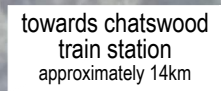


Drawing No. **23-023 A000** Revision **L**



towards bus stop
pittwater road stand d
approximately 1.2km

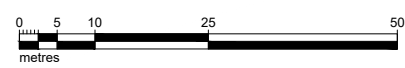
towards manly wharf
approximately 5.3km

towards tafe nsw
northern beaches
approximately 600m

towards westfield
warringah mall
approximately 650m

LOT 3 DP 868761

SITE PLAN / SITE ANALYSIS PLAN



No. 114 OLD
PITTWATER ROAD
BROOKVALE
LOT 1 DP 868761

SP 22139

EXISTING
HARDSTAND

EXISTING LOADING PLATFORM

EXISTING
HARDSTAND

EXISTING
ROOFTOP
CARPARK

EXISTING
CARPARK

BOUNDARY 75.48

SP 66459

LOT 202 DP 707605

PITTWATER ROAD

NOISE FROM VEHICLE TRAFFIC

**FOR COMPLYING DEVELOPMENT
CERTIFICATE APPROVAL**
NOT FOR CONSTRUCTION UNTIL APPROVED

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T	22 08 2025	ISSUED FOR COMPLYING DEVELOPMENT CERTIFICATE APPROVAL	MF2
H	08 08 2025	ISSUED FOR CONSULTANTS COORDINATION	MF2
G	01 08 2025	1m Roof GAP INFILL ADDED. ISSUED FOR APPROVAL	MF2
F	11 06 2025	REVISIONS AS PER REVISED CONTROL PLAN	MF2
E	09 05 2025	REVISIONS AS PER CONSULTANTS COORDINATION	MF2
D	11 04 2025	REVISIONS AS PER CONSULTANTS COORDINATION. ISSUED FOR CDC APPROVAL	MF2
C	26 11 2024	REVISIONS AS PER CONSULTANTS COORDINATION	MF2
B	08 11 2024	REVISIONS AS PER CLIENTS COMMENTS	MF2
A	08 11 2024	ORIGINAL ISSUE	MF2
No	Date	Amendment	By

MCHP
AT RICE UNIVERSITY

ABN 21 906 632 450

**SUITE 5, 38-46 ALBANY STREET
ST LEONARDS NSW 2065**

02 9436 2222 **mchp.com.au**

NOMINATED ARCHITECTS:
Craig Ridgwell: 9109 NSW | 3871 SA | 800779 Vic | 2671 ACT
David Cahill: 7135 NSW | 3870 SA | 16212 Vic | 2805 ACT | 5724 Qld
MCHP Architects Company Registration: 600137 Vic | 3879 SA

Client	WOOLWORTHS GROUP LIMITED
Project	PROPOSED DIRECT TO BOOT FACILITY WOOLWORTHS - BROOKVALE CFC 114 OLD PITTWATER ROAD, BROOKVALE NSW 2100 LOT 1 / DP 868761

Drawing Title			
SITE PLAN / SITE ANALYSIS PLAN / KEY SITE PLAN			
	A1 Scale	A3 Scale	Date
	1:500	HALF A1 SCALE	09.07.2024
Drawing No			Drawn
23-023 A001			MF2
			Revision
			I



THE CONTRACTOR SHALL VERIFY JOB DIMENSIONS PRIOR TO ANY WORK COMMENCING. DO NOT SCALE DRAWINGS.

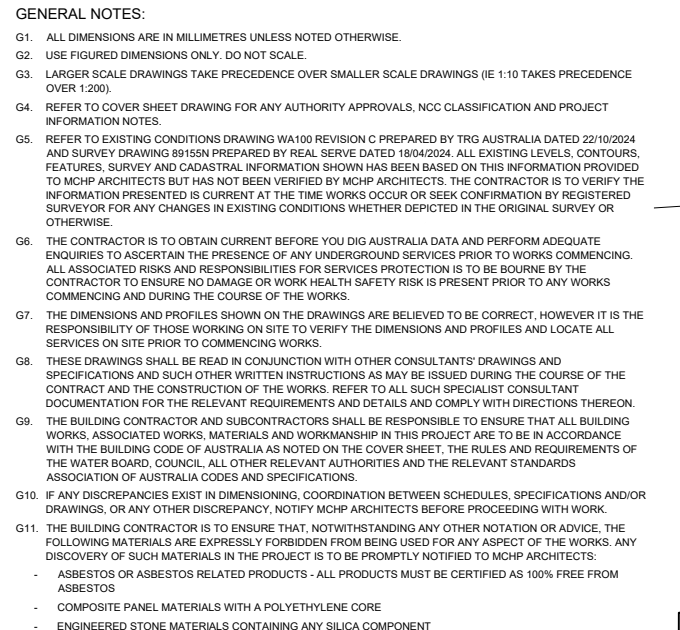
MCHP
ALL ABOUT IT

NOMINATED ARCHITECTS:
 Craig Ridgewell: 9109 NSW | 3871 SA | 800779 Vic | 2871 ACT
 David Cahill: 7135 NSW | 3870 SA | 16212 Vic | 2805 ACT | 5724 Qld
 MCHP Architects Company Registration: 600137 Vic | 3879 SA

Project

**PROPOSED DIRECT TO BOOT FACILITY
WOOLWORTHS - BROOKVALE CFC
114 OLD PITTWATER ROAD, BROOKVALE NSW 2100
LOT 1 / DP 868761**

	A1 Scale	A3 Scale	Date	Drawn
	1:200	HALF A1 SCALE	09.07.2024	MF2
Drawing No			Revision	
23-023 A002			L	



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ABN 21 096 632 450

SUITE 5, 38-46 ALBANY STREET
ST LEONARDS NSW 2065

02 9436 2222 mchp.com.au

NOMINATED ARCHITECTS:
Craig Ragnwell: 9102 NSW | 9871 SA | 800779 VIC | 2831 ACT
David Cullen: 7135 NSW | 3891 SA | 9812 VIC | 2505 ACT | 9524 QLD
MCHP Architects Company Registration: 600137 VIC | 3879 SA

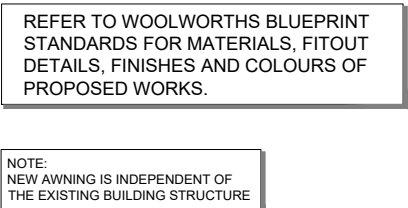
ABN 21 096 632 450

**SUITE 5, 38-46 ALBANY STREET
ST LEONARDS NSW 2065**

02 9436 2222 **mchp.com.au**

NOMINATED ARCHITECTS:
Craig Ridgwell: 9109 NSW | 3871 SA | 800779 Vic | 2871 ACT
David Cahill: 7135 NSW | 3870 SA | 16212 Vic | 2805 ACT | 5724 Qld
MCHP Architects Company Registration: 600137 Vic | 3879 SA

Drawing Title			
PROPOSED FLOOR PLAN			
A1 Scale 1:50	A3 Scale HALF A1 SCALE	Date 09.07.2024	Drawn MF2
Drawing No 23-023 A003			Revision I



10 x NEW MOUNTED CAR PARK WITH
REAR TO KERB SIGNS TO SIGNAGE
MANUFACTURER'S DETAILS



NEW ARMCO
BARRIER TO
ENGINEERS
DETAILS.

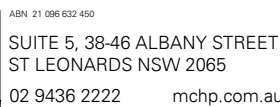
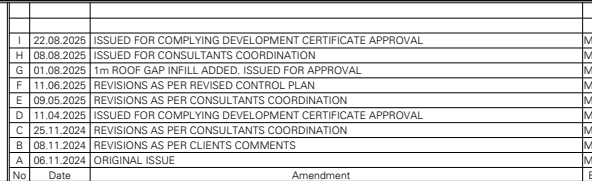
NEW NON-COMBUSTIBLE ALUMINIUM –
SHEETING, GREEN COLOUR TO
MATCH DULUX GRASS COURT, WITH
WHITE VINYLE GRAPHICS TO SIGNAGE
MANUFACTURER'S DETAILS @ 4030
AFFL TO MATCH EXISTING



A1 SCALE: 1:50

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Drawing Title			
PROPOSED ELEVATIONS			
A1 Scale	A3 Scale	Date	Drawn
1:50	HALF A1 SCALE	09.07.2024	MF2
Drawing No			Revision
23-023 A004			I



REFER TO WOOLWORTHS BLUEPRINT
STANDARDS FOR MATERIALS, FITOUT
DETAILS, FINISHES AND COLOURS OF
PROPOSED WORKS.

- G1. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE.
- G2. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE.
- G3. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS (IE 1:10 TAKES PRECEDENCE OVER 1:200).
- G4. REFER TO COVER SHEET DRAWING FOR ANY AUTHORITY APPROVALS, NCC CLASSIFICATION AND PROJECT INFORMATION NOTES.
- G5. REFER TO EXISTING CONDITIONS DRAWING W1400 REVISION C PREPARED BY TRG AUSTRALIA DATED 22/10/2024 AND SURVEY DRAWING 89155N PREPARED BY REAL SERVICE DATED 18/04/2024. ALL EXISTING LEVELS, CONTOURS, FEATURES, SURVEY AND CADASTRAL INFORMATION SHOWN HAS BEEN BASED ON THIS INFORMATION PROVIDED TO MCHP ARCHITECTS BUT HAS NOT BEEN VERIFIED BY MCHP ARCHITECTS. THE CONTRACTOR IS TO VERIFY THE INFORMATION PRESENTED IS CORRECT AT THE TIME WORKS OCCUR OR SEEK CONFIRMATION BY REGISTERED SURVEYOR FOR ANY CHANGES IN EXISTING CONDITIONS WHETHER DEPICTED IN THE ORIGINAL SURVEY OR OTHERWISE.
- G6. THE CONTRACTOR IS TO OBTAIN CURRENT BEFORE YOU DUE AUSTRALIA DATA AND PERFORM ADEQUATE ENQUIRIES TO ASCERTAIN THE PRESENCE OF ANY UNDERGROUND SERVICES PRIOR TO WORKS COMMENCING. ALL ASSOCIATED RISKS AND RESPONSIBILITIES FOR SERVICES PROTECTION IS TO BE BORNE BY THE CONTRACTOR TO ENSURE NO DAMAGE OR WORK HEALTH SAFETY RISKS IS PRESENT PRIOR TO ANY WORKS COMMENCING AND DURING THE COURSE OF THE WORKS.
- G7. THE DIMENSIONS AND PROFILES SHOWN ON THE DRAWINGS ARE BELIEVED TO BE CORRECT, HOWEVER IT IS THE RESPONSIBILITY OF THOSE WORKING ON SITE TO VERIFY THE DIMENSIONS AND PROFILES AND LOCATE ALL SERVICES ON SITE PRIOR TO COMMENCING WORKS.
- G8. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS AND SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT AND THE CONSTRUCTION OF THE WORKS. REFER TO ALL SUCH SPECIALIST CONSULTANT DOCUMENTATION FOR THE RELEVANT REQUIREMENTS AND DETAILS AND COMPLY WITH DIRECTIONS THEREON.
- G9. THE BUILDING CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE TO ENSURE THAT ALL BUILDING WORKS, ASSOCIATED WORKS, MATERIALS AND WORKMANSHIP IN THIS PROJECT ARE TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AS NOTED ON THE COVER SHEET, THE RULES AND REQUIREMENTS OF THE WATER BOARD, COUNCIL, ALL OTHER RELEVANT AUTHORITIES AND THE RELEVANT STANDARDS ASSOCIATION OF AUSTRALIA CODES AND SPECIFICATIONS.
- G10. IF ANY DISCREPANCIES EXIST IN DIMENSIONING, COORDINATION BETWEEN SCHEDULES, SPECIFICATIONS AND/OR DRAWINGS, OR ANY OTHER DISCREPANCY, NOTIFY MCHP ARCHITECTS BEFORE PROCEEDING WITH WORK.
- G11. THE BUILDING CONTRACTOR IS TO ENSURE THAT, NOTWITHSTANDING ANY OTHER NOTATION OR ADVICE, THE FOLLOWING MATERIALS ARE EXPRESSLY FORBIDDEN FROM BEING USED FOR ANY ASPECT OF THE WORKS: ANY DISCOVERY OF SUCH MATERIALS IN THE PROJECT IS TO BE PROMPTLY NOTIFIED TO MCHP ARCHITECTS:
 - ASBESTOS OR ASBESTOS RELATED PRODUCTS - ALL PRODUCTS MUST BE CERTIFIED AS 100% FREE FROM ASBESTOS
 - COMPOSITE PANEL MATERIALS WITH A POLYETHYLENE CORE
 - ENGINEERED STONE MATERIALS CONTAINING ANY SILICA COMPONENT



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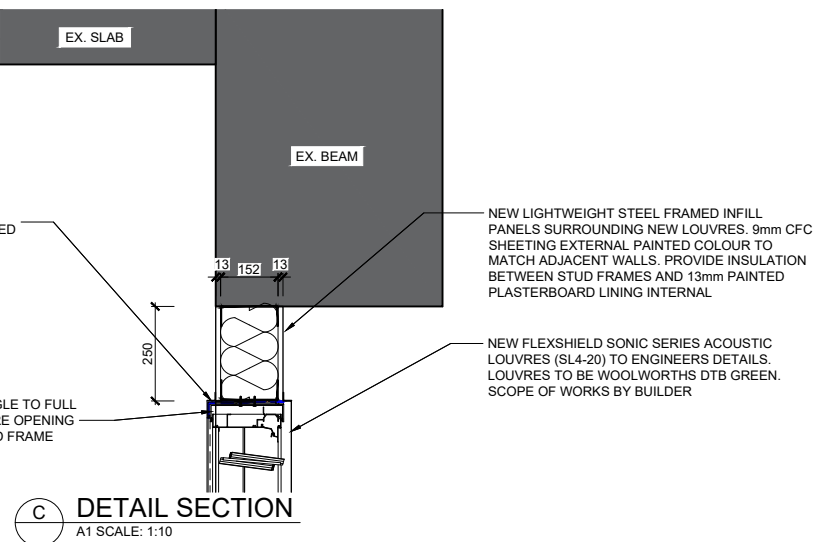
MCHP
ALBERT EINSTEIN

NOMINATED ARCHITECTS:
Craig Ridgwell: 9109 NSW | 3871 SA | 800779 Vic | 2871 ACT
David Cahill: 7135 NSW | 3870 SA | 16212 Vic | 2805 ACT | 5724 Qld
MCHP Architects Company Registration: 600137 Vic | 3879 SA

Client

WOOLWORTHS GROUP LIMITED

	A1 Scale 1:100 / 1:50	A3 Scale HALF A1 SCALE	Date 09.07.2024	Drawn MF2
	Drawing No			Revision
	23-023 A005			H



- GENERAL NOTES:**
- G1. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE.
 - G2. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE.
 - G3. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS (IE 1:10 TAKES PRECEDENCE OVER 1:200).
 - G4. REFER TO COVER SHEET DRAWING FOR ANY AUTHORITY APPROVALS, NCC CLASSIFICATION AND PROJECT INFORMATION NOTES.
 - G5. REFER TO EXISTING CONDITIONS DRAWING WA100 REVISION C PREPARED BY TRG AUSTRALIA DATED 22/10/2024 AND SURVEY DRAWING 89155N PREPARED BY REAL SERVICE DATED 18/04/2024. ALL EXISTING LEVELS, CONTOURS, FEATURES, SURVEY AND CADASTRAL INFORMATION SHOWN HAS BEEN BASED ON THIS INFORMATION PROVIDED TO MCHP ARCHITECTS. IT HAS NOT BEEN VERIFIED BY MCHP ARCHITECTS. THE CONTRACTOR IS TO VERIFY THE INFORMATION PRESENTED IS CURRENT AT THE TIME WORKS OCCUR OR SEEK CONFIRMATION BY REGISTERED SURVEYOR FOR ANY CHANGES IN EXISTING CONDITIONS WHETHER DEPICTED IN THE ORIGINAL SURVEY OR OTHERWISE.
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 - G7. THE DIMENSIONS AND PROFILES SHOWN ON THE DRAWINGS ARE BELIEVED TO BE CORRECT, HOWEVER IT IS THE RESPONSIBILITY OF THOSE WORKING ON SITE TO VERIFY THE DIMENSIONS AND PROFILES AND LOCATE ALL SERVICES ON SITE PRIOR TO COMMENCING WORKS.
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 - G9. THE BUILDING CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE TO ENSURE THAT ALL BUILDING WORKS, ASSOCIATED WORKS, MATERIALS AND WORKSMANSHIP IN THIS PROJECT ARE TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AS NOTED ON THE COVER SHEET, THE RULES AND REQUIREMENTS OF THE WATER BOARD, COUNCIL, ALL OTHER RELEVANT AUTHORITIES AND THE RELEVANT STANDARDS ASSOCIATION OF AUSTRALIA CODES AND SPECIFICATIONS.
 - G10. IF ANY DISCREPANCIES ARE IN DIMENSIONING, COORDINATION BETWEEN SCHEDULES, SPECIFICATIONS AND/OR DRAWINGS, OR ANY OTHER DISCREPANCY, NOTIFY MCHP ARCHITECTS BEFORE PROCEEDING WITH WORK.
 - G11. THE BUILDING CONTRACTOR IS TO ENSURE THAT, NOTWITHSTANDING ANY OTHER NOTATION OR ADVICE, THE FOLLOWING MATERIALS ARE EXPRESSLY FORBIDDEN FROM BEING USED FOR ANY ASPECT OF THE WORKS. ANY DISCOVERY OF SUCH MATERIALS IN THE PROJECT IS TO BE PROMPTLY NOTIFIED TO MCHP ARCHITECTS:
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 - COMPOSITE PANEL MATERIALS WITH A POLYETHYLENE CORE
 - ENGINEERED STONE MATERIALS CONTAINING ANY SILICA COMPONENT

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CERTIFICATE APPROVAL**
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A	22.08.2025	ORIGINAL ISSUE, ISSUED FOR COMPLYING DEVELOPMENT CERTIFICATE APPROVAL	M
No	Date	Amendment	E



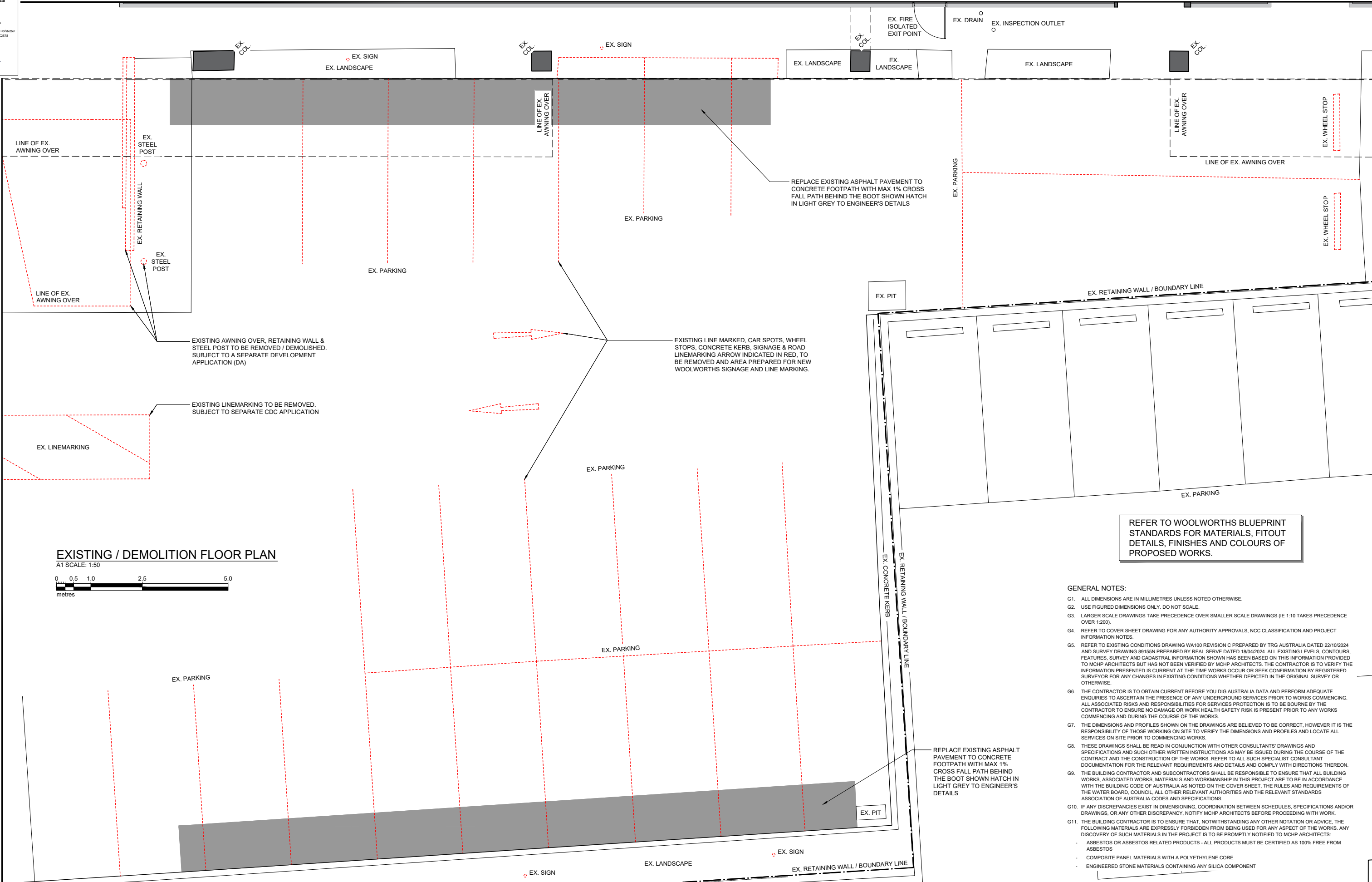
ABN 21 096 632 450
SUITE 5, 38-46 ALBANY STREET
ST LEONARDS NSW 2065
02 9436 2222 mchp.com.au

NOMINATED ARCHITECTS:
Craig Ridgewell: 9109 NSW | 3871 SA | 800779 Vic | 2871 ACT
David Cahill: 7135 NSW | 3870 SA | 16212 Vic | 2805 ACT | 5724 Qld
MCHP Architects Company Registration: 600137 Vic | 3879 SA

Project

**PROPOSED DIRECT TO BOOT FACILITY
WOOLWORTHS - BROOKVALE CFC
114 OLD PITTWATER ROAD, BROOKVALE NSW 2100
LOT 1 / DP 868761**

A1 Scale 1:50 / 1:10	A3 Scale HALF A1 SCALE	Date 09.07.2024	Drawn MF2
Drawing No			Revision
23-023 A007			A



REFER TO WOOLWORTHS BLUEPRINT STANDARDS FOR MATERIALS, FITOUT DETAILS, FINISHES AND COLOURS OF PROPOSED WORKS.

- GENERAL NOTES:
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CERTIFICATE APPROVAL
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No	Date	Amendment	By
E	22.08.2025	ISSUED FOR COMPLYING DEVELOPMENT CERTIFICATE APPROVAL	MF2
D	08.08.2025	ISSUED FOR CONSULTANTS COORDINATION	MF2
C	01.08.2025	ISSUED FOR APPROVAL	MF2
B	11.04.2025	REVISIONS AS PER CONSULTANTS COORDINATION, ISSUED FOR CDC APPROVAL	MF2
A	06.11.2024	ORIGINAL ISSUE	MF2



ABN 21 096 632 450
SUITE 5, 38-46 ALBANY STREET
ST LEONARDS NSW 2065
02 9436 2222 mchp.com.au

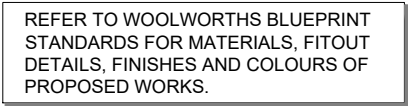
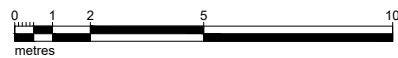
NOMINATED ARCHITECTS:
Craig Ridgwell: 9109 NSW | 3871 SA | 800779 Vic | 2871 ACT
David Cahill: 7135 NSW | 3870 SA | 16212 Vic | 2805 ACT | 5724 Old
MCHP Architects Company Registration: 650137 Vic | 3879 SA

Client
WOOLWORTHS GROUP LIMITED

Project
**PROPOSED DIRECT TO BOOT FACILITY
WOOLWORTHS - BROOKVALE CFC
114 OLD PITTSWATER ROAD, BROOKVALE NSW 2100
LOT 1 / DP 868761**

Drawing Title
EXISTING / DEMOLITION FLOOR PLAN

A1 Scale
1:50
A3 Scale
HALF A1 SCALE
Date
09.07.2024
Drawn
MF2
Drawing No
23-023 EX01
Revision
E

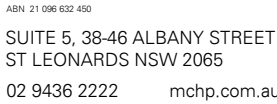


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- G2. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE.
- G3. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS (IE 1:10 TAKES PRECEDENCE OVER 1:200).
- G4. REFER TO COVER SHEET DRAWING FOR ANY AUTHORITY APPROVALS, NCC CLASSIFICATION AND PROJECT INFORMATION NOTES.
- G5. REFER TO EXISTING CONDITIONS DRAWING WA100 REVISION C PREPARED BY TRG AUSTRALIA DATED 22/10/2022 AND SURVEY DRAWING 89155N PREPARED BY REAL SERVE DATED 18/04/2024. ALL EXISTING LEVELS, CONTOURS, FEATURES, SURVEY AND CADASTRAL INFORMATION SHOWN HAS BEEN BASED ON THIS INFORMATION PROVIDED TO MCHP ARCHITECTS BUT HAS NOT BEEN VERIFIED BY MCHP ARCHITECTS. THE CONTRACTOR IS TO VERIFY THE INFORMATION PRESENTED IS CURRENT AT THE TIME WORKS OCCUR OR SEEK CONFIRMATION BY REGISTERED SURVEYOR FOR ANY CHANGES IN EXISTING CONDITIONS WHETHER DEPICTED IN THE ORIGINAL SURVEY OR OTHERWISE.
- G6. THE CONTRACTOR IS TO OBTAIN CURRENT BEFORE YOU DIG AUSTRALIA DATA AND PERFORM ADEQUATE ENQUIRIES TO ASCERTAIN THE PRESENCE OF ANY UNDERGROUND SERVICES PRIOR TO WORKS COMMENCING. ALL ASSOCIATED RISKS AND RESPONSIBILITIES FOR SERVICES PROTECTION IS TO BE BORNE BY THE CONTRACTOR TO ENSURE NO DAMAGE OR WORK HEALTH SAFETY RISK IS PRESENT PRIOR TO ANY WORKS COMMENCING AND DURING THE COURSE OF THE WORKS.
- G7. THE DIMENSIONS AND PROFILES SHOWN ON THE DRAWINGS ARE BELIEVED TO BE CORRECT, HOWEVER IT IS THE RESPONSIBILITY OF THOSE OF WORKS TO VERIFY THE DIMENSIONS AND PROFILES AND LOCATE ALL SERVICES ON SITE PRIOR TO COMMENCING WORKS.
- G8. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS AND SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT AND THE CONSTRUCTION OF THE WORKS. REFER TO ALL SUCH SPECIALIST CONSULTANT DOCUMENTATION FOR THE RELEVANT REQUIREMENTS AND DETAILS AND COMPLY WITH DIRECTIONS THEREON.
- G9. THE BUILDING CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE TO ENSURE THAT ALL BUILDING WORKS, ASSOCIATED WORKS, MATERIALS AND WORKSMANSHIP IN THIS PROJECT ARE TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AS NOTED ON THE COVER SHEET, THE RULES AND REQUIREMENTS OF THE WATER BOARD, COUNCIL, ALL OTHER RELEVANT AUTHORITIES AND THE RELEVANT STANDARDS ASSOCIATION OF AUSTRALIA CODES AND SPECIFICATIONS.
- G10. IF ANY DISCREPANCIES EXIST IN DIMENSIONING, COORDINATION BETWEEN SCHEDULES, SPECIFICATIONS AND DRAWINGS, OR ANY OTHER DISCREPANCY, NOTIFY MCHP ARCHITECTS BEFORE PROCEEDING WITH WORK.
- G11. THE BUILDING CONTRACTOR IS TO ENSURE THAT, NOTWITHSTANDING ANY OTHER NOTATION OR ADVICE, THE FOLLOWING MATERIALS ARE EXPRESSLY FORBIDDEN FROM BEING USED FOR ANY ASPECT OF THE WORKS, ANY DISCOVERY OF SUCH MATERIALS IN THE PROJECT IS TO BE PROMPTLY NOTIFIED TO MCHP ARCHITECTS:
 - ASBESTOS OR ASBESTOS RELATED PRODUCTS - ALL PRODUCTS MUST BE CERTIFIED AS 100% FREE FROM ASBESTOS
 - COMPOSITE PANEL MATERIALS WITH A POLYETHYLENE CORE
 - ENGINEERED STONE MATERIALS CONTAINING ANY SILICA COMPONENT

IN ACCEPTING AND UTILISING THIS DOCUMENT, THE RECIPIENT AGREES THAT MCHP ARCHITECTS PTY LTD (ACN 696 632 456) RETAIN ALL COMMON LAW, STATUTORY LAW AND OTHER RIGHTS INCLUDING COPYRIGHT AND INTELLECTUAL PROPERTY RIGHTS. THE RECIPIENT AGREES NOT TO USE THIS DOCUMENT FOR ANY PURPOSE OTHER THAN THE ORIGINAL INTENDED USE. TO WAIVE ALL CLAIMS AGAINST MCHP ARCHITECTS RESULTING FROM UNAUTHORISED CHANGES, OR TO REUSE THE DOCUMENT ON OTHER PROJECTS WITHOUT THE PRIOR WRITTEN CONSENT OF MCHP ARCHITECTS, UNDER NO CIRCUMSTANCES SHALL TRANSFER OF THIS DOCUMENT BE DEEMED A SALE. MCHP ARCHITECTS MAKES NO WARRANTIES OF FITNESS FOR ANY PURPOSE.

THE CONTRACTOR SHALL VERIFY JOB DIMENSIONS PRIOR TO ANY WORK COMMENCING. DO NOT SCALE DRAWINGS.

D	22.08.2025	ISSUED FOR COMPLYING DEVELOPMENT CERTIFICATE APPROVAL			M
C	08.09.2025	ISSUED FOR CONSULTANTS COORDINATION			M
B	01.08.2025	ISSUED FOR APPROVAL			M
A	11.06.2025	ORIGINAL ISSUE			M
No.	Date	Amendment			E

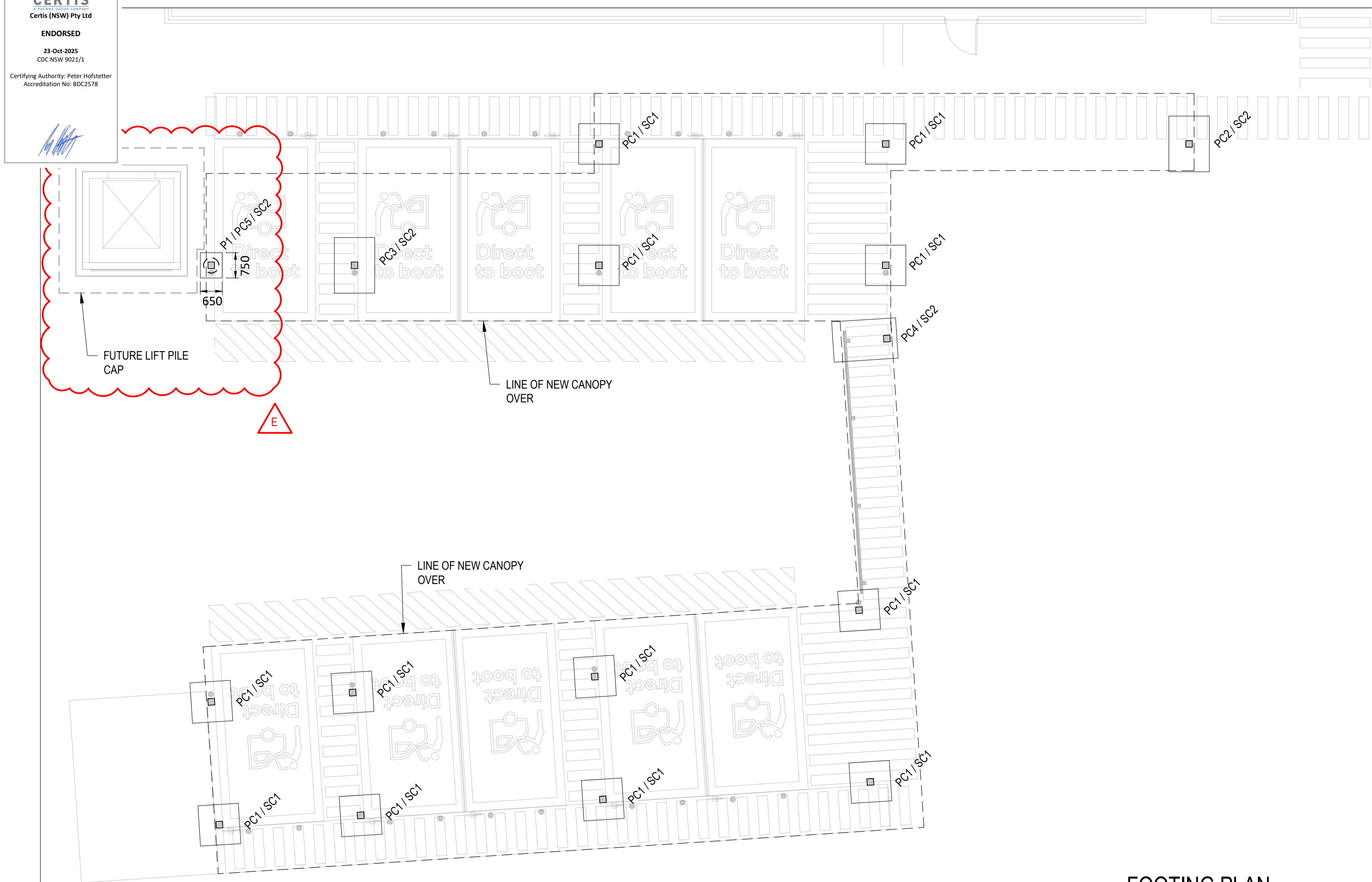


NOMINATED ARCHITECTS:
Craig Ridgewell: 9109 NSW | 3871 SA | 800779 Vic | 2871 ACT
David Cahill: 7135 NSW | 3870 SA | 16212 Vic | 2805 ACT | 5724 Qld
MCHP Architects Company Registration: 600137 Vic | 3879 SA

Project

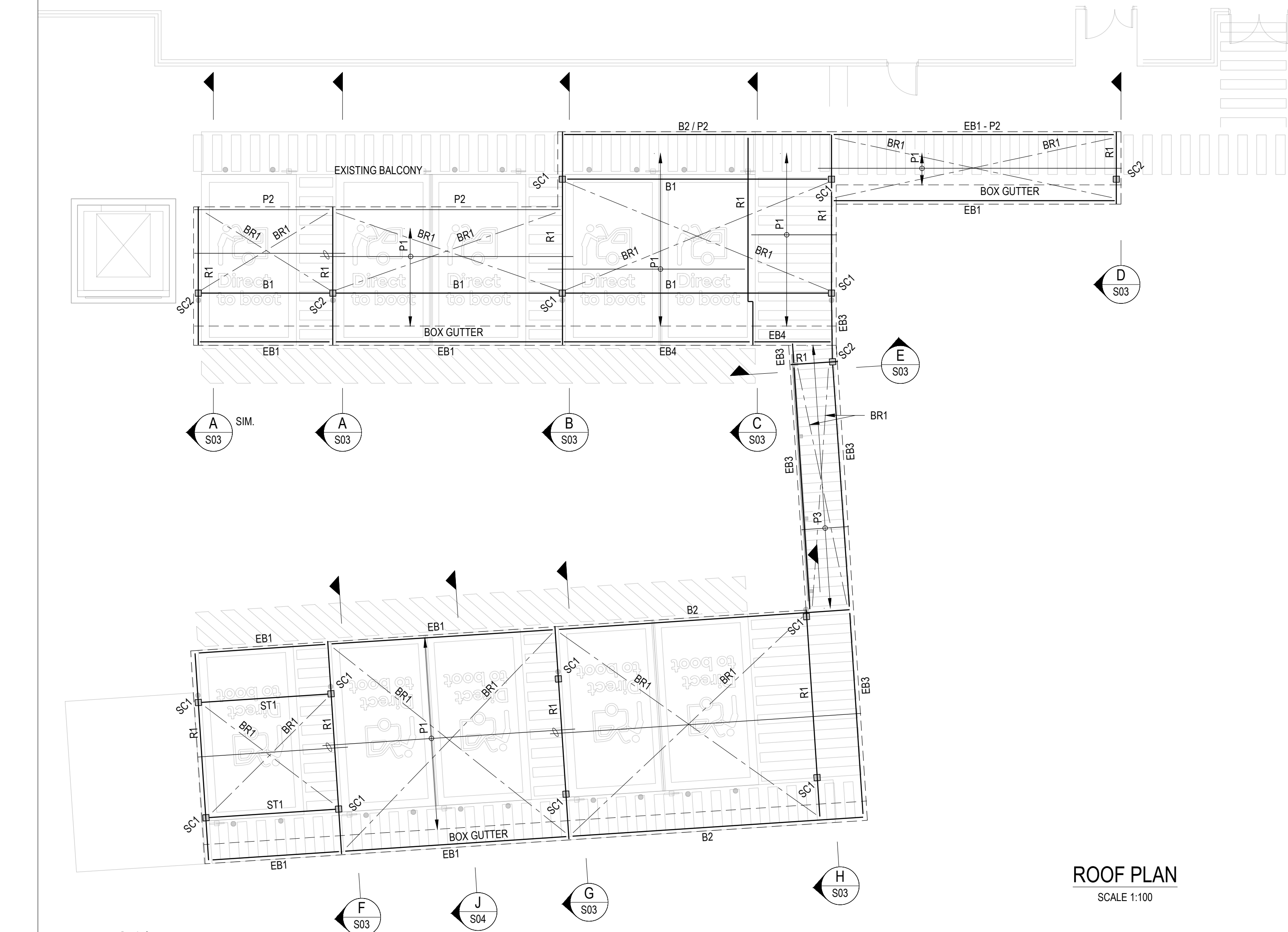
**PROPOSED DIRECT TO BOOT FACILITY
WOOLWORTHS - BROOKVALE CFC
114 OLD PITTWATER ROAD, BROOKVALE NSW 2100
LOT 1 / DP 868761**

	A1 Scale	A3 Scale	Date	Drawn
	1:100	HALF A1 SCALE	09.07.2024	MF2
Drawing No			Revision	
23-023 EX02			D	



FOOTING PLAN

SCALE 1:100



ROOF PLAN

SCALE 1:100

NOTES

FOOTINGS TO BEAR ON NATURAL GROUND OR ENGINEERED FILL WITH A MINIMUM ALLOWABLE BEARING CAPACITY OF 100kPa. TO BE CONFIRMED BY A GEOTECHNICAL ENGINEER PRIOR TO COMMENCEMENT OF CONSTRUCTION OR ORDERING MATERIALS.

PC1 - 1200x1200x800 DEEP PAD FOOTING.
PC2 - 1200x1650x600 DEEP PAD FOOTING.
PC3 - 1200x1650x600 DEEP PAD FOOTING.
PC4 - 1200x1900x600 DEEP PAD FOOTING.

ALL STEELWORK INCLUDING NUT, BOLTS AND WASHERS TO BE HOT DIP GALVANISED UNO.

STEEL MEMBER SCHEDULE		
MARK	SIZE	COMMENTS
SC1	200 x 200 x 6.0 SHS	COLUMN
SC2	200 x 200 x 9.0 SHS	COLUMN
B1	250UB31	BEAM
B2	250UB31	BEAM
R1	250UB31	RAFTER
EB1	200x100x6.0 RHS	EDGE BEAM
EB2	NOT USED	
EB3	200x100x6.0 RHS	EDGE BEAM
EB4	200x100x6.0 RHS	EDGE BEAM
ST1	125x125x5.0 SHS	STRUT
BR1	20 DIA. ROD	BRACING - SUSPENDED FROM EVERY 3rd PURLIN
P1	Z20019	PURLINS AT 1200 MAX. CTS WITH 1 ROW OF MIDSPAN BRIDGING
P2	Z20019 + C15024	FASCIA PURLIN
P3	C15015	PURLINS AT 1200 CTS
FT1 - FT5	FASCIA - REFER TO DETAILS	

BEARING PILE SCHEDULE			
MARK	SIZE	SOCKET LENGTH	REINFORCEMENT
P1	Ø450	MIN. 5900 BELOW THE TOE OF PILE CAP	6N16 + R10-300 SPIRAL TIES

PILE CAP REINFORCEMENT SCHEDULE		
MARK	SIZE (LxWxD)	REINFORCEMENT
PC5	750x650x600	4N16 LONGITUDINAL 'U'- BARS T&B WITH R10-200 CLOSED TIES

Key Plan

North

Issue.	Description	Date	Drawn	Approved
A	ISSUE FOR INFORMATION	04.12.2024	IG	<i>JW</i>
B	ISSUE FOR CONSTRUCTION	30.04.2025	IG	<i>JW</i>
C	ISSUE FOR CONSTRUCTION	18.08.2025	TC	<i>JW</i>
D	ISSUE FOR CONSTRUCTION	27.08.2025	TC	<i>JW</i>
E	ISSUE FOR CONSTRUCTION	08.09.2025	TC	<i>JW</i>

Do not scale this drawing. Figured dimensions are to be used. Dimensions are in millimeters. All dimensions to be checked on site prior to construction or fabrication. All discrepancies and omissions to be reported to Greycat Consulting. This is computer generated drawing. Do not amend by hand.



Client



Architect



Project

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114 OLD PITTWATER RD, BROOKVALE NSW 2100
LOT 1 / DP 868761

Design Consultant



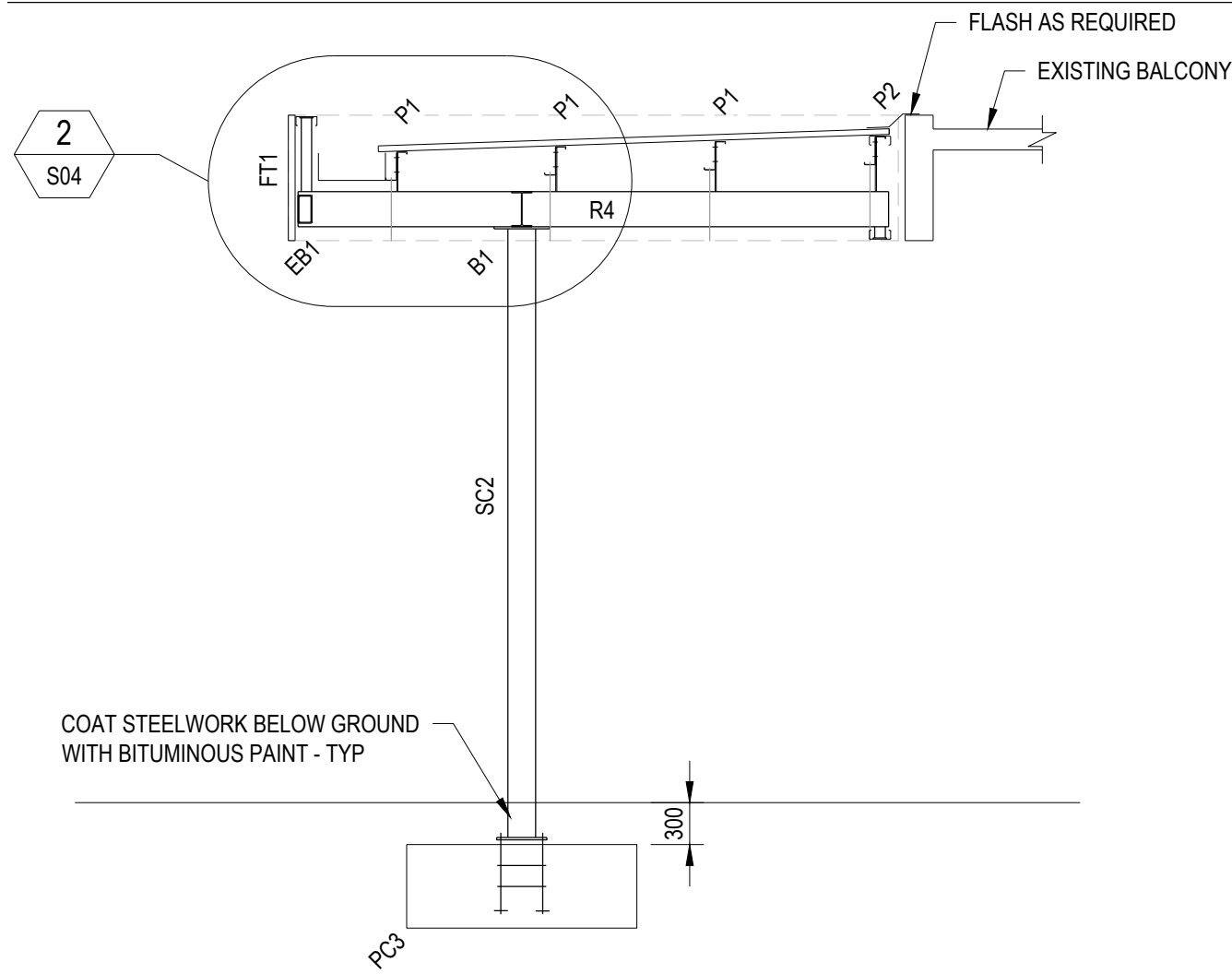
Suite 102 / 42 Chandos St, St Leonards
NSW 2065
Email: williams@greycatconsulting.com.au

Drawing Title

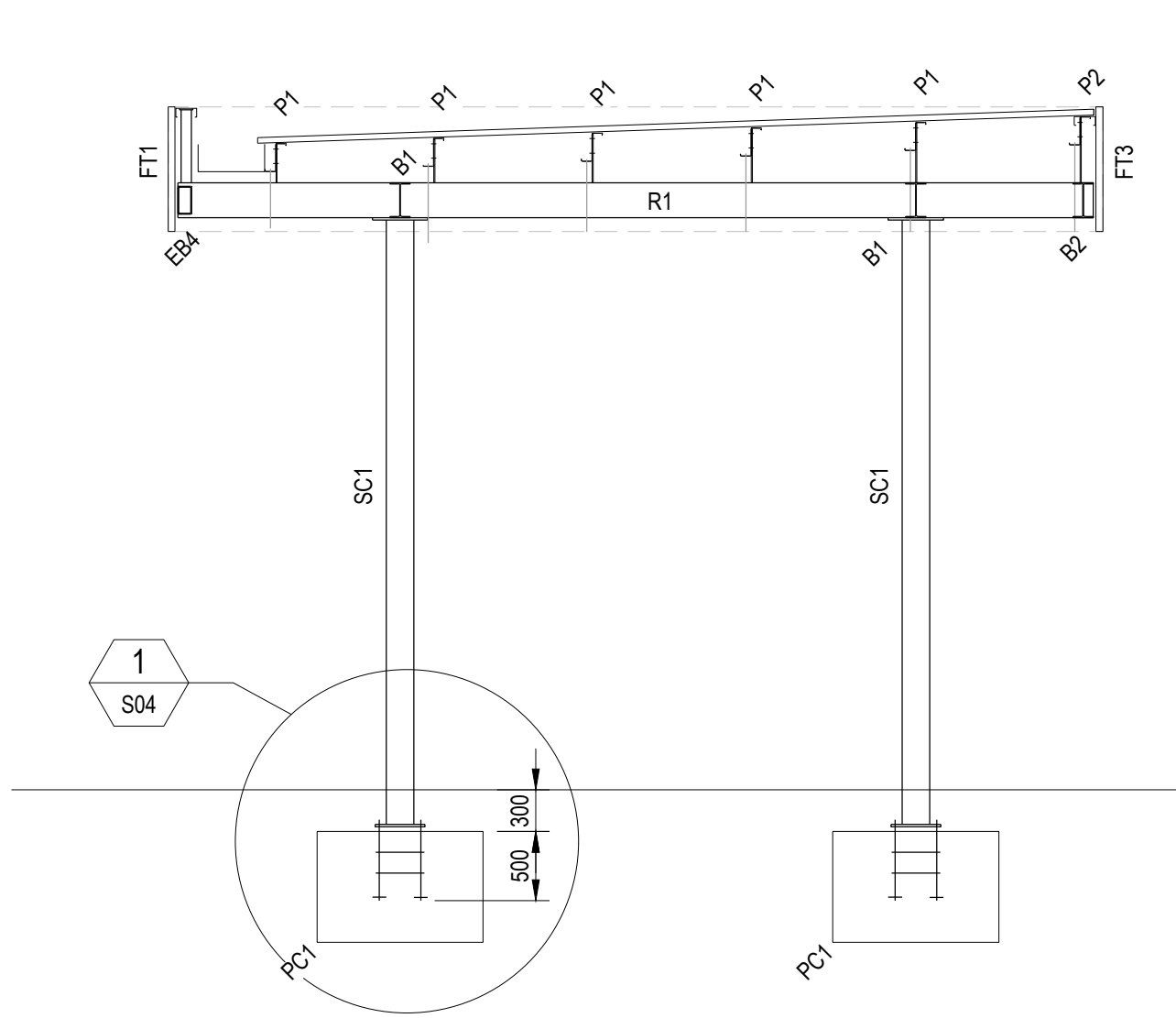
FOOTING AND ROOF PLANS

Drawn TC	Date SEP 2025	Scale AS SHOWN	A1 Q.A. Check JW	Date 08.09.25
Designed JW	Project No. 240178		Dwg No. S02	Issue E

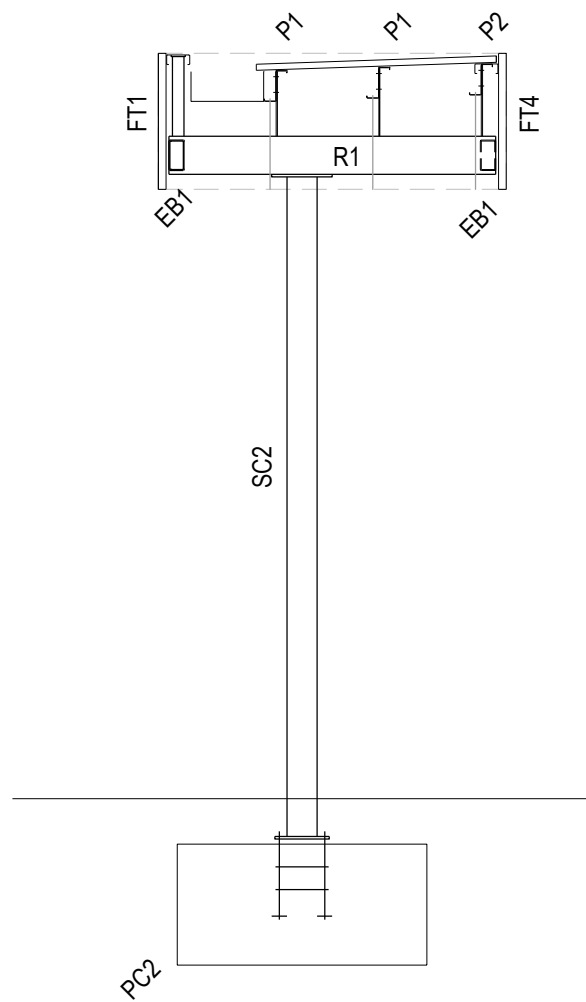
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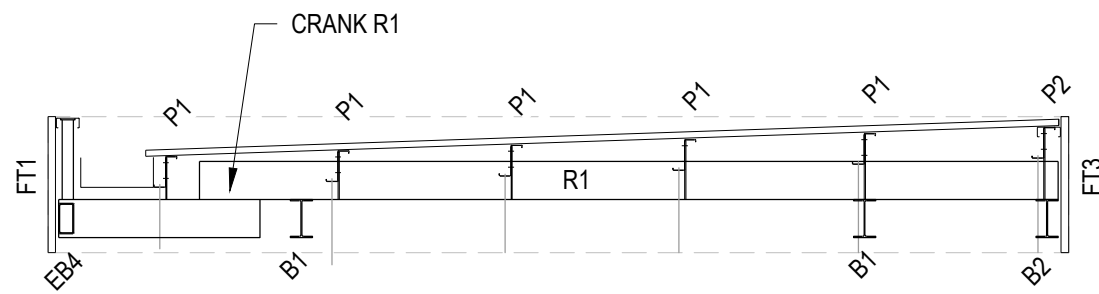
A SECTION
S02 SCALE 1: 50



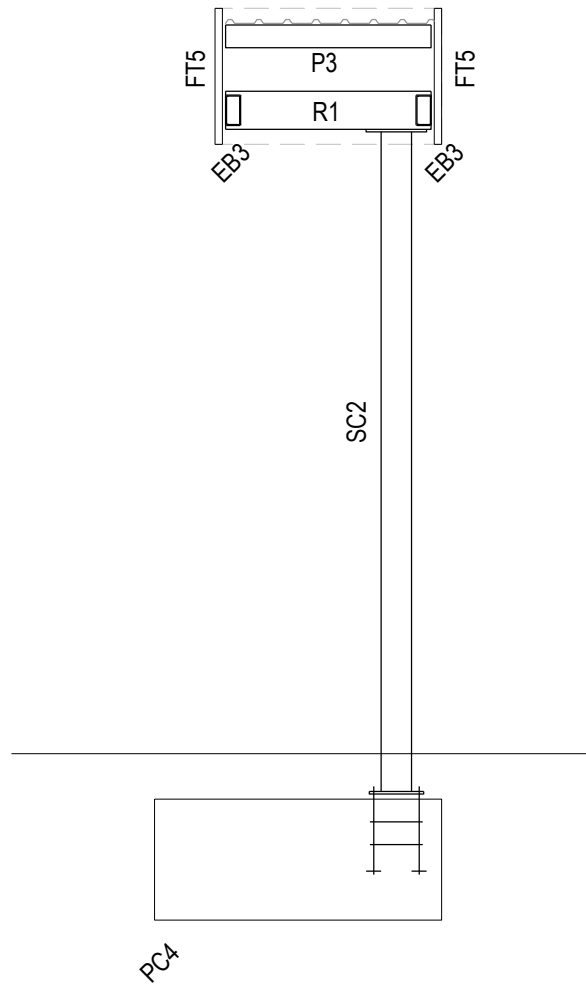
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S02 SCALE 1: 50



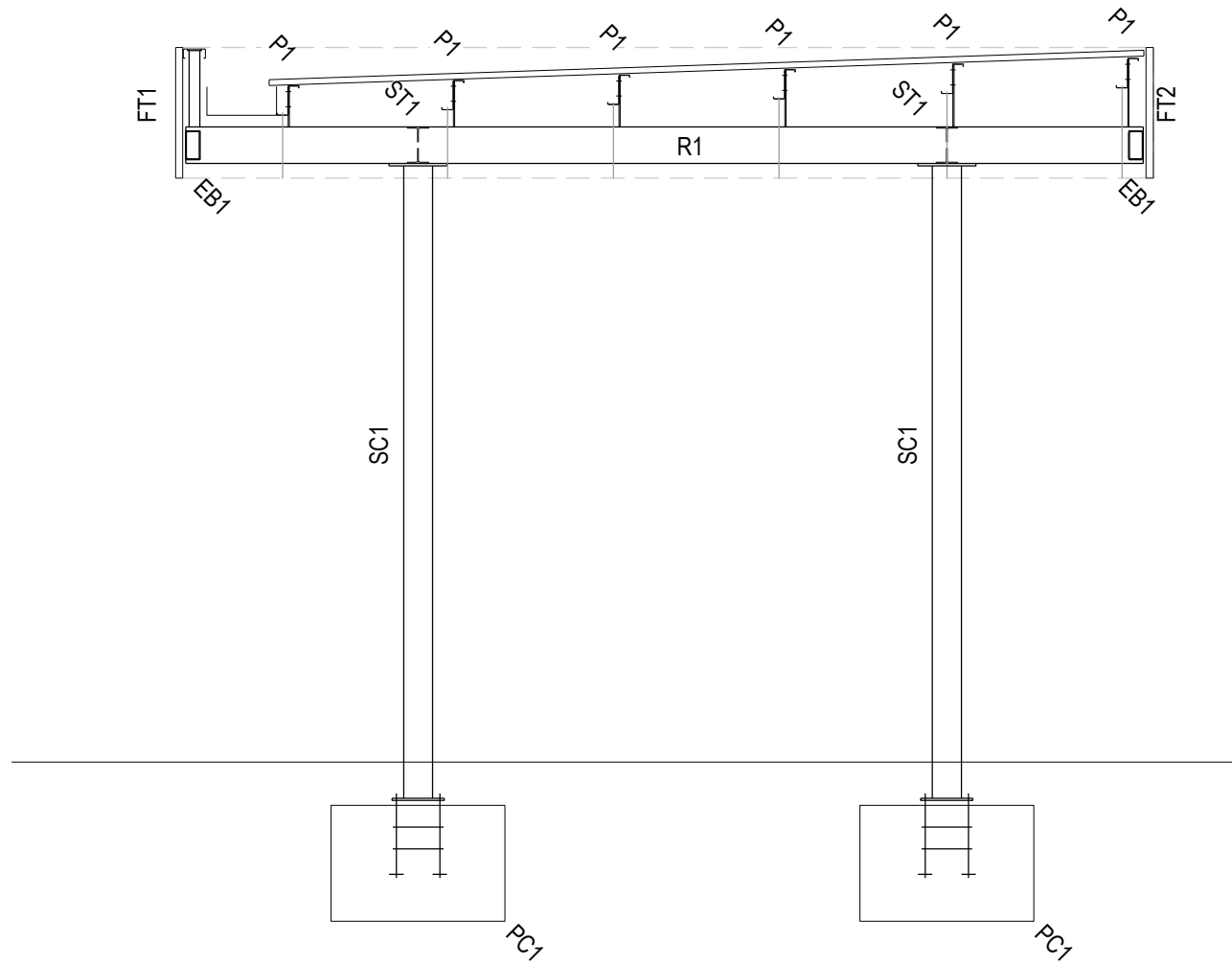
D SECTION
S02 SCALE 1: 50



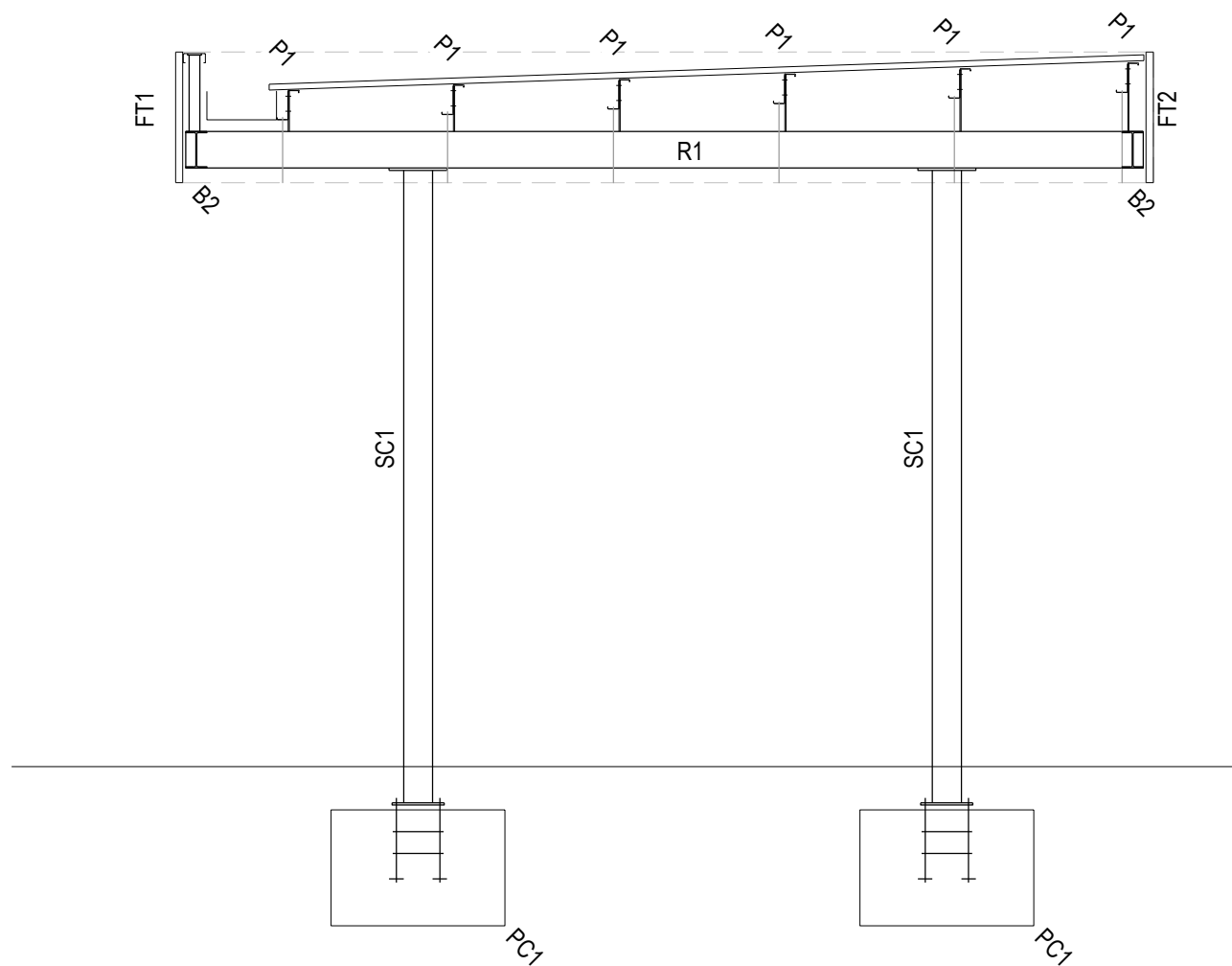
C SECTION
S02 SCALE 1: 50



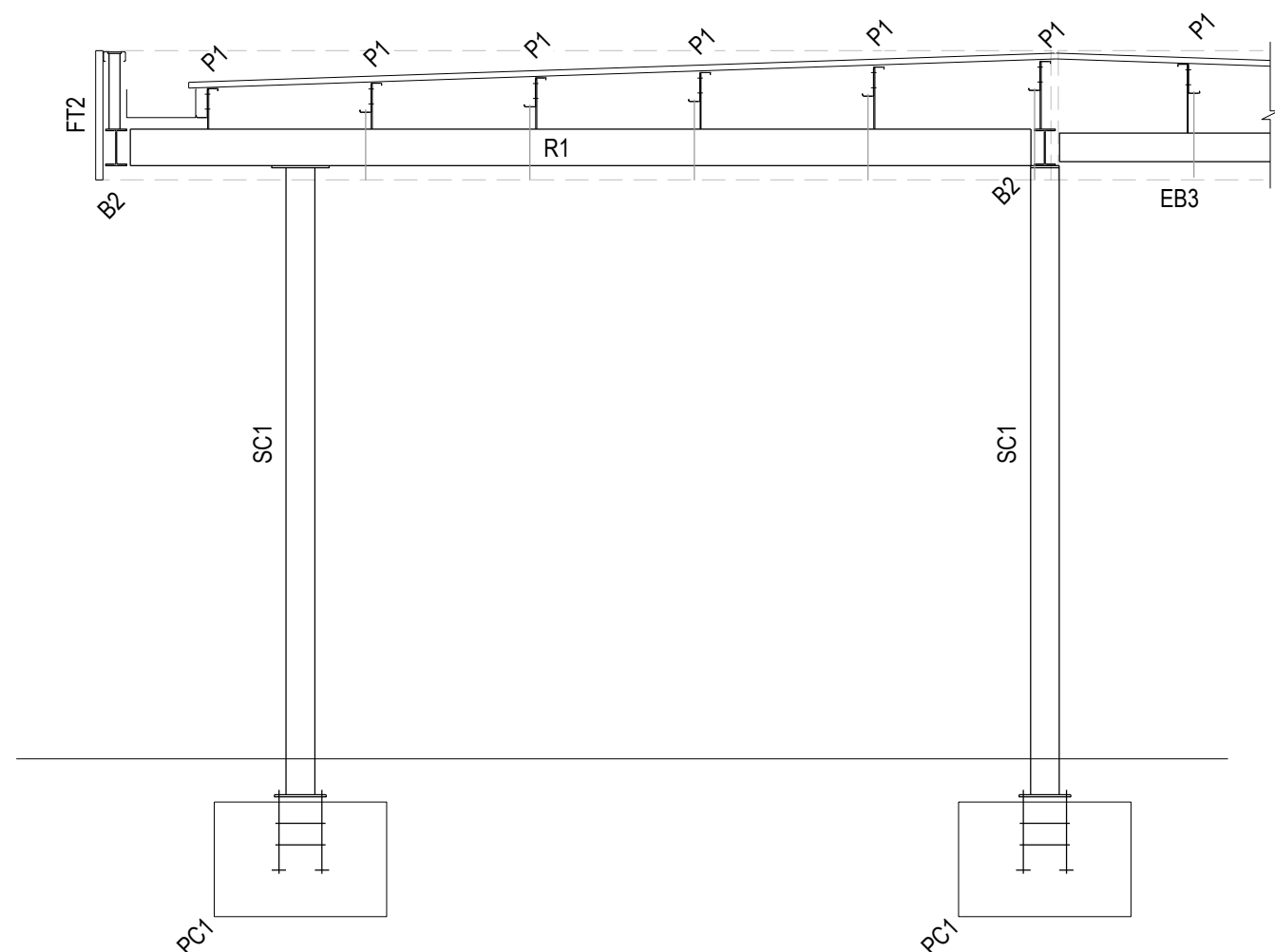
E SECTION
S02 SCALE 1: 50



F SECTION
S02 SCALE 1: 50



G SECTION
S02 SCALE 1: 50



H SECTION
S02 SCALE 1: 50

Key Plan		North		

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Project
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WOOLWORTHS - BROOKVALE CFC
114 OLD PITTWATER RD, BROOKVALE NSW 2100
LOT 1 / DP 868761**



SECTIONS AND ELEVATIONS				
Drawn IG	Date SEP 2025	Scale AS SHOWN	A1 JW	Date 08.09.25
Designed JW	Project No. 240178	Dwg No. S03	Issue E	

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-1	0	Scale at full size		10mm	
Client					
Architect		 SUITE 5, 38-46 ALBANY STREET, ST LEONARDS NSW 2065 (2 9438 2222) (0408 271 744 mchp.com.au Craig@mcph.com.au)			
Project					
PROPOSED DIRECT TO BOOT FACILITY WOOLWORTHS - BROOKVALE CFC 1101 OLD PITTWATER RD, BROOKVALE NSW 2100 LOT 1 / DP 886761					
Design Consultant					
 Suite 102 / 42 Chandos St, St Leonards NSW 2065 Email: jwilliams@greycatconsulting.com.au					
Drawing Title					
DETAILS					
Drawing IG	Date SEP 2025	Scale AS SHOWN	A1	O.A. Check JW	Date 08.09.25
Designed JW	Project No. 240178			Dwg No. S04	Issue E