

79b LAUDERDALE AVENUE, FAIRLIGHT

DA 2020/0470 - SECTION 4.55 APPLICATION

Lot 12 DP 867302

- DA-00 - COVER SHEET WITH LOCATION PLAN
- DA-01 - SITE PLAN WITH SITE ANALYSIS, LANDSCAPING AND CALCULATIONS
- DA-02 - EXISTING GROUND FLOOR PLAN SHOWING STRUCTURES TO BE DEMOLISHED
- DA-03 - PROPOSED GROUND FLOOR PLAN
- DA-04 - PROPOSED FIRST FLOOR PLAN
- DA-05 - PROPOSED ROOF PLAN WITH DRAINAGE, SITE MANAGEMENT AND EROSION CONTROL STRATEGY
- DA-06 - NORTH & SOUTH ELEVATIONS - EXISTING & PROPOSED
- DA-07 - EAST ELEVATION - EXISTING & PROPOSED
- DA-08 - WEST ELEVATION - EXISTING & PROPOSED
- DA-09 - PROPOSED FINISHES SCHEDULE
- DA-10 - PROPOSED STRATA PLANS
- DA-11 - SHADOW DIAGRAMS - SHEET 1 OF 3
- DA-12 - SHADOW DIAGRAMS - SHEET 2 OF 3
- DA-13 - SHADOW DIAGRAMS - SHEET 3 OF 3

s4.55-B - SHEETS IN LIGHT GREY NOT INCLUDED IN APPLICATION



01 LOCATION PLAN

NTS PLAN

STATEMENT OF ENVIRONMENTAL EFFECTS - CRADLE DESIGN

STATEMENT OF MODIFICATION - SECTION 4.55 -B - CRADLE DESIGN

192687-2 (Signed) 210526 - SITE SURVEY - TOTAL SURVEY SOLUTIONS

SECTION 4.55-B MODIFICATIONS ANNOTATED IN RED

DA 2020/0470 s4.55-B

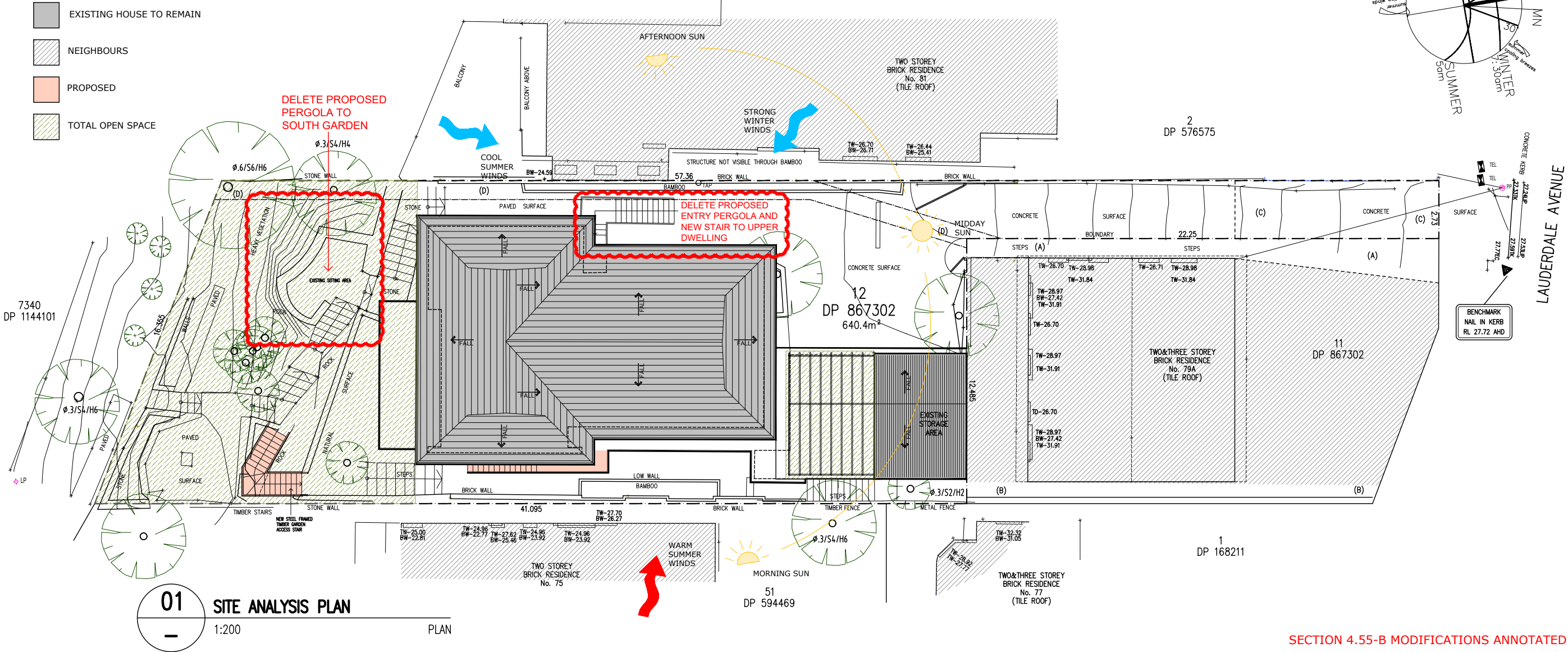
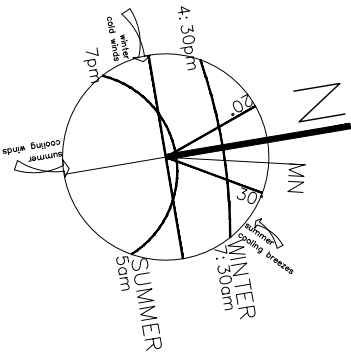
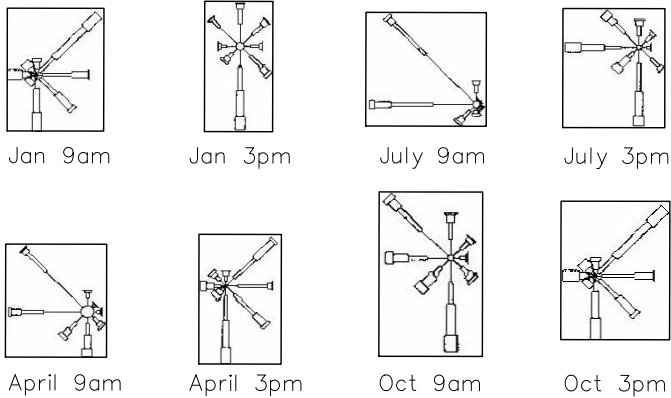
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SITE COVERAGE CALCULATIONS		
	EXISTING	PROPOSED
SITE AREA	640.4m ²	640.4m ²
BUILT AREA (PRIMARY DWELLINGS)	145.3m ²	145.3m ²
OUT BUILDINGS	50.6m ²	50.6m ²
SITE COVERAGE	195.9m ² 30.6%	195.9m ² 30.6%
TOTAL OPEN SPACE (55% of site)	218.5m ² (34% - non compliant)	218.5m ² (34% - non compliant)

FLOOR AREA CALCULATIONS		
	EXISTING	PROPOSED
SITE AREA	640.4m ²	no change
GROSS FLOOR AREA (PRIMARY DWELLING)	Grd - 126m ² 1st - 126m ² Garage - 43.1m ² Storage Area - 22.7m ² = 317.8m ²	no change
FLOOR SPACE RATIO	0.50 : 1	no change

LANDSCAPE OPEN AREA CALCULATIONS	
TOTAL OPEN SPACE = 218.52m ² 55% open space of site area required (352.22m ²), NON-COMPLIANT(EXISTING)	
EXISTING LANDSCAPED AREA = 117.8m ² 35% landscape area of open space required (76.5m ²) THEREFORE COMPLIES	
EXISTING OPEN SPACE ABOVE GROUND = 25m ² Not more than 25% of open space required (54.63m ²), THEREFORE COMPLIES	

WIND ROSES
Sydney Airport AMO/AWS:
Source NSW Bureau of Meteorology



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Regan VanderWert-Walsh - 7904

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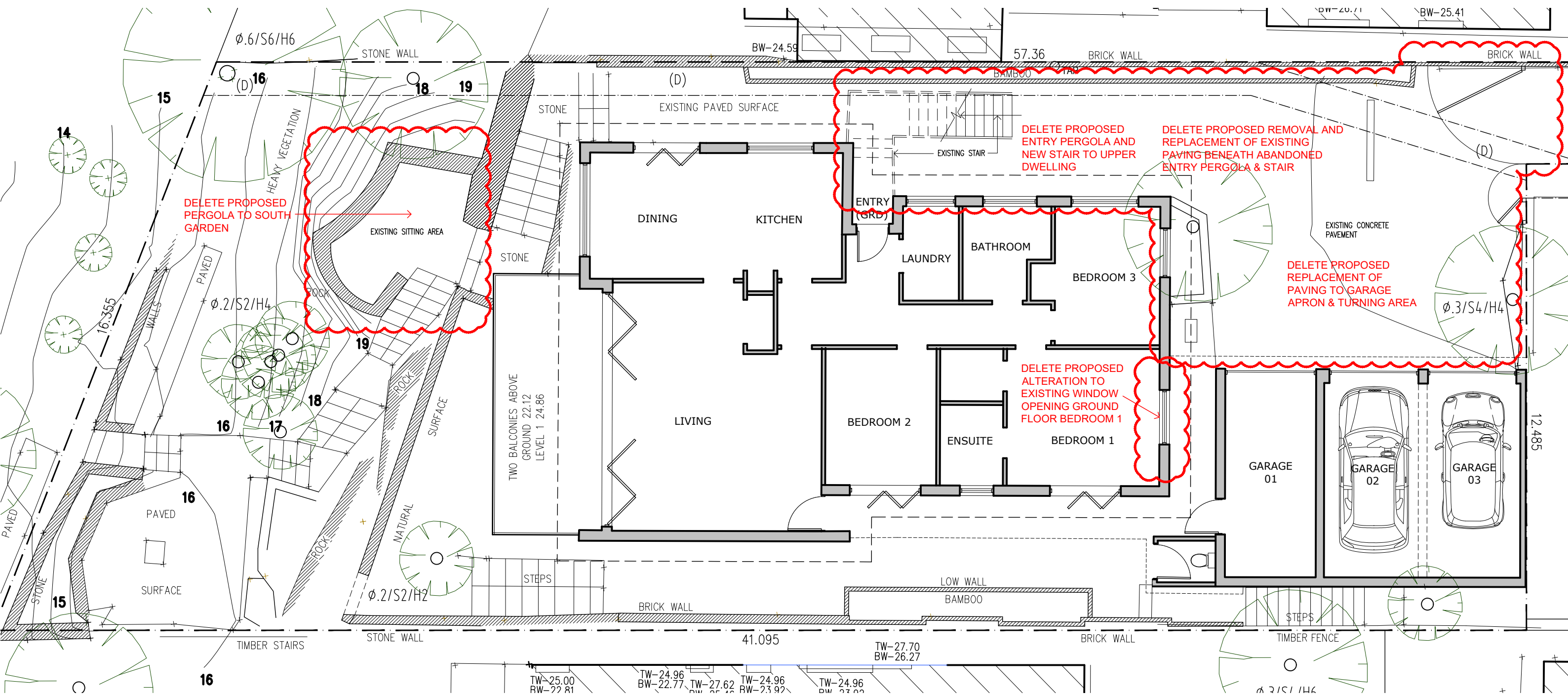
ORIENTATION

REVISION
REV. A - 01.05.20 - DA APPROVAL
REV B - 10.05.2021 - SECTION 4.55
REV C - 31.03.2023 - SECTION 4.55 - B

DETAILS
CLIENT
ANDREW & EILEEN CONDELL
ADDRESS
79b LAUDERDALE AVENUE
FAIRLIGHT NSW 2094
Lot 12 DP 867302

PROJECT
DRAWING TITLE
SITE ANALYSIS PLAN
REFERENCE
481 - 79b LAUDERDALE AVE
SCALE
1:200@A3
DRAWN
JT/DJ

DA|01 C
DRAWING ISSUE



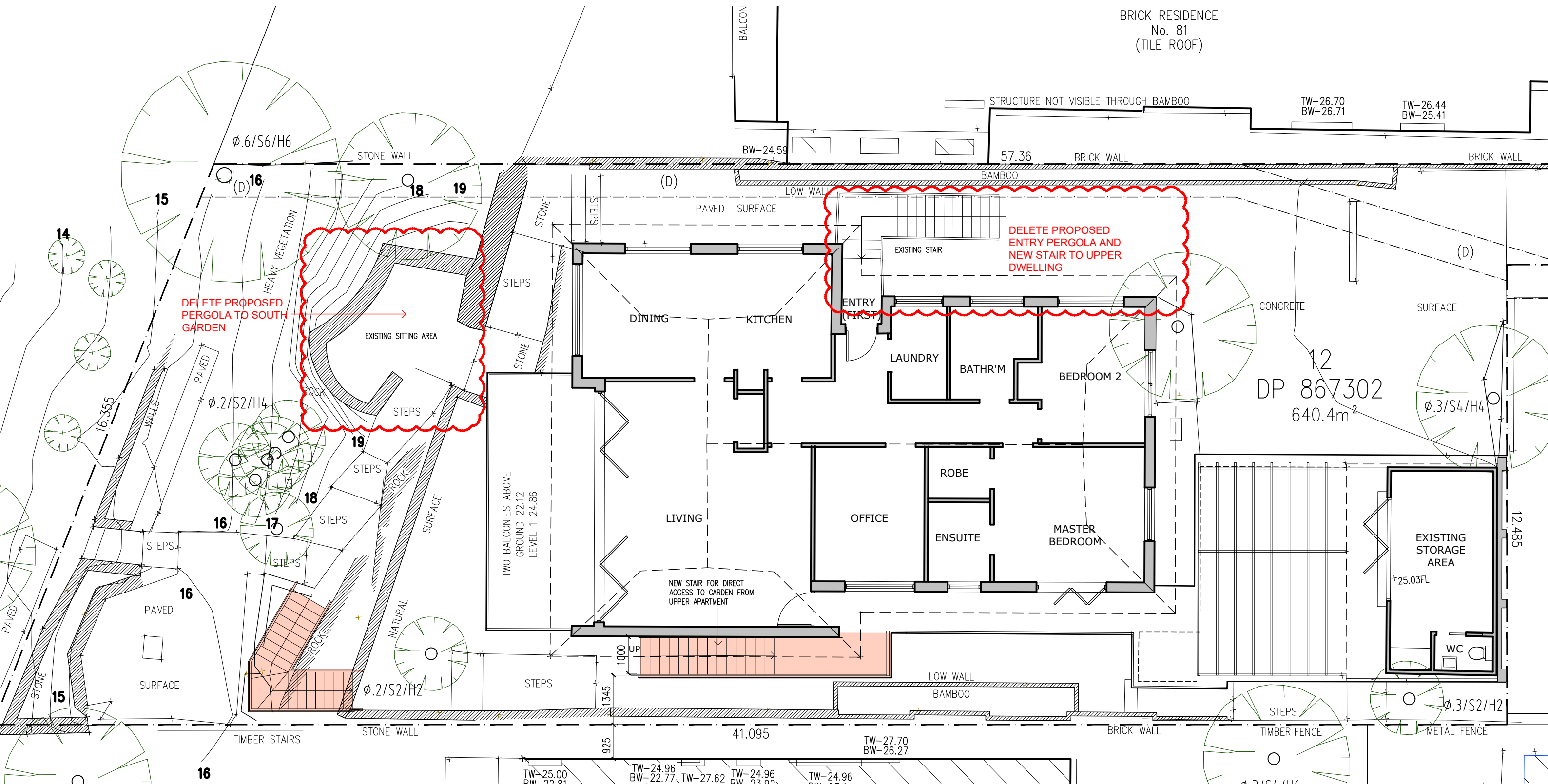
01
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1:100
GROUND FLOOR PLAN – PROPOSED
PLAN

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01 FIRST FLOOR PLAN – OPTION D
1:100 PLAN

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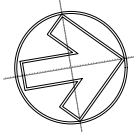
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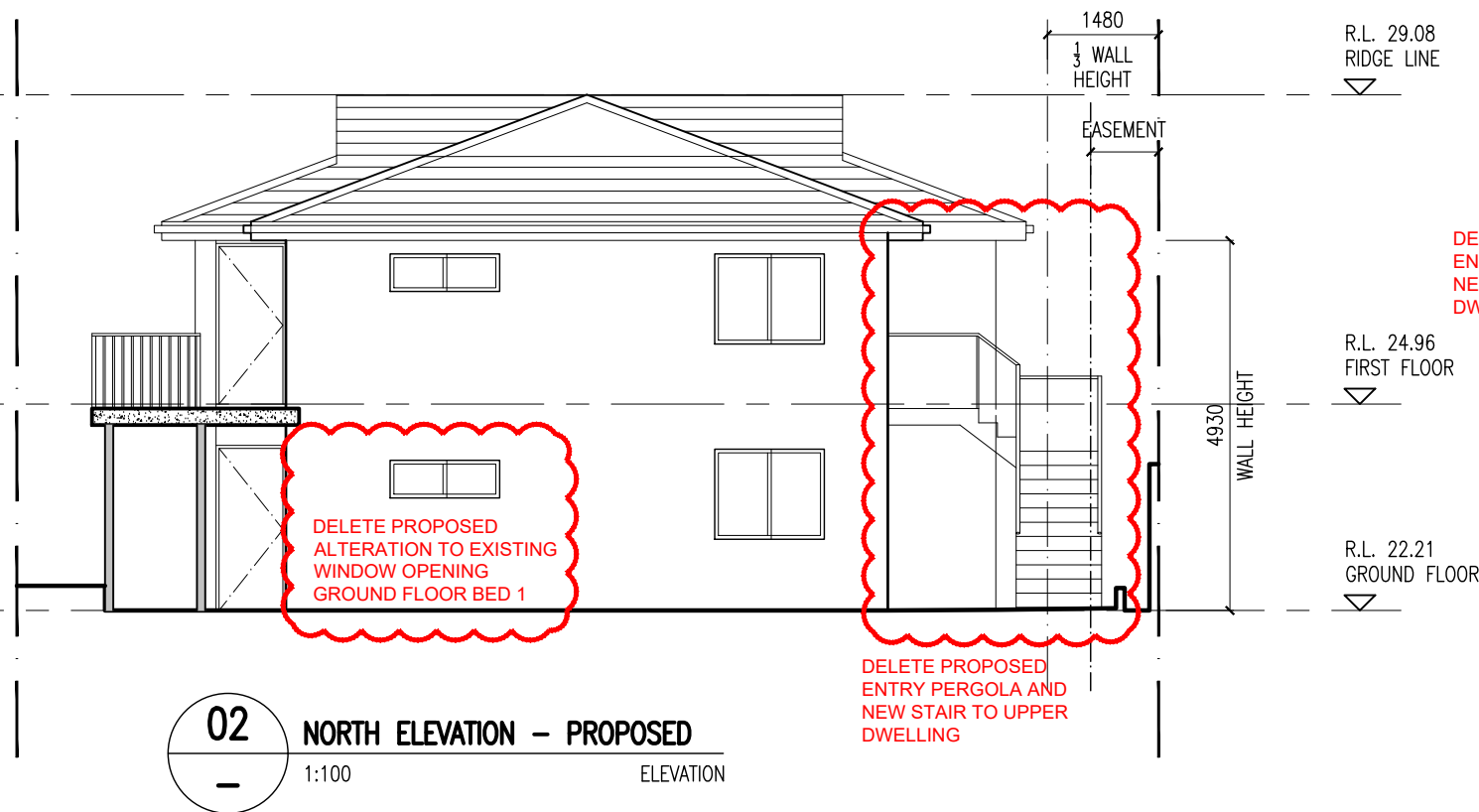
DETAILS

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FAIRLIGHT NSW 2094
Lot 12 DP 867302

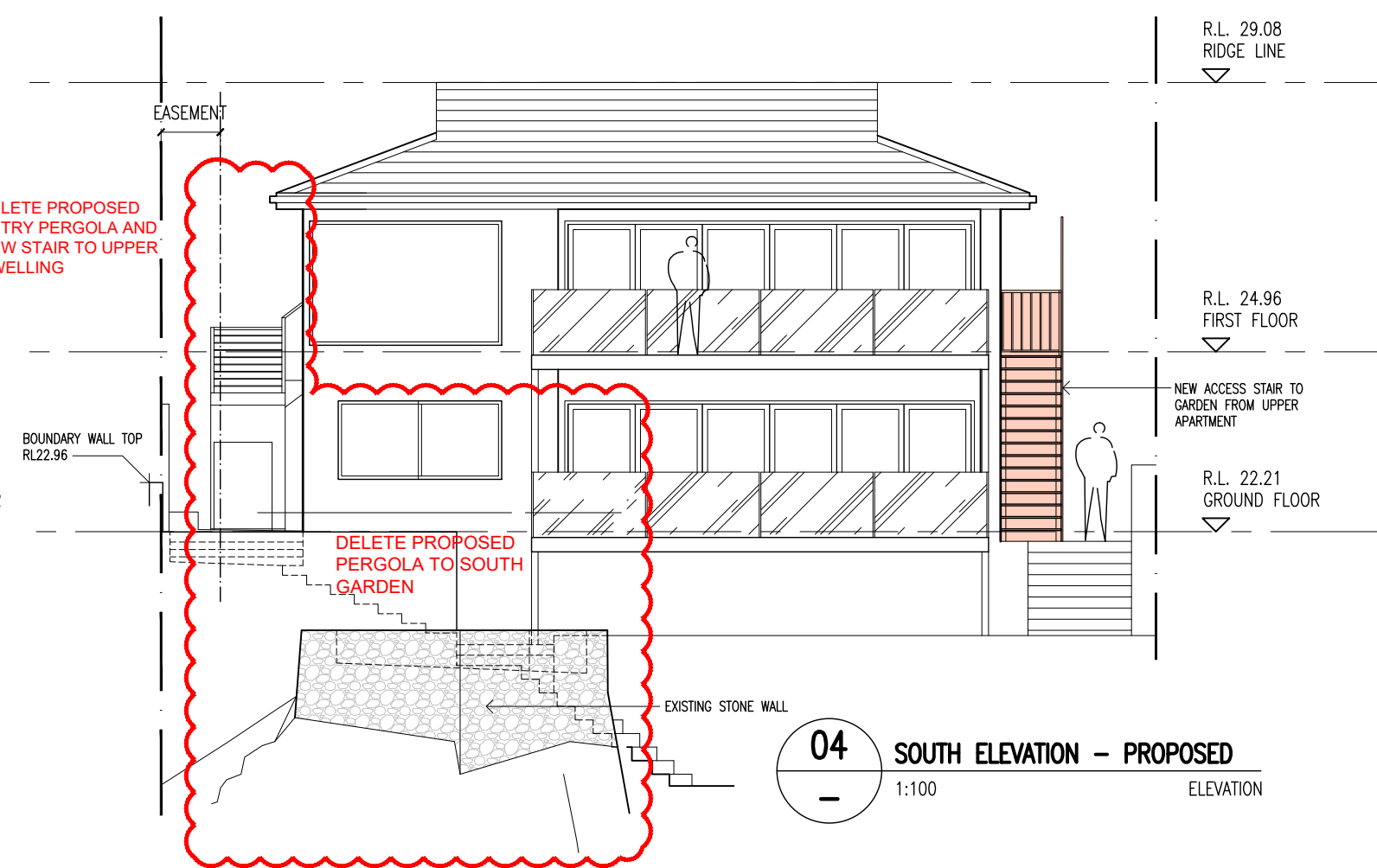
PROJECT

DRAWING TITLE
UPPER FLOOR PLAN - PROPOSED
REFERENCE
481 - 79b LAUDERDALE AVE
SCALE 1:100@A3
DRAWN JT/DJ

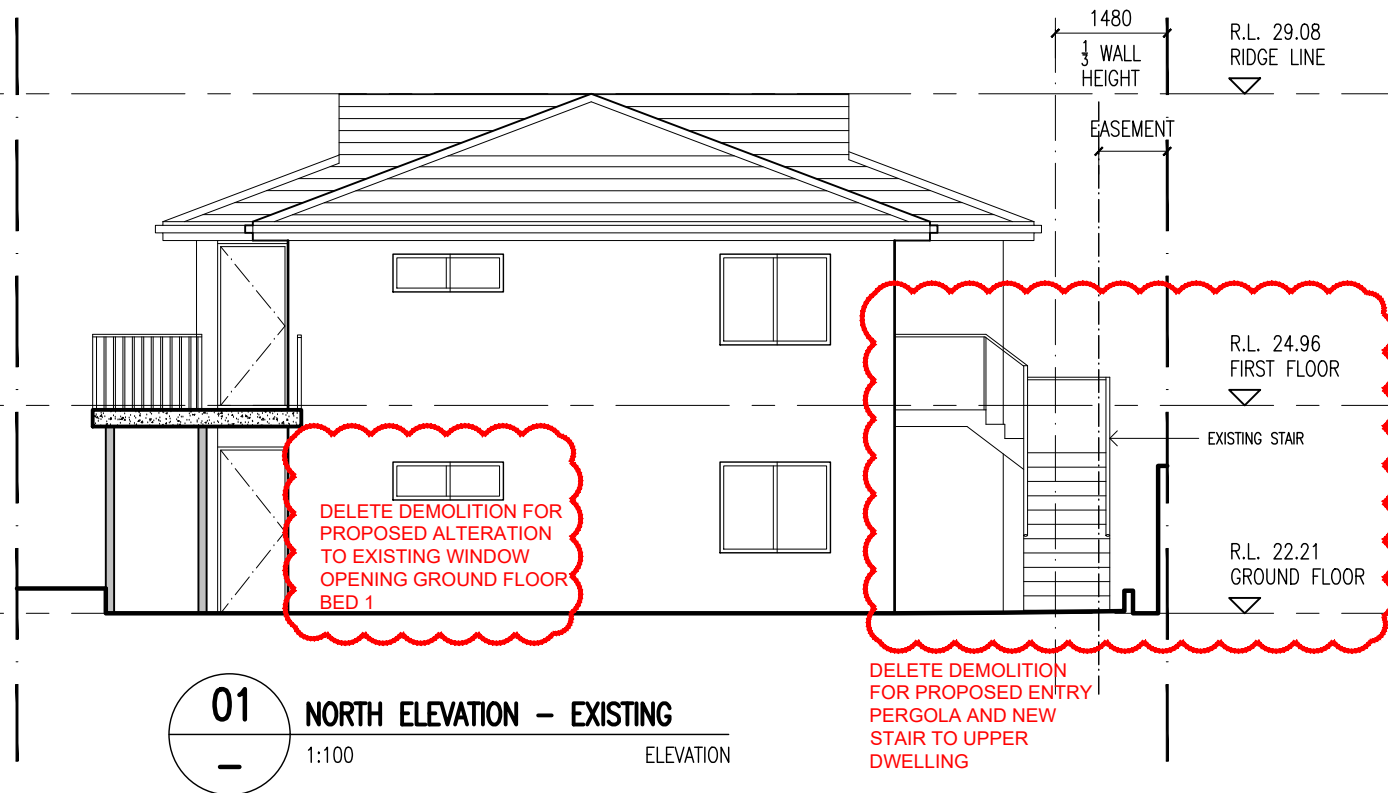
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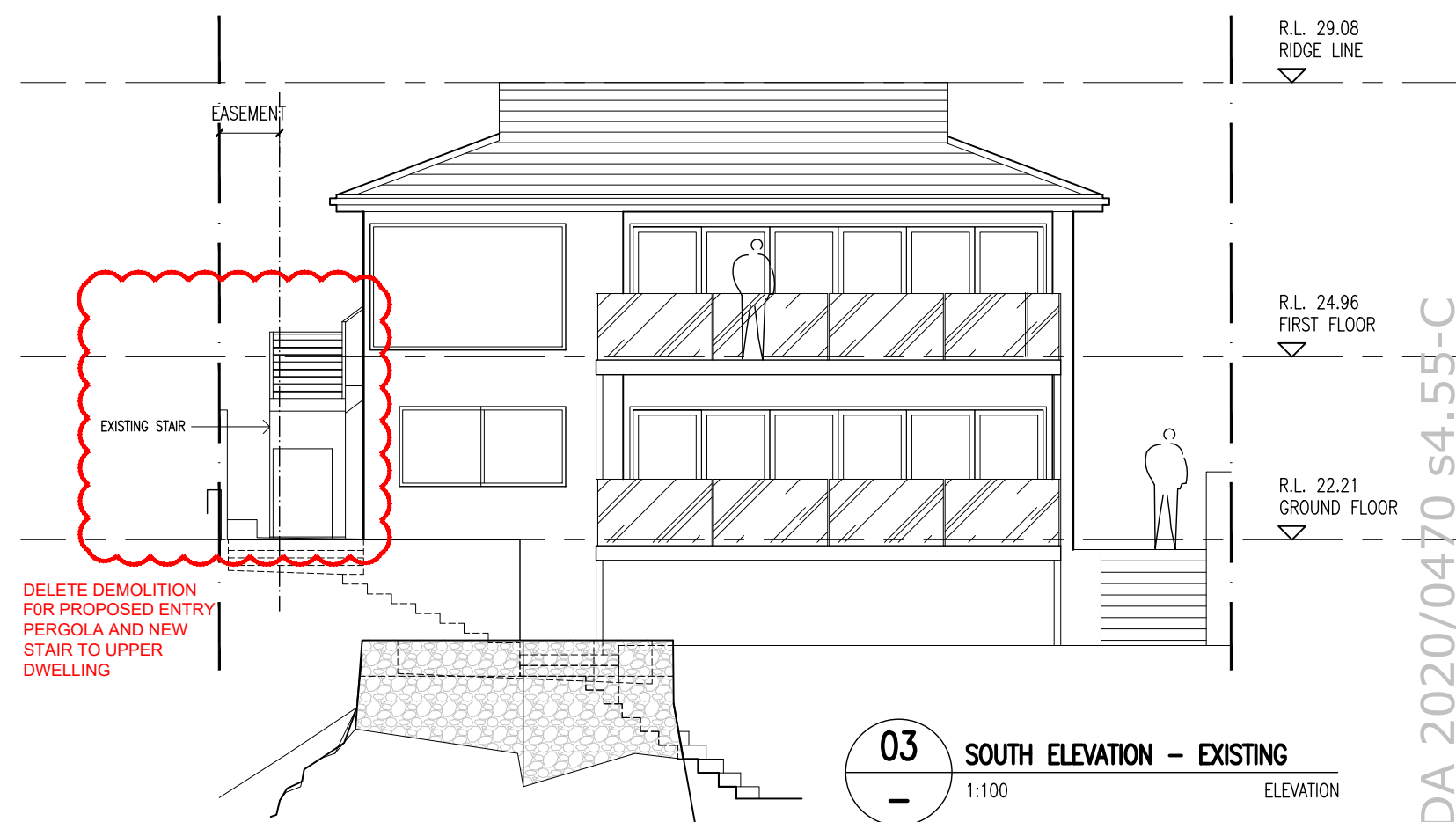
02 NORTH ELEVATION - PROPOSED
1:100 ELEVATION



04 SOUTH ELEVATION - PROPOSED
1:100 ELEVATION



01 NORTH ELEVATION - EXISTING
1:100 ELEVATION



03 SOUTH ELEVATION - EXISTING
1:100 ELEVATION

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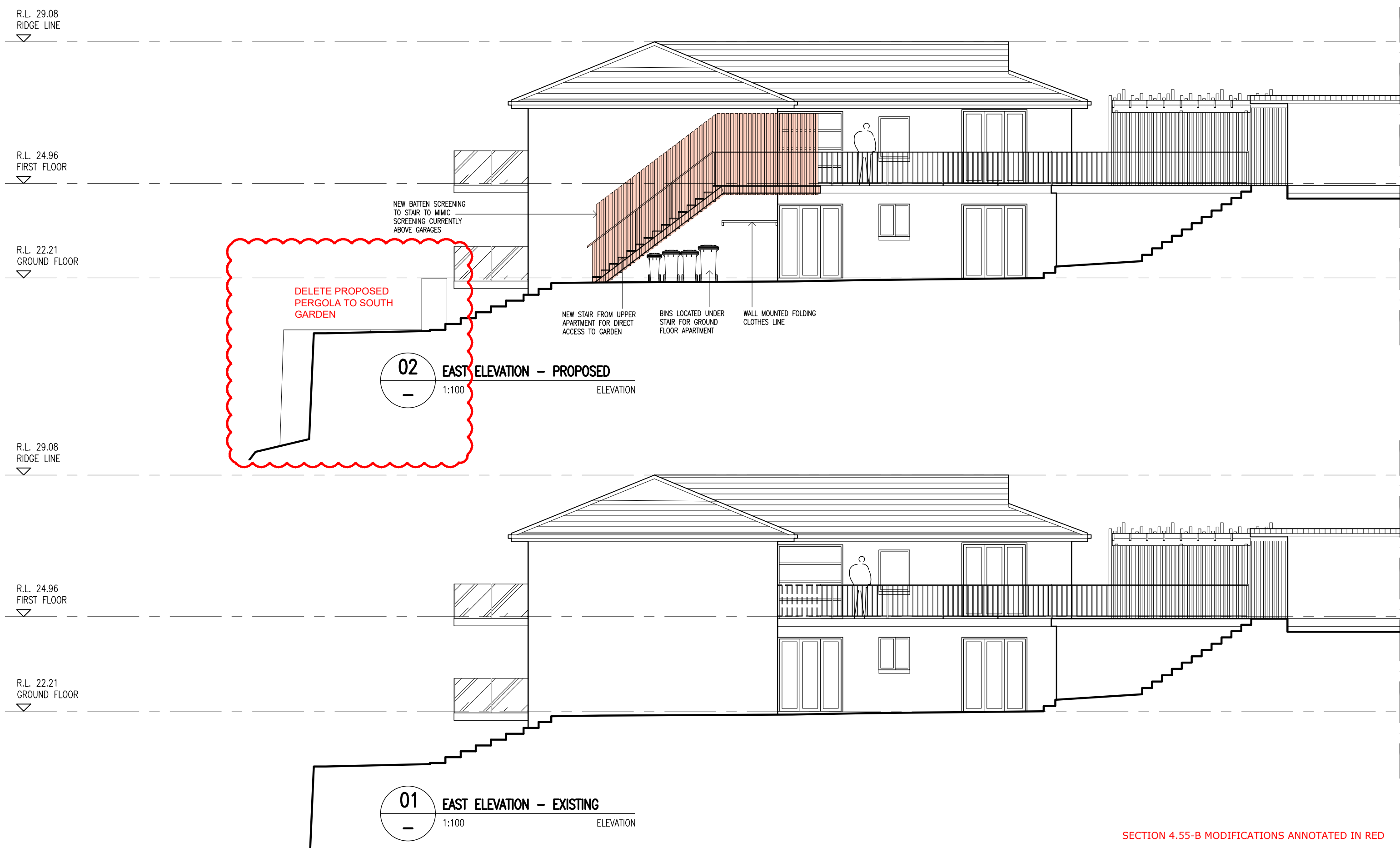
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DRAWING TITLE
NORTH & SOUTH ELEVATIONS - EXISTING
& PROPOSED
REFERENCE
481 - 79b LAUDERDALE AVE
SCALE 1:100@A3
DRAWN JT/DJ

DA|06 C
DRAWING ISSUE

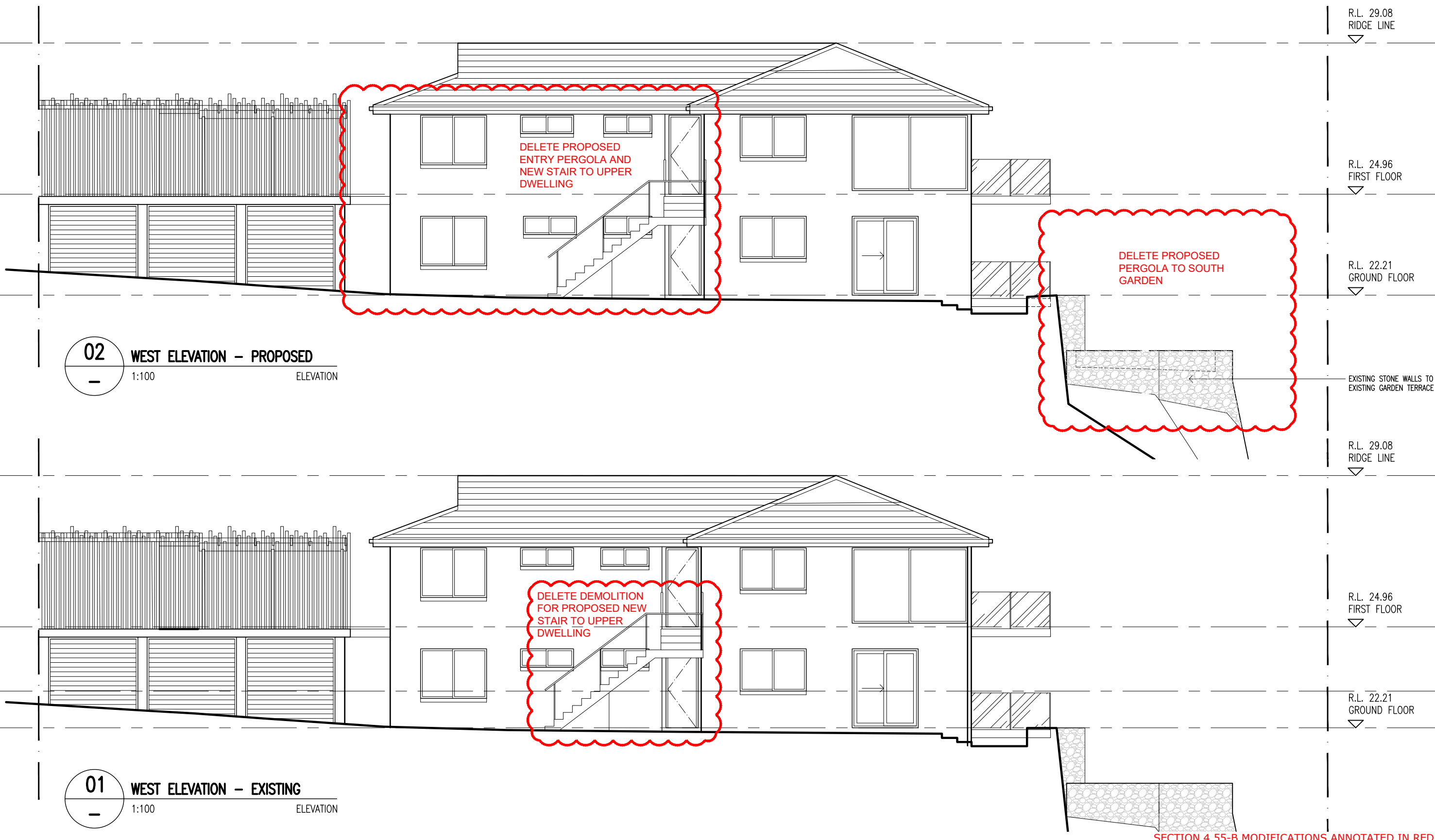
DA 2020/0470 s4.55-C
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DA 2020/0470 s4.55-B



02 WEST ELEVATION - PROPOSED
1:100 ELEVATION

01 WEST ELEVATION - EXISTING
1:100 ELEVATION

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DELETE REDUNDANT
FINISHES FROM THE
FINISHES SCHEDULE



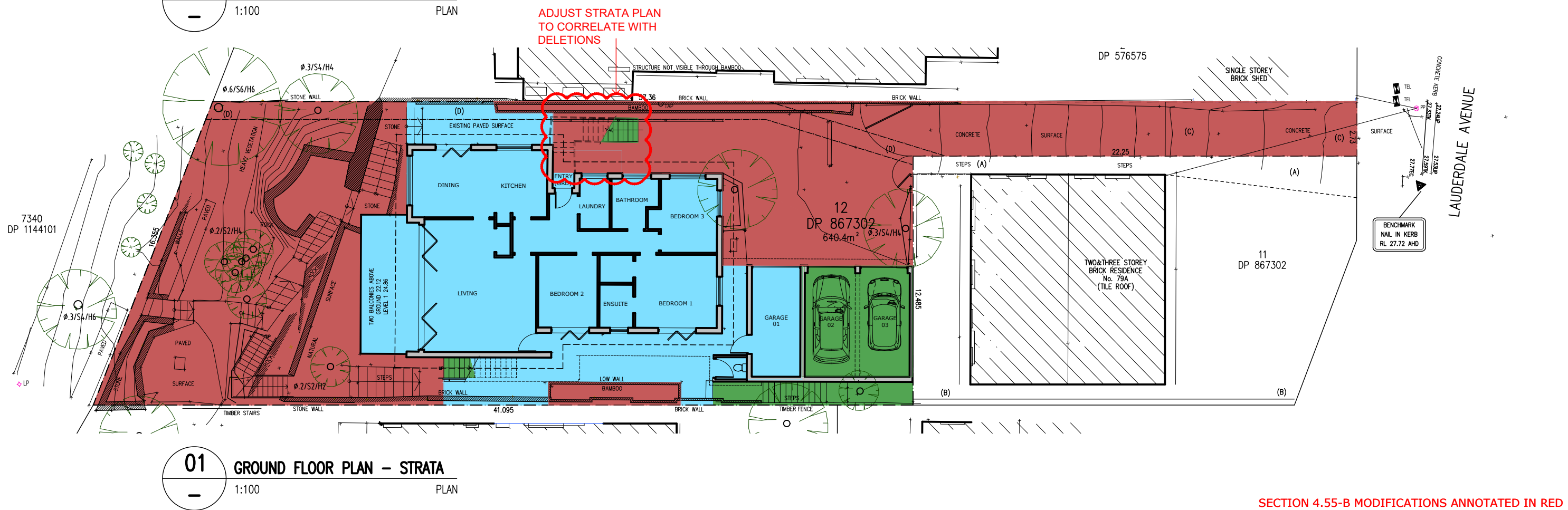
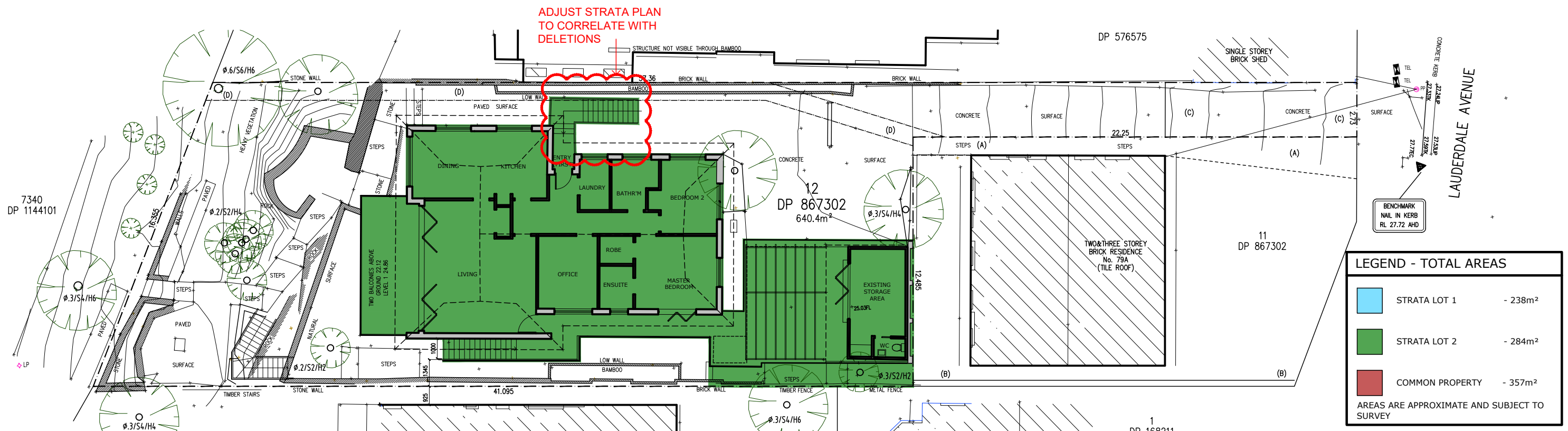
1 TIMBER SCREENING

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