

SCHEDULE OF EXTERNAL FINISHES



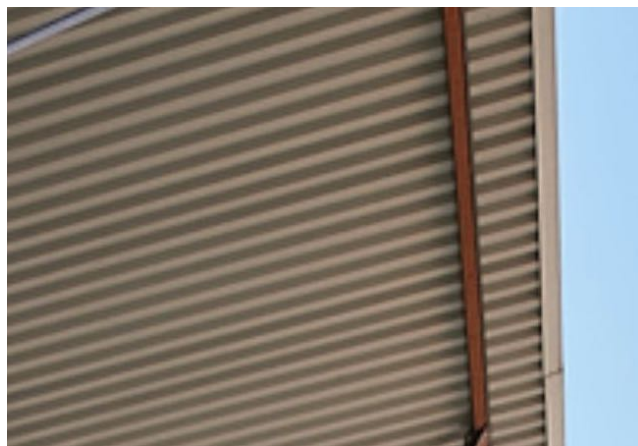
CONCRETE BLOCKWORK (CB)



STONE BLOCKWORK (SB)



FIBRE CEMENT CLADDING (FC)



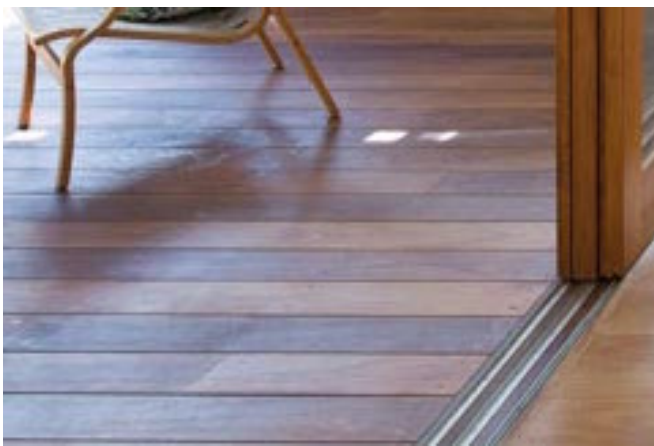
STEEL ROOFING (SR)



TIMBER CLADDING (TC)



HARDWOOD (HW)

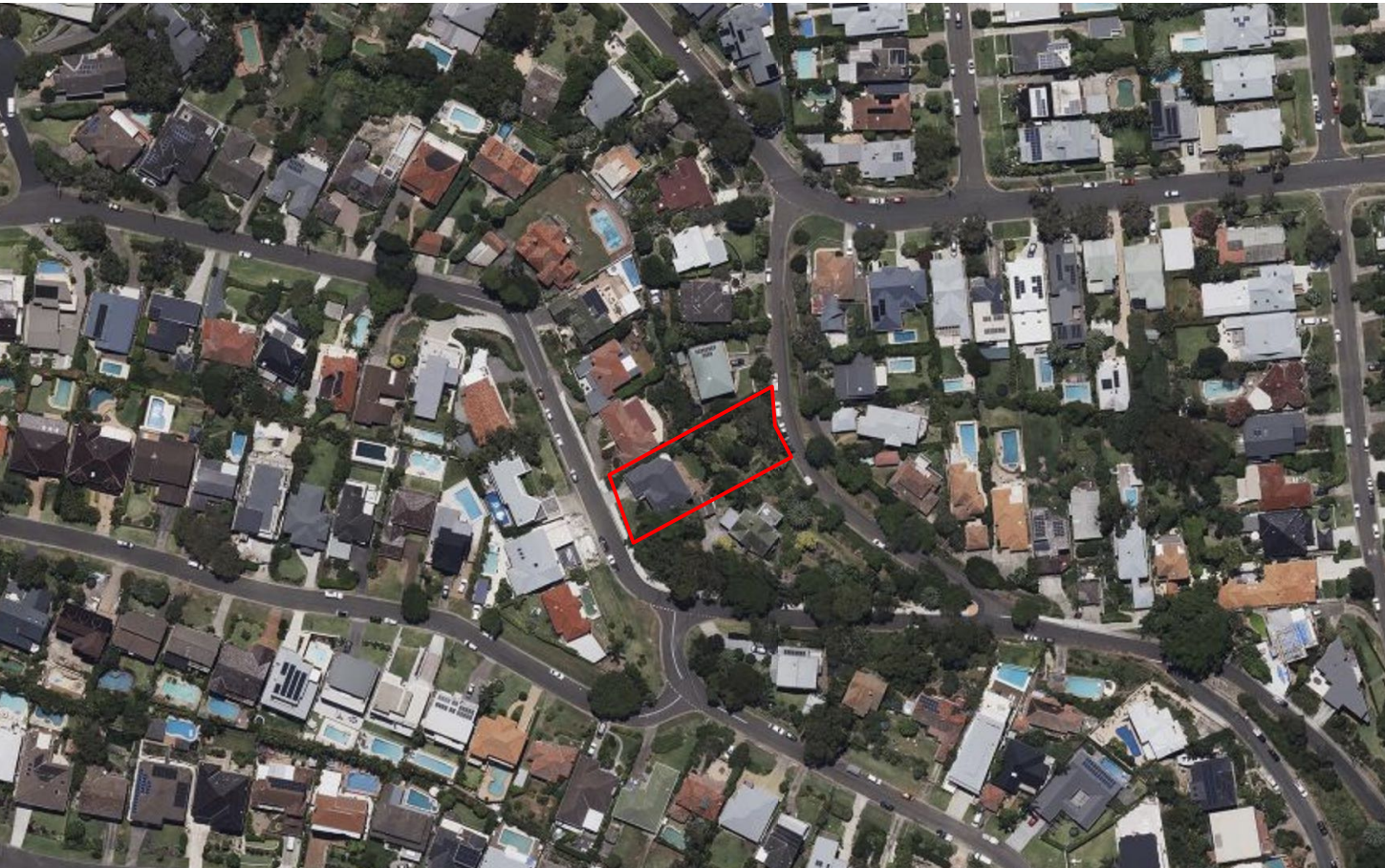


HARDWOOD DECKING (TD)

PAGE	DRAWING	DATE	REVISION
DA 1	1:200 SITE PLAN / SITE ANALYSIS	MAY 2025	DA ISSUE
DA 2	1:100 GROUND FLOOR PLAN	MAY 2025	DA ISSUE
DA 3	1:100 GARAGE PLAN	MAY 2025	DA ISSUE
DA 4	1:100 NORTH ELEVATION	MAY 2025	DA ISSUE
DA 5	1:100 WEST AND SOUTH ELEVATIONS	MAY 2025	DA ISSUE
DA 6	1:100 EAST ELEVATION	MAY 2025	DA ISSUE
DA 7	1:100 SECTION AA	MAY 2025	DA ISSUE
DA 8	1:200 EROSION AND SEDIMENT CONTROL PLAN AND SITE WASTE MANAGEMENT PLAN	MAY 2025	DA ISSUE
DA 9	LANDSCAPE AND PRIVATE OPEN SPACE CALCULATIONS	MAY 2025	DA ISSUE
DA10	DRIVEWAY LONG SECTION PLAN	MAY 2025	DA ISSUE
DAS	SHADOW DIAGRAMS	MAY 2025	DA ISSUE



SITE



CONTEXT

NOTES

FINISHES LEGEND

- CB CONCRETE BLOCKWORK
- RC REINFORCED CONCRETE
- FC FIBRE CEMENT CLADDING
- SR STEEL ROOFING
- HW HARDWOOD
- TD HARDWOOD DECKING
- GB GLASS BALUSTRADE
- SB STONE BLOCKWORK
- PC POLYCARBONATE SHEETING

- EXISTING STRUCTURES TO BE DEMOLISHED SHOWN DOTTED RED
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  - AS/NZS 3000 - 2018 - WIRING RULES
  - AS/NZS 3500.5:2021 - PLUMBING AND DRAINAGE
  - AS 3680.1 - 2014 - TERMITE MANAGEMENT
  - AS 3700-2018 - MASONRY STRUCTURES
  - AS 3740-2021 - WATERPROOFING OF WET AREAS
  - AS 4100 - 2020 - STEEL STRUCTURES
  - AS 4014.1-2024 SOLID FUEL BURNING FIREPLACES
  - AS 2890.1 OFF STREET PARKING

LHA GOLD PERFORMANCE LEVEL (2020) GOLD :  
- LIVEABLE HOUSING AUSTRALIA (LHA)'S BEST PRACTICE GUIDELINES FOR LIVEABLE HOUSING STANDARD (TO FACILITATE AGEING IN PLACE)

SITE INFORMATION :  
- D.P. 396160  
- SITE AREA : 840.1 m2  
- LOCAL GOVERNMENT : NORTHERN BEACHES COUNCIL  
- ZONING R2 - RESIDENTIAL

DA ISSUE

		REVISION	DATE	DESCRIPTION	BY	<div><div></div><div>INCIDENTAL ARCHITECTURE</div><div><p>THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS. DO NOT SCALE OFF DRAWINGS. PRECEDENCE IS TO BE GIVEN TO WRITTEN DIMENSIONS, VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY. COPYRIGHT OF THIS DRAWING IS VESTED WITH THE ARCHITECT.</p></div></div>	Suite 1/6 Waratah St, Mona Vale NSW 2103 p : 8916 7357 e : info@incidentalarchitecture.com.au Nominated Architect: Matthew Elkan NSW Reg # 6821	PROJECT	HARPUR - COLLAROY 22 Suffolk Ave, Collaroy <small>On the land of the Gadigal people</small>		DATE	MAY 2025	DA C
								DRAWING	COVER SHEET & GENERAL NOTES		SCALE	NTS	



NOTES

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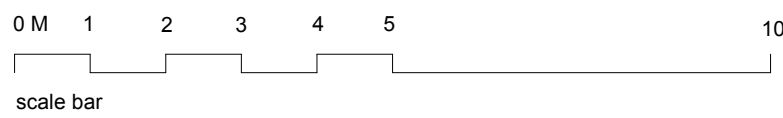
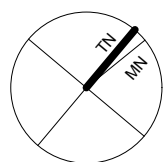
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- LIVEABLE HOUSING AUSTRALIA (LHA)'S BEST PRACTICE GUIDELINES FOR LIVEABLE HOUSING STANDARD (TO FACILITATE AGEING IN PLACE)

SUFFOLK AVENUE

BEDFORD CRESCENT

DA1 - 01 SITE PLAN / SITE ANALYSIS 1:200



REVISION	DATE	DESCRIPTION	BY

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ARCHITECTURE

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Suite 1/6 Waratah St, Mona Vale NSW 2103  
p : 8916 7357 e : info@incidentalarchitecture.com.au  
Nominated Architect: Matthew Elkan NSW Reg # 6821

PROJECT: **HARPUR - COLLARROY**  
**22 Suffolk Ave, Collaroy**  
On the land of the Gadigal people

DRAWING: **SITE PLAN / SITE ANALYSIS**

SITE INFORMATION :  
- D.P. 396160  
- SITE AREA : 840.1 m<sup>2</sup>  
- LOCAL GOVERNMENT : NORTHERN BEACHES COUNCIL  
- ZONING R2 - RESIDENTIAL

DA ISSUE

DATE: **MAY 2025**  
SCALE: **1:200@A3**  
PAGE: **DA1**



## NOTES

## FINISHES LEGEND

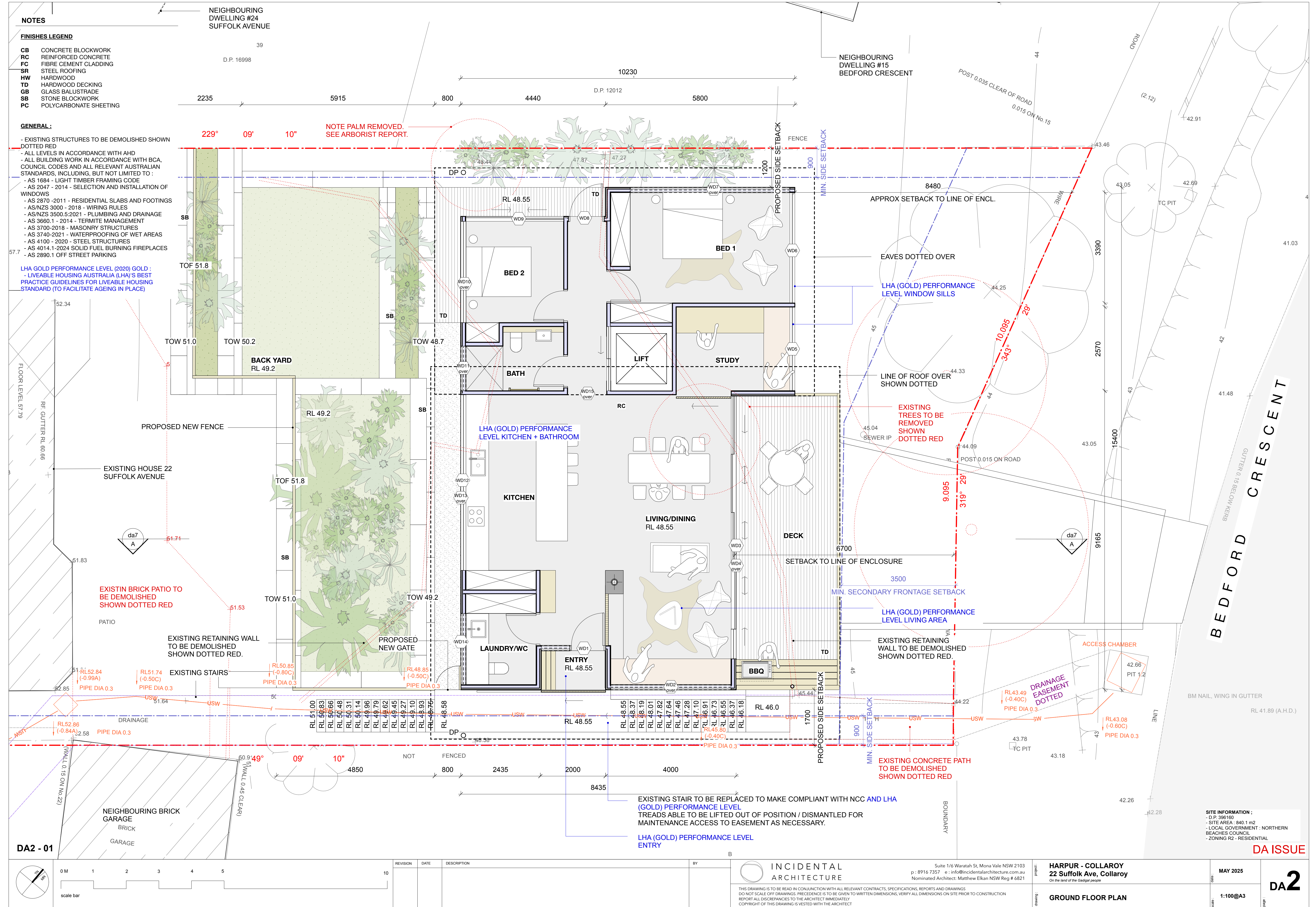
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NEIGHBOURING DWELLING #24  
SUFFOLK AVENUE





NOTES

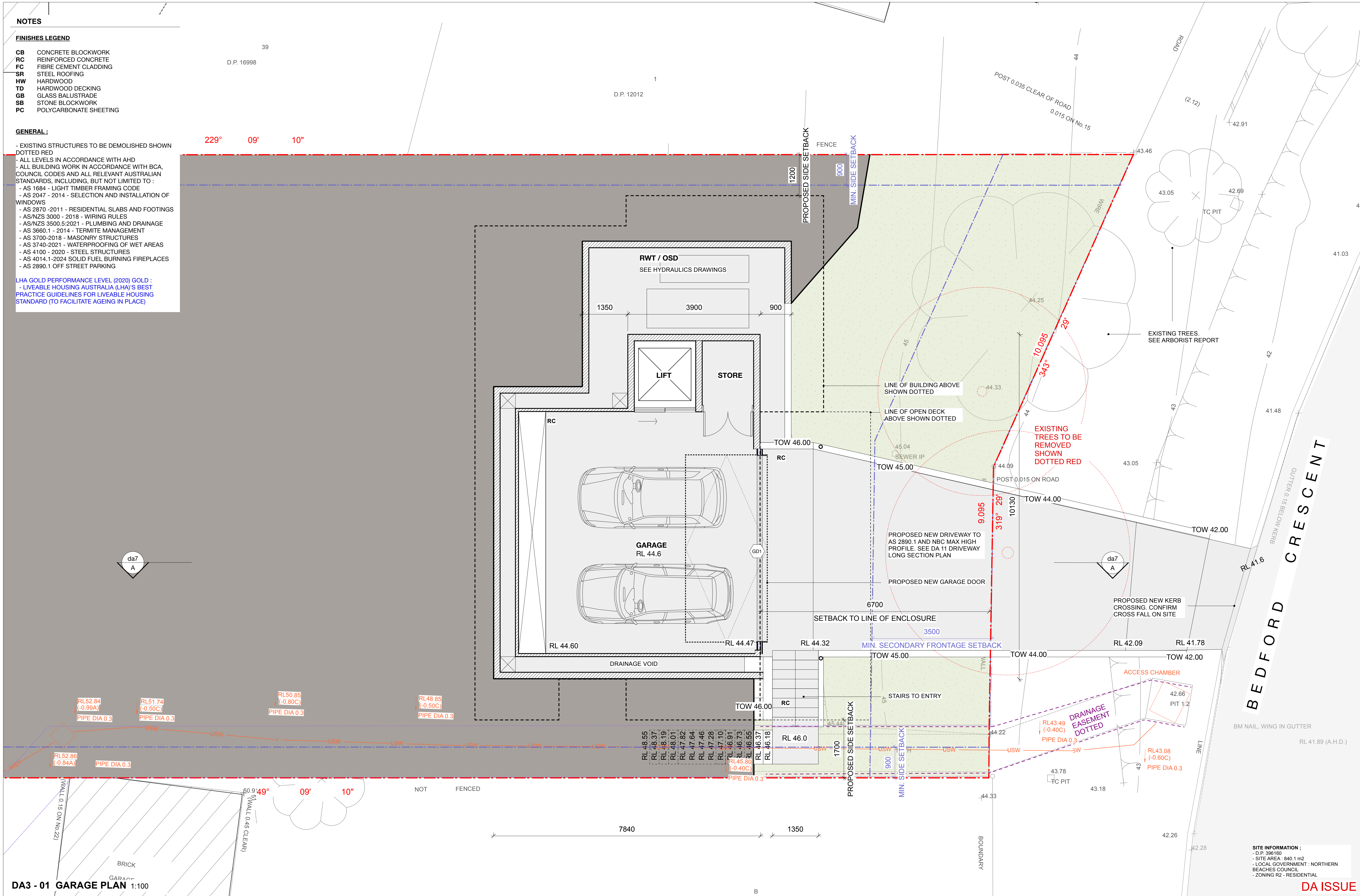
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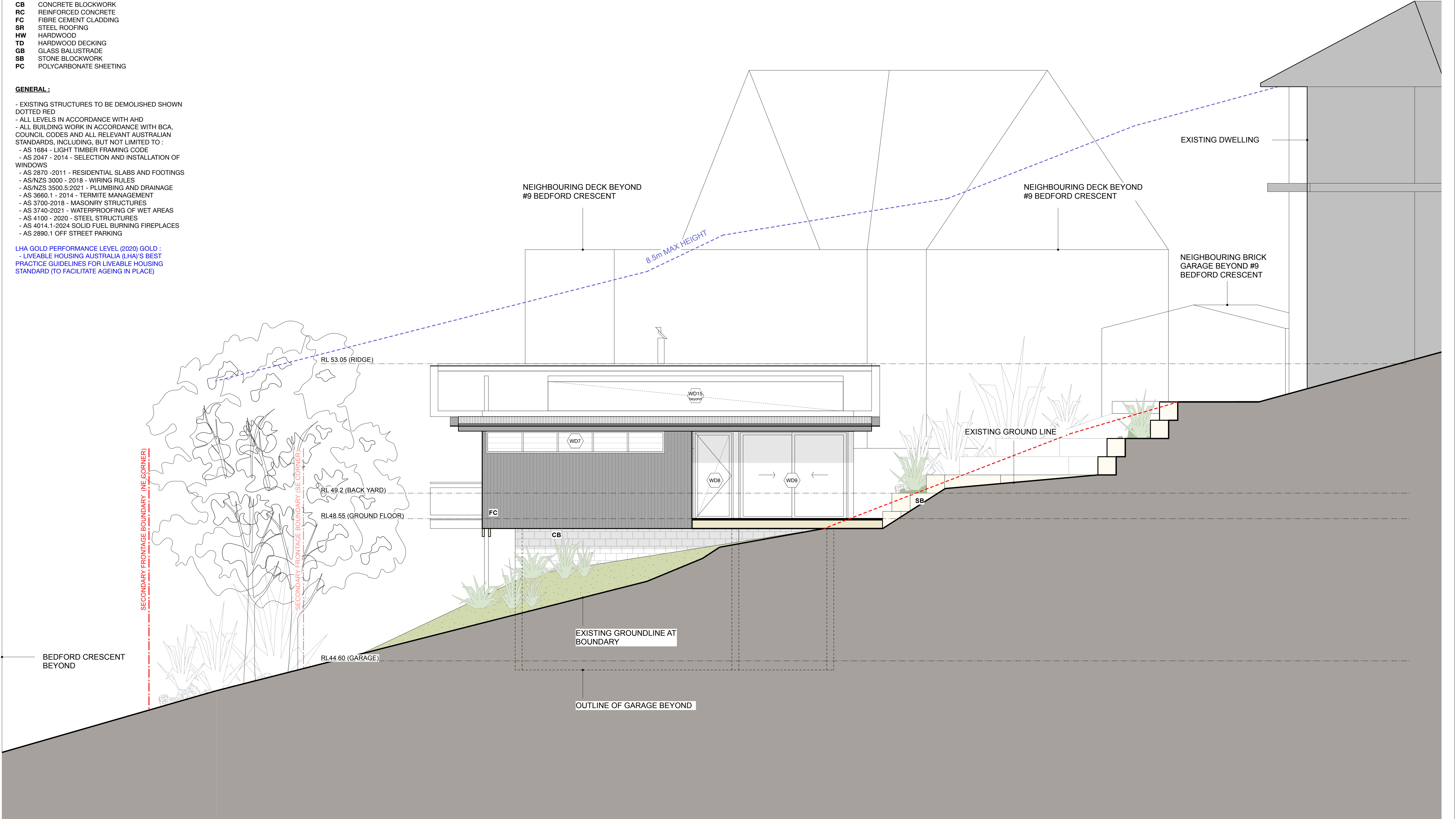
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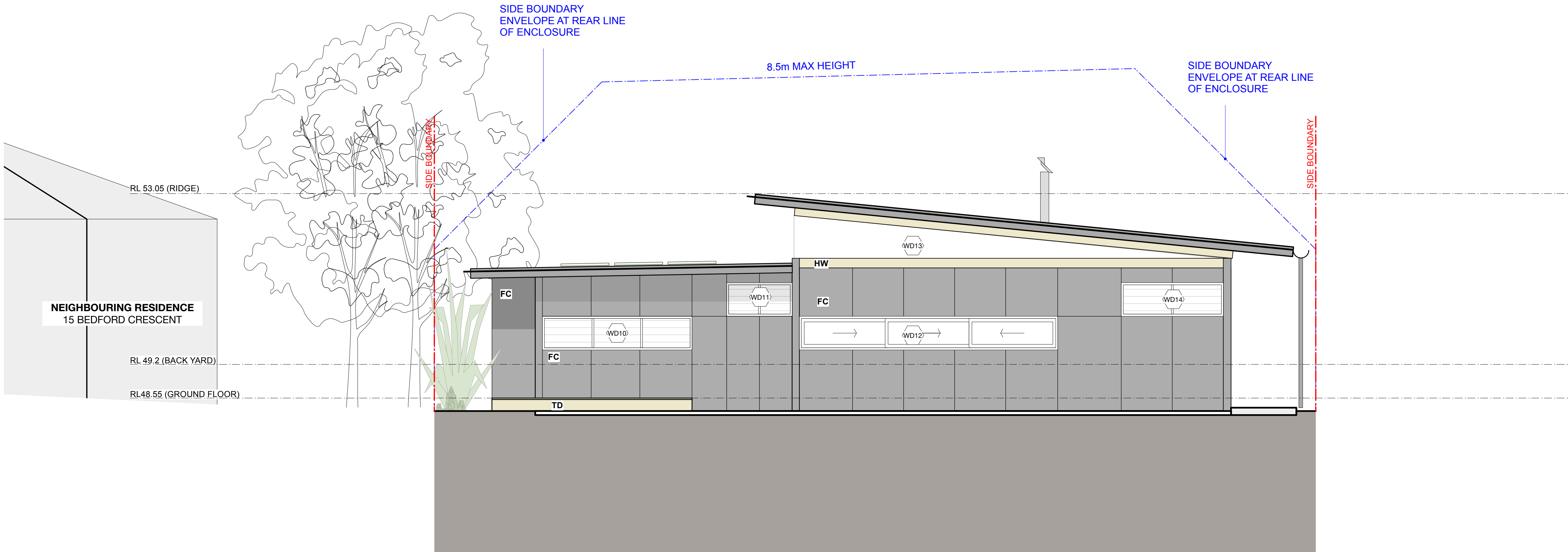


DA4 - 01 NORTH ELEVATION 1:100

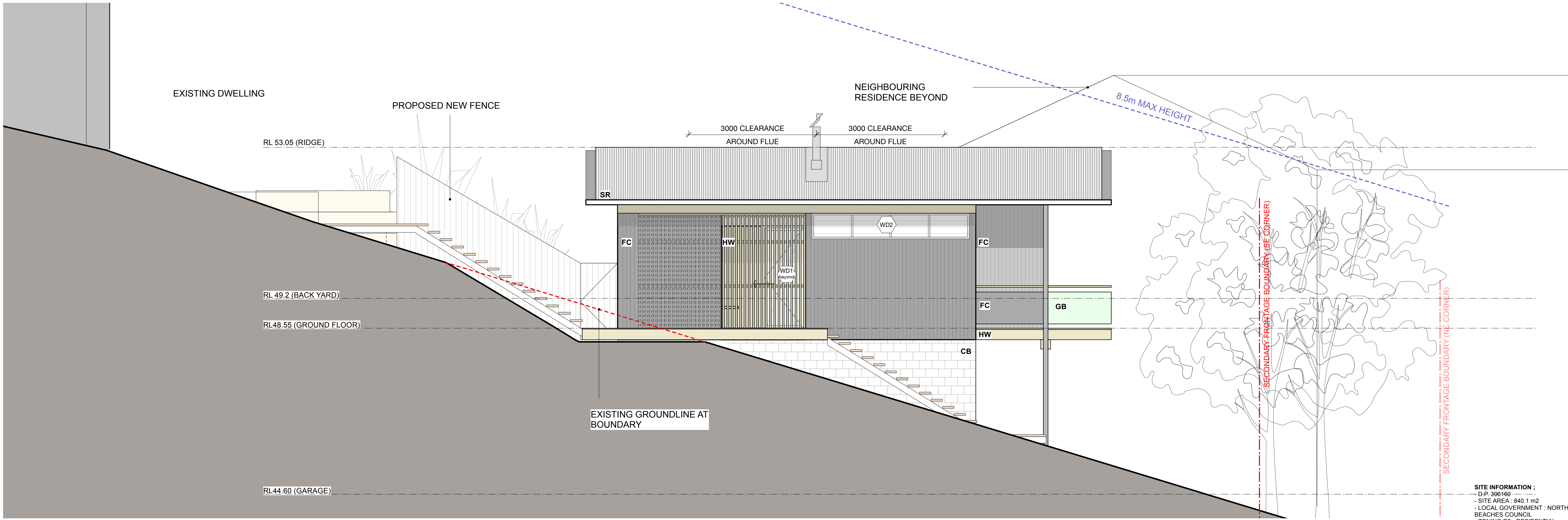
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DA ISSUE

0 M 1 2 3 4 5 10 scale bar					REVISION	DATE	DESCRIPTION	BY	<div>INCIDENTAL ARCHITECTURE</div> <p>Suite 1/6 Waratah St, Mona Vale NSW 2103 p : 8916 7357 e : info@incidentalarchitecture.com.au Nominated Architect: Matthew Elkan NSW Reg # 6821</p> <p>THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS. DO NOT SCALE OFF DRAWINGS. PRECEDENCE IS TO BE GIVEN TO WRITTEN DIMENSIONS, VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY. COPYRIGHT OF THIS DRAWING IS VESTED WITH THE ARCHITECT</p>	PROJECT <b>HARPUR - COLLAROY</b> 22 Suffolk Ave, Collaroy <i>On the land of the Gadigal people</i>	DATE <b>MAY 2025</b>	SHEET <b>DA4</b>
										DRAWING <b>NORTH AND WEST ELEVATIONS</b>	SCALE <b>1:200@A3</b>	



DA5 - 01 WEST ELEVATION 1:100



DA5 - 02 SOUTH ELEVATION 1:100

NOTES

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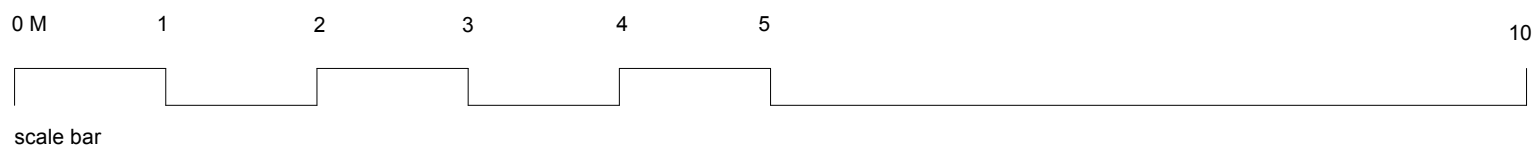
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LHA GOLD PERFORMANCE LEVEL (2020) GOLD :  
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p : 8916 7357 e : info@incidentalarchitecture.com.au  
Nominated Architect: Matthew Elkan NSW Reg # 6821

PROJECT: **HARPUR - COLLAROY**  
**22 Suffolk Ave, Collaroy**  
*On the land of the Gadigal people*

DRAWING: **NORTH AND WEST ELEVATIONS**

DATE: **MAY 2025**

SCALE: **1:200@A3**

**DA5**



### FINISHES LEGEND

**GENERAL :**

LHA GOLD PERFORMANCE LEVEL (2020) GOLD :  
- LIVEABLE HOUSING AUSTRALIA (LHA)'S BEST  
PRACTICE GUIDELINES FOR LIVEABLE HOUSING  
STANDARD (TO FACILITATE AGEING IN PLACE)

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DA6

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project : **HARPUR - COLLAROY**  
**22 Suffolk Ave, Collaroy**  
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**SOUTH AND EAST ELEVATIONS**

MAY 2025

1:100@A3

NOTES

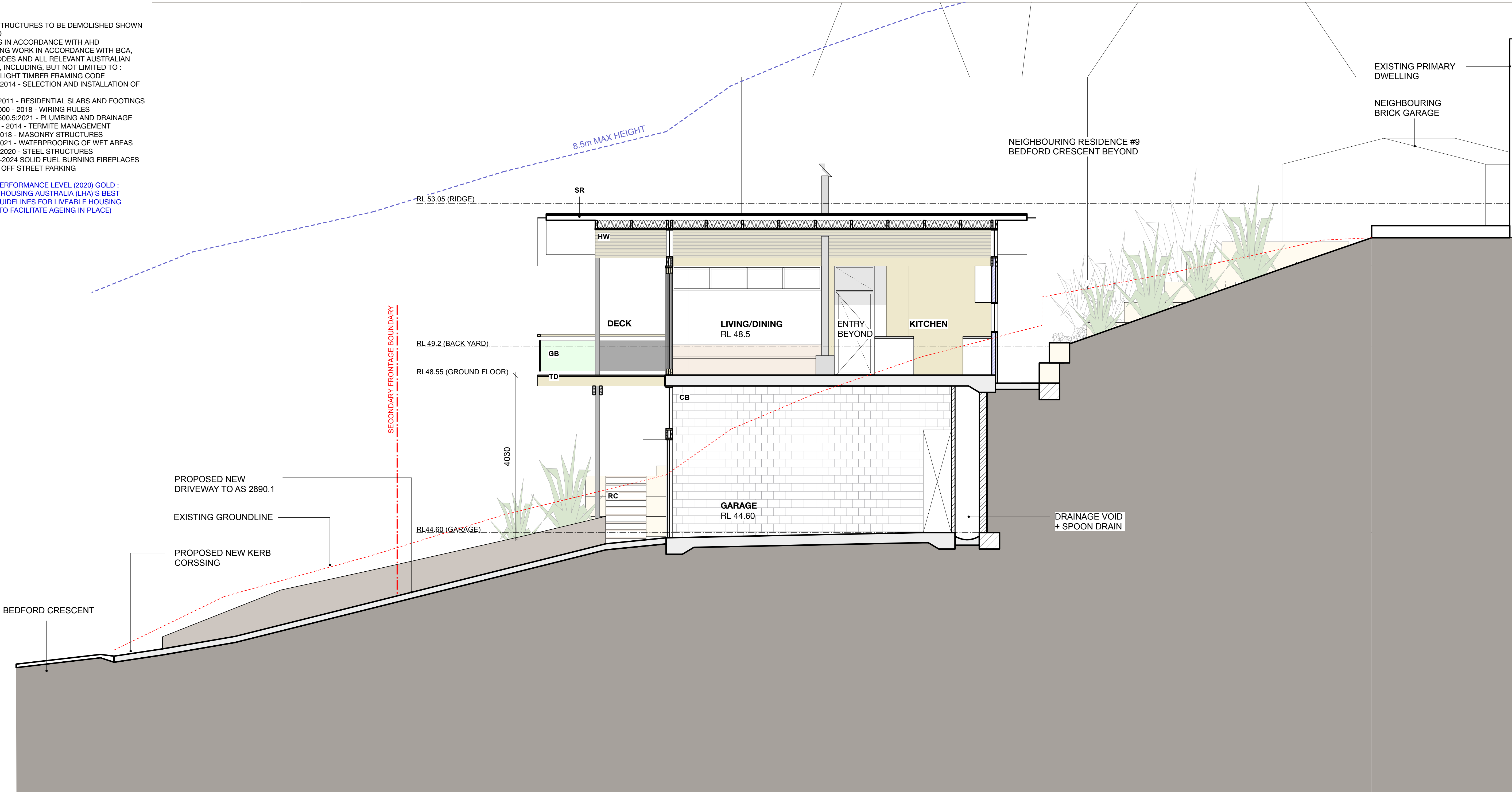
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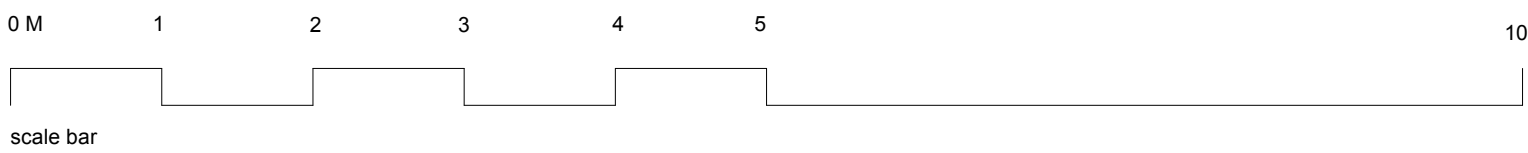
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DA7 - 01 SECTION AA 1:100

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Nominated Architect: Matthew Elkan NSW Reg # 6821

PROJECT:	HARPUR - COLLAROY 22 Suffolk Ave, Collaroy <small>On the land of the Gadigal people</small>	DATE:	MAY 2025
DRAWING:	SECTION AA	SCALE:	1:200@A3
PAGE:	7	DA7	



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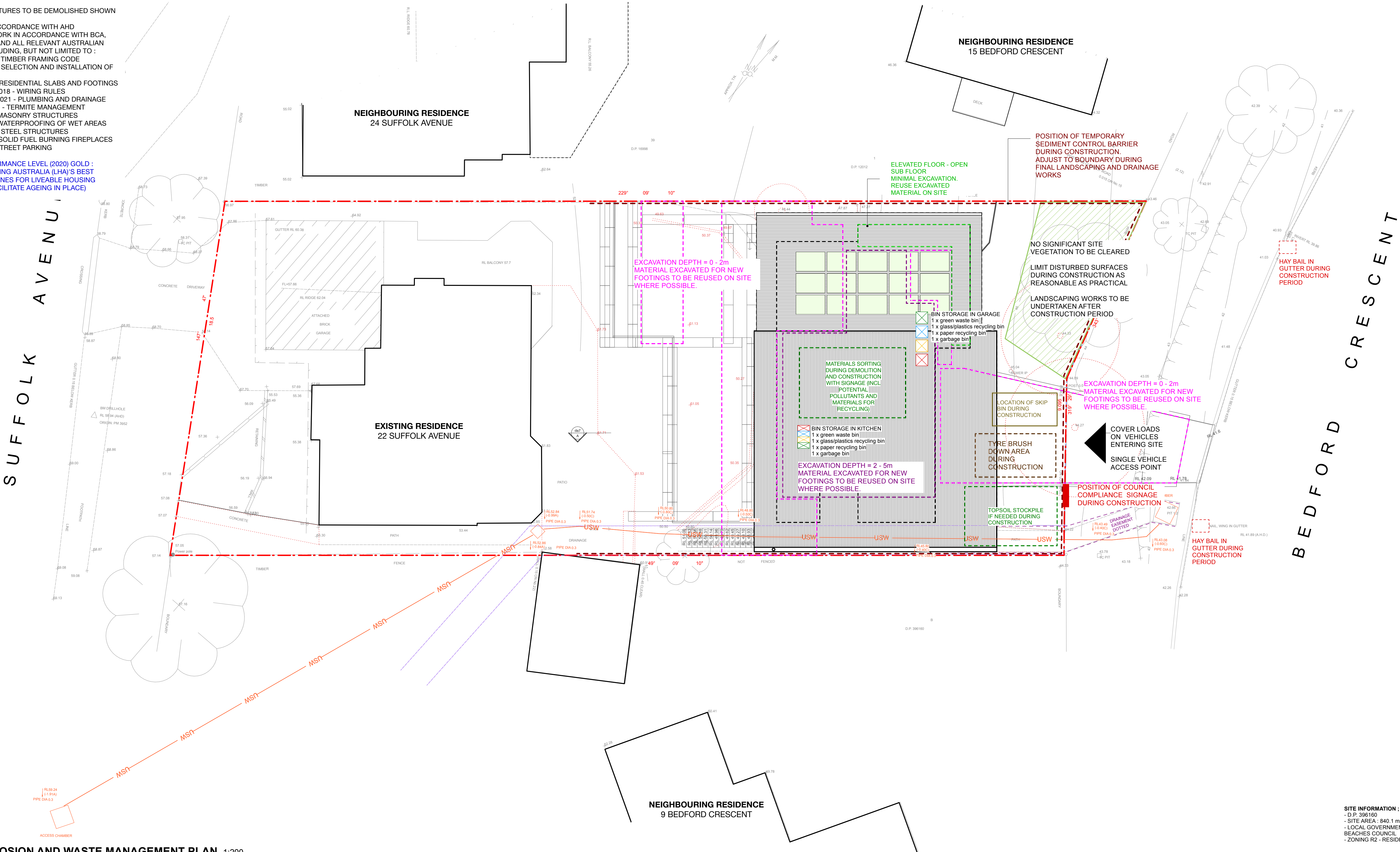
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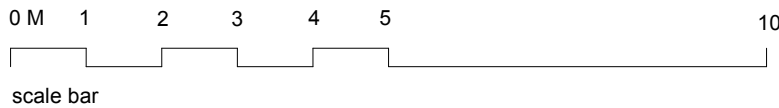
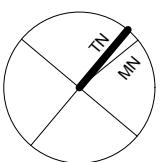
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DA8 - 01 EROSION AND WASTE MANAGEMENT PLAN 1:200



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DRAWING: **EROSION AND WASTE MANAGEMENT PLAN**

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- LOCAL GOVERNMENT : NORTHERN BEACHES COUNCIL  
- ZONING R2 - RESIDENTIAL

DA ISSUE

DATE: **MAY 2025**  
SCALE: **1:200@A3**  
PAGE: **DA8**



NOTES

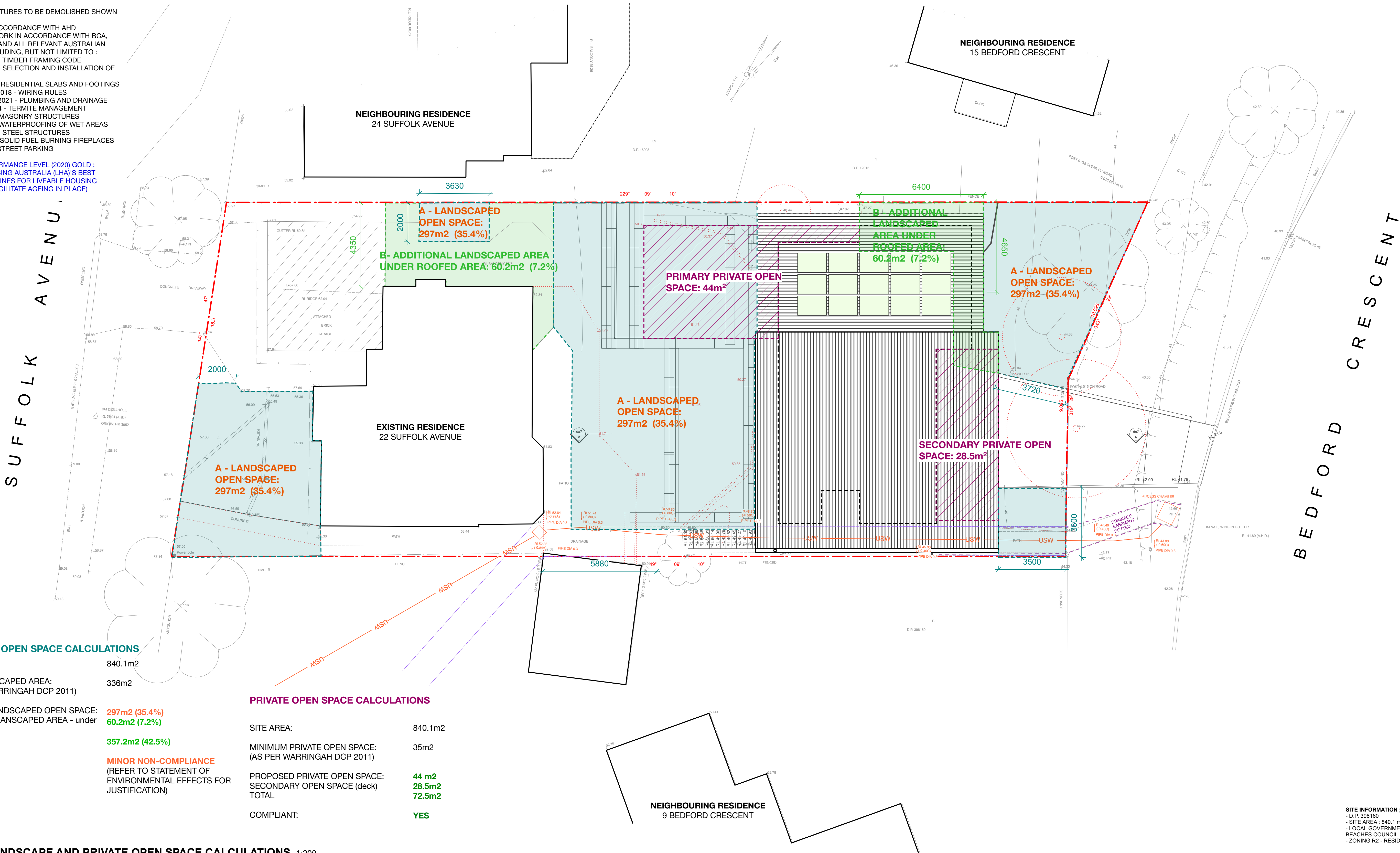
FINISHES LEGEND

CB CONCRETE BLOCKWORK  
RC REINFORCED CONCRETE  
FC FIBRE CEMENT CLADDING  
SR STEEL ROOFING  
HW HARDWOOD  
TD HARDWOOD DECKING  
GB GLASS BALUSTRADE  
SB STONE BLOCKWORK  
PC POLYCARBONATE SHEETING

GENERAL:

- EXISTING STRUCTURES TO BE DEMOLISHED SHOWN DOTTED RED
- ALL LEVELS IN ACCORDANCE WITH AHD
- ALL BUILDING WORK IN ACCORDANCE WITH BCA, COUNCIL CODES AND ALL RELEVANT AUSTRALIAN STANDARDS, INCLUDING, BUT NOT LIMITED TO :
  - AS 1684 - LIGHT TIMBER FRAMING CODE
  - AS 2047 - 2014 - SELECTION AND INSTALLATION OF WINDOWS
  - AS 2870 -2011 - RESIDENTIAL SLABS AND FOOTINGS
  - AS/NZS 3000 - 2018 - WIRING RULES
  - AS/NZS 3500.5:2021 - PLUMBING AND DRAINAGE
  - AS 3660.1 - 2014 - TERMITE MANAGEMENT
  - AS 3700-2018 - MASONRY STRUCTURES
  - AS 3740-2021 - WATERPROOFING OF WET AREAS
  - AS 4100 - 2020 - STEEL STRUCTURES
  - AS 4014.1-2024 SOLID FUEL BURNING FIREPLACES
  - AS 2890.1 OFF STREET PARKING

LHA GOLD PERFORMANCE LEVEL (2020) GOLD :  
- LIVEABLE HOUSING AUSTRALIA (LHA)'S BEST PRACTICE GUIDELINES FOR LIVEABLE HOUSING STANDARD (TO FACILITATE AGEING IN PLACE)



LANDSCAPED OPEN SPACE CALCULATIONS

SITE AREA: 840.1m2

MINIMUM LANDSCAPED AREA:  
(40% AS PER WARRINGAH DCP 2011) 336m2

A-PROPOSED LANDSCAPED OPEN SPACE: 297m2 (35.4%)  
B - ADDITIONAL LANDSCAPED AREA - under Eaves 60.2m2 (7.2%)  
TOTAL A+B) 357.2m2 (42.5%)

COMPLIANT: MINOR NON-COMPLIANCE  
(REFER TO STATEMENT OF ENVIRONMENTAL EFFECTS FOR JUSTIFICATION)

PRIVATE OPEN SPACE CALCULATIONS

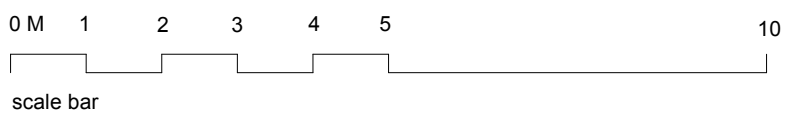
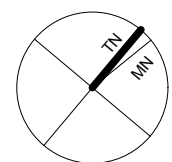
SITE AREA: 840.1m2

MINIMUM PRIVATE OPEN SPACE:  
(AS PER WARRINGAH DCP 2011) 35m2

PROPOSED PRIVATE OPEN SPACE: 44 m2  
SECONDARY OPEN SPACE (deck) 28.5m2  
TOTAL 72.5m2

COMPLIANT: YES

DA9 - 01 LANDSCAPE AND PRIVATE OPEN SPACE CALCULATIONS 1:200



REVISION	DATE	DESCRIPTION	BY

INCIDENTAL  
ARCHITECTURE

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Suite 1/6 Waratah St, Mona Vale NSW 2103  
p : 8916 7357 e : info@incidentalarchitecture.com.au  
Nominated Architect: Matthew Elkan NSW Reg # 6821

PROJECT: HARPUR - COLLAROY  
22 Suffolk Ave, Collaroy  
On the land of the Gadigal people

DRAWING: LANDSCAPE AND PRIVATE OPEN SPACE  
CALCULATIONS

SITE INFORMATION :  
- D.P. 396190  
- SITE AREA : 840.1 m2  
- LOCAL GOVERNMENT : NORTHERN BEACHES COUNCIL  
- ZONING R2 - RESIDENTIAL

DA ISSUE

DATE: MAY 2025

SCALE: 1:200@A3

DA9





**DA11 - 03 - NORTHERN BEACHES COUNCIL STANDARD PROFILE - MAXIMUM HIGH** NTS

LHA GOLD PERFORMANCE LEVEL (2020) GOLD :  
- LIVEABLE HOUSING AUSTRALIA (LHA)'S BEST  
PRACTICE GUIDELINES FOR LIVEABLE HOUSING  
STANDARD (TO FACILITATE AGEING IN PLACE)



NOTES

FINISHES LEGEND

CB CONCRETE BLOCKWORK  
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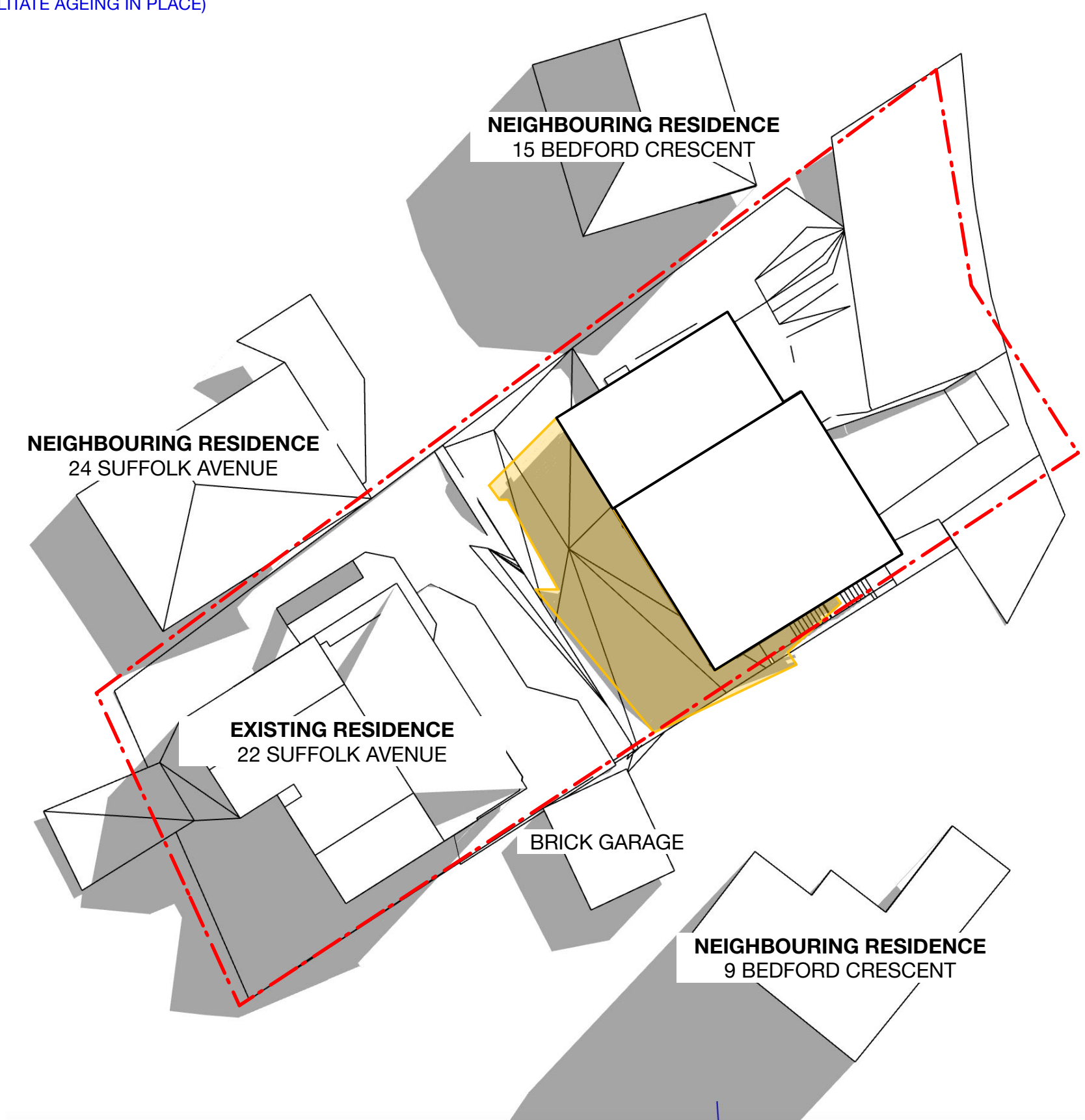
LHA GOLD PERFORMANCE LEVEL (2020) GOLD :  
- LIVEABLE HOUSING AUSTRALIA (LHA)'S BEST PRACTICE GUIDELINES FOR LIVEABLE HOUSING STANDARD (TO FACILITATE AGEING IN PLACE)

LEGEND

--- SITE BOUNDARY  
NEW SHADOW GENERATED BY PROPOSED BUILDING

NOTES :

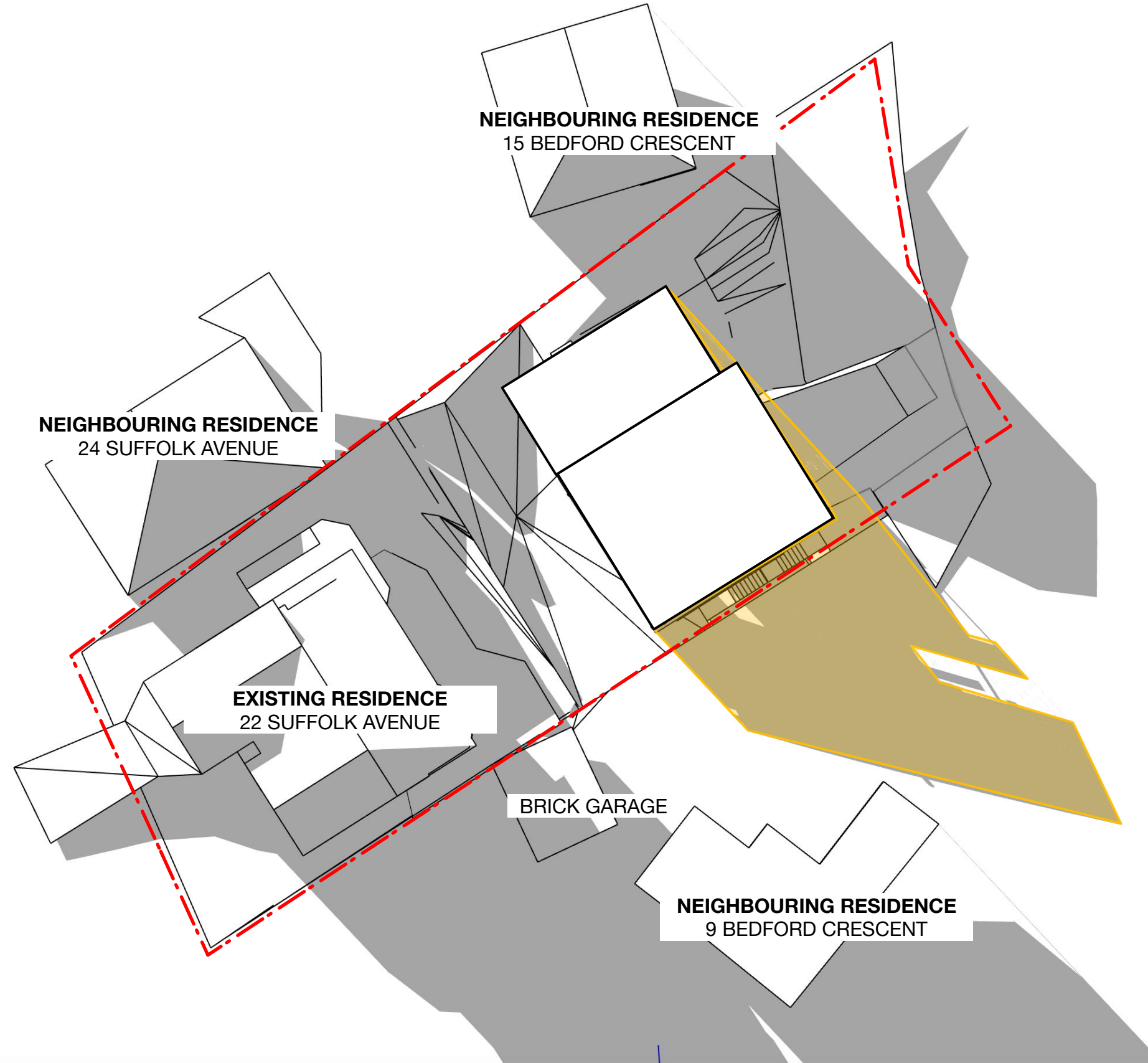
- THIS DRAWING IS SCHEMATIC ONLY.  
- HEIGHT AND POSITION OF EXISTING STRUCTURES FROM SURVEY PLAN  
- RIDGE HEIGHTS, GUTTER HEIGHTS AND SILL HEIGHTS AND NATURAL GROUND LEVELS FROM SURVEY PLAN



21ST JUNE 9AM

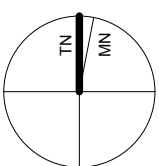


21ST JUNE 12PM



21ST JUNE 3PM

DAS - 01 SHADOW DIAGRAMS 1:200



0 M 1 2 3 4 5 10  
scale bar

REVISION	DATE	DESCRIPTION	BY

INCIDENTAL  
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Suite 1/6 Waratah St, Mona Vale NSW 2103  
p : 8916 7357 e : info@incidentalarchitecture.com.au  
Nominated Architect: Matthew Elkan NSW Reg # 6821

PROJECT:	HARPUR - COLLARROY 22 Suffolk Ave, Collaroy <i>On the land of the Gadigal people</i>	DATE:	MAY 2025	DAS
DRAWING:	SHADOW DIAGRAMS	SCALE:	NTS	

SITE INFORMATION :  
- D.P. 396160  
- SITE AREA : 840.1 m2  
- LOCAL GOVERNMENT : NORTHERN BEACHES COUNCIL  
- ZONING R2 - RESIDENTIAL

DA ISSUE



## SITE PREPARATION / SOIL WORKS

**TREE PROTECTION**  
PROTECT ALL EXISTING TREES AS NOTED ON THE DRAWINGS FOR THE DURATION OF THE BUILDING WORKS.  
TAKE ALL NECESSARY PRECAUTIONS, INCLUDING THE FOLLOWING:

**TREE PROTECTION FENCE:**  
INSTALL A TREE PROTECTION FENCE SYSTEM AT THE MAXIMUM RADIUS ALLOWABLE TO ACCOMMODATE THE PROPOSED DEVELOPMENT. MAINTAIN THE FENCE FOR THE DURATION OF THE BUILDING WORKS.  
CONSTRUCT THE FENCE 1.8M HIGH WITH CHAINWIRE MESH ON STEEL POSTS. ALL AREAS WITHIN THE PERIMETER OF THE FENCE ARE TO BE COVERED TO A DEPTH OF 100MM WITH WOODCHIP MULCH.

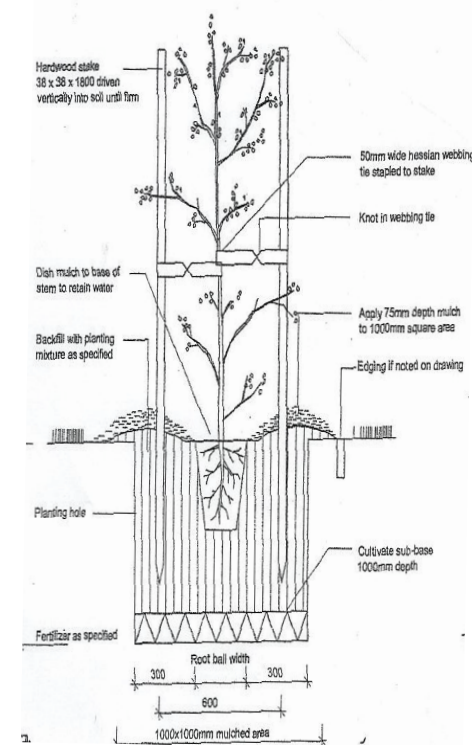
**TEMPORARY IRRIGATION:**  
INSTALL A TEMPORARY IRRIGATION SYSTEM TO ALL TREES TO BE RETAINED.

**HARMFUL MATERIALS:**  
DO NOT STORE, STOCKPILE, DUMP OR OTHERWISE REPLACE UNDER OR NEAR TREES. BULK MATERIALS AND HARMFUL MATERIALS INCLUDING OIL, PAINT, WASTE CONCRETE, CLEARINGS, BOULDERS AND THE LIKE. DO NOT PLACE SOIL FROM EXCAVATIONS AGAINST TREE TRUNKS, EVEN FOR SHORT PERIODS, PREVENT WIND-BLOWN MATERIALS SUCH AS CEMENT FROM HARMING TREES AND PLANTS.

**DAMAGE:**  
PREVENT DAMAGE TO TREE BARK. DO NOT ATTACH STAYS, GUYS AND THE LIKE TO TREES.

**WORK UNDER TREES:**  
DO NOT REMOVE TOPSOIL FROM WITHIN THE DRIP LINE OF TREES UNLESS OTHERWISE SPECIFIED. IF IT IS NECESSARY TO EXCAVATE WITHIN THE DRIP LINE, USE HAND METHODS SUCH THAT ROOT SYSTEMS ARE PRESERVED INTACT AND UNDAMAGED.

**ROOTS:**  
DO NOT CUT TREE ROOTS EXCEEDING 50MM DIAMETER UNLESS PERMITTED BY THE SUPERINTENDENT. WHERE IT IS NECESSARY TO CUT TREE ROOTS, USE A CHAIN SAW OR SIMILAR MEANS SUCH THAT THE CUTTING DOES NOT UNDULY DISTURB OR ROCK THE REMAINING ROOT SYSTEM. IMMEDIATELY AFTER CUTTING, APPLY AN APPROVED BITUMINOUS FUNGICIDAL SEALANT TO THE CUT SURFACE TO PREVENT THE INCURSION OF ROT OR DISEASE.



## SITE BOUNDARY

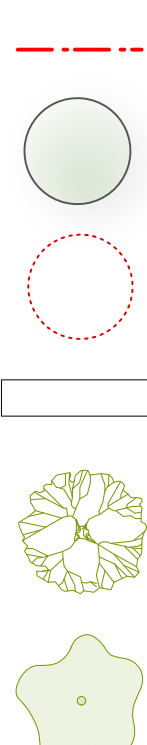
EXISTING TREE

TREE TO BE REMOVED

## SANDSTONE LOG

SCREEN/FEATURE PLANTING  
(REFER TO PLANT LIST)

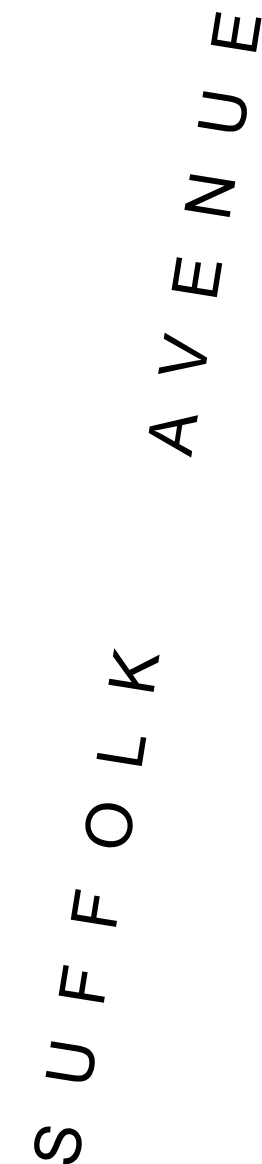
GROUND COVER/FEATURE PLANTING  
(REFER TO PLANT LIST)



## MULCHED SURFACE

TURBED SURFACE

TURFED SURFACE



**DAL - 01 LANDSCAPE PLAN 1:200**

## SCREENING PLANTING

COMMON NAME	NAME
Tanika	Lomandra longifolia Tanika
Christmas Bush	Ceratopetalum gummiferum
Lantern Banksia	Banksia ericifolia

COMMON NAME	NAME	SIZE
Coastal Rosemary	<i>Westringia fruticosa</i>	4m
Correa Alba	<i>Correa alba</i>	1m
Wedding Bush	<i>Ricinocarpus pinifolius</i>	1m

## LOW PLANTING

COMMON NAME	NAME	SIZE
Correa Alba	Correa Alba	5L
Poa affinis	Poa affinis	Tube Stock
Pig Face	Carpobrotus edulis	Tube Stock
Blue Flax Lilly	Dianella congesta	Tube Stock

## TREE REMOVAL LIST

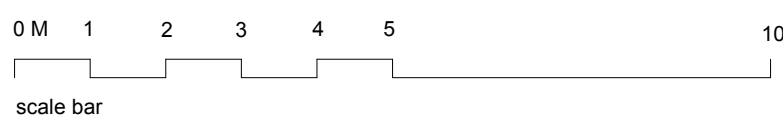
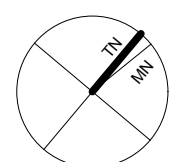
E3-4	<i>Syzygium luehmannii</i>	E12	<i>Backhousia citriodora</i>
E5	<i>Eucalyptus resinifera</i>	E13	<i>Magnolia grandiflora</i>
E6	<i>Melaleuca bracteata</i>	E14	<i>Magnolia grandiflora</i>
E11	<i>Syagrus romanzoffiana</i>		

## LANDSCAPE CALCULATIONS

REFER TO ARCHITECT'S PLANS DA8

**SITE INFORMATION ;**  
- D.P. 396160  
- SITE AREA : 840.1 m2  
- LOCAL GOVERNMENT : NORTHERN BEACHES COUNCIL  
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DA ISSUE



REVISION	DATE	DESCRIPTION



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project : **HARPUR - COLLAROY**  
**22 Suffolk Ave, Collaroy**  
*On the land of the Gadigal people*

LANDSCAPE PLAN

MAY 2025

date
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1:200@A:

DA L