REGISTER

Scale	Drawing Title	Scale	Size
LA-DA-01	Cover Page & Drawing Schedule	N/A	A1
LA-DA-02	Legend & Planting Schedule	N/A	A1
LA-DA-03	Upper Ground Level Landscape Plan	1:150	A1
LA-DA-04	L01 Landscape Plan	1:150	A1
LA-DA-05	L02 Landscape Plan	1:150	A1
LA-DA-06	L03 Landscape Plan	1:150	A1
LA-DA-07	Roof Level Landscape Plan	1:150	A1
LA-DA-08	Soil Plans	As Shown	A1
LA-DA-09	Landscape Area Plans	As Shown	A1
LA-DA-10	Sections Sheet 1	As Shown	A1
LA-DA-11	Sections Sheet 2	As Shown	A1
LA-DA-12	Sections Sheet 3	As Shown	A1
LA-DA-13	Planting Palette	N/A	A1


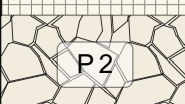

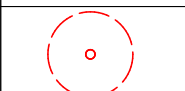




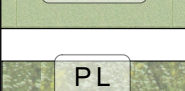

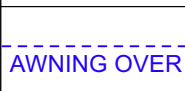
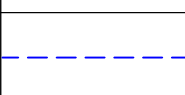
GENERAL NOTES

- * FOR DEVELOPMENT APPLICATION ONLY
- * All tree dimensions and RLs in metres. All other dimensions in mm unless stated otherwise.
- * Do not scale from drawings. Use figured dimensions only. Larger scale drawings and written dimensions take preference.
- * All work shall be carried out in accordance with current versions of Australian Standards, BCA and Local Government Regulations.
- * Structural Details are indicative only and are subject to Structural Engineer's Details and Specifications.
- * Drainage details are subject to Hydraulic / Civil Engineer's Detail and Specification.
- * Subbase details including compaction are to Civil and Structural Engineer's Specification.
- * Lighting Plans are subject to detailed design by a qualified Lighting Consultant or Electrical Contractor.
- * Water Feature Details are indicative only and are subject to detailed design by a specialist Water Feature designer.
- * Service location on plans are indicative only. *360 Degrees Landscape Architects Pty Ltd* accepts no responsibility for the accuracy of service locations shown or for services not shown. It is the responsibility of the contractor to determine service locations prior to the commencement of work, including contacting *Dial Before You Dig* and performing on site service locations. Locate and protect all services on site and in adjacent public domain. Any damages to services and associated damages remains the responsibility of the contractor and shall be rectified at no cost to the client or any other party.
- *All adjoining property elements including but not limited to buildings, walls, trees and paving to be protected. Damaged elements remain the responsibility of the contractor and shall be rectified at no cost to the client or any other party. Existing trees to be retained are to be protected to Council and Project Arborist's requirements. No vehicular traffic, stockpiling or storage of materials within Tree Protection Zones (TPZs).
- * No responsibility will be taken by *360 Degrees Landscape Architects Pty Ltd* for any variations in design, construction method, materials specified and general specifications without permission from the Project Landscape Architect.
- * This Drawing is copyright to *360 Degrees Landscape Architects Pty Ltd*.

LOCATION PLAN



LEDGEND - HARDWORKS & SOFTWORKS

HARDWORKS		
	Paving Type 1	Unit Paving to Architects Details
	Paving Type 2	Crazy Paving to Architects Details
SOFTWARES		
	Tree to be Retained and Protected	Refer to Arborist Report
	Tree to be Removed	Refer to Arborist Report
	Proposed Trees & Palms	Refer to Plant Schedule
	New Shrubs	Refer to Plant Schedule
	Garden Bed	Garden Bed on Grade
	Lawn	'Empire' Zoysia 300mm min Soil Underlay
	Planter	Planter at Balcony edges
GENERALS		
	Site Boundary	Refer to Survey's Drawings
	Awning Over	Refer to Architect's Drawings
	Basement Below	Refer to Architect's Drawings
LEVELS		
+ ex RL 88.00	Existing Level	To be Retained
+ RL 88.00	Reduced Level	Top of Finish Level
+ ToW 88.00	Top of Wall RL	Top of Finish Level

PLANTING SCHEDULE

Ground Floor Planting				
Code	Botanical Name	Common Name	Pot Size	Spacing
Trees				
Cya coo	Cyathea cooperi	Tree Fern	Ex-Ground	As shown
How for	Howea forsteriana	Kentia Palm	Ex-Ground	As shown
Liv dec	Livistona australis	Cabbage-tree Palm	Ex-Ground	As shown
Shrubs, Grasses, Ferns, Groundcovers				
Alp nut	Alpinia nutans	Native Ginger	200mm	500mm
Ble SL	Blechnum 'Silver Lady'	Dwarf Tree Fern	200mm	500mm
Can ros	Canavalia rosea	Beach Bean	150mm	800mm
Lig ren	Ligularia reniformis	Tracor Seat	200mm	400mm
Mon del	Monstera deliciosa	Swiss Cheese Plant	200mm	400mm
Neo gra	Neomarica gracilis	Walking Iris	150mm	200mm
Oph jab	Ophiopogon jaburan	Dwarf Lilyturf	150mm	200mm
Vio hed	Viola hederacea	Native Violet	150mm	200mm
Zoy ten	Zoysia tenuifolia	Carpet Grass	150mm	200mm

Level 01 Awning Palette				
Code	Botanical Name	Common Name	Pot Size	Spacing
Shrubs, Grasses, Ferns, Groundcovers				
Can ros	Canavalia rosea	Beach Bean	150mm	800mm
Car gla	Carpobrotus glaucescens	Pig Face	150mm	400mm
Cas CI	Casuarina 'Cousin It'	Cousin It	300mm	500mm
Cas GW	Casuarina 'Green Wave'	Green Wave	300mm	800mm
Dor exc	Doryanthes excelsa	Gynea Lily	300mm	800mm
Lom LT	Lomandra 'Lime Tuff'	Lime Tuff	150mm	500mm
Rap OP	Raphiolepis 'Oriental Pearl'	Oriental Pearl	300mm	500mm
Wes fru	Westringia 'Wynabbie Gem'	Coastal Rosemary	300mm	800mm
Zoy ten	Zoysia tenuifolia	Carpet Grass	150mm	200mm

Private Courtyards (Level 1 & 2)				
Code	Botanical Name	Common Name	Pot Size	Spacing
Trees				
Cya coo	Cyathea cooperi	Tree Fern	Ex-Ground	As shown
Shrubs, Grasses, Ferns, Groundcovers				
Cas CI	Asplenium australasicum	Bird's Nest Fern	300mm	800mm
Ble SL	Blechnum 'Silver Lady'	Dwarf Tree Fern	200mm	500mm
Cal lut	Calathea lutea	Cuban Cigar Plant	300mm	800mm
Can ros	Canavalia rosea	Beach Bean	150mm	800mm
Hoy aus	Hoya australis	Wax Plant	200mm	400mm
Lic ram	Licuala ramsayi	Queensland Fan Palm	300mm	800mm
Mon tau	Monstera tauerii	Swiss Cheese Plant	200mm	400mm
Neo gra	Neomarica gracilllis	Walking Iris	150mm	200mm
Ple nic	Plectranthus nico	Swedish Ivy	150mm	400mm
Vio hed	Viola hederacea	Native Violet	150mm	200mm
Zoy ten	Zoysia tenuifolia	Carpet Grass	150mm	200mm

Roof Top Planting				
Code	Botanical Name	Common Name	Pot Size	Spacing
Trees				
Pan tec	Pandanus tectorius	Screw Pine	400L	As shown
Shrubs, Grasses, Ferns, Groundcovers				
Aga gem	Agave geminiflora	Twin Flowered Agave	300mm	500mm
Can ros	Canavalia rosea	Beach Bean	150mm	800mm
Car gla	Carpobrotus glaucescens	Pig Face	150mm	400mm
Cas Cl	Casuarina 'Cousin It'	Cousin It	300mm	500mm
Cas GW	Casuarina 'Green Wave'	Green Wave	300mm	800mm
Dor exc	Doryanthes excelsa	Gynea Lily	300mm	800mm
Gre ros	Grevillea rosmarinifolia	Rosemary Grevillea	300mm	800mm
Lom LT	Lomandra 'Lime Tuff'	Lime Tuff	150mm	400mm
Myo par	Myoporum parvifolium 'Fine Leaf'	Creeping boobialla	150mm	400mm
Pen naf	Pennisetum nafray	Swamp Foxtail Grass	150mm	400mm
Rap OP	Raphiolepis 'Oriental Pearl'	Oriental Pearl	300mm	500mm
Sen ser	Senecio serpens	Blue Chalk Sticks	150mm	400mm
Sol max	Solandra maxima	Golden Chalice Vine	150mm	800mm
Wes WG	Westringia 'Wynyabbie Gem'	Wynyabbie Gem	300mm	500mm
Zoy ten	Zoysia tenuifolia	Carpet Grass	150mm	200mm

Rev	Amendment	Date	By
A	DA Issuance	30/11/24	JG
B	DA Issuance	02/12/24	JG

**PRELIMINARY
NOT FOR CONSTRUCTION**

IMPORTANT NOTES:
 Do not scale from drawings
 All discrepancies to be brought to the attention of the Landscape Architect
 Larger scale drawings and written dimensions take precedence. All dimensions in mm unless otherwise stated.
 All line dimensions and RLs in metres.
 Use figured dimensions only.
 Verify all dimensions on site before the commencement of any works.
 Contractors shall locate and provide all services prior to construction.
 All work shall be carried out in accordance with AS/NZS, BCA and Local Government Regulations.
 All details shall be subject to approval by the Engineer.
 Structure & Waller Feature Details shall be subject to Hydraulic Engineer's L/Ps for all structures.
 All details shall be subject to approval by Qualified Tradesmen according to Landscape Drawings and Engineering's Specifications.
 All drawings shall be prepared by 360 Degrees Design & Analytics Pty Ltd for variations in design, construction method, materials specified; and general specifications without permission from the Project Engineer or Landscape Architect.
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CLIENT Lawrence Street Pty Ltd	
ARCHITECT CHROFI	
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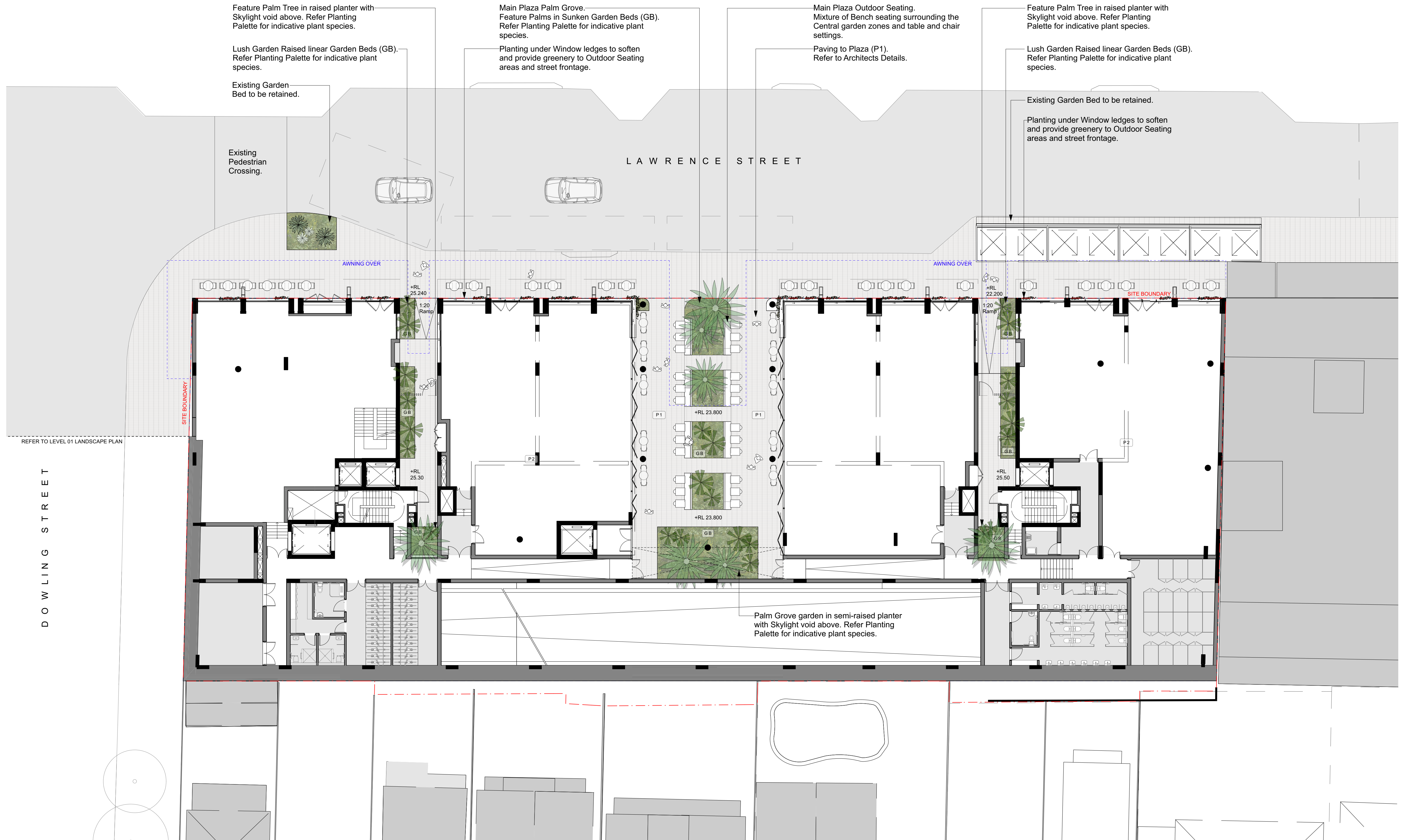
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DRAWN JG
STAGE DA

DWG. TITLE
Legend and Planting Schedule

PROJECT
Freshie Mixed Use Development

360
Level 1, 1 Mary's Place
Surry Hills, 2010
P 02 9332 3601
W 360.net.au
ABN 90 146 901 322

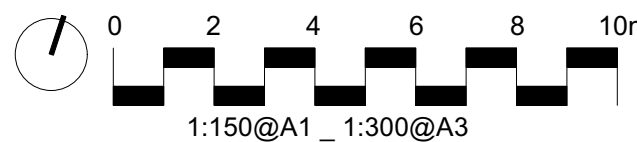
L-DA-02



Note: Public Domain Works shown in DA Plans are indicative and subject to a separate public domain CC submission.

**PRELIMINARY
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A	DA Issuance	30/11/24	JG
B	DA Issuance	02/12/24	JG



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LB
DRAWN
JG
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DA

DWG. TITLE
Upper Ground Landscape Plan
PROJECT
Freshie Mixed Use Development

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Surry Hills, 2010
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L-DA-03



**PRELIMINARY
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A	DA Issuance	30/11/24	JG
B	DA Issuance	02/12/24	JG



IMPORTANT NOTES:
Do not build from drawings.
All discrepancies to be brought to the attention of the Project Landscape Architect.
Landscape drawings and site plans are for reference only. All dimensions to be as shown unless otherwise stated.
Use of drawings is limited to the purpose for which they were prepared.
All works shall be carried out in accordance with the relevant Australian Standards and local government regulations.
All works shall be carried out in accordance with the relevant Australian Standards and local government regulations.
All works shall be carried out in accordance with the relevant Australian Standards and local government regulations.
The responsibility for the design and construction of the works shall remain with the client.
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CHROFI
SCALE
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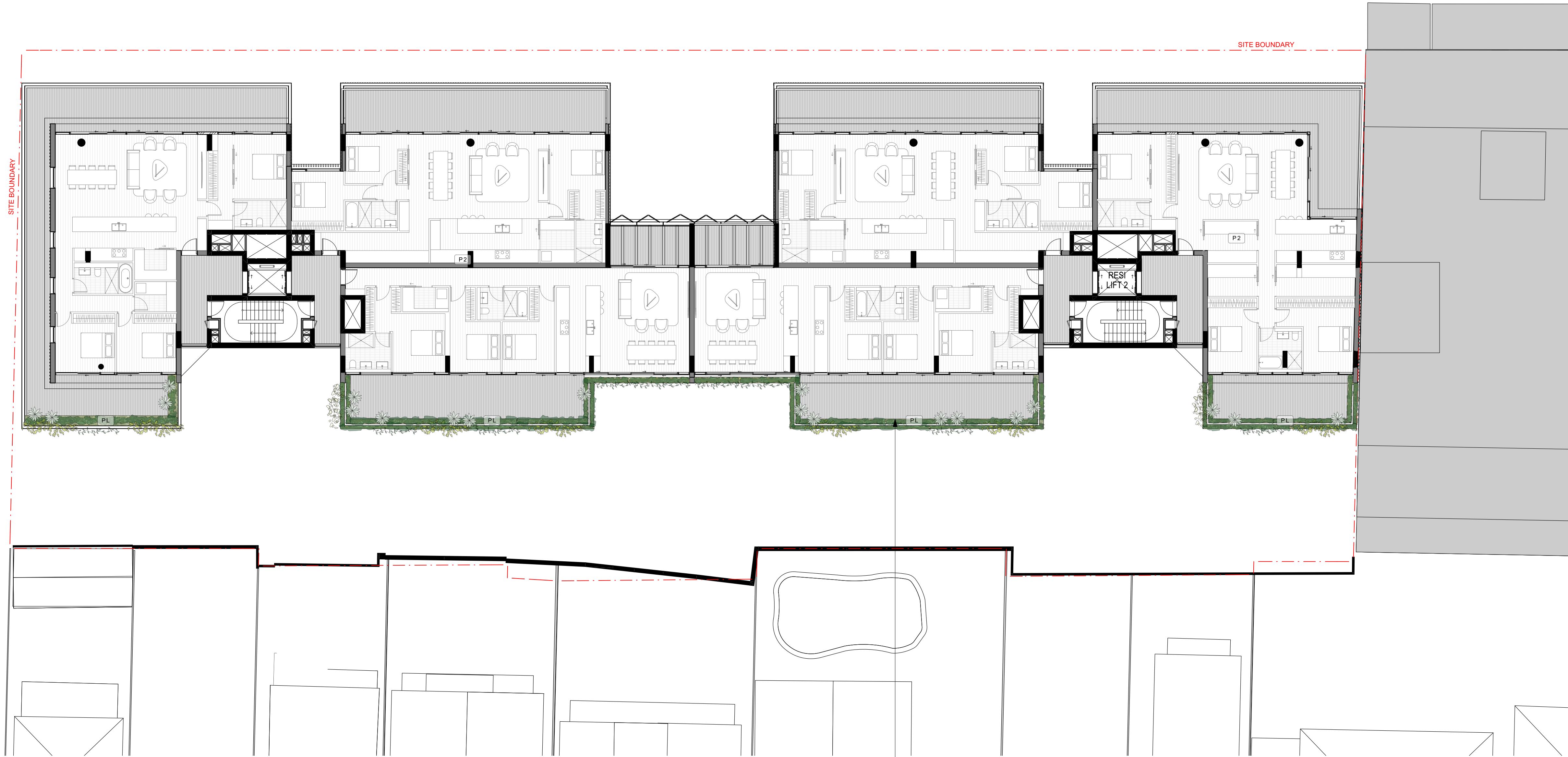
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L02 Landscape Plan
PROJECT
Freshie Mixed Use Development

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ABN 90 146 901 322

L-DA-05

DOWLING STREET

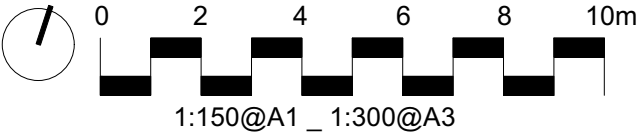
LAWRENCE STREET



Private Terraces with dedicated planting zones for screen planting. Refer Planting Palette for indicative plant species.

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A	DA Issuance	30/11/24	JG
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Do not scale from drawings.
All dimensions to be verified to the attention of the Project Landscape Architect.
Landscape drawings are for information only. All dimensions to be verified to the attention of the Project Landscape Architect.
Use of drawings for any purpose other than that for which they were prepared is at the user's risk.
All work shall be carried out in accordance with the relevant Australian Standards and Regulations.
All work shall be carried out in accordance with the relevant Australian Standards and Regulations.
All work shall be carried out in accordance with the relevant Australian Standards and Regulations.
The responsibility for the design and construction of the landscape shall remain with the Project Landscape Architect.
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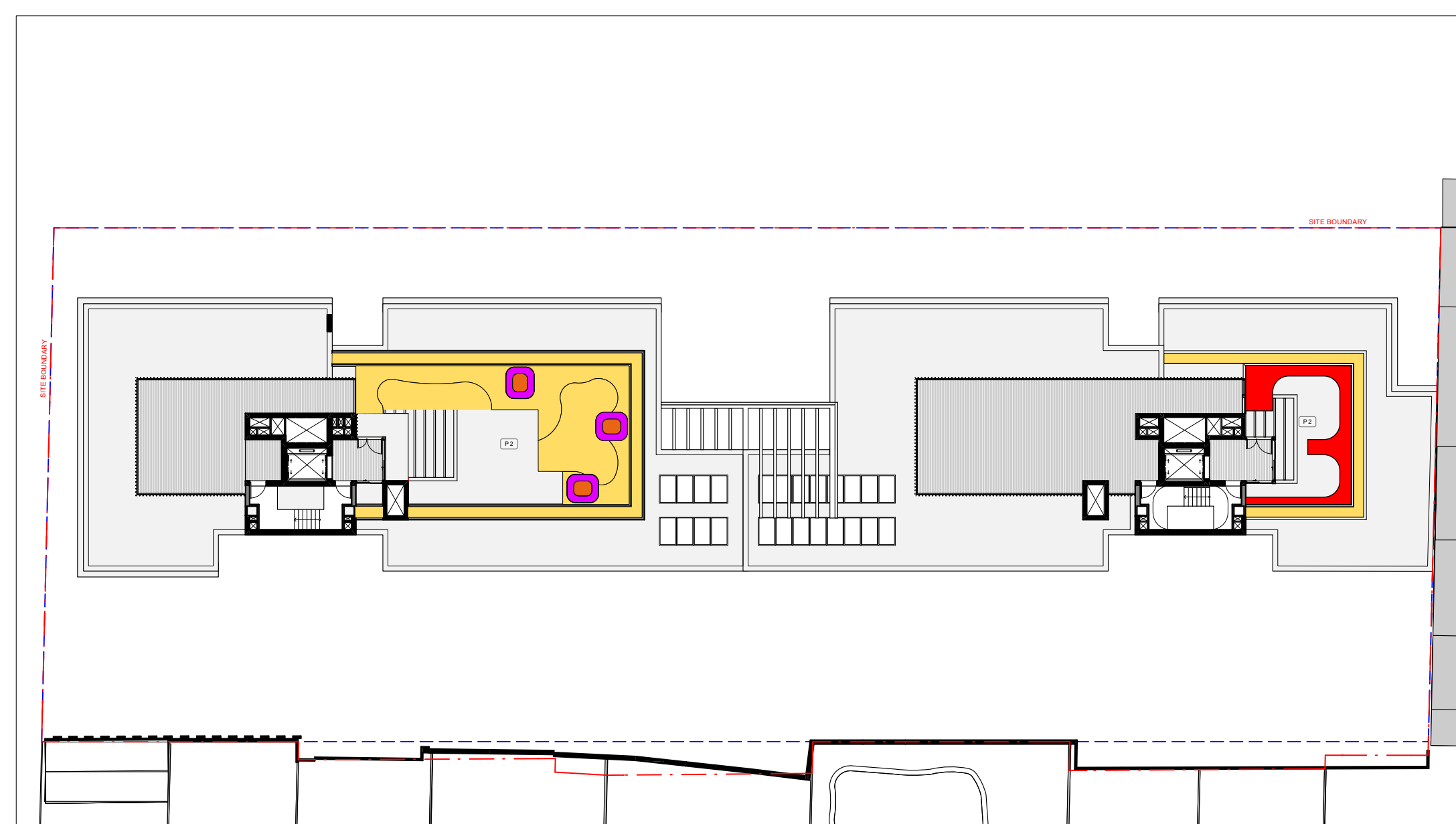
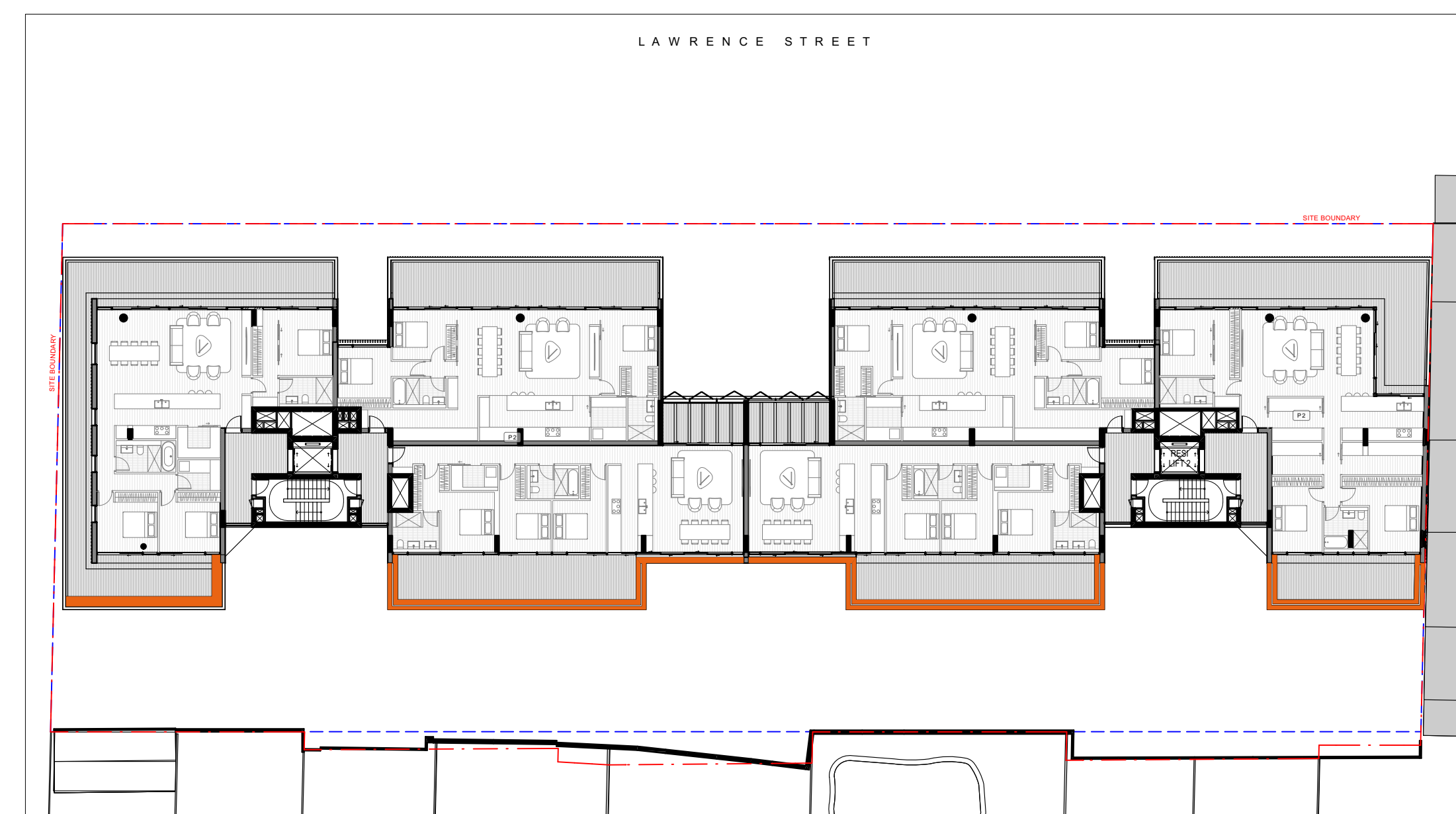
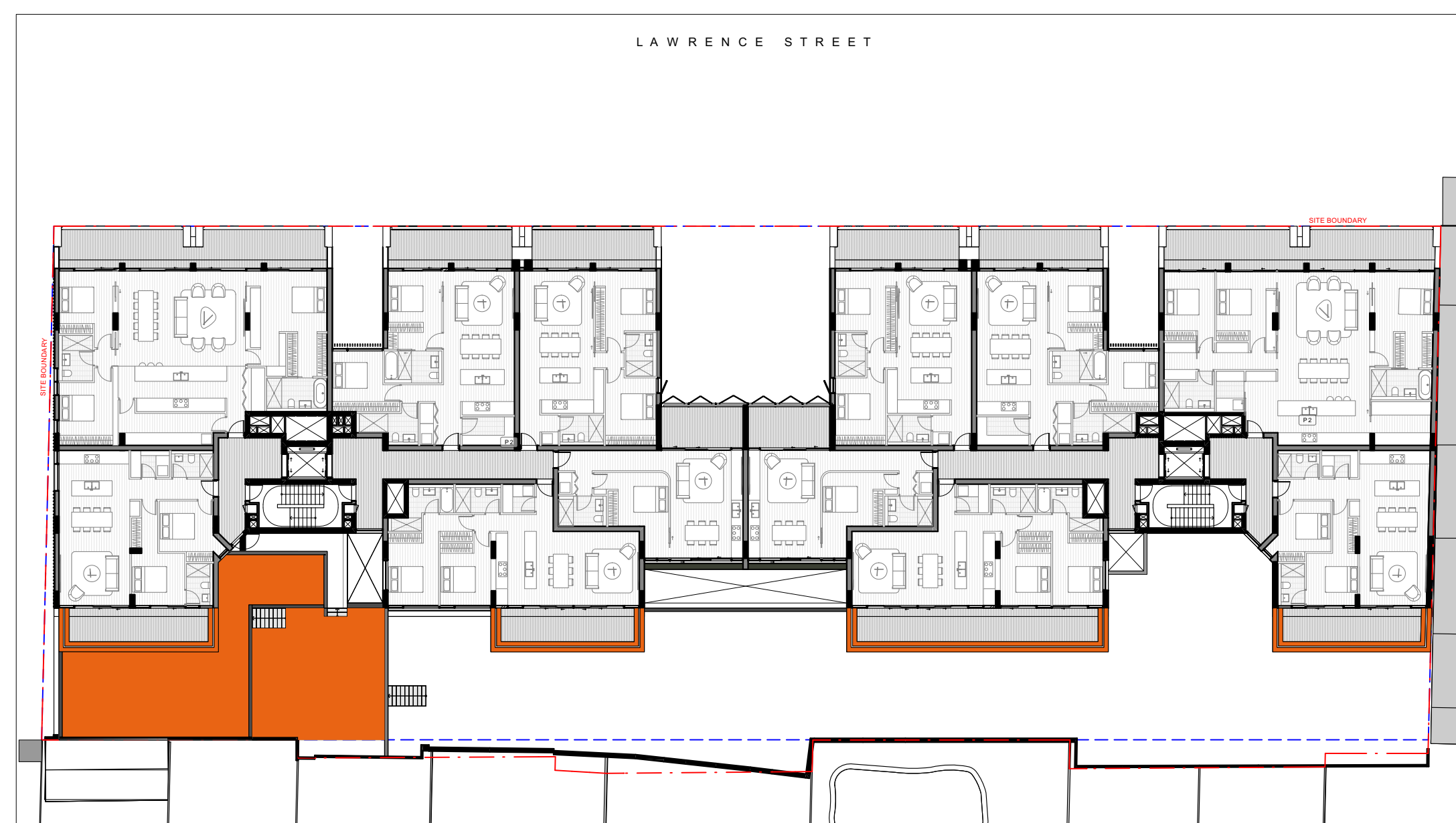
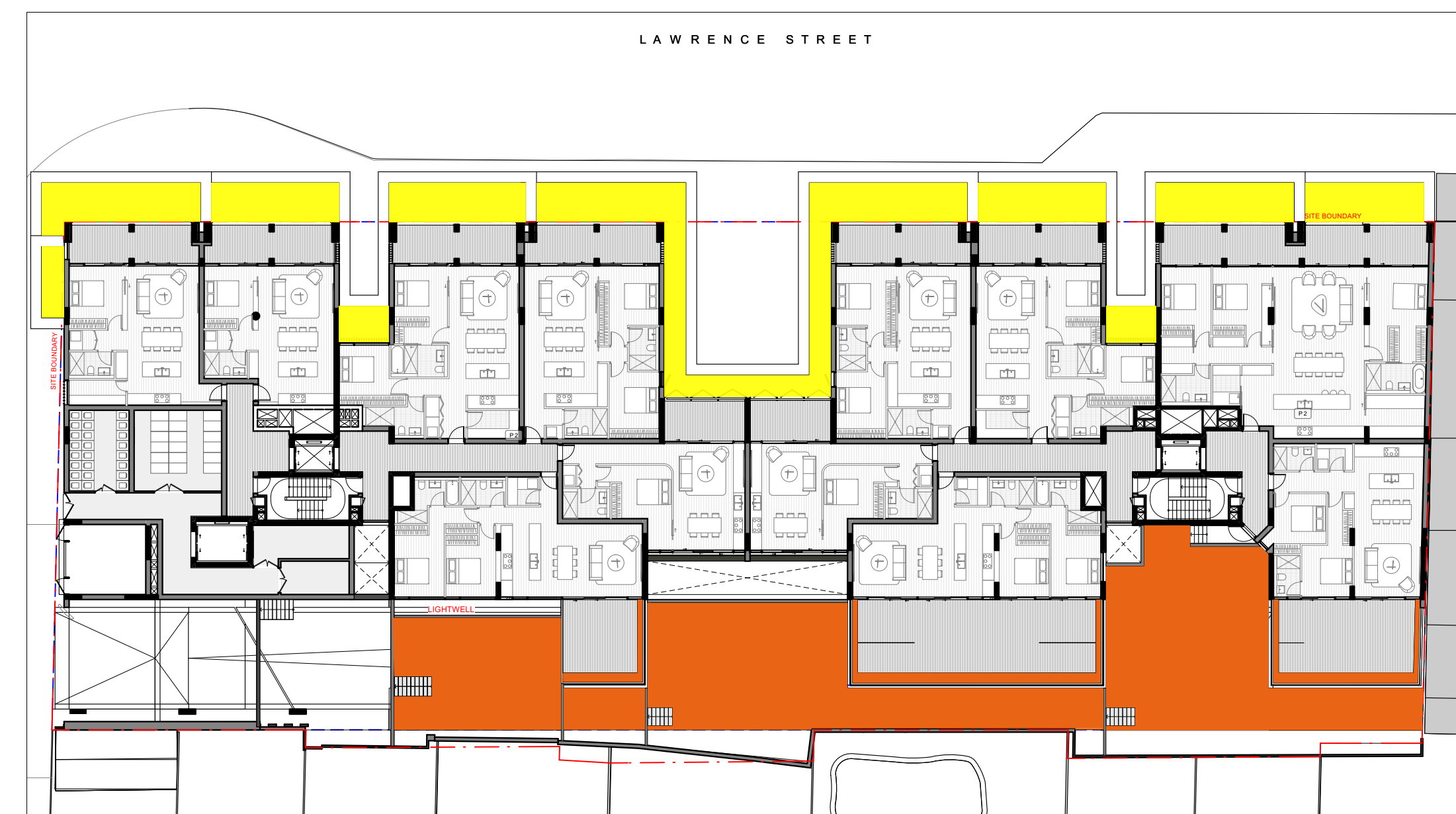
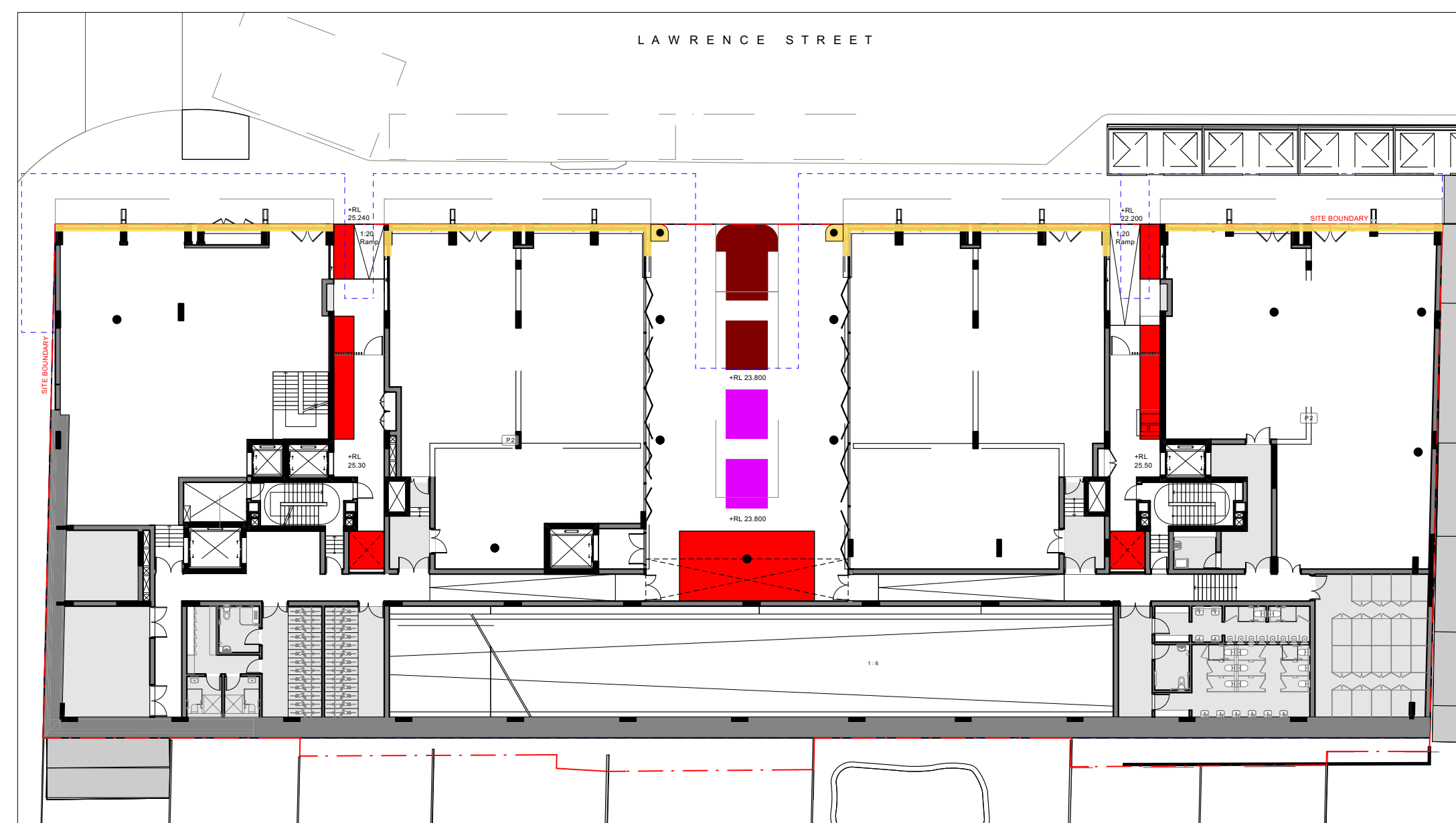
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L03 Landscape Plan
PROJECT
Freshie Mixed Use Development

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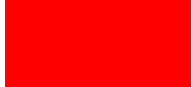




L-DA-06

Plant Equipment
Refer to Architects Plans

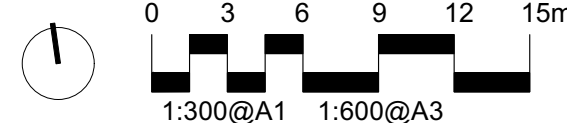
5



LEGEND - AVERAGE SOIL DEPTH

	1.2m Min Soil Depth Gardens
	1.0m Min Soil Depth Gardens
	0.8m Min Soil Depth Gardens
	0.6m Min Soil Depth Gardens
	0.4m to 0.45m Min Soil Depth Gardens
	0.25m Min Soil Depth Gardens

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- Do not scale from drawings.
- Drawings are to be brought to the attention of the Project Landscape Architect.
- Larger scale drawings and written dimensions take precedence. All dimensions in mm unless otherwise stated.
- All line dimensions and RLs in metres.
- Use given dimensions only.
- Verify all dimensions on site before the commencement of any works.
- Contractors shall locate and protect all services prior to construction.
- All work shall be carried out in accordance with ASIA, BCA and Local Government Regulations.
- Structure details shall be subject to Engineer's Specifications.
- Drainage & Water Features shall be subject to Hydraulic Engineer's Specifications.
- All work shall be carried out in a professional manner by Qualified Tradesperson according to Landscape Drawing and Engineer's Specifications.
- Drawings shall be taken to 360 Degrees Landscape Architects Pty Ltd for all variations in design, construction method, materials specified, and general specifications without permission from the Project Engineer or Landscape Architect.

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	DRAWN JG
	STAGE DA

	CHECKED LB
	DRAWN JG
	STAGE DA

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DRAWN	JG
STAGE	DA

DWG. TITLE
Soil Plans

PROJECT
Freshie Mixed Use Development



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IMPORTANT NOTES:

- Do not make any drawings.
- All discrepancies to be brought to the attention of the Project Landscape Architect.
- Larger scale drawings and wider dimensions take preference. All dimensions in mm unless otherwise stated.
- Use Imperial units (feet and inches) in the U.S.A. and Metric units (meters) in the U.K.
- Use figures dimensions on site before the commencement of any work.
- Verify all dimensions on site before the commencement of any work.
- Carry out locations and levels as detailed at various points to conform.
- Obtain all necessary permissions from the relevant local Government Regulations.
- Structural Details shall be subject to Engineer's Specifications.
- Drainage & Water Features Details shall be subject to Hydraulic Engineer's Specifications.
- All work shall be carried out in a professional manner by Qualified Tradesman according to Landscape Draining and Construction Standards.
- No responsibility will be taken by 360 Designers Landscape Architects (Pty) Ltd for any variations in design, construction methods or materials specified by general specifications unless previously approved from the Project Engineer or Landscape Architect.

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LEGEND - LANDSCAPE AREAS



Calculation

Site Area - 2579.9m²

Upper Ground Floor Landscape Area - 102m²
Level 01 Landscape Area - 573m²
Level 02 Landscape Area - 168m²
Level 03 Landscape Area - 40m²
Roof Level Landscape Area - 129m²

Total

Total Landscape Area - 1012m2

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STAGE	DA

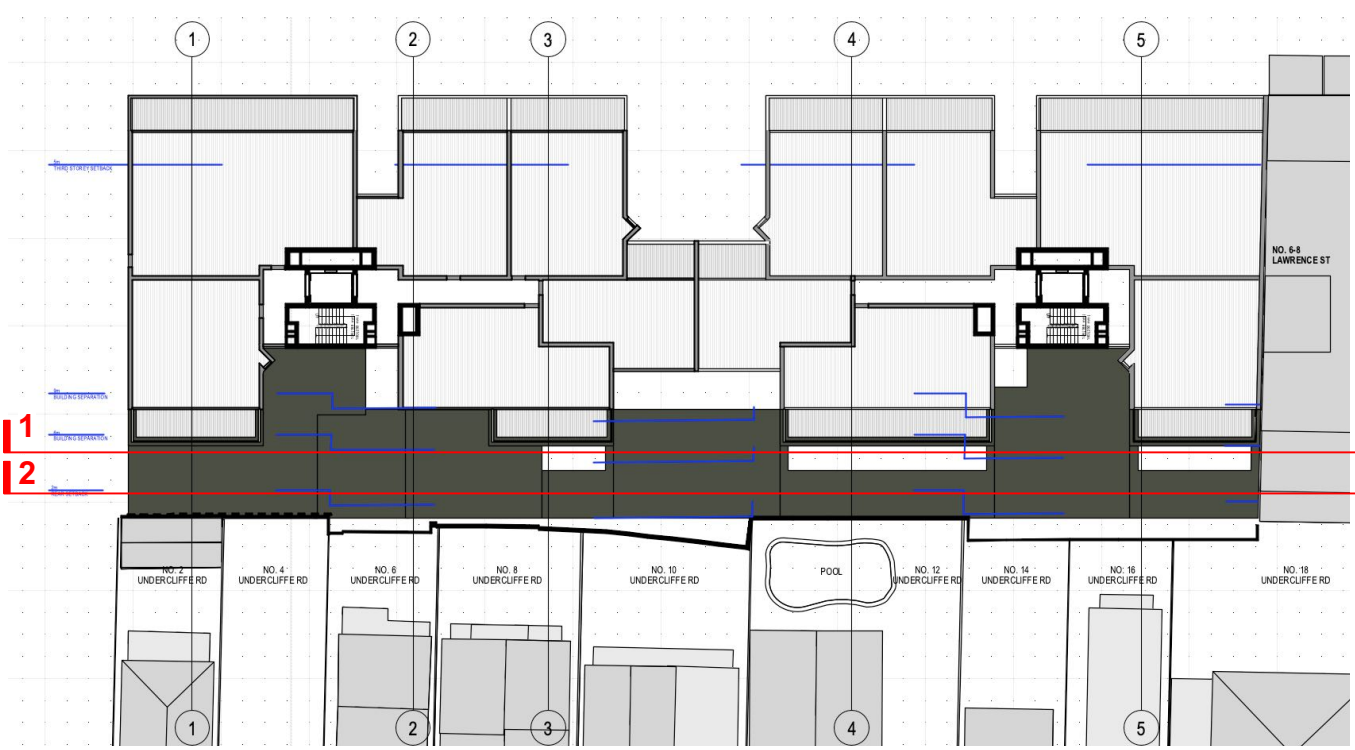
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Landscape Area Plans

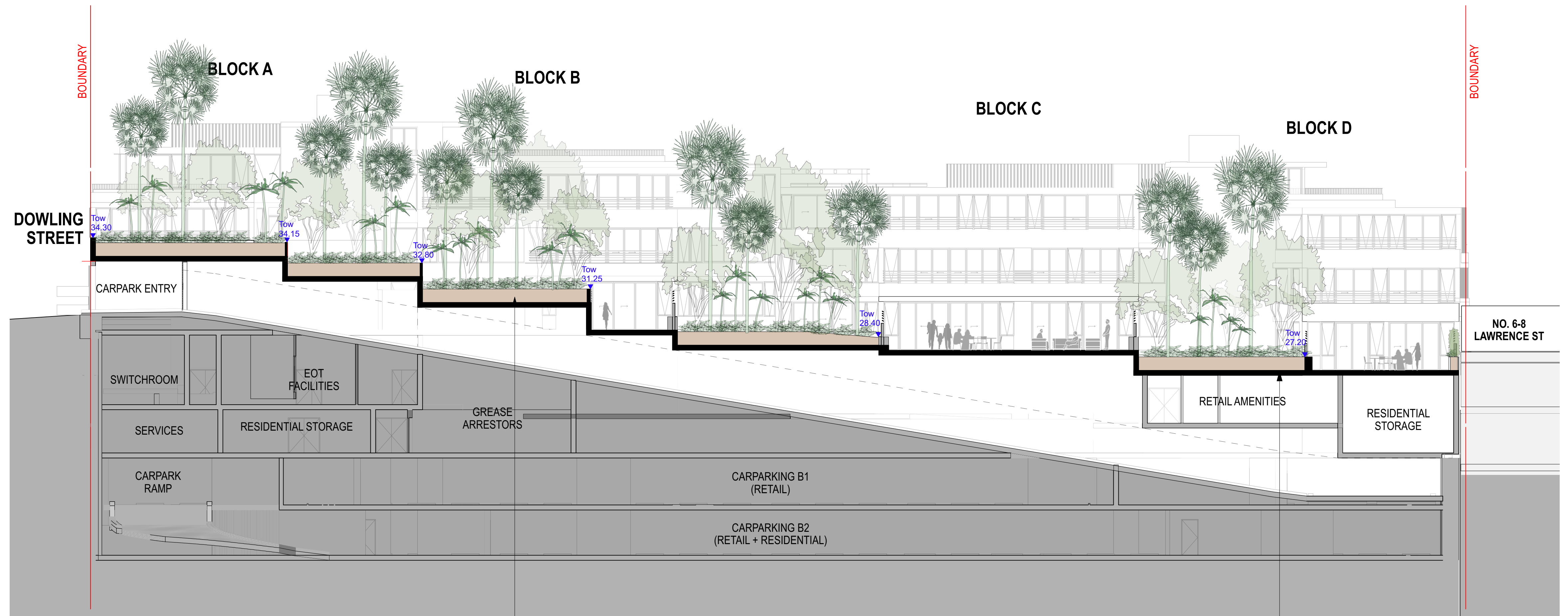
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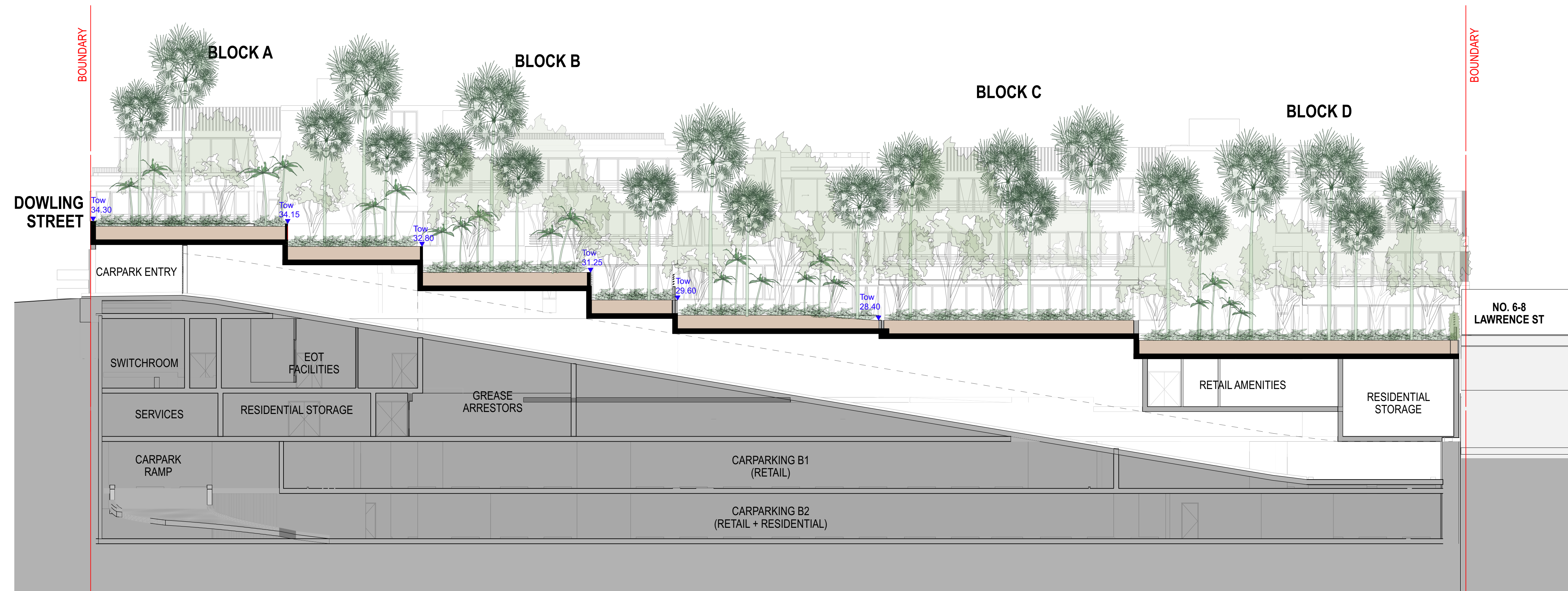
0 KEY PLAN
NTS



1 SECTION 1
1:150 @ A1

800mm High Upstand planter walls
and 800mm soil depth. Soil mounding
for trees 1000mm soil depth.

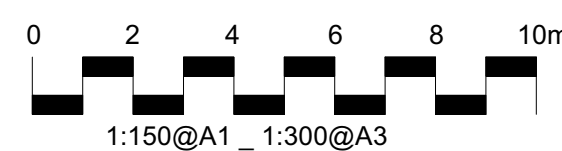
Retaining wall at Private Terrace edge
to allow for soil depth.



2 SECTION 2
1:150 @ A1

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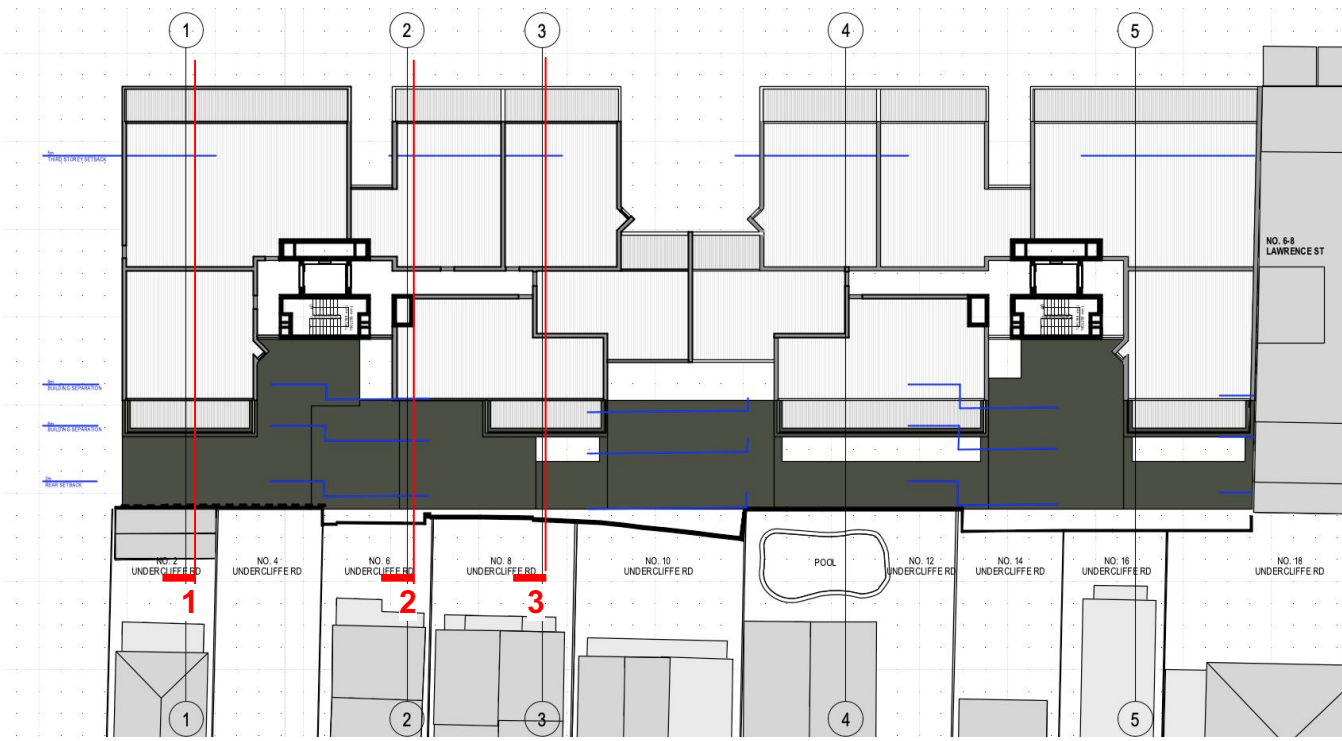
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JG
STAGE
DA

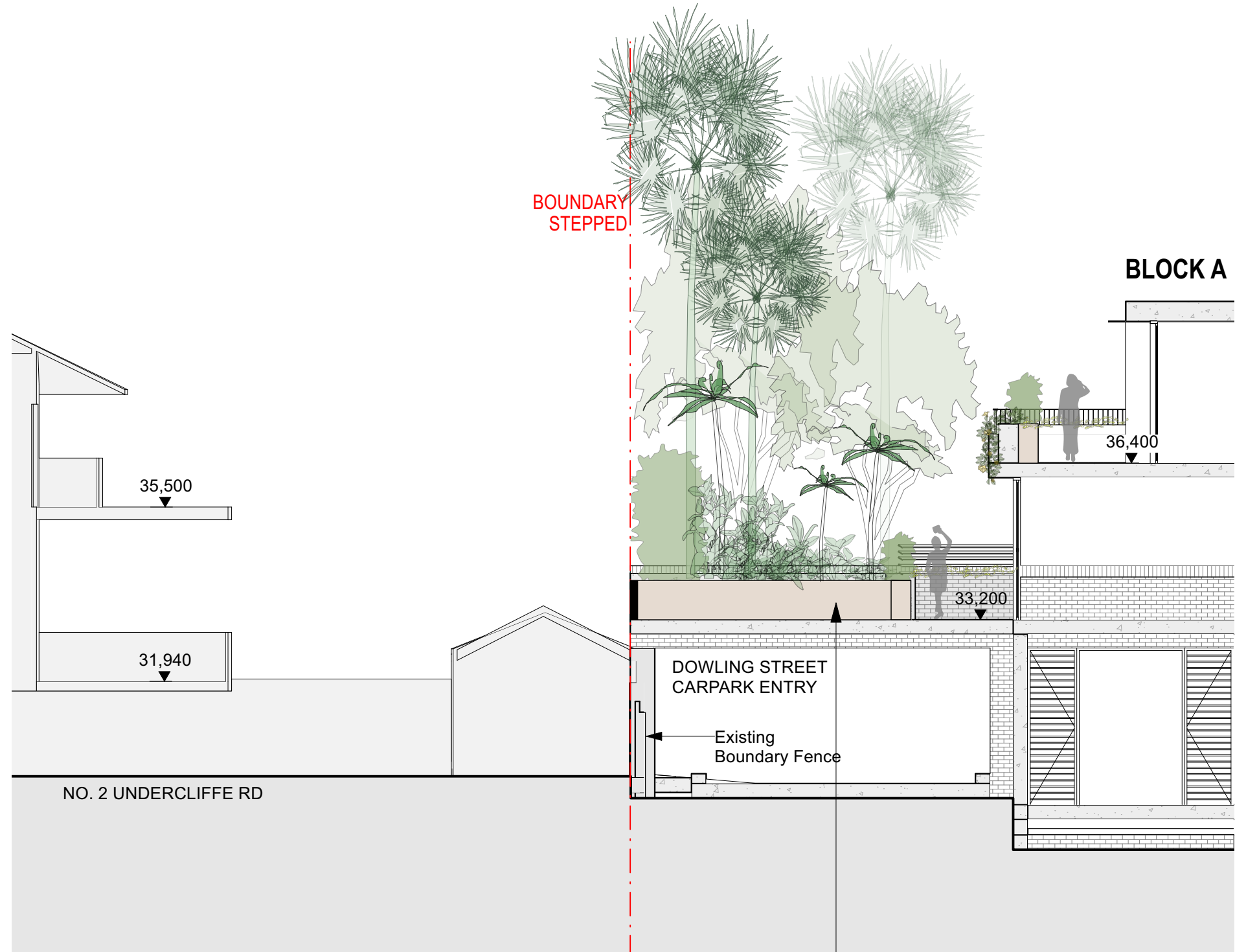
DWG. TITLE
Sections Sheet 1
PROJECT
Freshie Mixed Use Development

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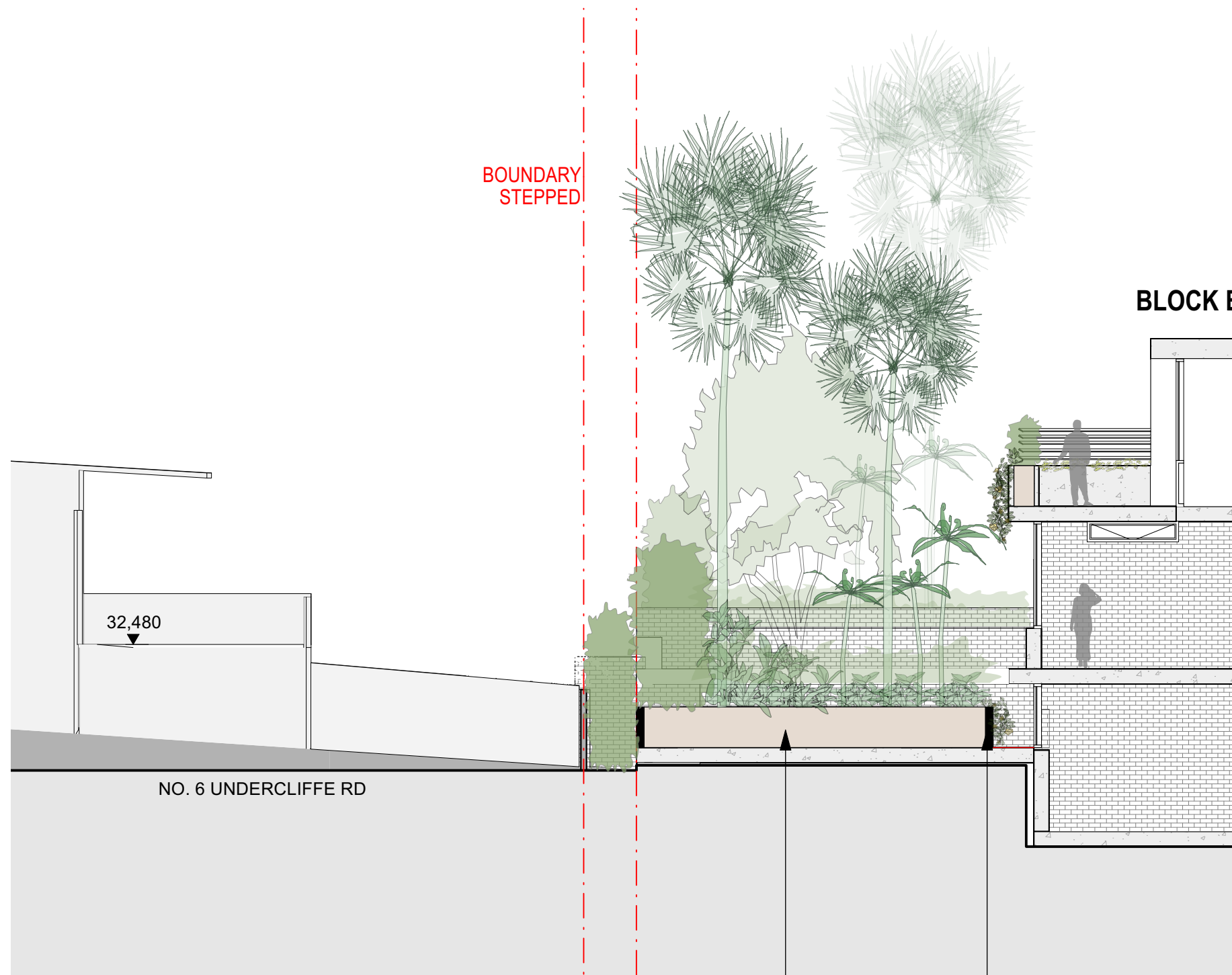
L-DA-10



0 KEY PLAN
NTS

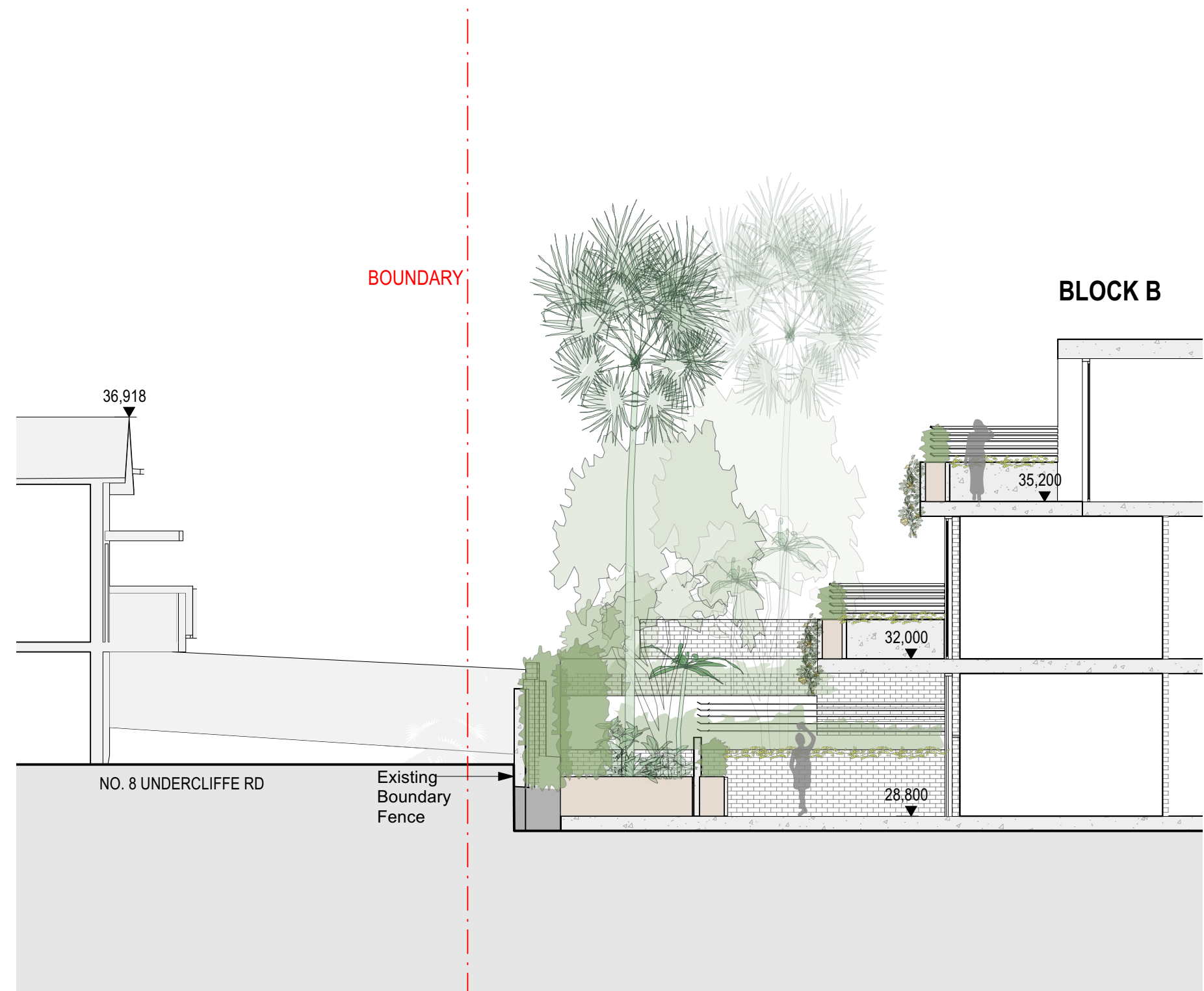


800mm High Upstand planter walls
and 800mm soil depth. Soil mounding
for trees 1000mm soil depth.



800mm High Upstand planter walls
and 800mm soil depth. Soil mounding
for trees 1000mm soil depth.

Planter wall set back
to allow for Lightwell.



1 SECTION 1
1:100 @ A1

2 SECTION 2
1:100 @ A1

3 SECTION 3
1:100 @ A1

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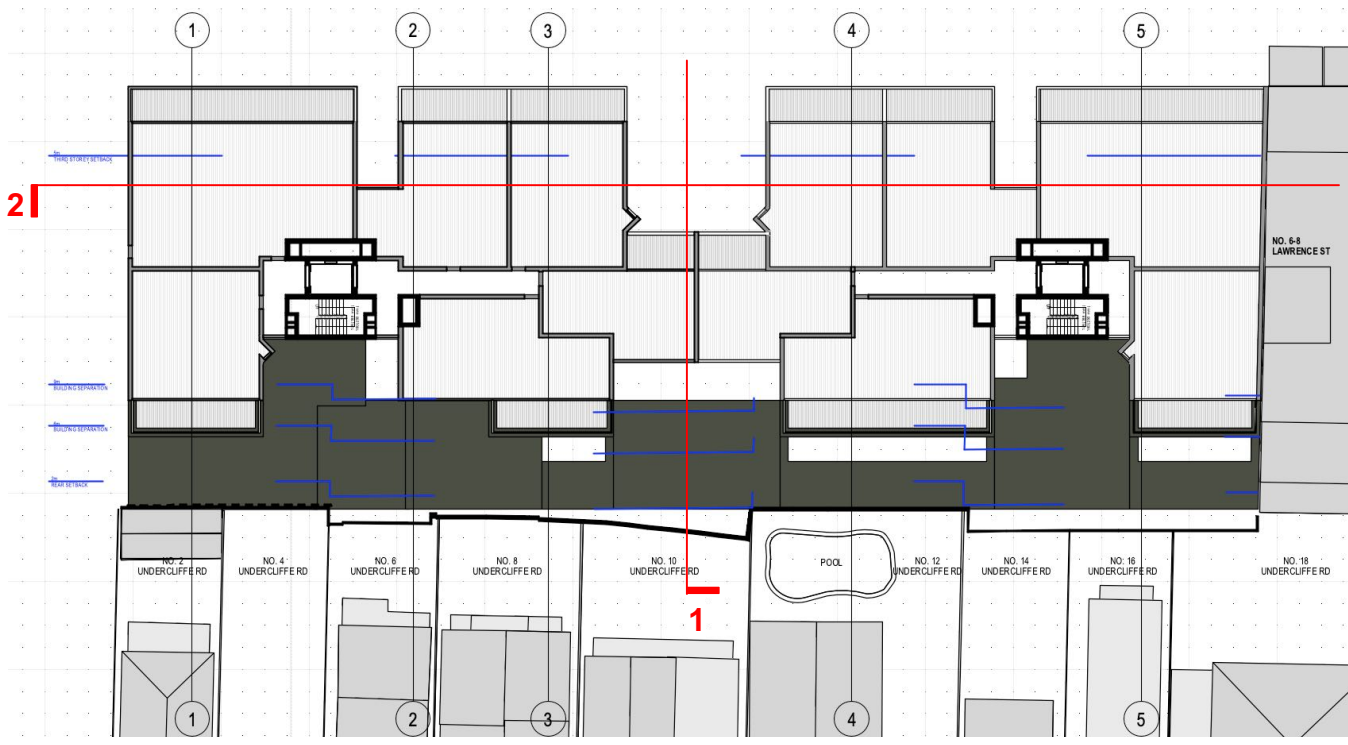
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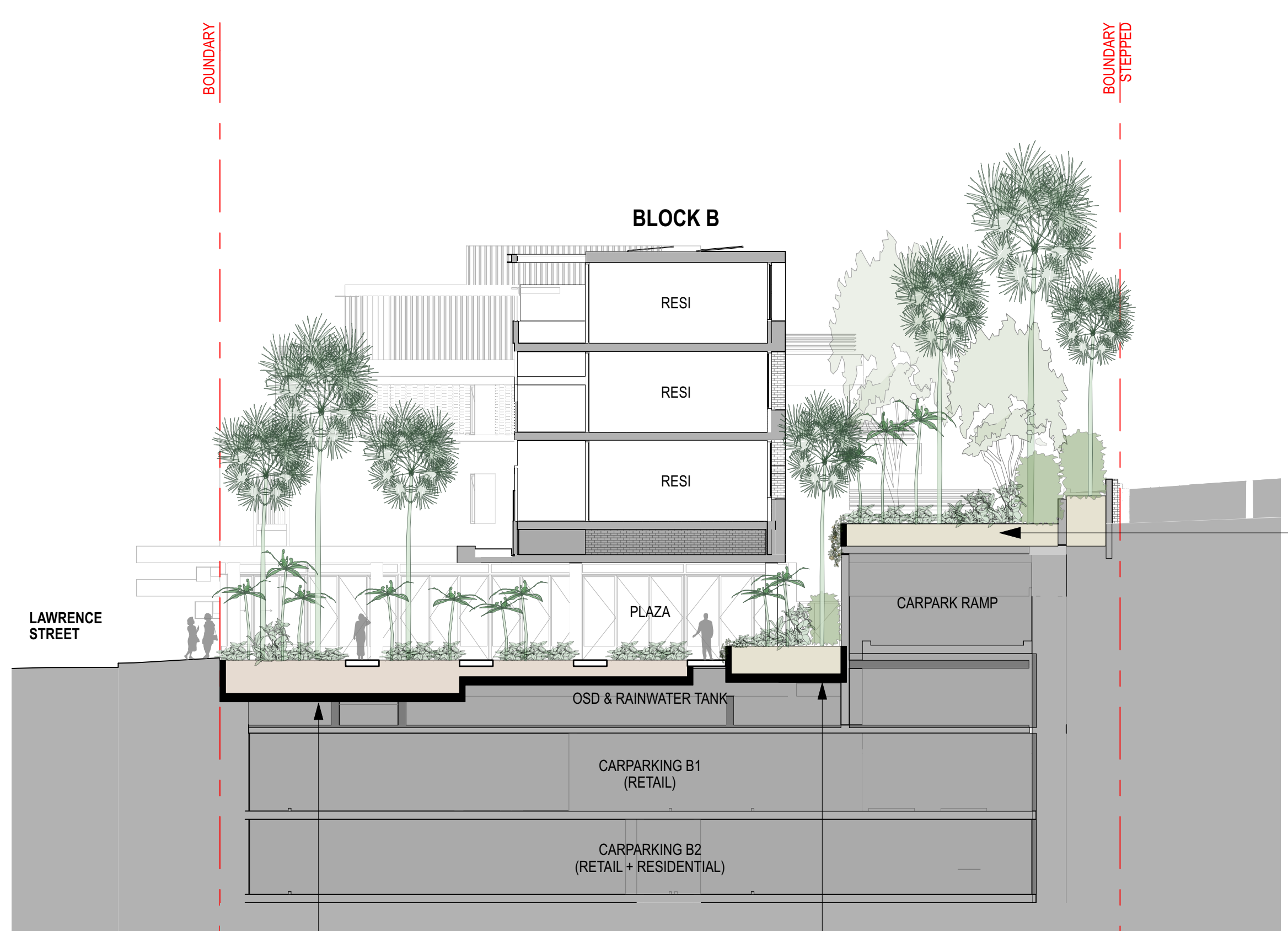
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L-DA-11



0 KEY PLAN
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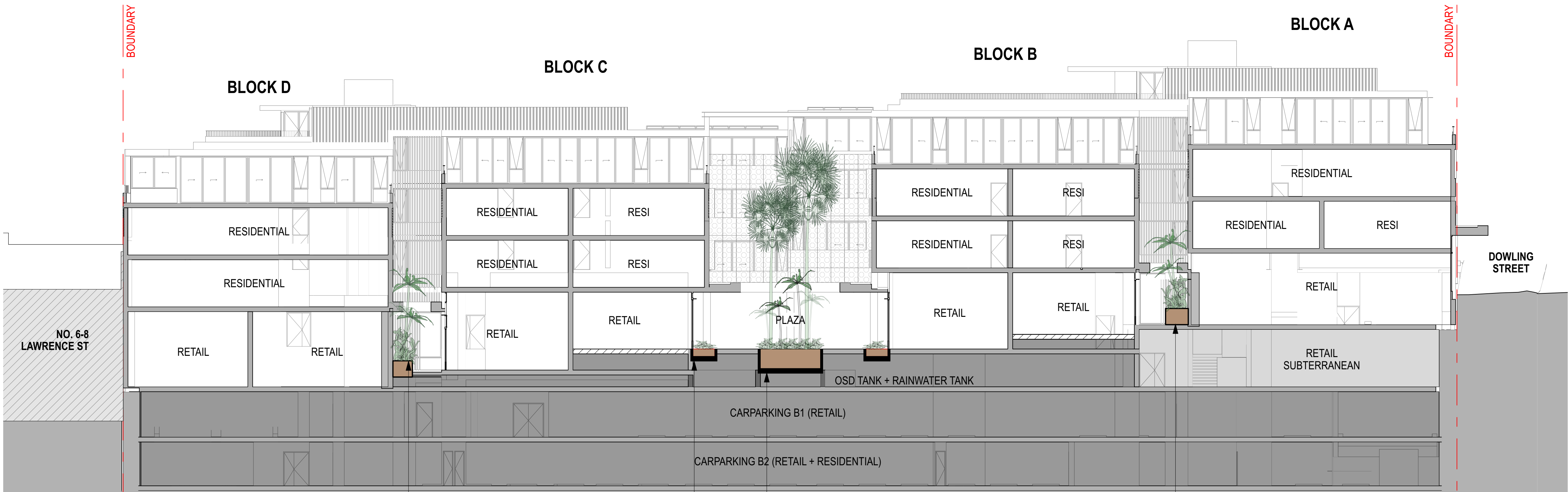


1 SECTION 1
1:150 @ A1

Sunken planter at varied depths in main Plaza.
1200mm depth for palm trees,
600mm depth for lower shrubs under awning above.

Part Raised/ part sunken planter
1m deep soil.

800mm High Upstand planter walls
and 800mm soil depth. Soil mounding
for trees 1000mm soil depth.



2 SECTION 2
1:150 @ A1

Raised Planter
Soil depth 1000mm

Sunken Planter
Soil depth 450mm

Sunken Planter. Soil depth varies
from 1200mm soil depth to 600mm soil depth.

Raised Planter. Soil depth 1000mm

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DWG. TITLE
Section Sheet 3

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L-DA-12

PLANTING PALETTE

TREES + PALMS



Howea forsteriana
(Kentia Palm)



Livistona australis
(Cabbage-tree Palm)



Cyathea cooperi
(Australian Tree Fern)



Pandanus tectorius
(Screw Pine)



Banksia integrifolia
(Coast Banksia)



Caupaniopsis anacardioides
(Tuckeroo)



Tristaniopsis laurina luscious
(Watergum / Kanooka)

SHRUBS, GRASSES & GROUNDCOVERS



Alpinia nutans
(Native Ginger)



Monstera deliciosa
(Swiss Cheese Plant)



Ligularia reniformis
(Tractor Seat)



Ophiopogon jaburan
(Giant Lily Turf)



Neomarica gracilis
(Walking Iris)



Westringia fruticosa
(Coastal Rosemary)



Lomandra 'Lime Tuff'
(Lime Tuff)



Licuala ramsayi
(Queensland Fan Palm)



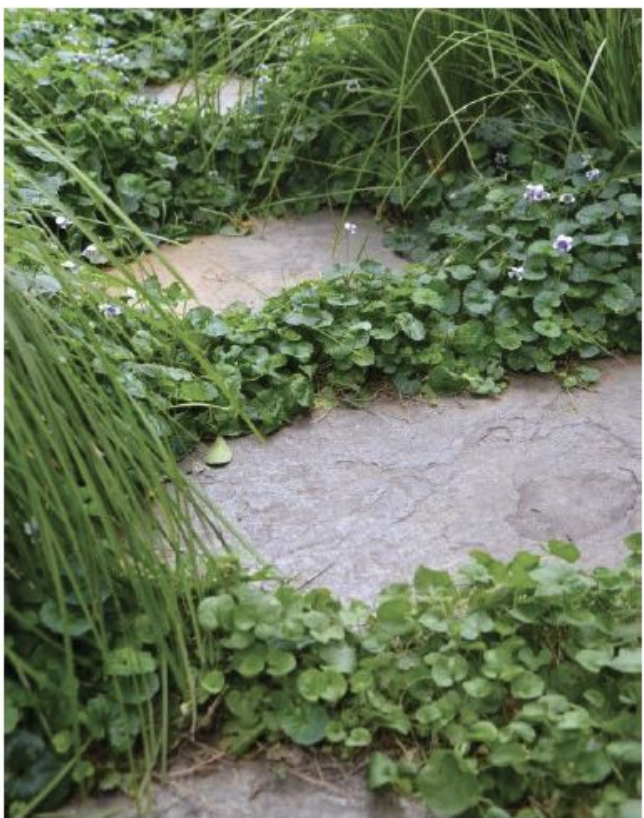
Monstera deliciosa
(Swiss Cheese Plant)



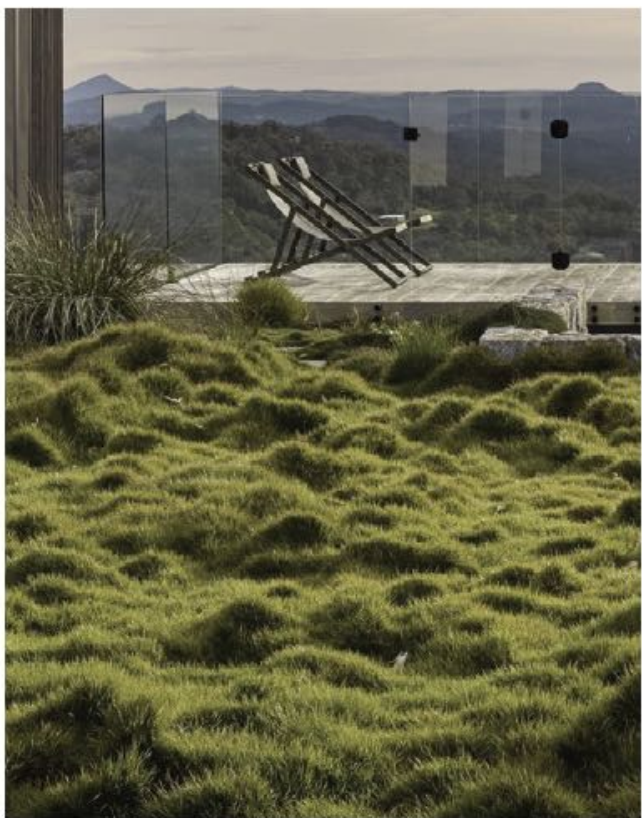
Blechnum 'Silver Lady'
(Dwarf Tree Fern)



Doodia aspera
(Prickly Rasp Fern)



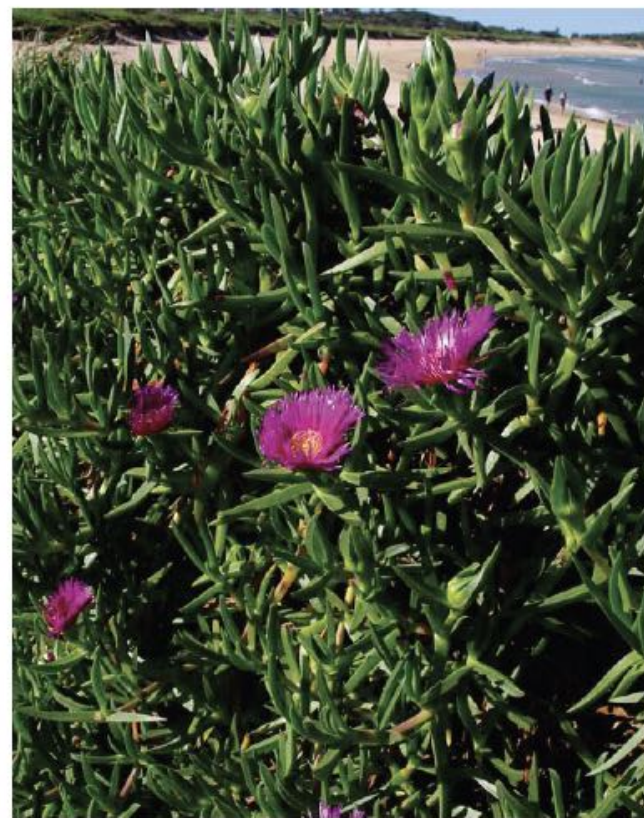
Viola hederacea
(Native Violet)



Zoysia tenuifolia
(Carpet Grass)



Canavalia rosea
(Beach Bean)



Carpobrotus glaucescens
(Pig Face)



Casuarina 'Cousin II'
(Cousin II)



Grevillea rosmarinifolia
(Chinese Silver Grass)



Plectranthus nico
(Swedish Ivy)

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DWG. TITLE
Planting Palette

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L-DA-13