PROPOSED DIRECT TO BOOT FACILITY

WOOLWORTHS - BROOKVALE CFC 114 OLD PITTWATER ROAD, BROOKVALE NSW 2100 LOT 1 / DP 868761

WOOLWORTHS GROUP PTY LTD

ARCHITECTURAL

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23-023-A003

23-023-A004

23-023-A005

23-023-A006 23-023-A007

COMPLYING DEVELOPMENT CERTIFICATE ISSUE

PROPOSED FLOOR PLAN

PROPOSED ROOF PLAN & SECTION

PROPOSED BUILDING ELEVATIONS

PROPOSED ELEVATIONS

LOUVRE DETAILS

MCHP ARCHITECTS PTY. LTD. Suite 5, 38-46 Albany St., St. Leonards NSW 2065

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DRAWING No.	ISSUE	DESCRIPTION		
23-023-A000	L	COVER SHEET (THIS DRAWING)		
23-023-EX01	E	EXISTING / DEMOLITION FLOOR PLAN		
23-023-EX02	D	EXISTING / DEMOLITION TENANCY FLOOR PLAN		
23-023-A001	1	SITE PLAN / SITE ANALYSIS PLAN / KEY SITE PL		
23-023-4002	1	PROPOSED PART SITE PLAN		

EXTERNAL WALL LOADBEARING PARTS OF EXTERNAL WALLS: LESS THAN 1.5m = 240/240/240 (CLASS 7b) 1.5 TO LESS THAN 3.0m = 240/240/180 (CLASS 7b) 3m OR MORE = 240/180/90 (CLASS 7b)

SPECIFICATION 5 - TYPE A CONSTRUCTION

FLOORS = 240/240/240 (CLASS 7b) ROOFS = 240/90/60 (CLASS 7b)

5. PART C4D3 - NO OPENINGS ARE LOCATED WITHIN 3m OF THE

BCA ASSESSMENT & REQUIREMENTS:

4. PART C2 - THE BUILDING WILL BE TYPE A CONSTRUCTION

THE BUILDING HAS AN EFFECTIVE BUILDING HEIGHT OF LESS THAN 25m
PART A6 - CLASSIFICATION OF BUILDING (CLASS 7b -

STORAGE OF GOODS, CLASS 10a - NON-HABITABLE BUILDING)
PART C2 - THE PROPOSAL HAS A RISE IN STOREY OF THREE

- ACCESS AND EGRESS REQUIREMENTS IN ACCORDANCE WITH SECTION D (ACCESS & EGRESS)
 PART D4D3 - ACCESS TO THE BUILDING IN ACCORDANCE
- WITH AS 1428 1-2021
- PART D4D6 CARPARKING MUST COMPLY WITH AS 2890.1 AND
- FIRE FIGHTING EQUIPMENT IN ACCORDANCE WITH SECTION E 9. FIRE FIGHTING EQUIPMENT IN ACCORDANCE WITH SECTION (SERVICES & EQUIPMENT)

 10. EMERGENCY LIGHTING, EXIT SIGNS & WARNING SYSTEMS IN
- ACCORDANCE WITH PART E4

 11. PART E4D2 DESIGN & INSTALLATION OF EMERGENCY
- LIGHTING SYSTEM & ILLUMINATED EXIT SIGNS SHALL COMPLY
- 12. DAMP & WEATHERPROOFING IN ACCORDANCE WITH PART F1
- PART F5D2 HEIGHT OF ROOMS TO BE MINIMUM 2.4m LIGHTING & VENTILATION REQUIREMENTS IN ACCORDANCE
- WITH PART F6 (LIGHT & VENTILATION) SOUND TRANSMISSION REQUIREMENTS IN ACCORDANCE WITH PART F7 (SOUND TRANSMISSION CLASS)
- 16. ANY PENETRATIONS THROUGH FIRE RATED BUILDING ELEMENTS ARE TO BE SEALED IN ACCORDANCE WITH SPECIFICATION 13 OF THE NCC.

ACCESS REQUIREMENTS:

- EXTERNAL ACCESS PATHWAYS TO HAVE A CONTINUOUS ACCESSIBLE PATH OF TRAVEL, A MINIMUM 1000mm WIDE IN ACCORDANCE WITH AS1428.1 FROM PROPERTY BOUNDARY TO BUILDING ENTRANCE
- 2 MAXIMUM 1:20 GRADIENT FOR WAI KWAYS WITH CROSSFALLS NOT EXCEEDING 1:40 & SURFACES TO BE SLIP-RESISTANT
- DOORS ARE TO BE A MINIMUM OF 850mm CLEAR OF OBSTRUCTIONS.

 MAXIMUM 3mm THRESHOLD RAMP (OR 5mm IF THRESHOLD
- HAS BEVELLED EDGES) AT SHOP ENTRY TO BE IN ACCORDANCE WITH AS1428.1:2009,
- SAFETY DECALS ARE TO BE PROVIDED TO GLAZED DOOR & SHOPFRONT IN ACCORDANCE WITH AS1428.1:2009, CLAUSE 6.6 INCLUDING A SOLID & OPAQUE BAND OF MINIMUM 75mm
- ALL SWITCHES AND CONTROLS, EXCEPT GPOs, TO BE PROVIDED AS PER AS1428.1:2009. CLAUSE 14 INCLUDING
- PROVIDED AS PER ASTA28.1:2009, CLAUSE 14 INCLUDING HEIGHT OF 900-110mm AFL STATUTORY SIGNAGE IN ACCORDANCE WITH AS1428.1:2009 AND NCC CLAUSE D3.6 & SPECIFICATION D3.6. SIGNS TO BE LOCATED BETWEEN 1200-1600mm AFL EMERGENCY WARNING SYSTEMS IN ACCORDANCE WITH
- NCC REQUIREMENTS
- LIGHTING TO BE UNIFORM AND IN COMPLIANCE WITH AS1680.0 TO PROVIDE FOR SAFE MOVEMENT WITHIN BUILDINGS

 10. REQUIREMENTS FOR 30% LUMINANCE CONTRAST BETWEEN
- DOOR LEAVES WALLS ARCHITRAVES ETC. AREA OF DOOR LEAVES, WALLS, ARCHITRAVES ETC. AREA OF LUMINANCE CONTRAST (FOR EXAMPLE ARCHITRAVES) SHOULD BE MINIMUM 50mm

 11. AUTOMATIC SLIDING DOORS IN PATH OF TRAVEL TO A REQUIRED EXIT MUST EITHER OPEN AUTOMATICALLY ON ALARD BE AUTOMATICALLY ON
- ALARM OR BE ABLE TO BE OPENED MANUALLY WHEN LOCKED BY PUSHING ON A DOME HEAD BUTTON (MINIMUM 25MM WIDE). THE SLIDING DOOR MUST HAVE BATTERY BACKUP TO ALLOW IT TO BE OPENED DURING POWER FAILURE.

 12. AUTOMATIC SLIDING DOORS SERVING AS A REQUIRED EXIT
- MUST OPEN AUTOMATICALLY IF THERE IS POWER FAILURE AND ON THE ACTIVATION OF A FIRE OR SMOKE ALARM ANYWHERE IN THE FIRE COMPARTMENT SERVED BY THE DOOR THESE DOORS ALSO REQUIRE TO BE PROVIDED WITH A PUSH BUTTON AND BATTERY BACKUP TO ALLOW IT TO BE OPENED DURING A MALFUNCTION.
- RAMPS REQUIRED TO BE ACCESSIBLE ARE TO BE PROVIDED WITH TACTILE GROUND SURFACE INDICATORS (TGSI). THE TGSI ARE TO ACHIEVE A LUMINANCE CONTRAST BETWEEN THE TACTILE AND THE MOUNTING SURFACE OF 30% WHEN INSTALLED AS A PAD, 45% WHEN INSTALLED AS INDIVIDUAL FLEMENTS AND 60% WHEN INSTALLED AS

BUILDING CODE PROJECT INFORMATION:

BUILDING CLASSIFICATION: CLASS 7b, CLASS 10a

TYPE OF CONSTRUCTION: TYPE A CLIMATE ZONE: ZONE 5

GENERAL NOTES

- G1. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE
- G2. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE.
- G3. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS (IE 1:10 TAKES PRECEDENCE
- G4. REFER TO COVER SHEET DRAWING FOR ANY AUTHORITY APPROVALS, NCC CLASSIFICATION AND PROJECT
- REFER TO EXISTING CONDITIONS DRAWING WA100 REVISION C PREPARED BY TRG AUSTRALIA DATED 22/10/2024 AND SURVEY DRAWING 89155N PREPARED BY REAL SERVE DATED 18/04/2024, ALL EXISTING LEVELS, CONTOURS. FEATURES, SURVEY AND CADASTRAL INFORMATION SHOWN HAS BEEN BASED ON THIS INFORMATION PROVIDED TO MCHP ARCHITECTS BUT HAS NOT BEEN VERIFIED BY MCHP ARCHITECTS. THE CONTRACTOR IS TO VERIFY THE INFORMATION PRESENTED IS CURRENT AT THE TIME WORKS OCCUR OR SEEK CONFIRMATION BY REGISTERED SURVEYOR FOR ANY CHANGES IN EXISTING CONDITIONS WHETHER DEPICTED IN THE ORIGINAL SURVEY OR
- THE CONTRACTOR IS TO OBTAIN CURRENT BEFORE YOU DIG AUSTRALIA DATA AND PERFORM ADEQUATE ENQUIRIES TO ASCERTAIN THE PRESENCE OF ANY UNDERGROUND SERVICES PRIOR TO WORKS COMMENCING, ALL ASSOCIATED RISKS AND RESPONSIBILITIES FOR SERVICES PROTECTION IS TO BE BOURNE BY THE CONTRACTOR TO ENSURE NO DAMAGE OR WORK HEALTH SAFETY RISK IS PRESENT PRIOR TO ANY WORKS COMMENCING AND DURING THE COURSE OF THE WORKS.
- G7. THE DIMENSIONS AND PROFILES SHOWN ON THE DRAWINGS ARE BELIEVED TO BE CORRECT, HOWEVER IT IS THE RESPONSIBILITY OF THOSE WORKING ON SITE TO VERIFY THE DIMENSIONS AND PROFILES AND LOCATE ALL SERVICES ON SITE PRIOR TO COMMENCING WORKS.
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS AND SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT AND THE CONSTRUCTION OF THE WORKS. REFER TO ALL SUCH SPECIALIST CONSULTANT DOCUMENTATION FOR THE RELEVANT REQUIREMENTS AND DETAILS AND COMPLY WITH DIRECTIONS THEREON.
- G9. THE BUILDING CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE TO ENSURE THAT ALL BUILDING WORKS, ASSOCIATED WORKS, MATERIALS AND WORKMANSHIP IN THIS PROJECT ARE TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AS NOTED ON THE COVER SHEET, THE RULES AND REQUIREMENTS OF THE WATER BOARD, COUNCIL, ALL OTHER RELEVANT AUTHORITIES AND THE RELEVANT STANDARDS ASSOCIATION OF AUSTRALIA CODES AND SPECIFICATIONS.
- G10. IF ANY DISCREPANCIES EXIST IN DIMENSIONING, COORDINATION BETWEEN SCHEDULES, SPECIFICATIONS AND/OR DRAWINGS, OR ANY OTHER DISCREPANCY, NOTIFY MCHP ARCHITECTS BEFORE PROCEEDING WITH WORK
- G11. THE BUILDING CONTRACTOR IS TO ENSURE THAT, NOTWITHSTANDING ANY OTHER NOTATION OR ADVICE, THE FOLLOWING MATERIALS ARE EXPRESSLY FORBIDDEN FROM BEING USED FOR ANY ASPECT OF THE WORKS. ANY DISCOVERY OF SUCH MATERIALS IN THE PROJECT IS TO BE PROMPTLY NOTIFIED TO MCHP ARCHITECTS:
 - ASBESTOS OR ASBESTOS RELATED PRODUCTS ALL PRODUCTS MUST BE CERTIFIED AS 100% FREE FROM
- COMPOSITE PANEL MATERIALS WITH A POLYETHYLENE CORE
- ENGINEERED STONE MATERIALS CONTAINING ANY SILICA COMPONENT

NOTES

- ONLY RELATIVE LEVELS HAVE BEEN SHOWN. PLEASE REFER TO GENERAL ARRANGEMENT PLAN FOR ACTUAL FINISHED
- WALL DIMENSIONS ARE TO THE FACES OF THE STRUCTURAL
- 3 ENSURE CAVITY CONSTRUCTION IS FULLY SEALED TO PERIMETER INCLUDING ANY SERVICE PENETRATION THROUGH TOP PLATE TO PREVENT VERMIN ACCESS TO CAVITY
- WALL, FLOOR & CEILING CONSTRUCTION TO ACHIEVE FOOD REGISTRATION COMPLIANCE IN ACCORDANCE WITH AS 4674-2004 FOR DESIGN, CONSTRUCTION AND FIT OUT OF FOOD PREMISES & OTHER RELEVANT AUTHORITY'S REQUIREMENTS. ALL EXPOSED FACES TO HAVE PAINT FINISH UNLESS NOTED OTHERWISE. ENSURE ALL PENETRATIONS TO WALL
 CONSTRUCTION INCLUDING TOP PLATES ARE FULLY SEALED



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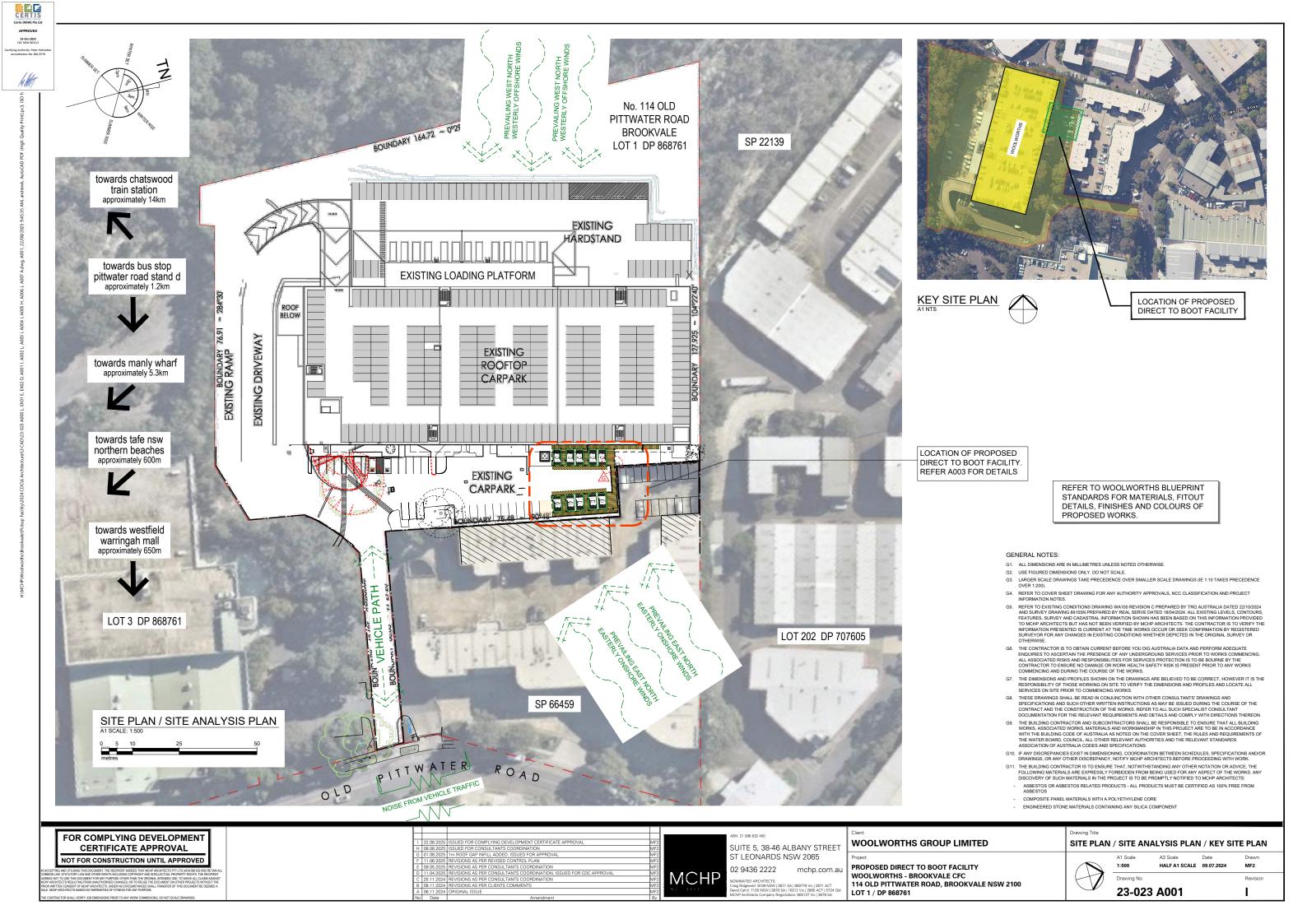
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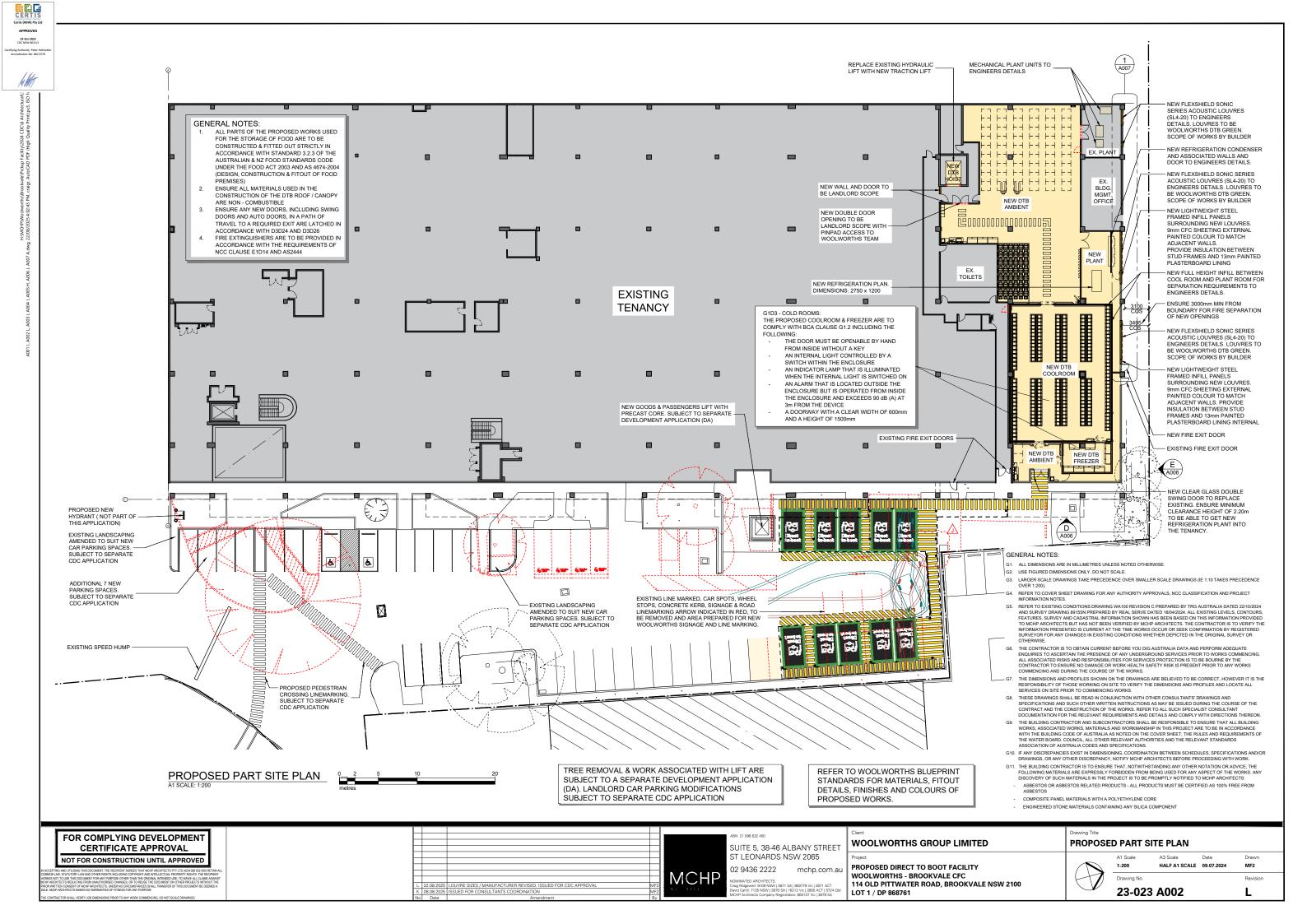
LOT 1 / DP 868761

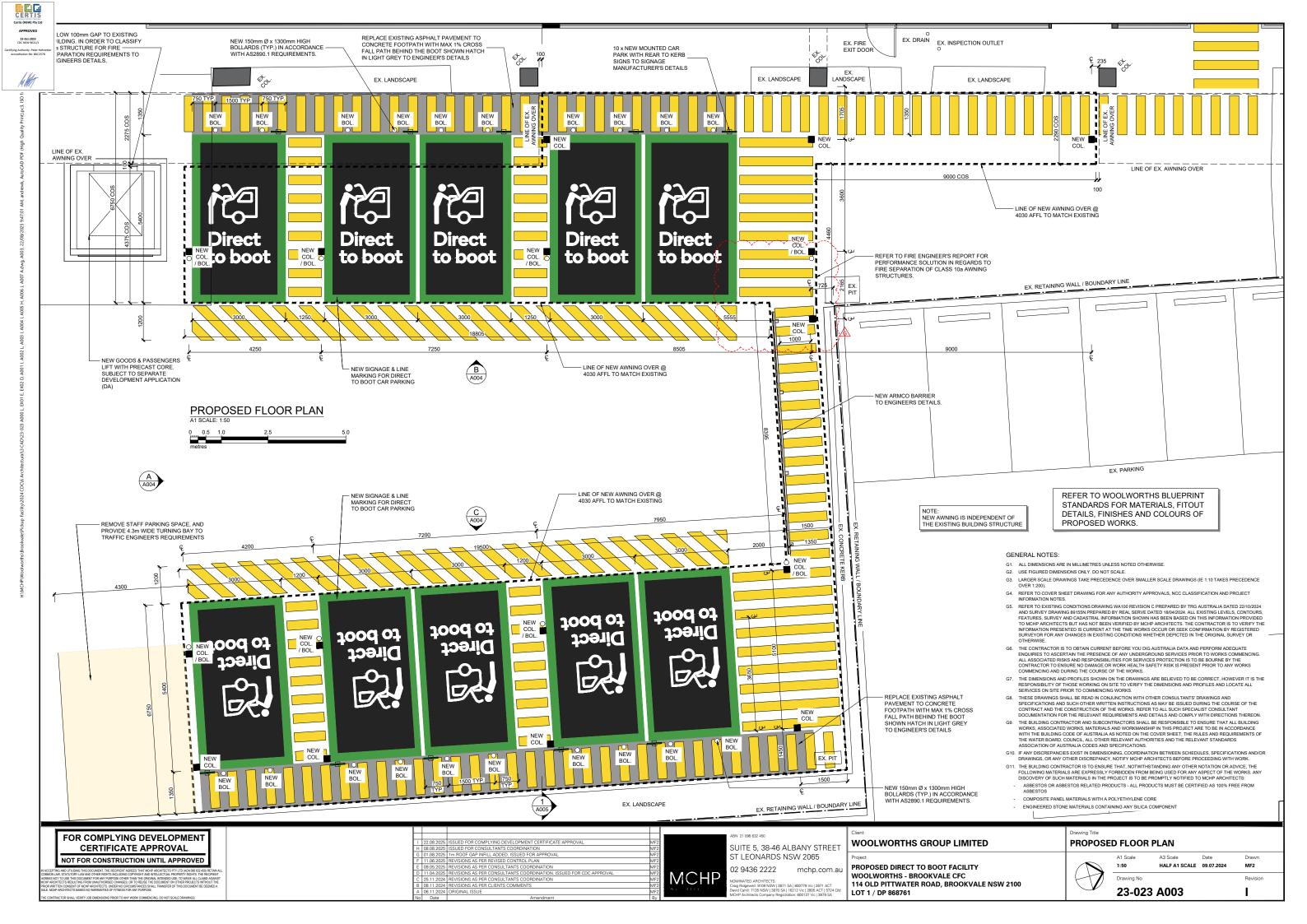
WOOLWORTHS GROUP LIMITED

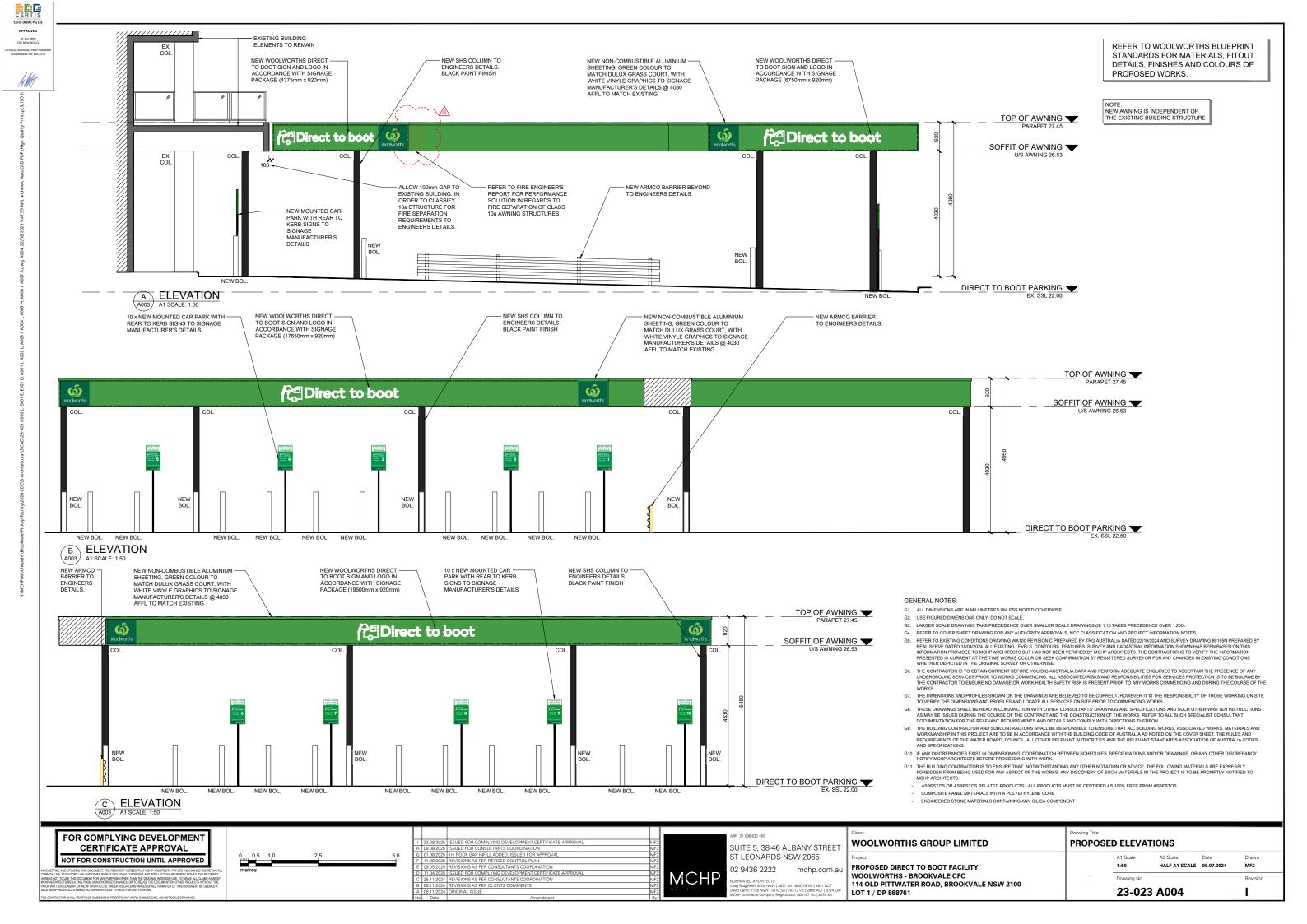
COVER SHEET

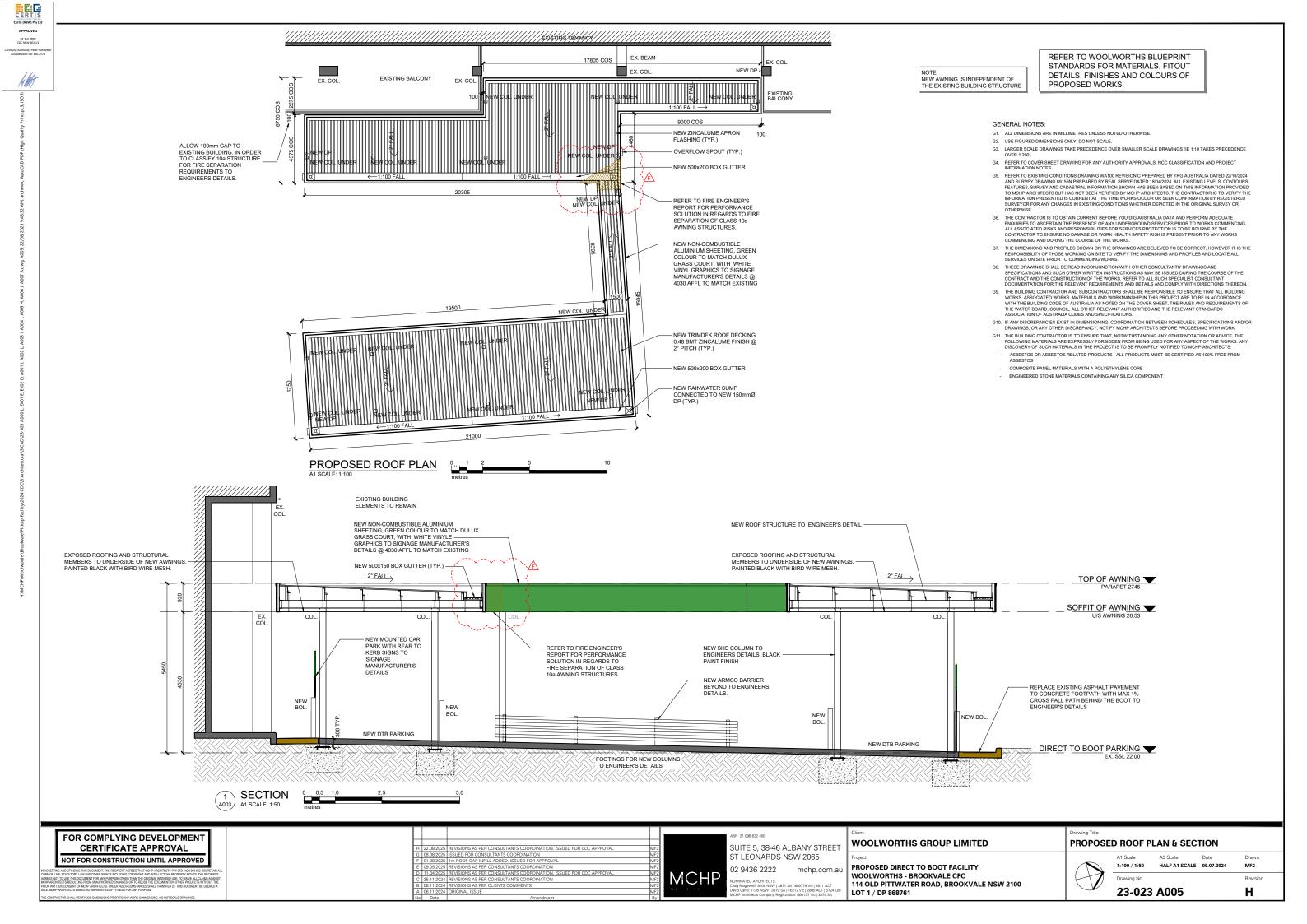
09.07.2024 MF2 23-023 A000











REFER TO WOOLWORTHS BLUEPRINT STANDARDS FOR MATERIALS, FITOUT DETAILS, FINISHES AND COLOURS OF PROPOSED WORKS.

GENERAL NOTES:

- G1. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE.
- G2. USE FIGURED DIMENSIONS ONLY, DO NOT SCALE.
- G3. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS (IE 1:10 TAKES PRECEDENCE OVER 1:200).
- G4. REFER TO COVER SHEET DRAWING FOR ANY AUTHORITY APPROVALS, NCC CLASSIFICATION AND PROJECT INFORMATION NOTES.
- INP-UNMALIUM NOTES.

 G5. REFER TO EXISTING CONDITIONS DRAWING WA100 REVISION C PREPARED BY TRG AUSTRALIA DATED 22/10/2024
 AND SURVEY DRAWING 89155M PREPARED BY REAL SERVE DATED 18/04/2024. ALL EXISTING LEVELS, CONTOURS,
 FEATURES, SURVEY AND CADASTRAL INFORMATION SHOWN HAS BEEN BASED ON THIS INFORMATION PROVIDED
 TO MCHP ARCHITECTS BUT HAS NOT BEEN VERIFIED BY MCHP ARCHITECTS. THE CONTRACTOR IS FOREITY THE
 INFORMATION PRESENTED IS CURRENT AT THE TIME WORKS OCCUR OR SEEK CONFIRMATION BY REGISTERED
 SURVEYOR FOR ANY CHANGES IN EXISTING CONDITIONS WHETHER DEPICTED IN THE ORIGINAL SURVEY OR
 OTHERWISE.
- G6. THE CONTRACTOR IS TO OBTAIN CURRENT BEFORE YOU DIG AUSTRALIA DATA AND PERFORM ADEQUATE ENQUIRIES TO ASCERTAIN THE PRESENCE OF ANY UNDERGROUND SERVICES PRIOR TO WORKS COMMENCING. ALL ASSOCIATED RISKS AND RESPONSIBILITIES FOR SERVICES PROTECTION IS TO BE BOURNE BY THE CONTRACTOR TO ENSURE NO DAMAGE OR WORK HEALTH SAFETY RISK IS PRESENT PRIOR TO ANY WORKS COMMENCING AND DURING THE COURSE OF THE WORKS.
- G7. THE DIMENSIONS AND PROFILES SHOWN ON THE DRAWINGS ARE BELIEVED TO BE CORRECT, HOWEVER IT IS THE RESPONSIBILITY OF THOSE WORKING ON SITE TO VERIFY THE DIMENSIONS AND PROFILES AND LOCATE ALL SERVICES ON SITE PRIOR TO COMMENCING WORKS.
- G8. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS AND SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT AND THE CONSTRUCTION OF THE WORKS. REFER TO ALL SUCH SPECIALIST CONSULTANT DOCUMENTATION FOR THE RELEVANT REQUIREMENTS AND DETAILS AND COMPLY WITH DIRECTIONS THEREON.
- G9. THE BUILDING CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE TO ENSURE THAT ALL BUILDING WORKS, ASSOCIATED WORKS, MATERIALS AND WORKMANSHIP IN THIS PROJECT ARE TO BE IN ACCORDANCE WITH THE BUILDING COOP OF AUSTRALLA S NOTEO ON THE COVER SHEET, THE RULES AND REQUIREMENTS OF THE WATER BOARD, COUNCIL, ALL OTHER RELEVANT AUTHORITIES AND THE RELEVANT STANDARDS ASSOCIATION OF A JUSTICAL COOPERATIONS.
- G10. IF ANY DISCREPANCISE SCIST IN DIMENSIONING, COORDINATION BETWEEN SCHEDULES, SPECIFICATIONS AND/OR DRAWINGS, OR ANY OTHER DISCREPANCY, NOTIFY MCHP ARCHITECTS BEFORE PROCEEDING WITH WORK.
- G11. THE BUILDING CONTRACTOR IS TO ENSURE THAT, NOTWITHSTANDING ANY OTHER NOTATION OR ADVICE, THE FOLLOWING MATERIALS ARE EXPRESSLY FORBIDDEN FROM BEING USED FOR ANY ASPECT OF THE WORKS. ANY DISCOVERY OF SUCH MATERIALS IN THE PROJECT IS TO BE PROMPTLY NOTIFIED TO MCHP ARCHITECTS:
- ASBESTOS OR ASBESTOS RELATED PRODUCTS ALL PRODUCTS MUST BE CERTIFIED AS 100% FREE FROM ASBESTOS
- COMPOSITE PANEL MATERIALS WITH A POLYETHYLENE CORE ENGINEERED STONE MATERIALS CONTAINING ANY SILICA COMPONENT

- DIRECT TO BOOT HUB EX. FFL 0.00



NEW CLEAR GLASS DOUBLE SWING DOOR TO REPLACE EXISTING. ENSURE MINIMUM CLEARANCE

HEIGHT OF 2.20m TO BE ABLE TO GET NEW REFRIGERATION PLANT INTO THE TENANCY.

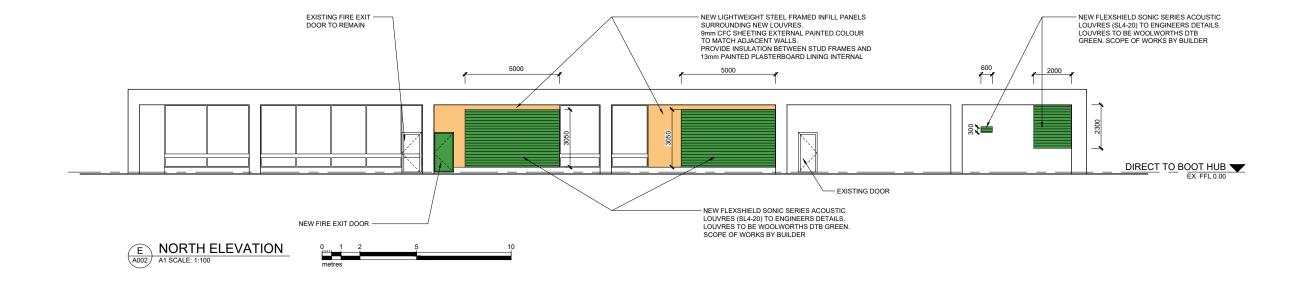
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NEW WOOLWORTHS DIRECT TO BOOT SIGN

AND LOGO IN ACCORDANCE WITH SIGNAGE PACKAGE (14480mm x 3300mm APPROX.)

Direct to boot





09.05.2025 REVISIONS AS PER CONSULTANTS COORDINATI 15.04.2025 REVISIONS AS PER CONSULTANTS COORDINATI 11.04.2025 REVISIONS AS PER CONSULTANTS COORDINATI 11.04.2025 REVISIONS AS PER CONSULTANTS COORDINATI 08.11.2024 REVISIONS AS PER CLIENTS COMMENTS



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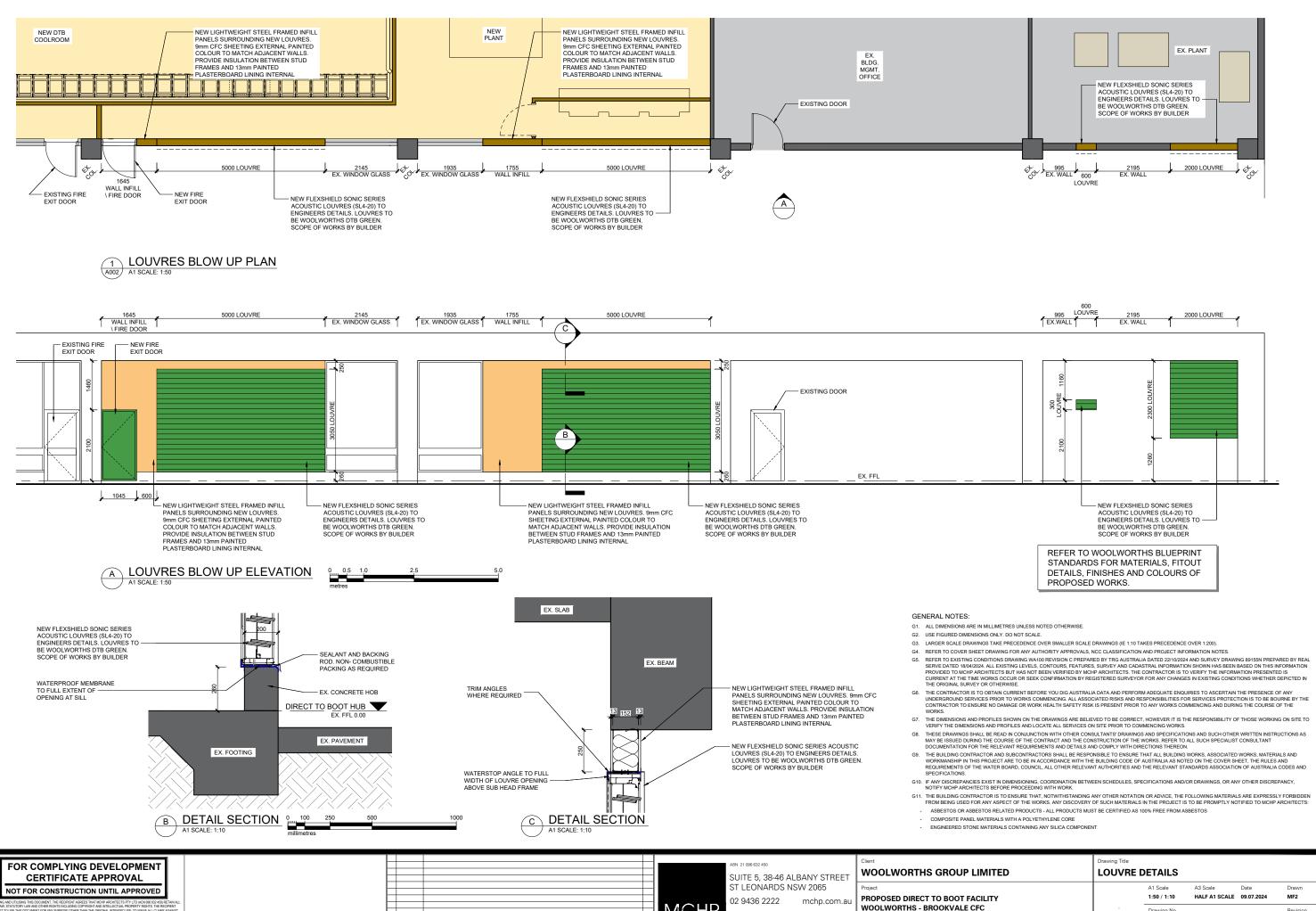
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PROPOSED BUILDING ELEVATIONS

HALF A1 SCALE 09.07.2024 MF2 J

23-023 A006





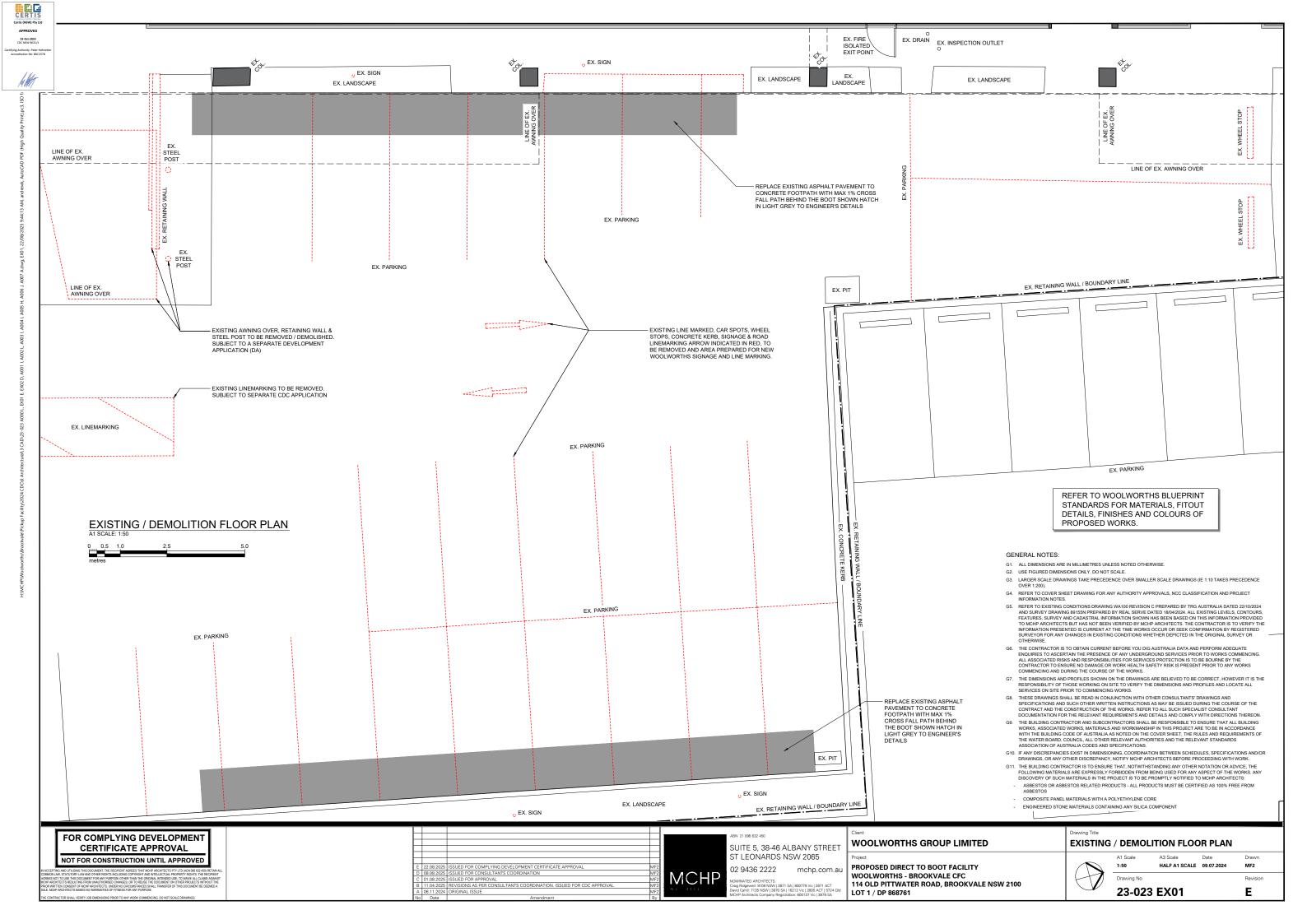
A 22.08.2025 ORIGINAL ISSUE. ISSUED FOR COMPLYING DEVELOPMENT CERTIFICATE APPROVA

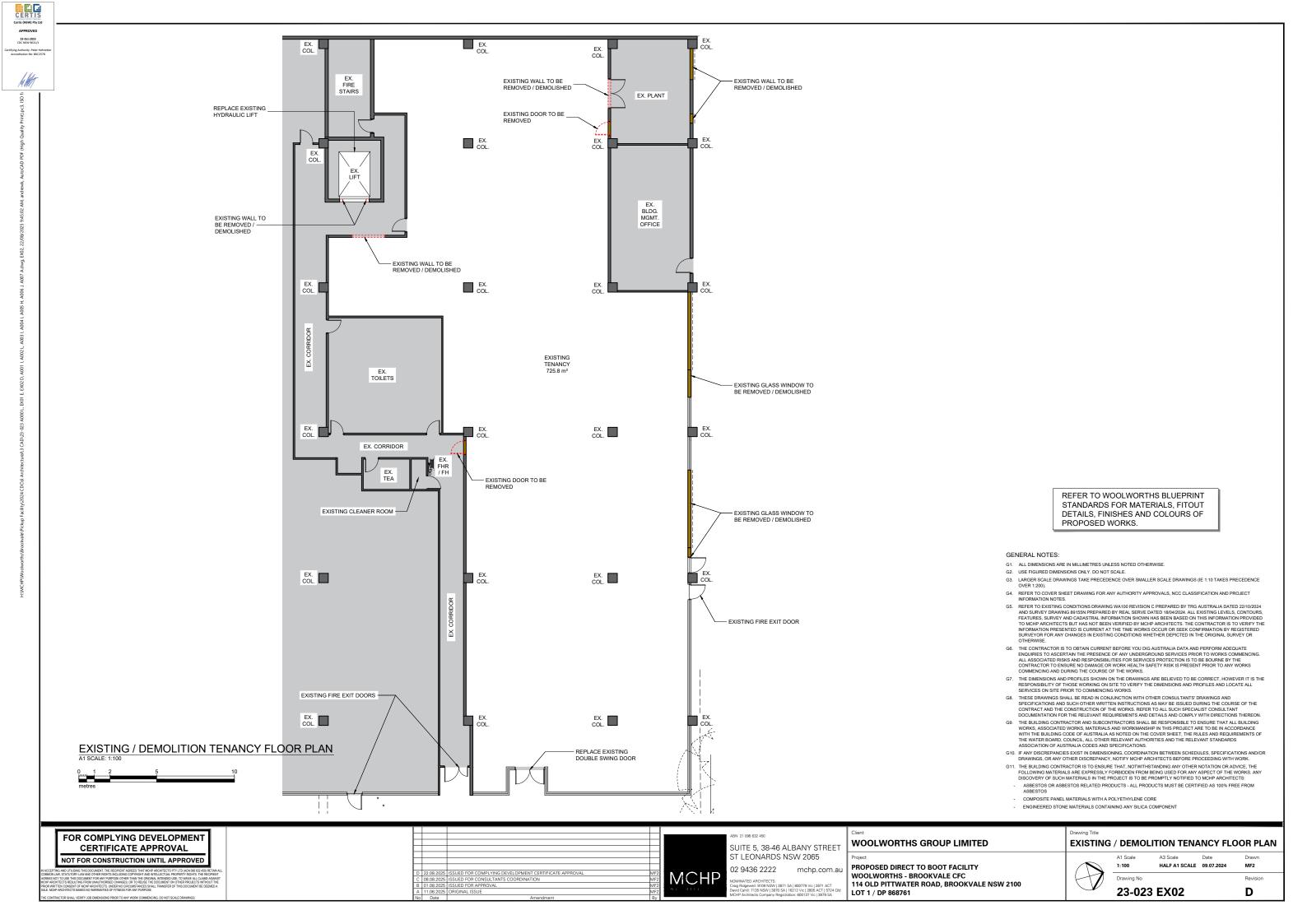
114 OLD PITTWATER ROAD, BROOKVALE NSW 2100

23-023 A007

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LOT 1 / DP 868761







LIST OF DRAWING				
DRAWING DESCRIPTION				
NOTES				
FOOTING AND ROOF PLANS				
SECTIONS AND ELEVATIONS				
DETAILS				

STRUCTURAL DESIGN ACTION				
IMPORTANCE LEVEL 2				
DESIGN WORKING LIFE OF STRUCTURE	50 YEARS			
LOCATION	SYDNEY			

WIND LOADING PARAMETERS				
ANNUAL PROBABILITY OF EXCEEDANCE (ULS)	1/500			
ANNUAL PROBABILITY OF EXCEEDANCE (SLS)	¹ ⁄ ₂₅			
TERRAIN CATEGORY	2.5			
REGIONAL CLASSIFICATION	A2			
WIND SPEED-ULTIMATE LIMIT STATES	45.0 m/sec			
WIND SPEED-SERVICEABILITY LIMIT STATES	37.0 m/sec			

GENERAL

- G1 THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ANY DISCREPANCY SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE RELEVANT AND CURRENT AUSTRALIAN STANDARDS, THE BUILDING CODE OF AUSTRALIA, AND THE BY-LAWS AND ORDINANCES OF THE APPROPRIATE BUILDING AUTHORITIES. IF THERE ARE ANY DISCREPANCIES BETWEEN THESE CODES AND THE PROJECT SPECIFICATIONS, THEY SHOULD BE REFERRED TO THE ENGINEER FOR RESOLUTION.
- ALL SETTING-OUT DIMENSIONS SHOWN MUST BE VERIFIED BY THE BUILDER ON-SITE AND WITH THE ARCHITECT. ENGINEERS' DRAWINGS SHOULD NOT BE SCALED FOR DIMENSIONS.
- DURING CONSTRUCTION, THE STRUCTURE MUST BE KEPT IN A STABLE CONDITION, AND NO PART SHALL BE OVERSTRESSED. THE BUILDER SHALL PROVIDE TEMPORARY BRACING TO ENSURE THE STABILITY OF THE WORKS AND EXCAVATIONS AT ALL TIMES. THE CONTRACTOR IS RESPONSIBLE FOR THE METHOD OF CONSTRUCTION AND MAINTAINING SAFETY THROUGHOUT THE CONSTRUCTION PROCESS. FOR ALL TEMPORARY BATTERS OBTAIN GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
- G5 UNLESS NOTED OTHERWISE ALL LEVELS ARE IN METRES AND ALL DIMENSIONS ARE IN MILLIMETRES.
- THE STRUCTURAL COMPONENTS DETAILED ON THESE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE RELEVANT STANDARD AUSTRALIA CODES AND THE BUILDING CODE OF AUSTRALIA FOR THE FOLLOWING LOADINGS.
- G7 CONSTRUCTION USING THESE DRAWINGS SHALL NOT COMMENCE UNTIL A CONSTRUCTION CERTIFICATE IS ISSUED BY THE PRINCIPAL CERTIFYING AUTHORITY.
- G8 ALL PROPRIETARY ITEMS ARE TO BE INSTALLED AND FIXED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND INSTRUCTIONS.
- G9 ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH ALL WORKCOVER REQUIREMENTS AND OCCUPATIONAL HEALTH AND SAFETY ACT REGULATIONS.
- G10 THE OFFICE MUST BE GIVEN NOTIFICATION NO LESS THAN 24 HOURS PRIOR TO ANY DEMOLITION OR CONSTRUCTION WORK COMMENCING.

FOUNDATIONS

F1 FOOTINGS HAVE BEEN DESIGNED FOR: ALLOWABLE BEARING PRESSURE - 100 kPa

THIS FOUNDATION MATERIAL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER OR THE ENGINEER FROM GREYCAT CONSULTING FOR SAFE BEARING CAPACITY BEFORE CONSTRUCTION OF THE FOOTINGS.

- F2 FOOTINGS SHALL BE CENTRALLY LOCATED BENEATH WALLS AND COLUMNS UNLESS OTHERWISE
- F3 EXCAVATION SHALL PROCEED UNTIL THE REQUIRED BEARING CAPACITY IS ACHIEVED. ANY OVER-EXCAVATION SHALL BE BACKFILLED WITH A MASS CONCRETE MIX, SUBJECT TO THE ENGINEER'S APPROVAL.
- F4 FOOTINGS TO BE CONSTRUCTED AND BACKFILLED IMMEDIATELY FOLLOWING EXCAVATION TO MITIGATE THE RISK OF SOFTENING OR DRYING OUT FROM ENVIRONMENTAL EXPOSURE.
- F5 CONTRACTOR IS TO ALLOW FOR COST OF GEOTECHNICAL INSPECTIONS AND ANY REQUIRED CERTIFICATION.
- THE CONTRACTOR SHALL ENSURE THAT EXCAVATIONS ARE MAINTAINED IN A STABLE CONDITION, TO AVOID DESTABILIZING THE ADJACENT PROPERTIES FOUNDATIONS AND UNDERGROUND SERVICES. WHERE NECESSARY, TEMPORARY SHORING OR UNDERPIN SHALL BE INSTALLED ON THE SIDES OF FOOTING EXCAVATIONS.

CHEMICAL ANCHOR NOTES

- CH1 ALL CHEMICAL / EPOXY ANCHORS TO BE HILTI GRADE 8.8 PRODUCTS FIXED WITH HY-200 ADHESIVE. USE STANDARD MANUFACTURER EMBEDMENT LENGTH UNLESS NOTED OTHERWISE ON THE DETAILS PROVIDE HILTI DYNAMIC SET WASHERS AT ALL CHEMICAL ANCHORS (BASE PLATES WITH 2 BOLTS CONNECTION EXCLUDED.)
- CH2 DRILL AND FIX WHERE DRILL AND FIX OR DRILL AND GROUT IS CALLED UP ON DRAWINGS USE HILTI-HIT RE 500 SERIES OR CHEMSETTM REO 502TM ADHESIVE. EMBEDMENT LENGTH TO BE AS PER THE DETAILS INDICATED.

PILES

- P1 PILES ARE TO BE DESIGNED IN ACCORDANCE WITH AS2159 BY THE AXIAL LOADS AND MOMENTS LISTED IN THE PILING SCHEDULE AND THE REQUIREMENT OUTLINED IN THE SPECIFICATION.
- P2 THE PILE DESIGN AND INSTALLATION SHALL FOLLOW THE RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT. ANY ADDITIONAL GEOTECHNICAL INVESTIGATION WORK DEEMED NECESSARY SHALL BE AT THE CONTRACTOR'S EXPENSE.
- P3 ALL PILES OR PILE GROUPS ARE TO BE CENTRED UNDER COLUMNS AND WALLS UNO
- PRIOR TO COMMENCING ON SITE, THE CONTRACTOR MUST SUBMIT FOR APPROVAL:
 (A) PILE TYPE PROPOSED
 - (B) PILE SIZE(S), REINFORCEMENT DETAILS, FOUNDING DEPTHS AND DESIGN
 CERTIFICATE. THE DESIGN CERTIFICATE IS TO CERTIFY THE PILE DESIGN IS IN ACCORDANCE
 WITH AS2159 FOR THE LOADS LISTED IN THE PILING SCHEDULE AND BE SIGNED BY A
 NER REGISTERED ENGINEER EXPERIENCED IN THE TYPE OF PILING PROPOSED.
 (C) A SHOP DRAWING SETTING OUT ALL PILE LOCATIONS FROM GRID
- P5 THE CONTRACTOR IS TO COORDINATE THE LOCATION OF ALL UNDERGROUND SERVICES AND TO BE RESPONSIBLE FOR ENSURING THAT THESE ARE EITHER AVOIDED OR RELOCATED AS APPROPRIATE.
- P6 THE CONTRACTOR SHALL PROVIDE A NER REGISTERED ENGINEER TO SUPERVISE THE PILE INSTALLATION.
- P6 AT THE SATISFACTORY COMPLETION OF THE WORK THE CONTRACTOR SHALL PROVIDE AN INSPECTION CERTIFICATE SIGNED BY A NER REGISTERED ENGINEER.

ABBREVIATIONS AND LEGEND

ABBREVIATIONS	DESCRIPTION
UNO	UNLESS NOTED OTHERWISE
NSOP	NOT SHOWN ON PLAN
NSOE	NOT SHOWN ON ELEVATION
NF	BARS IN NEAR FACE
FF	BARS IN FAR FACE
EF	BARS IN EACH FACE
EW	BARS IN EACH WAY
ALT	BARS TO BE LAID ALTERNATELY
STAG	BARS TO BE LAID STAGGERINGLY
LV	BARS LENGTHS VARY
NTS	DRAWING NOT TO SCALE

CONCRETE

- C1 EXPOSURE CLASSIFICATION: EXTERNAL B1 INTERNAL B1
- C2 SIZES OF CONCRETE ELEMENTS DO NOT INCLUDE THICKNESS OF ANY APPLIED FINISHES.
- C3 ALL CONCRETE, CONCRETE WORK AND REINFORCEMENT SHALL BE IN ACCORDANCE WITH THE AS3600, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- C4 NO HOLES, CHASES, OR EMBEDMENT OF PIPES, OTHER THAN THOSE INDICATED ON THE STRUCTURAL DRAWINGS, SHALL BE MADE WITHOUT PRIOR APPROVAL FROM THE ENGINEER.
- C5 FOR ALL FALLS IN SLAB, DRIP GROOVES, REGLETS, CHAMFERS ETC. REFER TO THE ARCHITECT'S DRAWINGS AND SPECIFICATIONS.
- C6 ALL CONCRETE SHALL BE SUBJECT TO PROJECT ASSESSMENT AND TESTING TO AS 1379.
- C7 UNLESS SHOWN ON THE DRAWINGS, THE LOCATION OF ALL CONSTRUCTION JOINTS SHALL BE SUBMITTED TO ENGINEER FOR REVIEW.
- C8 ALL FORMWORK AND PROPS UNDER SUSPENDED CONCRETE WORK SHALL BE REMOVED BEFORE ANY BRICKWORK OR BLOCK-WORK IS BUILT ABOVE.
- C9 CONCRETE SHALL BE KEPT FREE OF SUPPORTING BRICKWORK BY USING A 'SWAN' SLIDING JOINT OR AN EQUIVALENT, UNLESS OTHERWISE NOTED.
- C10 VERTICAL CONCRETE FACES SHALL BE SEPARATED BY 12 MM THICK 'CANEITE' OR EXPANDING CORK, UNLESS OTHERWISE NOTED.

FORMWORK

- FW1 THE DESIGN, CERTIFICATION, CONSTRUCTION AND PERFORMANCE OF THE FORMWORK, FALSEWORK AND BACKPROPPING IS THE RESPONSIBILITY OF THE CONTRACTOR.
- FW2 THE PROPOSED METHOD OF INSTALLATION AND REMOVAL OF FORMWORK IS TO BE SUBMITTED TO THE GREYCAT CONSULTING'S ENGINEER FOR COMMENT PRIOR TO WORK BEING CARRIED OUT.

REINFORCEMENT

R1 ALL REINFORCEMENT TO BE AS FOLLOWS:

REINFORCEMENT BARS				
SYMBOL	TYPE			
R	STRUCTURAL GRADE PLAIN BARS TO AS 4671 (230 MPa)			
RF	FABRIC TO AS 4671 (500 MPa)			
N	HOT ROLLED DEFORMED BARS TO AS 4671 (500 MPa)			
SL	SQUARE MESH TO AS 4671 (500 MPa)			

NOTE: THE NUMBER FOLLOWING R OR N INDICATES THE BAR DIAMETER IN MILLIMETRES.

- R2 NO REINFORCEMENT SPLICES SHALL BE MADE IN POSITIONS OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS WITHOUT THE PRIOR APPROVAL OF THE ENGINEER.
- R3 DISTRIBUTION BARS TO MAIN REINFORCEMENT IN SLABS SHALL BE N12 AT 300mm CENTRES U.N.O.
- R4 CLOSED FITMENTS U.N.O. SHALL HAVE CORNER SPLICES THUS: 135° HOOKS
- TOP AND BOTTOM REINFORCEMENT IN SLABS SHALL BE SUPPORTED ON APPROVED PLASTIC TIPPED CHAIRS, IN BOTH DIRECTIONS AT MAXIMUM CENTRES OF 600mm FOR 10mm DIA BARS, 900mm FOR 12mm AND 16mm DIA. BARS, 1200mm FOR 20mm DIA BARS AND 750mm CENTRES FOR FABRIC.
- R6 MINIMUM LAP FOR FABRICS SHALL BE TWO TRANSVERSE WIRES PLUS 25mm MINIMUM LAP LENGTHS FOR DEFORMED BARS INCLUDING DISTRIBUTION REINFORCEMENT SHALL BE AS FOLLOWS U.N.O.

BAR SIZE	VERTICAL BARS	HORIZONTAL BARS MORE THAN 300 OF CONC. BELOW BAR	HORIZONTAL BARS OTHER LOCATIONS	90° COG LENGTH	135° or 180° COG LENGTH
12	450	550	450	170	70
16	700	800	700	200	70
20	1000	1250	1000	250	80
24	1200	1500	1200	300	95
28	1400	1750	1400	350	115
32	1550	1900	1550	400	130
36	1700	2150	1700	450	145

R6 REINFORCEMENT BARS ARE TO BE ANCHORED INTO EXISTING CONCRETE USING HILTI HY 200-R V3 OR EQUIVALENT

SLAB ON GROUND

SUBGRADE PREPARATION

- SP1 THE SITE SHALL BE EXCAVATED TO THE LEVELS SHOWN ON THE RELEVANT DRAWINGS.
- SP2 ALL TOPSOIL, ORGANIC AND DELETERIOUS MATERIAL IS TO BE STRIPPED FROM THE BUILDING SITE.
- SP3 SELECTED FILLINGS/HARD-CORE ETC. & SAND BLINDING UNDER SLABS SHOWN ON DRAWINGS SHALL BE PLACED IN LOOSE LAYERS NOT EXCEEDING 150mm & COMPACTED TO 98% OF MAXIMUM DRY DENSITY IN ACCORDANCE WITH AS 1289 5.1.1 (DENOTED AS STRUCTURAL FILLING).
- SP4 ALL STRUCTURAL FILL TO BE APPROVED BY THE ENGINEER.
- SP5 THE SITE IS TO BE CUT AND FILLED TO FORM A LEVEL BUILDING PLATFORM. BATTERS AROUND THE HOUSE SHOULD BE DESIGNED TO WITHSTAND WEATHER EROSION.
- SP6 THE OWNERS ATTENTION SHOULD BE DRAWN TO APPENDIX B OF AS 2870 "PERFORMANCE REQUIREMENTS AND FOUNDATION MAINTENANCE" ON COMPLETION OF THE JOB.
- SP7 EXCAVATION SHALL NOT EXTEND BELOW A LINE DIPPING AT 45° FOR CLAY AND 30° FOR SAND AND AWAY FROM THE NEAREST UNDERSIDE CORNER OF ANY EXISTING FOOTINGS.
- SP8 FILL MATERIAL BENEATH SLAB IS TO BE COMPACTED IN ACCORDANCE WITH AS 2870 & THE GEOTECHNICAL REPORT.
- SP9 THE SLAB IS TO BE ENTIRELY UNDERLAID WITH A 0.2mm POLYETHYLENE VAPOUR BARRIER WITH ALL JOINTS ADEQUATELY LAPPED AND TAPED AT PENETRATIONS.

RETAINING WALL

- RW1 DRAINAGE SHALL BE PROVIDED AS SHOWN ON THE DRAINAGE DRAWINGS.
- RW2 BACKFILLING SHALL BE CARRIED OUT AFTER GROUT OR CONCRETE HAS REACHED A MINIMUM STRENGTH OF 0.85 fc. BACKFILLING SHALL BE APPROVED GRANULAR MATERIAL COMPACTED IN LAYERS NOT EXCEEDING 200MM TO 95% STANDARD COMPACTION UNLESS NOTED OTHERWISE.
- RW3 PROVIDE WATERPROOFING TO BACK OF WALLS AS SPECIFIED OR NOTED.
- RW4 WHERE RETAINING WALLS RELY ON CONNECTING STRUCTURAL ELEMENTS FOR STABILITY, DO NOT BACKFILL AGAINST THE WALL UNLESS IT IS ADEQUATELY PROPPED OR THE ELEMENTS HAVE BEEN CONSTRUCTED AND HAVE SUFFICIENT STRENGTH TO WITHSTAND THE LOADS.
- RW5 FOR ALL TEMPORARY BATTERS OBTAIN GEOTECHNICAL ENGINEERS RECOMMENDATIONS.

STRUCTURAL STEELWORK

- S1 ALL MATERIALS, WORKMANSHIP, FABRICATION AND ERECTION SHALL COMPLY WITH THE REQUIREMENTS OF AS4100, AS4600, AS1554 AND THE SPECIFICATION.
- S2 SUBMIT ALL SHOP DRAWINGS TO THE GREYCAT CONSULTING'S ENGINEER BEFORE COMMENCING FABRICATION, THE CHECK SHALL NOT COVER LAYOUT AND MEMBER DIMENSIONS.
- S3 UNLESS SHOWN OTHERWISE, ALL STEEL SHALL BE IN ACCORDANCE WITH AS3678 AND AS3679 GRADE 300. ALL STEEL HOLLOW SECTIONS SHALL

STEEL MEMBER GRADES					
TYPE OF STEEL	GRADE				
UC, UB, EA, UA, PFC TO AS3679.1	300				
SHS, RHS TO AS1163	C350				
CHS TO AS1163	250 TO 350				
WC, WB TO AS3679.2	300				
Rods, Flats, Plates TO AS3678	250				
Cold formed Purlins and Girts TO AS1397	G450 Z350				

- UNLESS NOTED OTHERWISE, THE FIXING OF PURLINS, GIRTS, BRIDGING, SHEETING AND ANY OTHER COMPONENT SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION AND RECOMMENDATIONS
- S5 SHEETING / CLADDING IS TO BE SCREW FIXED TO THE PURLINS / GIRTS TO PROVIDE LATERAL RESTRAINT TO THE PURLINS / GIRTS IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS.
- S6 UNLESS NOTED OTHERWISE, PROVIDE DOUBLE PURLINS AT EXPANSION JOINTS IN ROOF SHEETING.
- S7 UNLESS NOTED OTHERWISE, ALL BOLTS SHALL BE M16 GRADE 8.8/S. NO CONNECTION SHALL HAVE LESS THAN 2 BOLTS. ALL BOLTS AND WASHERS SHALL BE GALVANISED.
- S8 SUBSTITUTIONS FOR STEEL SECTIONS SHOWN ON DRAWINGS SHALL NOT BE MADE WITHOUT THE APPROVAL OF THE ENGINEER.
- UNLESS NOTED OTHERWISE, ALL BOLTS SHALL BE M16 GRADE 8.8/S. NO CONNECTION SHALL HAVE LESS THAN 2 BOLTS. ALL BOLTS AND WASHERS SHALL BE GALVANISED.
- S10 BOLT CATEGORIES ARE IDENTIFIED ON THE DRAWINGS IN THE FOLLOWING MANNER: NOTE: GRADE 8.8 BOLTS ARE NOT TO BE WELDED.

STEEL BOLT GRADES					
TYPE OF BOLTS	DESCRIPTION				
4.6/S	COMMERCIAL BOLTS OF GRADE 4.6 SNUG TIGHTENED.				
8.8/S	HIGH STRENGTH BOLTS OF GRADE 8.8 SNUG TIGHTENED.				
8.8/TB	HIGH STRENGTH BOLTS OF GRADE 8.8 FULLY TENSIONED TO AS4100 AS A BEARING TYPE JOINT.				
8.8/TF	HIGH STRENGTH BOLTS OF GRADE 8.8 FULLY TENSIONED TO AS4100 AS A FRICTION TYPE JOINT.				

- S11 ALL WELDS TO BE 6mm CONTINUOUS FILLET UNLESS SPECIFIED OTHERWISE
- ALL WELDS TO BE CATEGORY SP (SPECIAL PURPOSE) IN ACCORDANCE WITH AS1554.
- ALL WELD METAL IS TO HAVE A NOMINAL WELD TENSILE STRENGTH OF 490 MPa.
- BUTT WELD ALL FLANGES AT END PLATES AND AT ALL MITRE CUTS
- ALL BUTT WELDS SHALL BE FULL STRENGTH COMPLETE PENETRATION WELDS. CHIP ALL WELDS FREE OF SLAG.
- S12 ALL BUILT INTO MASONRY OR EXPOSED TO THE WEATHER STEEL WORK SHALL BE HOT DIPPED GALVANISED IN ACCORDANCE TO AS4680 AND AS2312.2.

STRUCTURAL MASONRY

BRICKWORK AND BLOCKWORK

- B1 ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT SAA MASONARY CODE, AS 3700 EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- ALL LOAD BEARING BRICKS SHALL BE LAID FROGS UP EXCEPT FOR THE TOP COURSE, WHICH SHALL BE LAID FROGS DOWN. WHEN SUPPORTING A CONCRETE SLAB OR BEAM BRICKWORK SHALL HAVE A LAYER OF MORTAR PLACED ON THE TOP AND TROWELLED SMOOTH, THE TOP 2 COURSES OF BRICKS SHALL BE LAID WITH REINFORCEMENT IN THE JOINTS.
- B3 WHERE WALLS ARE NON LOAD BEARING AT EITHER HORIZONTAL OR VERTICAL FACES THEY SHALL BE SEPERATED FROM THE CONCRETE BY 20mm THICK 'CANEITE' OR EXPANDED POLYSTYRENE U.N.O.
- NO HOLES OR CHASES SHALL BE CUT IN LOAD BEARING BRICKWORK OR BLOCKWORK WITHOUT THE PRIOR APPROVAL OF THE ENGINEER.
- B5 ALL CONCRETE BLOCK WALLS SHALL BE BUILT TO A GAUGE CONCRETE BLOCK SUCH THAT BLOCK-PLANS-JOINT DIMENSIONS ARE MULTIPLES OF 100mm USING STRETCHER BOND UNLESS SPECIFIED OTHERWISE.
- B6 CONCRETE BLOCKS SHALL BE GRADE 12 UNITS CONFORMING TO AS 4455
- B7 MORTAR SHALL BE FRESHLY PREPARED AND COMPOSED OF CEMENT: LIME:SAND IN THE RATIO OF 1:1:6 AND SHALL CONFORM TO AS AS3700.
- B8 CORES TO BE FILLED WHERE REQUIRED WITH CONCRETE OF STRENGTH F'c = 20 MPa, 10mm MAX. AGGREGATE SIZE AND A MAX. SLUMP OF 230mm, IN LIFTS NOT MORE THAN 1200 mm HIGH. U.N.O.
- HORIZONTAL CONSTRUCTION JOINTS.

 B10 REINFORCEMENT SHALL BE POSITIONED AS SHOWN AND HAVE A MINIMUM CONCRETE COVER

B9 CLEAN OUT OPENINGS ARE REQUIRED AT THE BASE OF ALL REINFORCED WALLS AND ABOVE

- OF 20mm U.N.O.
- B11 JOINT REINFORCEMENT SHALL BE IN ACCORDANCE WITH AS 3700.
- B12 VERTICAL CONTROL JOINTS IN BLOCK RETAINING WALLS AND BLOCK WALLS TO BE SPACED AS SHOWN OR AT 6000mm MAX. APART. VERTICAL CONTROL JOINTS IN BRICKWORK TO BE SPACED AT 5000mm MAX. APART.
- B13 A 300mm WIDE STRIP OF COARSE GRAINED MATERIAL IS TO BE PLACED BEHIND ALL RETAINING
- B14 BRICK TIES TO COMPLY WITH AS3700 AND BE OF STAINLESS STEEL DUE TO REQUIRED EXPOSURE.
- B15 BED JOINT REINFORCEMENT M.E.T. GALVANISED MASONRY REINFORCEMENT (SUPPLIED BY DUNSTONE MAZE OR EQUAL) AT EVERY THIRD BED JOINT.

 A
 ISSUE FOR INFORMATION
 04.12.2024
 IG
 JW

 B
 ISSUE FOR CONSTRUCTION
 30.04.2025
 IG
 JW

 C
 ISSUE FOR CONSTRUCTION
 18.08.2025
 TC
 JW

 D
 ISSUE FOR CONSTRUCTION
 27.08.2025
 TC
 JW

 E
 ISSUE FOR CONSTRUCTION
 08.09.2025
 TC
 JW

Date Drawn Approved

Key Plan

Issue. Description

Do not scale this drawing. Figured dimensions are to be used. Dimensions are in millimeters. All dimensions to be checked on site prior to construction or fabrication. All discrepancies and omissions to be reported to Greycat Consulting. This is computer generated drawing. Do



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not amend by hand.

PROPOSED DIRECT TO BOOT FACILITY
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114 OLD PITTWATER RD, BROOKVALE NSW 2100
LOT 1 / DP 868761

SUITE 5, 38-46 ALBANY STREET,

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Drawing Title

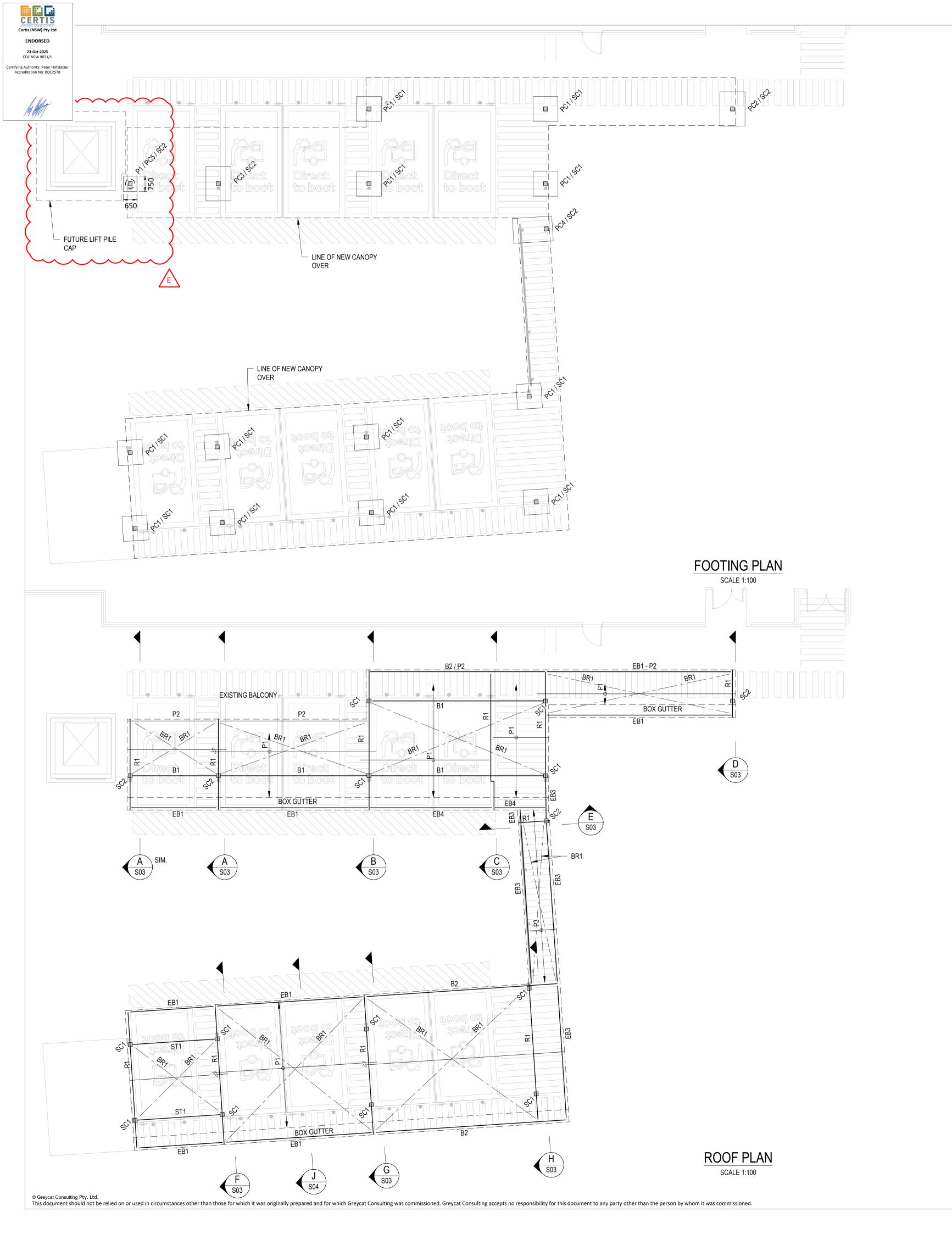
NOTES

 Drawn
 Date
 Scale
 A1
 Q.A. Check
 Date

 TC
 SEP 2025
 AS SHOWN
 JW
 08.09.25

 Designed
 Project No.
 Dwg No.
 Issue

 JW
 240178
 S01
 E



NOTES

FOOTINGS TO BEAR ON NATURAL GROUND OR ENGINEERED FILL WITH A MINIMUM ALLOWABLE BEARING CAPACITY OF 100kPa. TO BE CONFIRMED BY A GEOTECHNICAL ENGINEER PRIOR TO COMMENCEMENT OF CONSTRUCTION OR ORDERING MATERIALS.

PC1 - 1200x1200x800 DEEP PAD FOOTING. PC2 - 1200x1650x600 DEEP PAD FOOTING. PC3 - 1200x1650x600 DEEP PAD FOOTING.

PC4 - 1200x1900x600 DEEP PAD FOOTING.

FT1 - FT5 FASCIA - REFER TO DETAILS

ALL STEELWORK INCLUDING NUT, BOLTS AND WASHERS TO BE HOT DIP GALVANISED UNO.

STEEL MEMBER SCHEDULE					
MARK	SIZE	COMMENTS			
SC1	200 x 200 x 6.0 SHS	COLUMN			
SC2	200 x 200 x 9.0 SHS	COLUMN			
B1	250UB31	BEAM			
B2	250UB31	BEAM			
R1	250UB31	RAFTER			
EB1	200x100x6.0 RHS	EDGE BEAM			
EB2	NOT USED				
EB3	200x100x6.0 RHS	EDGE BEAM			
EB4	200x100x6.0 RHS	EDGE BEAM			
ST1	125x125x5.0 SHS	STRUT			
BR1	20 DIA. ROD	BRACING - SUSPENDED FROM EVERY 3rd PURLIN			
P1	Z20019	PURLINS AT 1200 MAX. CTS WITH 1 ROW OF MIDSPAN BRIDGING			
P2	Z20019 + C15024	FASCIA PURLIN			
P3	C15015	PURLINS AT 1200 CTS			
		•			

BEARING PILE SCHEDULE					
MARK	SIZE SOCKET LE		SOCKET LEN	GTH	REINFORCEMENT
P1	Ø450		MIN. 5900 BEL THE TOE OF PI		6N16 + R10-300 SPIRAL TIES
PIL	E CA	PR	EINFORC	EME	NT SCHEDULE
PIL MARK	E CA		EINFORC		NT SCHEDULE ORCEMENT

Key Plan

Issue.	Description	Date	Drawn	Approved
Α	ISSUE FOR INFORMATION	04.12.2024	IG	JW
В	ISSUE FOR CONSTRUCTION	30.04.2025	IG	JW
С	ISSUE FOR CONSTRUCTION	18.08.2025	TC	JW
D	ISSUE FOR CONSTRUCTION	27.08.2025	TC	JW
E	ISSUE FOR CONSTRUCTION	08.09.2025	TC	JW

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Design Consultant



FOOTING AND ROOF PLANS

Date	Scale	A1	Q.A. Check	Date
SEP 2025	AS SHOWN		JW	08.09.25
Project No.			Dwg No.	Issue
240178			S02	E
	SEP 2025 Project No.	SEP 2025 AS SHOWN Project No.	SEP 2025 AS SHOWN Project No.	SEP 2025 AS SHOWN JW Project No. Dwg No.

