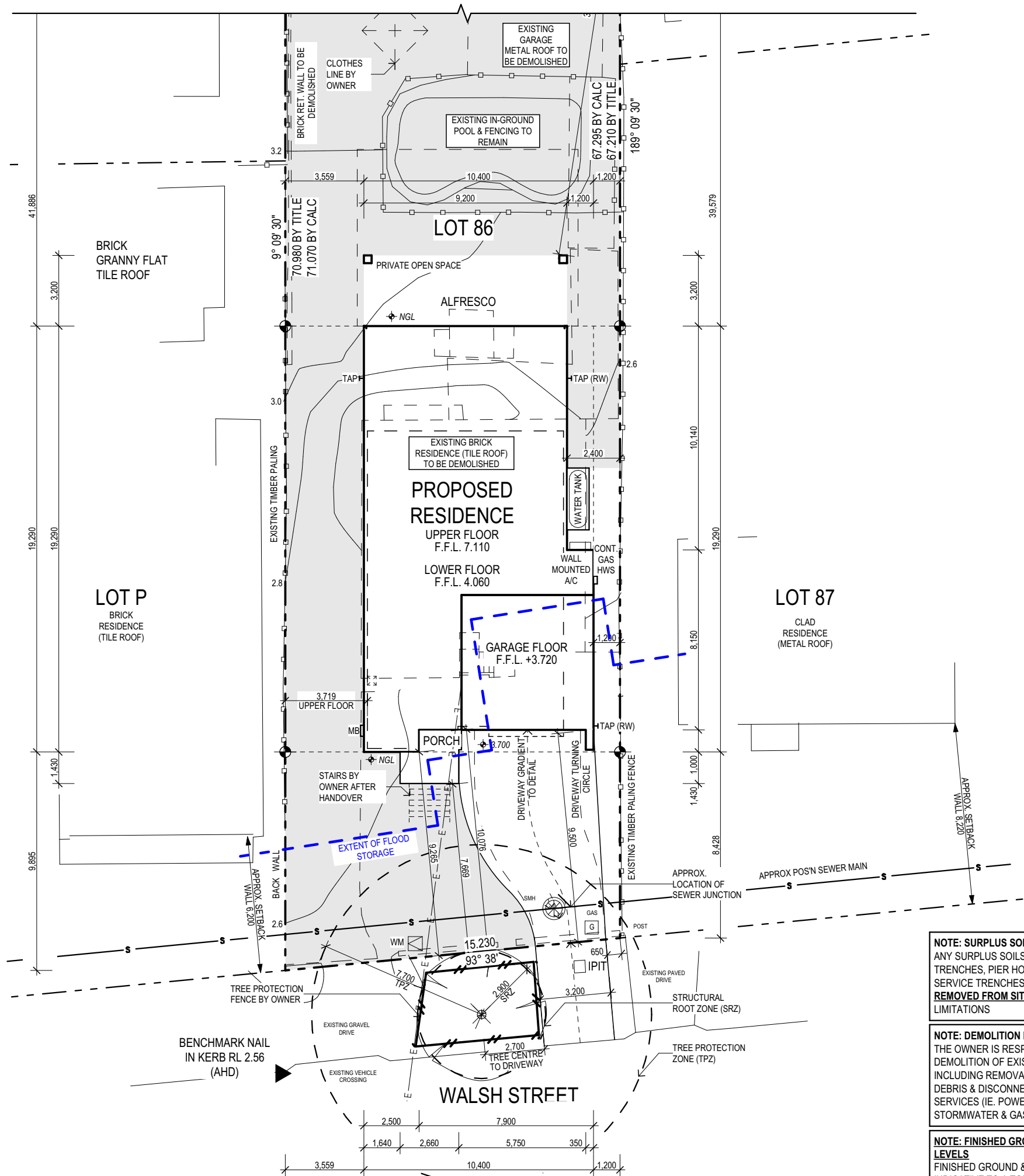


SITE PLAN

SCALE 1:200 LOT 86 DP 11809 AREA 1048.60m²
SURVEY INFORMATION OBTAINED FROM NASTASI 44681



NOTE: SURPLUS SOIL
ANY SURPLUS SOILS FROM FOOTING TRENCHES, PIER HOLES AND/OR SERVICE TRENCHES ARE TO BE **REMOVED FROM SITE** DUE TO SITE LIMITATIONS

NOTE: DEMOLITION BY OWNER
THE OWNER IS RESPONSIBLE FOR DEMOLITION OF EXISTING HOUSE, INCLUDING REMOVAL OF ALL BUILDING DEBRIS & DISCONNECTION OF SERVICES (IE. POWER, WATER, SEWER, STORMWATER & GAS)

NOTE: FINISHED GROUND & FLOOR LEVELS
FINISHED GROUND & FLOOR LEVELS INDICATIVE TO A TOLERANCE OF **±100mm**. THEREFORE EXTENT OF CUT / FILL BATTERS IS TO BE DETERMINED ON SITE IN CONJUNCTION WITH VOLUME / DENSITY OF SOIL MATERIALS.

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SITE PLAN LEGEND

MARK	DESCRIPTION	
	SURVEY SETOUT PEG	
	METER BOX	
TAP	TOWNWATER TAP	NOTE: EXACT POSITION OF TAP TO BE DETERMINED ON SITE
TAP (RW)	RECYCLED / RAINWATER TAP	
	ALL RETAINING WALLS BY OWNER U.N.O.	
 S~	APPROXIMATE SEWER LOCATION	
 FGL XX.XXX	PROPOSED FINISHED GROUND LEVELS BY OWNER PRIOR TO OCCUPATION CERTIFICATE	

SOIL CLASSIFICATION: M

WIND CLASSIFICATION: N2

GAS TYPE: NATURAL GAS

SITE AREA TABLE		FLOOR AREA TABLE	
AREA	m ²	AREA	m ²
SITE AREA	1,048.60	UPPER FLOOR	124.47
LANDSCAPED (SOFT)	717.27	LOWER FLOOR	144.01
DRIVEWAY	50.51	GARAGE	36.54
FOOTPRINT	189.61	ALFRESCO	29.44
PRIVATE OPEN SPACE	80.00	PORCH	5.71
SITE COVERAGE	186.81	DECK	4.00
TOTAL FLOOR AREA	305.02	ROOF AREA	277.00

NOTE: PROPOSED DRIVEWAY BY OWNER

WATER TANK - 1 x 3,000 LITRE (2.6m LONG x 0.8m WIDE x 1.5m HIGH)
- SEPARATE WATER LINES / PIPING TO ALL TOILETS, WASHING MACHINE & 2 YARD TAPS

APPROVAL PROCESS: DA (NORTHERN BEACHES COUNCIL)

GA	2G	RE-ISSUE TO BASIX	27/08/2025
GA	2F	RE-ISSUE TO CERTIFIER	24/06/2025
GA	2E	RE-ISSUE TO CERTIFIER	16/06/2025
GA	2D	RE-ISSUE TO CERTIFIER	19/05/2025
GA	2	ISSUE TO BASIX & ENGINEER	17/12/2024
GA	1	ISSUE TO SALES	17/12/2024
Drawn:	Issue:	Description:	Date:



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Client Name:

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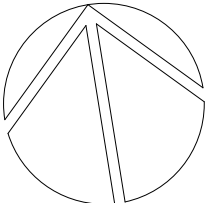
Job Address:

PROPOSED RESIDENCE
Lot 86, No. 8 Walsh Street
NORTH NARRABEEN

Design: The TRINITY 2 323 - Hamptons - 2024

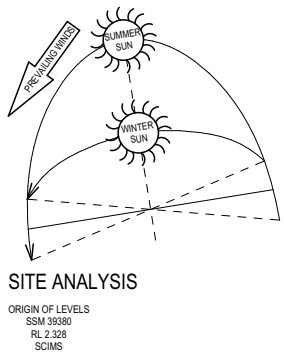
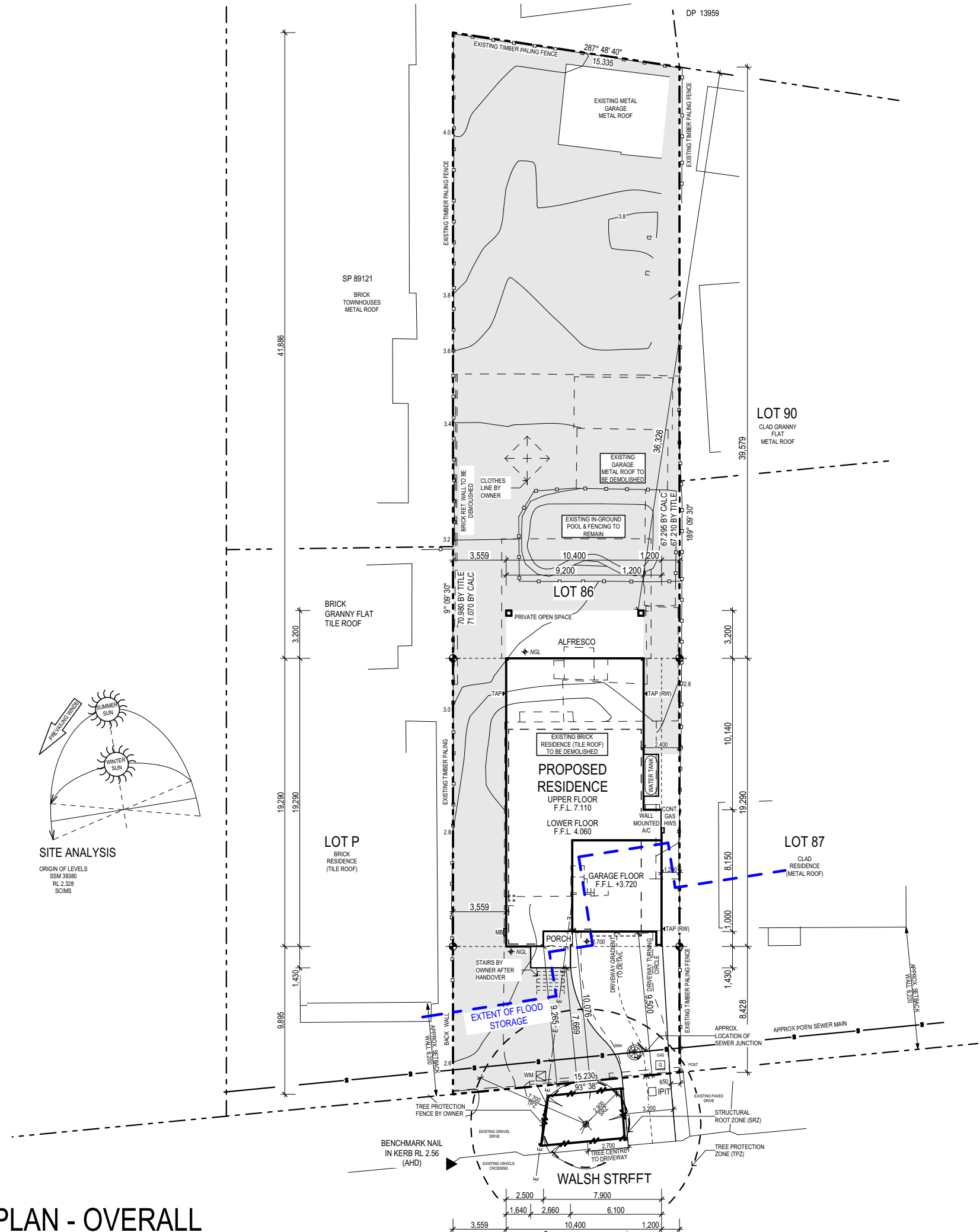
Current Drafter:		Sales/CLO:	Plot Date:
GA	APOD	SMC	27/08/2025
Job No:	Tender No:	Drp No:	Revision:
3804	49	A1 of 12	2G

DO NOT SCALE DRAWING



SITE PLAN - OVERALL

SCALE 1:300 LOT 86 DP 11809 AREA 1048.60m²
SURVEY INFORMATION OBTAINED FROM NASTASI 44681



NOTE: SURPLUS SOIL
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NOTE: FINISHED GROUND & FLOOR LEVELS
FINISHED GROUND & FLOOR LEVELS INDICATIVE TO A TOLERANCE OF **±100mm**. THEREFORE EXTENT OF CUT / FILL BATTERS IS TO BE DETERMINED ON SITE IN CONJUNCTION WITH VOLUME / DENSITY OF SOIL MATERIALS.

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SITE PLAN LEGEND

MARK	DESCRIPTION
	SURVEY SETOUT PEG
	METER BOX
TAP	TOWNWATER TAP
TAP (RW)	RECYCLED / RAINWATER TAP
	ALL RETAINING WALLS BY OWNER U.N.O.
	APPROXIMATE SEWER LOCATION
	PROPOSED FINISHED GROUND LEVELS BY OWNER PRIOR TO OCCUPATION CERTIFICATE

SOIL CLASSIFICATION: M

WIND CLASSIFICATION: N2

GAS TYPE: NATURAL GAS

SITE AREA TABLE		FLOOR AREA TABLE	
AREA	m ²	AREA	m ²
SITE AREA	1,048.60	UPPER FLOOR	124.47
LANDSCAPED (SOFT)	717.27	LOWER FLOOR	144.01
DRIVEWAY	50.51	GARAGE	36.54
FOOTPRINT	189.61	ALFRESCO	29.44
PRIVATE OPEN SPACE	80.00	PORCH	5.71
SITE COVERAGE	186.81	DECK	4.00
TOTAL FLOOR AREA	305.02	ROOF AREA	277.00

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WATER TANK - 1 x 3,000 LITRE (2.6m LONG x 0.8m WIDE x 1.5m HIGH)
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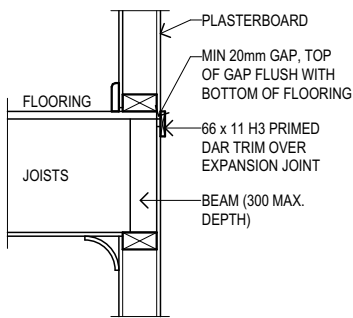
Client Name:
SPINKS, D & L

Job Address:
**PROPOSED RESIDENCE
Lot 86, No. 8 Walsh Street
NORTH NARRABEEN**

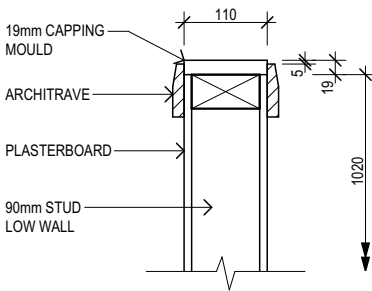
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Current Drafter:	Sales/CLO:	Plot Date:
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Job No:	Tender No:	Drng No:
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		Revision:
		2G

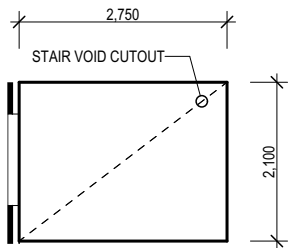
DO NOT SCALE DRAWING



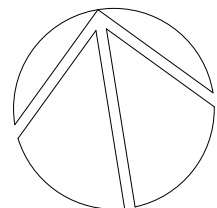
WALL EXPANSION
JOINT DETAIL
SCALE 1:20



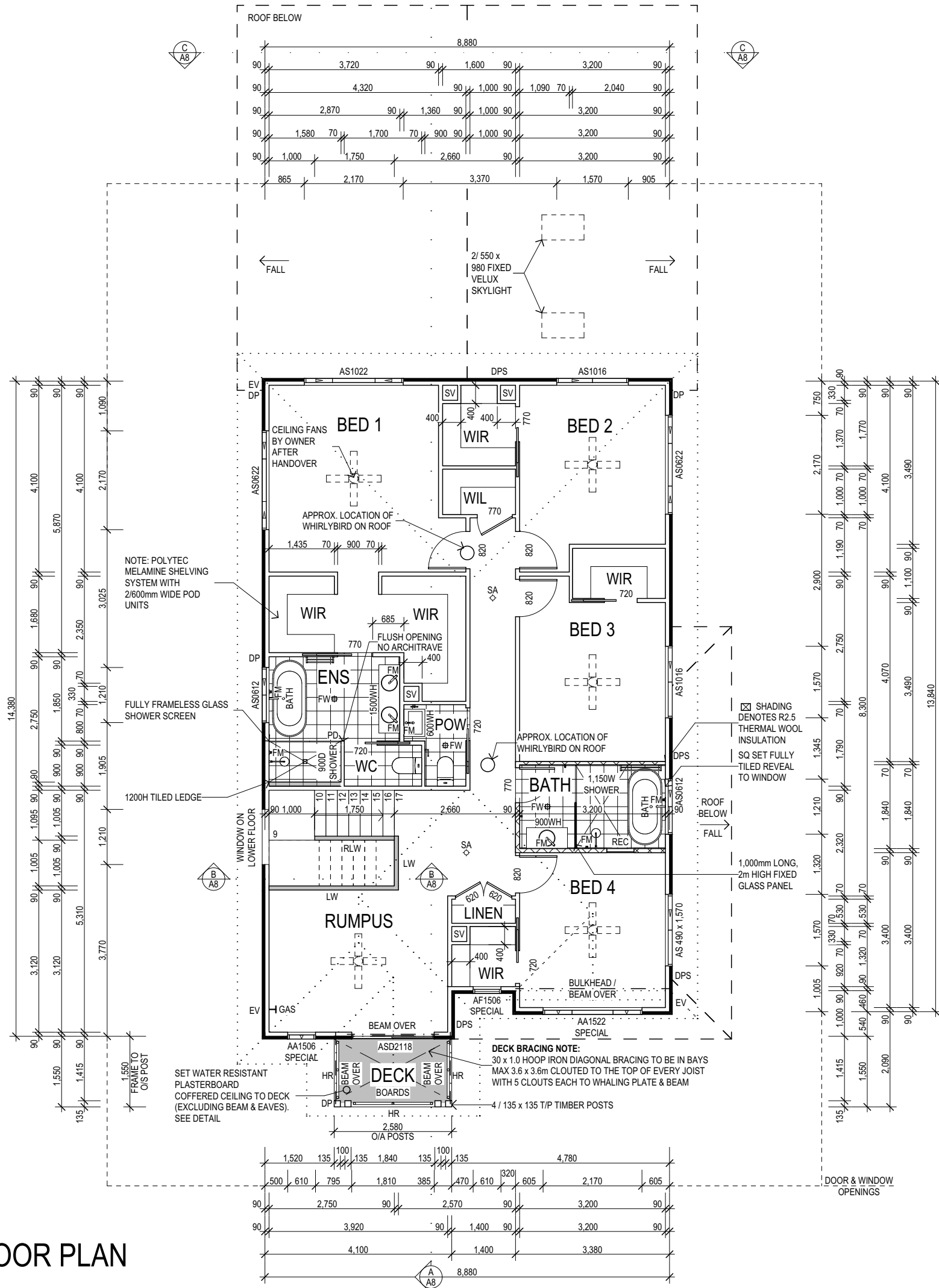
LOW WALL DETAIL
SCALE 1:10



UPPER FLOOR
STAIR VOID CUTOUT



UPPER FLOOR PLAN
SCALE 1:100



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FLOOR PLAN LEGEND

MARK	DESCRIPTION	MARK	DESCRIPTION
A/C	AIR-CONDITIONING UNIT	WO	WALL OVEN
BB	BREAKFAST BAR	WP	WATER POINT
BH	BULKHEAD		
CJ	CONTROL JOINT		
CU	CONTROL UNIT		
CP	SEWER CONTROL PANEL		
DP	DOWNPIPE		
DPS	DOWNPIPE WITH SPREADER		
EPG	EXPOSED PAINT GRADE	BR	BROOM CUPBOARD
EV	EAVE VENT	ENS	ENSUITE
FM	FLICKMIXER	L'DRY	LAUNDRY
FCO	FOOT-CUT OUTLET	PAN	PANTRY
FSO	FREE STANDING OVEN	POW	POWDER ROOM
HR	HANDRAIL	WC	WATER CLOSET
HWS	HOT WATER SYSTEM	WIL	WALK IN LINEN
LP	LOAD POINT	WIP	WALK IN PANTRY
LW	LOW WALL	WIR	WALK IN ROBE
MB	METER BOX		
MRD	MANUAL ROLLER DOOR		
MW	MICROWAVE		
O/S	OPEN SHELVING		
PD	PIVOT DOOR (SHOWER)		
REC	SQUARE SET RECESS		
RLW	RAKING LOW WALL		
SA	SMOKE ALARM (LOCATIONS TO BE DETERMINED ON SITE)		
SHR	SHOWER		
SS	SEWER STACK POINT		
SV	SERVICE VOID		
UBO	UNDER BENCH OVEN		
VFS	VENTILATED FRIDGE SPACE		
WH	WALL HUNG		

—EX—	EXCAVATION LINE
=====	200 HEBEL/WEATHERBOARD WALL (REFER TO DETAIL)
=====	250 BRICK VENEER/WEATHERBOARD WALL (REFER TO DETAIL)
=====	SHOWS EXTENT OF WET AREA FLOOR TILES

NOTE (BASIX REQUIREMENTS - UPGRADED INSULATION):
- R2.5 GLASS WOOL INSULATION BATTS TO WALLS ADJACENT TO BATHROOMS, LAUNDRY & ROOFSPACE
- R3.0 GLASS WOOL INSULATION BATTS TO FLOORS ADJACENT TO GARAGE, FLOORS WHERE OPEN BELOW & ENCLOSED SUBFLOOR
- R6.0 GLASS WOOL INSULATION BATTS TO ROOF TRUSSES

NOTE (BASIX REQUIREMENTS):
7.0 STAR EQUIVALENT ENERGY RATING CONTINUOUS FLOW GAS HOT WATER SYSTEM

NOTE (BASIX REQUIREMENTS - ENERGY EFFICIENT GLAZING):
MINIMUM 4mm SP10 CLEAR / 12mm ARGON / 4mm CLEAR DOUBLE GLAZING TO ALL WINDOWS, SLIDING DOORS & EXTERNAL HINGED DOORS

NOTE:
2340H HIGH INTERNAL DOORS & SQUARE SET OPENINGS TO LOWER FLOOR ONLY

NOTE:
SQUARE SET CEILING / WALL JUNCTION TO FAMILY, MEALS, KITCHEN (EXCLUDING WALK-IN-PANTRY), BATHROOM, BATHROOM 2, ENSUITE & POWDER ROOM ONLY

NOTE:
92mm FINISH SKIRTING BOARDS THROUGHOUT ENTIRE HOUSE

NOTE:
MELAMINE SHELVING TO REMAINING BEDROOM ROBES, WALK-IN LINEN & LINEN CUPBOARDS

NOTE:
- TERMITE RESISTANT T2 FRAMING AND TRUSSES.
- H2 TERMITE TREATED SHEET FLOORING (IF APPLICABLE)

GA	2G	RE-ISSUE TO BASIX	27/08/2025
GA	2F	RE-ISSUE TO CERTIFIER	24/06/2025
GA	2E	RE-ISSUE TO CERTIFIER	16/06/2025
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GA	1	ISSUE TO SALES	17/12/2024
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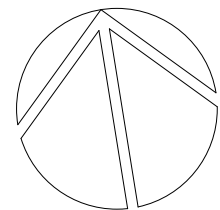
Client Name:
SPINKS, D & L

Job Address:
**PROPOSED RESIDENCE
Lot 86, No. 8 Walsh Street
NORTH NARRABEEN**

Design: The TRINITY 2 323 - Hamptons - 2024

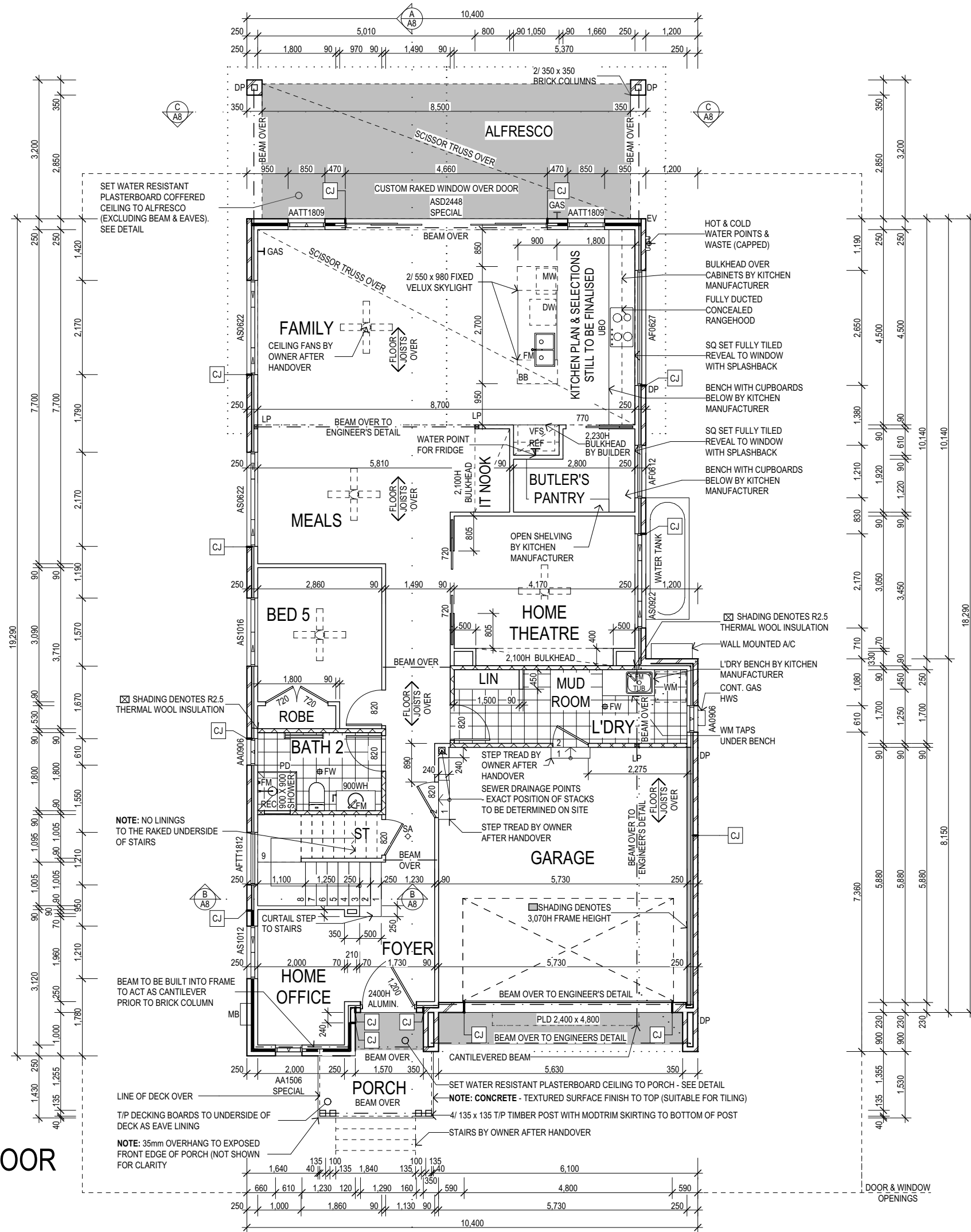
Current Drafter:	Sales/CLO:	Plot Date:
GA	APOD	SMC
27/08/2025		
Job No:	Tender No:	Drng No:
3804	49	A3 of 12
		Revision:
		2G

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LOWER FLOOR PLAN

SCALE 1:100



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FLOOR PLAN LEGEND

MARK	DESCRIPTION	MARK	DESCRIPTION
GENERAL		GENERAL	
A/C	AIR-CONDITIONING UNIT	WO	WALL OVEN
BB	BREAKFAST BAR	WP	WATER POINT
BH	BULKHEAD	ROOM NAMES	
CJ	CONTROL JOINT		
CU	CONTROL UNIT		
CP	SEWER CONTROL PANEL		
DP	DOWNPIPE		
DPS	DOWNPIPE WITH SPREADER		
EPG	EXPOSED PAINT GRADE		
EV	EAVE VENT		
FM	FLICKMIXER		
FCO	FOOT-CUT OUTLET		
FSO	FREE STANDING OVEN	BR	BROOM CUPBOARD
HR	HANDRAIL	ENS	ENSUITE
HWS	HOT WATER SYSTEM	L'DRY	LAUNDRY
LP	LOAD POINT	PAN	PANTRY
LW	LOW WALL	POW	POWDER ROOM
MB	METER BOX	WC	WATER CLOSET
MRD	MANUAL ROLLER DOOR	WIL	WALK IN LINEN
MW	MICROWAVE	WIP	WALK IN PANTRY
O/S	OPEN SHELVING	WIR	WALK IN ROBE
PD	PIVOT DOOR (SHOWER)	WINDOWS & DOORS	
REC	SQUARE SET RECESS		
RLW	RAKING LOW WALL		
SA	SMOKE ALARM (LOCATIONS TO BE DETERMINED ON SITE)		
SHR	SHOWER		
SS	SEWER STACK POINT		
SV	SERVICE VOID		
UBO	UNDER BENCH OVEN		
VFS	VENTILATED FRIDGE SPACE		
WH	WALL HUNG		
AA	AWNING WINDOW		
ATBF	BI-FOLD DOORS		
AD	DOUBLE HUNG WINDOW		
AF	FIXED WINDOW		
AK	SERVERY SLIDING WINDOW		
ALV	LOUVRE WINDOW		
AS	SLIDING WINDOW		
ASD	SLIDING DOOR		
ASSD	STACKING SLIDING DOOR		
MRD	MANUAL ROLLER DOOR		
PLD	PANEL LIFT DOOR		

— EX —	EXCAVATION LINE
=====	200 HEBEL/WEATHERBOARD WALL (REFER TO DETAIL)
=====	250 BRICK VENEER/WEATHERBOARD WALL (REFER TO DETAIL)
=====	SHOWS EXTENT OF WET AREA FLOOR TILES

NOTE (BASIX REQUIREMENTS - UPGRADED INSULATION):
- R2.5 GLASS WOOL INSULATION BATTS TO WALLS ADJACENT TO BATHROOMS, LAUNDRY & ROOFSPACE
- R3.0 GLASS WOOL INSULATION BATTS TO FLOORS ADJACENT TO GARAGE, FLOORS WHERE OPEN BELOW & ENCLOSED SUBFLOOR
- R6.0 GLASS WOOL INSULATION BATTS TO ROOF TRUSSES

NOTE (BASIX REQUIREMENTS):
7.0 STAR EQUIVALENT ENERGY RATING
CONTINUOUS FLOW GAS HOT WATER SYSTEM

NOTE (BASIX REQUIREMENTS - ENERGY EFFICIENT GLAZING):
MINIMUM 4mm SP10 CLEAR / 12mm ARGON / 4mm CLEAR DOUBLE GLAZING TO ALL WINDOWS, SLIDING DOORS & EXTERNAL HINGED DOORS

NOTE:
2340H HIGH INTERNAL DOORS & SQUARE SET OPENINGS TO LOWER FLOOR ONLY

NOTE:
SQUARE SET CEILING / WALL JUNCTION TO FAMILY, MEALS, KITCHEN (EXCLUDING WALK-IN-PANTRY), BATHROOM, BATHROOM 2, ENSUITE & POWDER ROOM ONLY

NOTE:
92mm FINISH SKIRTING BOARDS THROUGHOUT ENTIRE HOUSE

NOTE:
MELAMINE SHELVING TO REMAINING BEDROOM ROBES, WALK-IN LINEN & LINEN CUPBOARDS

NOTE:
- TERMITE RESISTANT T2 FRAMING AND TRUSSES.
- H2 TERMITE TREATED SHEET FLOORING (IF APPLICABLE)

GA	2G	RE-ISSUE TO BASIX	27/08/2025
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GA	2	ISSUE TO BASIX & ENGINEER	17/12/2024
GA	1	ISSUE TO SALES	17/12/2024
Drawn:	Issue:	Description:	Date:



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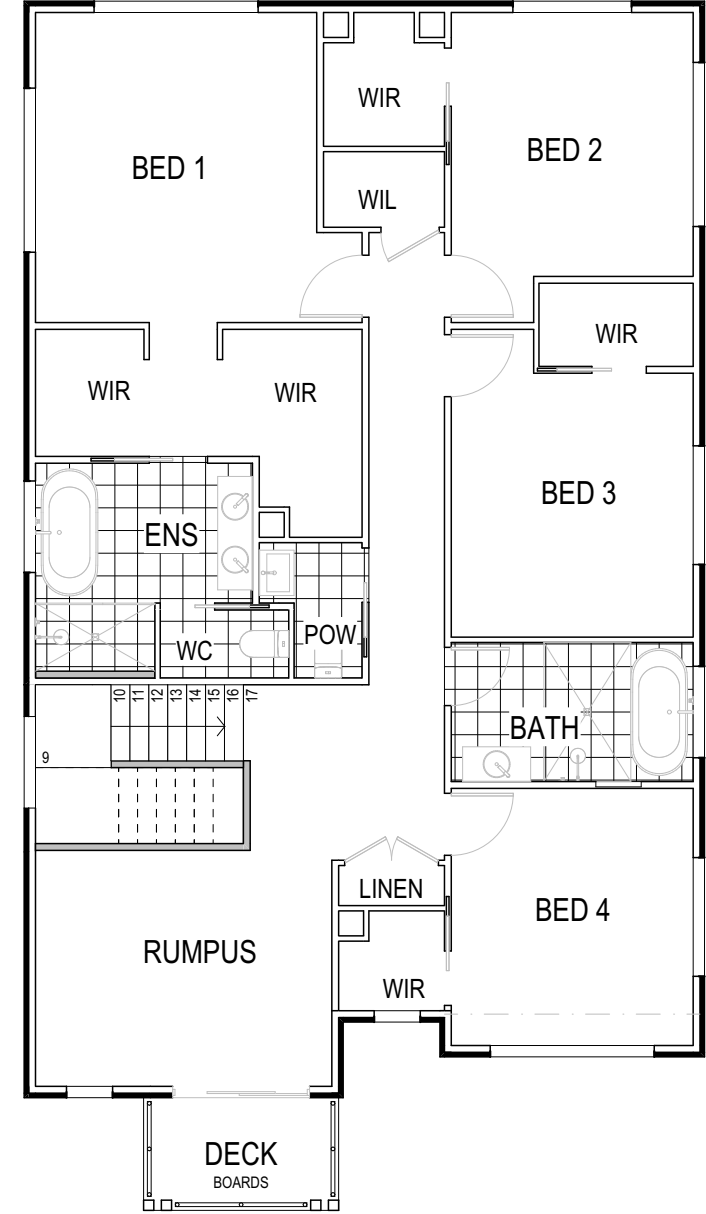
Client Name:
SPINKS, D & L

Job Address:
**PROPOSED RESIDENCE
Lot 86, No. 8 Walsh Street
NORTH NARRABEEN**

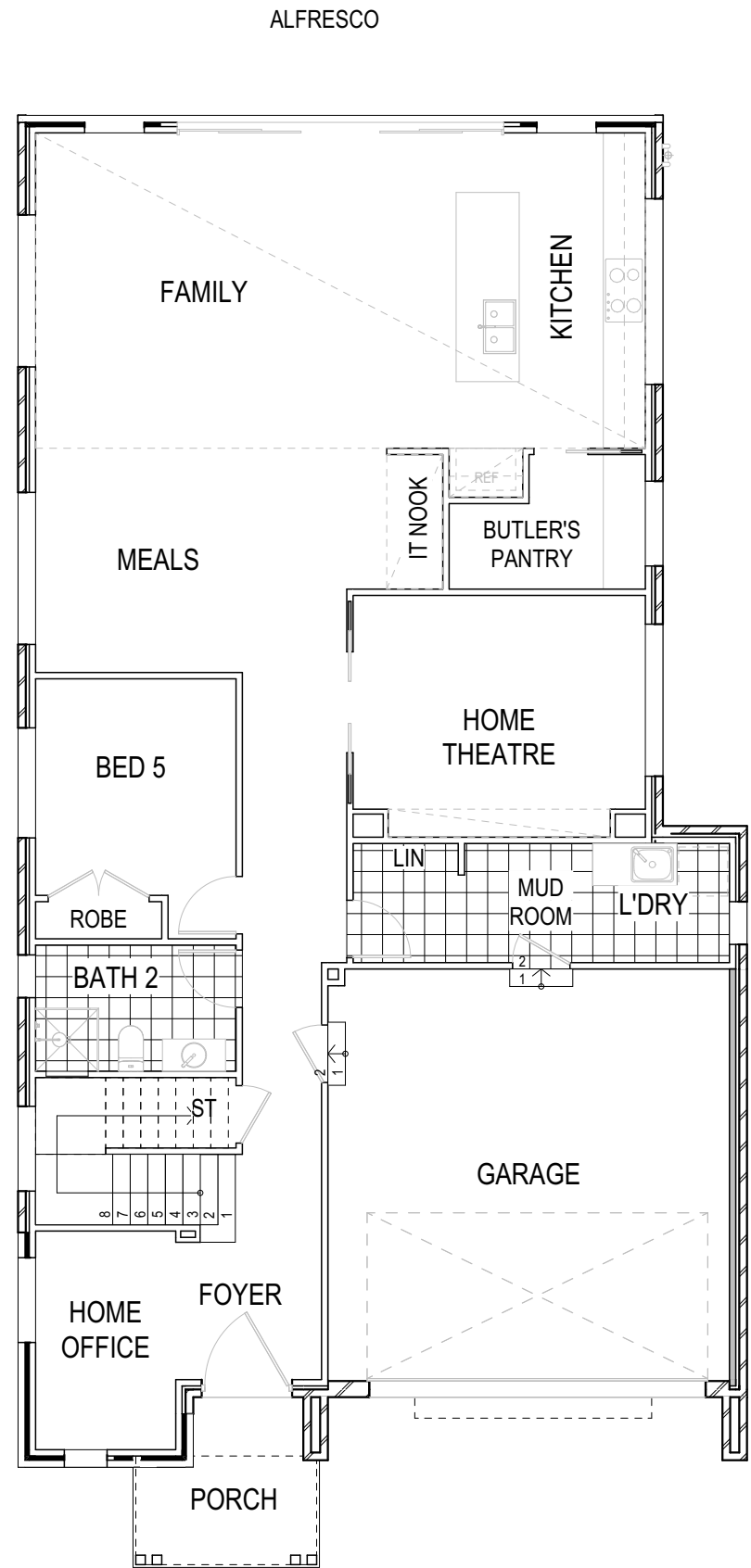
Design: The TRINITY 2 323 - Hamptons - 2024

Current Drafter:	Sales/CLO:	Plot Date:
GA	SMC	27/08/2025
Job No:	Tender No:	Drng No:
3804	49	A4 of 12
		Revision:
		2G

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UPPER FLOORING PLAN
SCALE 1:100



LOWER FLOORING PLAN
SCALE 1:100

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FLOORING PLAN LEGEND			
	SHOWS EXTENT OF WET AREA FLOOR TILES		
	SHOWS EXTENT OF FLOOR TILES		
	SHOWS EXTENT OF FLOATING / HYBRID #Xmm FLOOR		
	SHOWS EXTENT OF T & G FLOORING		
	SHOWS EXTENT OF VINYL #Xmm FLOORING		

GA	2G	RE-ISSUE TO BASIX	27/08/2025
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GA	1	ISSUE TO SALES	17/12/2024
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MONTGOMERY HOMES

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Job Address:

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NORTH NARRABEEN**

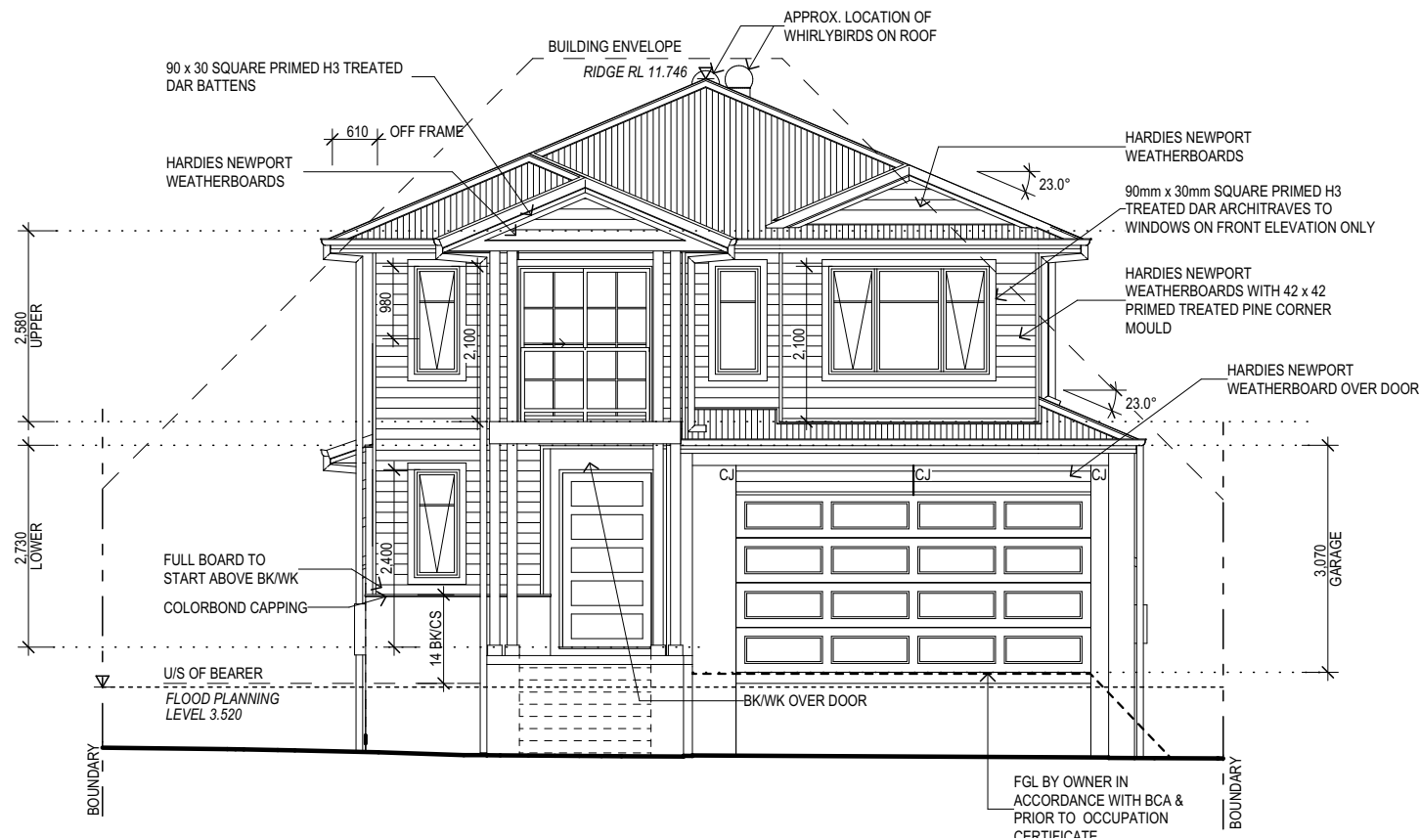
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GA	APOD	SMC	27/08/2025
Job No:	Tender No:	Drg No:	Revision:
3804	49	A5 of 12	2G

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NOTE:
FLOORING BY OWNER AFTER
HANDOVER (EXCLUDING WET AREA
TILING)

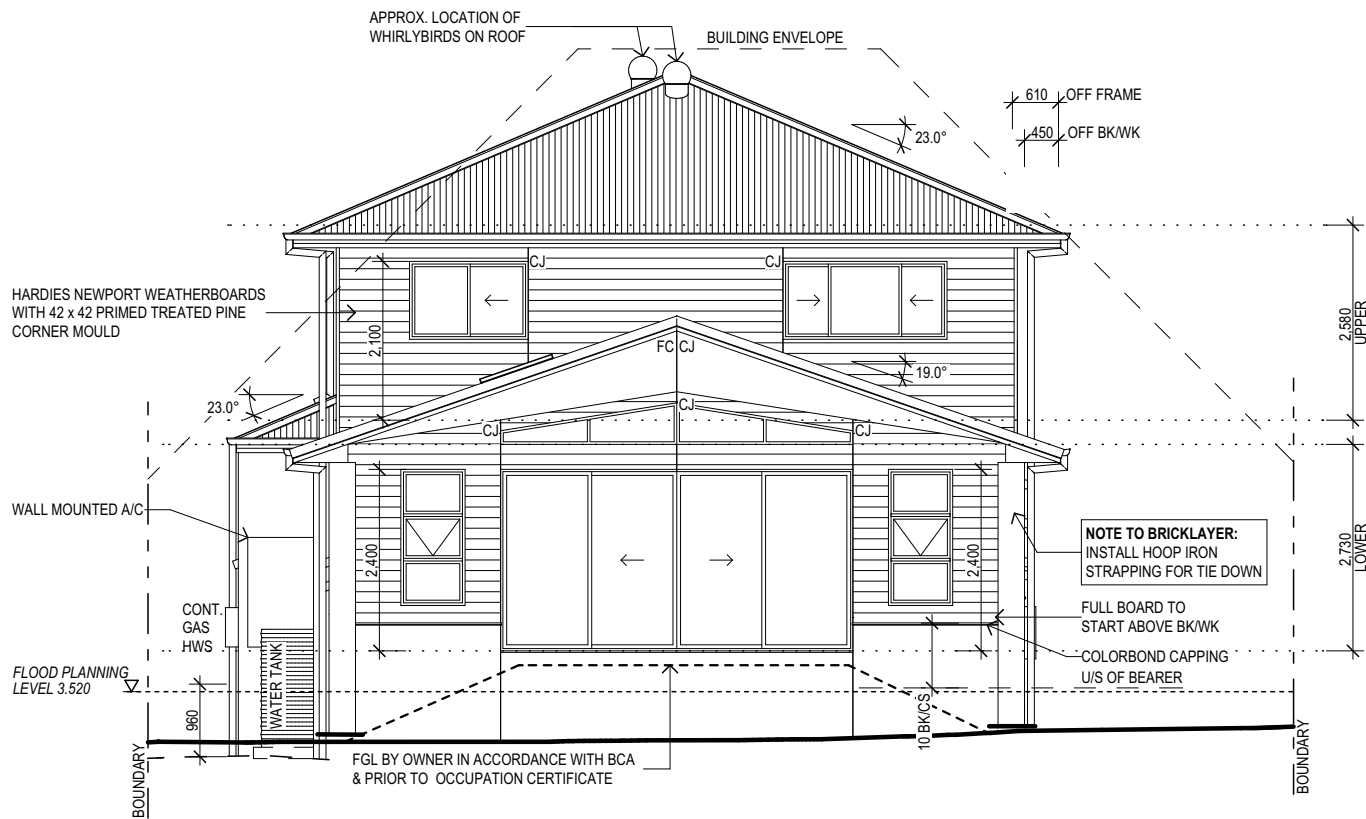
NOTE:
ALL HINGED EXTERNAL ALUMINIUM
DOORS IN WET AREAS TO BE RAISED
20mm TO ALLOW FOR TILING



SOUTH ELEVATION

SCALE 1:100

NOTE:
BRICKLAYER TO PROVIDE 3 COURSES OF BRICKS OVER WINDOWS TO THE EXTENT OF THE LINTELS (MIN 3 COURSES REQUIRED FOR CODE COMPLIANCE)



NORTH ELEVATION

SCALE 1:100

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ELEVATION / SECTION LEGEND

MARK	DESCRIPTION
GENERAL	
A/C	AIR-CONDITIONING UNIT
C	COMMUNICATIONS BOX
CJ	CONTROL JOINT
CU	CONTROL UNIT
D.E.B.	DROPPED EDGE BEAM
E	EARTHSTAKE
FC	FIBRE CEMENT
FCL	FINISHED CEILING LEVEL
FFL	FINISHED FLOOR LEVEL
FGL	FINISHED GROUND LEVEL
HWS	HOT WATER SYSTEM
HP HWS	HEAT PUMP HOT WATER SYSTEM
MB	METER BOX

LEVEL OF EXTERNAL FINISH

EXTERNAL WALLS

(NOTE: SEE ELEVATIONS FOR APPLICABLE FINISH)

- FACE BRICKWORK □ STACKED STONE
□ BAG & PAINT FINISH
□ RENDER
□ RENDERED HEBEL

PLEASE NOTE:

SILL ANGLE WILL VARY. ANGLE OF SILL IS SUBJECT TO WINDOW HEIGHT AND GAUGE OF BRICKWORK

ROOF CLADDING

- TILES
□ COLORBOND □ TRIMDEK

GA	2G	RE-ISSUE TO BASIX	27/08/2025
GA	2F	RE-ISSUE TO CERTIFIER	24/06/2025
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GA	2D	RE-ISSUE TO CERTIFIER	19/05/2025
GA	2	ISSUE TO BASIX & ENGINEER	17/12/2024
GA	1	ISSUE TO SALES	17/12/2024
Drawn:	Issue:	Description:	Date:



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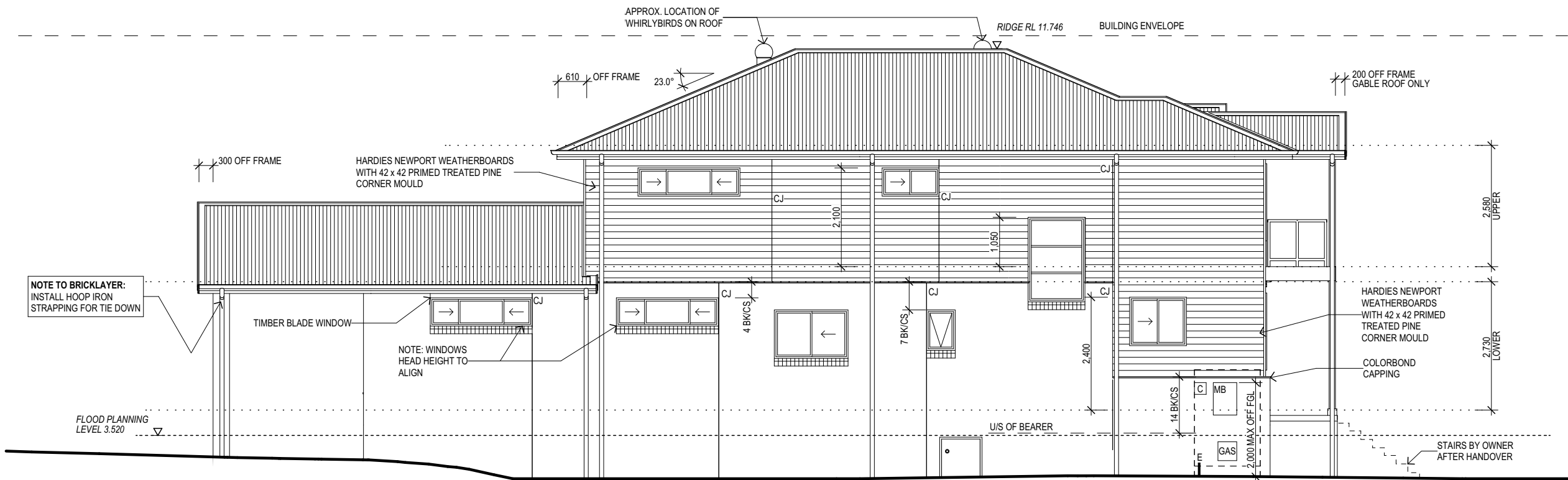
Job Address:

PROPOSED RESIDENCE
Lot 86, No. 8 Walsh Street
NORTH NARRABEEN

Design: The TRINITY 2 323 - Hamptons - 2024

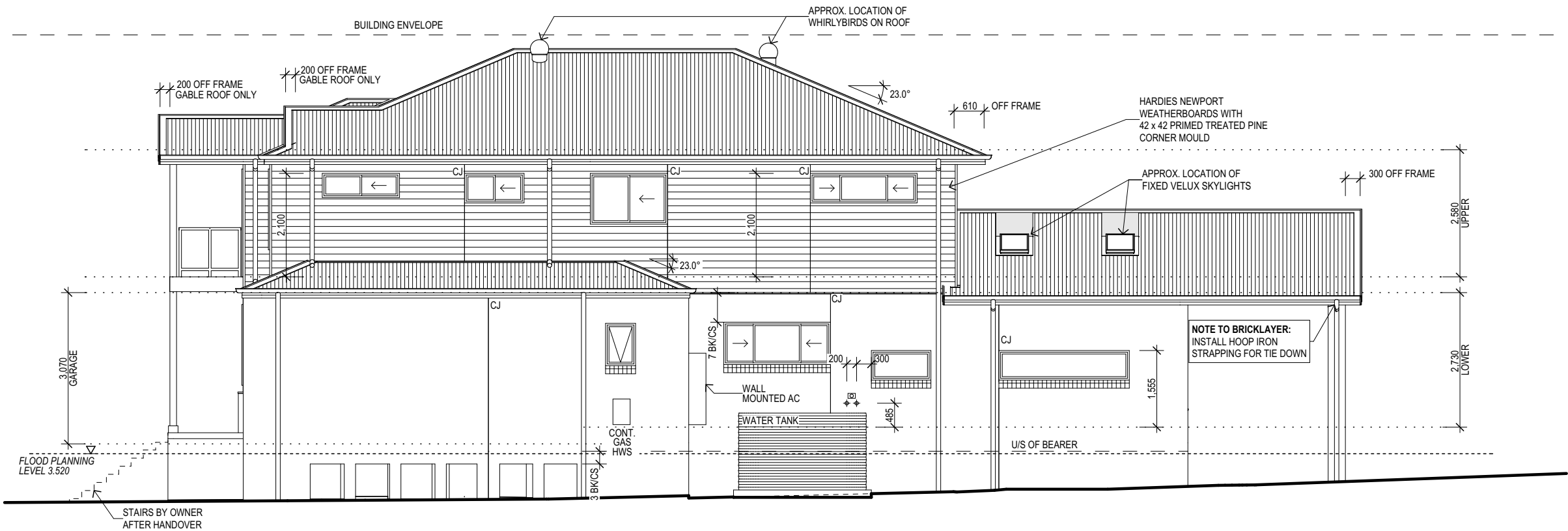
Current Drafter:	Sales/CLO:	Plot Date:
GA	APOD	SMC
27/08/2025		
Job No:	Tender No:	Drg No:
3804	49	A6 of 12
		Revision:
		2G

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WEST ELEVATION
SCALE 1:100

NOTE:
BRICKLAYER TO PROVIDE 3 COURSES OF BRICKS OVER WINDOWS TO THE EXTENT OF THE LINTELS (MIN 3 COURSES REQUIRED FOR CODE COMPLIANCE)



EAST ELEVATION
SCALE 1:100

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ELEVATION / SECTION LEGEND

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FFL	FINISHED FLOOR LEVEL
FGL	FINISHED GROUND LEVEL
HWS	HOT WATER SYSTEM
HP HWS	HEAT PUMP HOT WATER SYSTEM
MB	METER BOX

LEVEL OF EXTERNAL FINISH

EXTERNAL WALLS
(NOTE: SEE ELEVATIONS FOR APPLICABLE FINISH)

FACE BRICKWORK STACKED STONE

BAG & PAINT FINISH

RENDER

RENDERED HEBEL

PLEASE NOTE:
SILL ANGLE WILL VARY. ANGLE OF SILL IS SUBJECT TO WINDOW HEIGHT AND GAUGE OF BRICKWORK

ROOF CLADDING

TILES

COLORBOND TRIMDEK

GA	2G	RE-ISSUE TO BASIX	27/08/2025
GA	2F	RE-ISSUE TO CERTIFIER	24/06/2025
GA	2E	RE-ISSUE TO CERTIFIER	16/06/2025
GA	2D	RE-ISSUE TO CERTIFIER	19/05/2025
GA	2	ISSUE TO BASIX & ENGINEER	17/12/2024
GA	1	ISSUE TO SALES	17/12/2024
Drawn:	Issue:	Description:	Date:



MONTGOMERY HOMES

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Newcastle: (02) 4945 4000
Central Coast: (02) 4384 1441

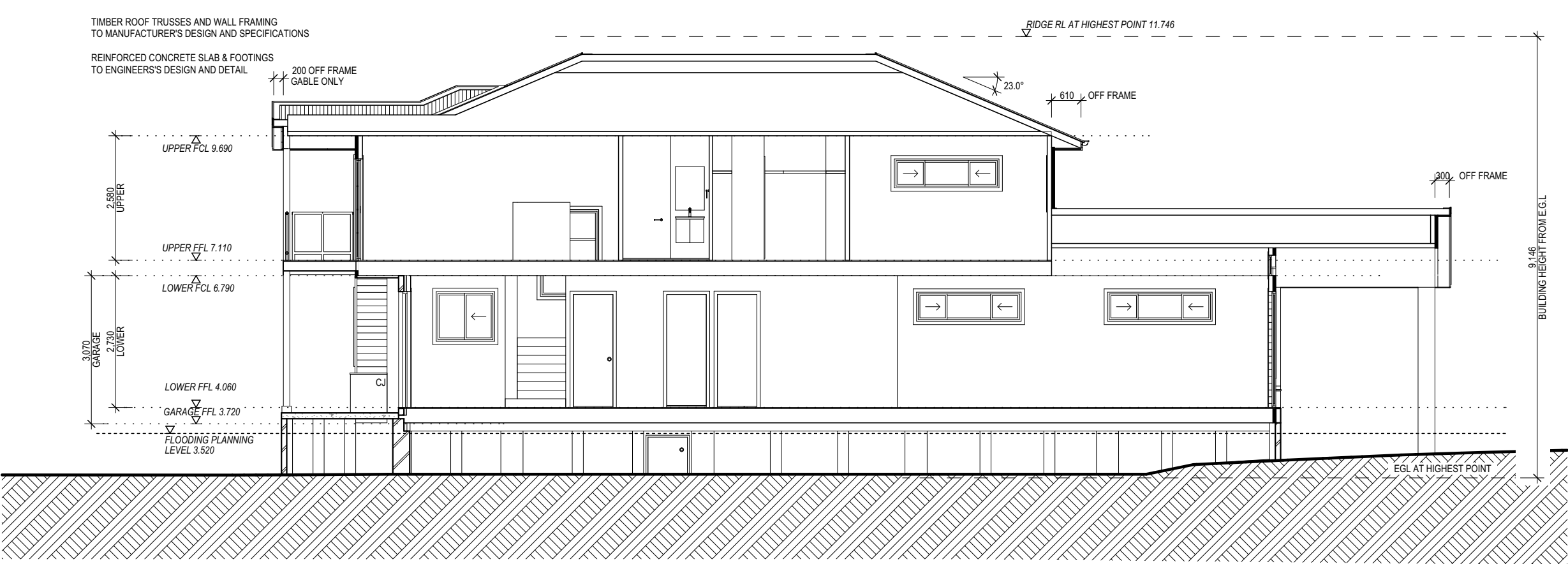
  [montgomeryhomes.com.au](https://www.montgomeryhomes.com.au)

Client Name:
SPINKS, D & L

Job Address:
**PROPOSED RESIDENCE
Lot 86, No. 8 Walsh Street
NORTH NARRABEEN**

Design: The TRINITY 2 323 - Hamptons - 2024			
Current Drafter:	Sales/CLO:	Plot Date:	
GA	APOD	SMC	27/08/2025
Job No:	Tender No:	Drq No:	Revision:
3804	49	A7 of 12	2G

DO NOT SCALE DRAWING



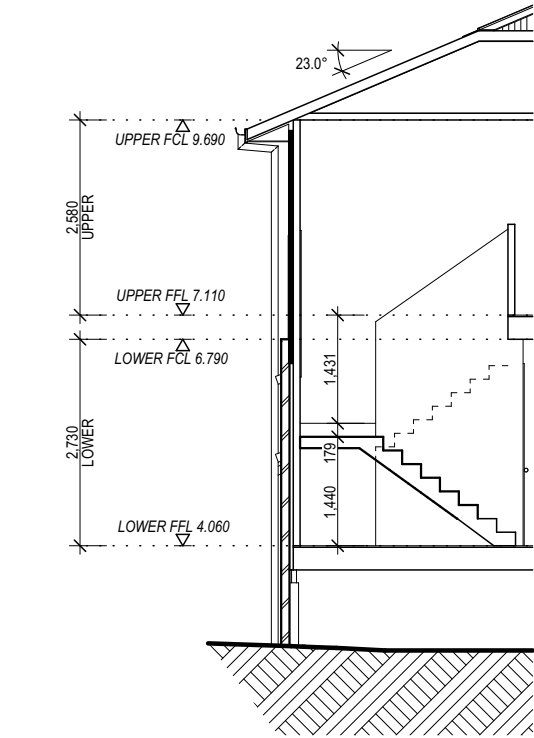
A
A3

SECTION

SCALE 1:100

DROP OFF TO U/S OF EAVE	
OVERHANG OFF FRAME	610mm
PITCH OF ROOF	19°
COLORBOND ROOF	TILE ROOF
250mm	225mm
NOTE: SUPERVISOR / CARPENTER CHECK ELEVATIONS FOR ROOF TYPE	

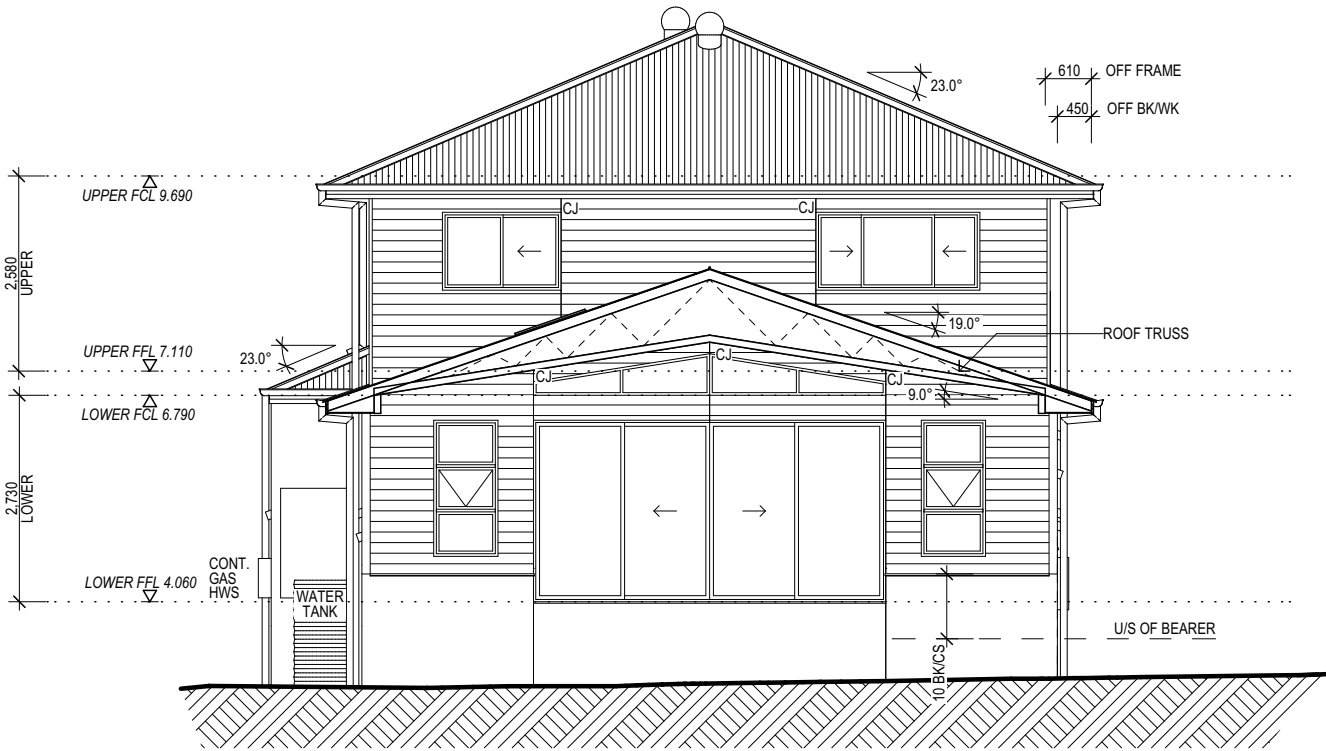
DROP OFF TO U/S OF EAVE	
OVERHANG OFF FRAME	610mm
PITCH OF ROOF	23°
COLORBOND ROOF	TILE ROOF
300mm	275mm
NOTE: SUPERVISOR / CARPENTER CHECK ELEVATIONS FOR ROOF TYPE	



B
A2

SECTION

SCALE 1:100



C
A2

SECTION

SCALE 1:100

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ELEVATION / SECTION LEGEND

MARK	DESCRIPTION
GENERAL	
A/C	AIR-CONDITIONING UNIT
C	COMMUNICATIONS BOX
CJ	CONTROL JOINT
CU	CONTROL UNIT
D.E.B.	DROPPED EDGE BEAM
E	EARTHSTAKE
FC	FIBRE CEMENT
FCL	FINISHED CEILING LEVEL
FFL	FINISHED FLOOR LEVEL
FGL	FINISHED GROUND LEVEL
HWS	HOT WATER SYSTEM
HP HWS	HEAT PUMP HOT WATER SYSTEM
MB	METER BOX

LEVEL OF EXTERNAL FINISH

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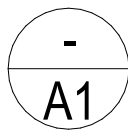
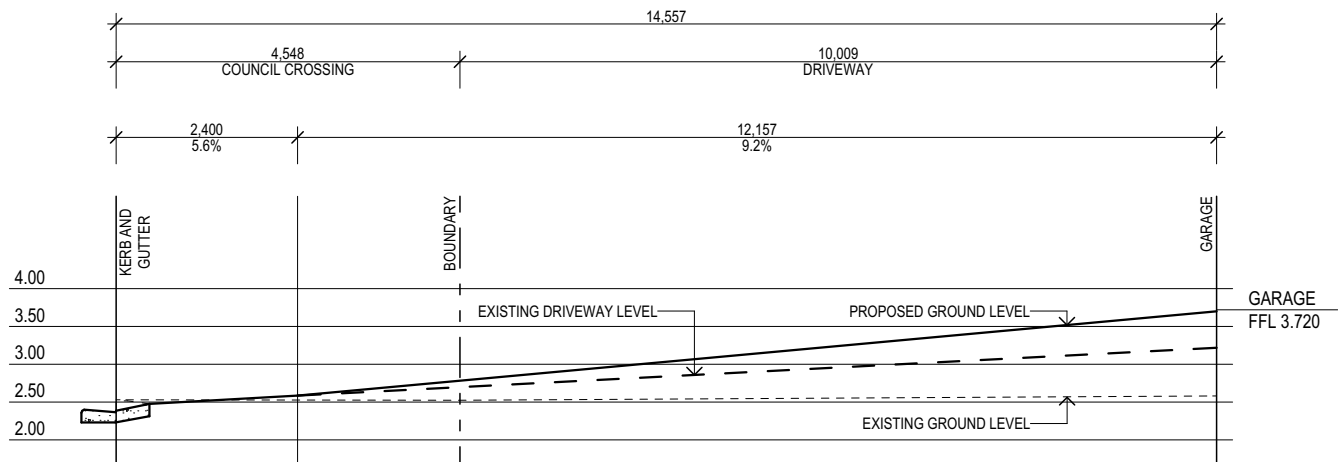
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Client Name:
SPINKS, D & L

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**PROPOSED RESIDENCE
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Design: The TRINITY 2 323 - Hamptons - 2024			
Current Drafter:	Sales/CLO:	Plot Date:	
GA	APOD	SMC	27/08/2025
Job No:	Tender No:	Drg No:	Revision:
3804	49	A8 of 12	2G

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DRIVEWAY LONG SECTION

SCALE 1:100

8 Walsh Street North Narrabeen				
SUMMARY OF BASIX COMMITMENTS				
This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for Complete details. For definitions refer to basix.nsw.gov.au				
WATER COMMITMENTS				
Fixtures				
4 Star Shower Heads		Yes (> 6 but <= 7.5 L/min)		
4 Star Kitchen / Basin Taps		Yes	4 Star Toilet	Yes
Alternative Water				
Minimum Tank Size (L)		3000	Collected from Roof Area (m2)	120
Tank Connected To:				
All Toilets		Yes	Laundry W/M Cold Tap	Yes
One Outdoor Tap		Yes		
THERMAL COMFORT COMMITMENTS - Refer to TPA Specification on plans				
ENERGY COMMITMENTS				
Hot Water		Gas Instantaneous 7 Star		
Cooling System	Living	3 Phase A/C		EER 3.0 - 3.5
	Bedrooms	3 Phase A/C		EER 3.0 - 3.5
Heating System	Living	3 Phase A/C		EER 3.0 - 3.5
	Bedrooms	3 Phase A/C		EER 3.0 - 3.5
Ventilation	1 x Bathroom	Fan ducted to exterior		Manual on/off
	Kitchen	Fan ducted to exterior		Manual on/off
	Laundry	Fan ducted to exterior		Manual on/off
Natural Lighting	Window/Skylight in Kitchen		Yes	
	Window/Skylight in Bathrooms/Toilets		Yes to	3
OTHER COMMITMENTS				
Outdoor clothes line		Yes		
Stove/Oven		Gas cooktop & electric oven		
Alternative Energy		n/a		

August 2025		BSA Reference: 21103	
Building Sustainability Assessments		Ph: (02) 4962 3439	
enquiries@buildingsustainability.net.au		www. buildingsustainability.net.au	
Important Note			
The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate. If the proposed construction varies to those detailed below than the Assessor and NatHERS certificates will no longer be valid. Assessments assume that the BCA provisions for building sealing & ventilation are complied with at construction. Be aware that BASIX does not over-ride the BCA and the NSW variations must be complied with.			
Thermal Performance Specifications (does not apply to garage)			
External Wall Construction		Added Insulation	
Brick Veneer & Lightweight		R2.5	
Internal Wall Construction		Added Insulation	
Plasterboard on studs		R2.5 to walls adjacent to garage, both baths, laundry & roofspace	
Ceiling Construction		Added Insulation	
Plasterboard		R6.0 to ceilings adjacent to roof space	
Roof Construction		Colour (Solar Absorptance)	Added Insulation
Metal		Medium (SA 0.50)	Foil
Floor Construction		Covering (if not noted default values used)	Added Insulation
Timber		As drawn	R2.5 to enclosed subfloor
Timber		As drawn	R2.5 to floors adjacent to garage
Timber		As drawn	R2.5 to floors where open below
Windows		Glass and frame type	U value SHGC Range Area sq m
Performance glazing Type A		3.40	0.45 - 0.49 As drawn
Performance glazing Type B		3.40	0.50 - 0.56 As drawn
Type A windows are awning windows, bifolds, casements, tilt 'n 'turn' windows, entry doors, french doors			
Type B windows are double hung windows, sliding windows & doors, fixed windows, stacker doors, louvres			
Skylights		Glass and frame type	U SHGC Area sq m Detail
Double glazed clear		As drawn	
U and SHGC values are according to AFRC. Alternate products may be used if the U value is lower & the SHGC is within the range specified			
Shade elements		(eaves, verandahs, awnings etc)	
All shade elements modelled as drawn			
Ceiling Penetrations		(downlights, exhaust fans, flues etc)	
Downlights are modelled as IC rated with insulation fitted over the fixtures			
All exhaust fans are modelled as sealed			
Ceiling Fans used in the Modelling and to be installed in the following areas:			
1x 1200mm to each bedroom; 4x 1200mm to living (family, meals, theatre & rumpus).			

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LEVEL OF EXTERNAL FINISH

EXTERNAL WALLS
(NOTE: SEE ELEVATIONS FOR APPLICABLE FINISH)

FACE BRICKWORK STACKED STONE

BAG & PAINT FINISH

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RENDERED HEBEL

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ROOF CLADDING

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Drawn:	Issue:	Description:	Date:



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Central Coast: (02) 4384 1441



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Client Name:

SPINKS, D & L

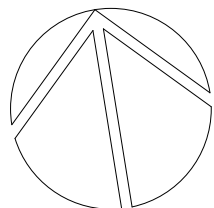
Job Address:

PROPOSED RESIDENCE
Lot 86, No. 8 Walsh Street
NORTH NARRABEEN

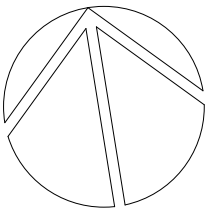
Design: The TRINITY 2 323 - Hamptons - 2024

Current Drafter:	Sales/CLO:	Plot Date:
GA	APOD	27/08/2025
Job No:	Tender No:	Drq No:
3804	49	A9 of 12
		Revision:
		2G

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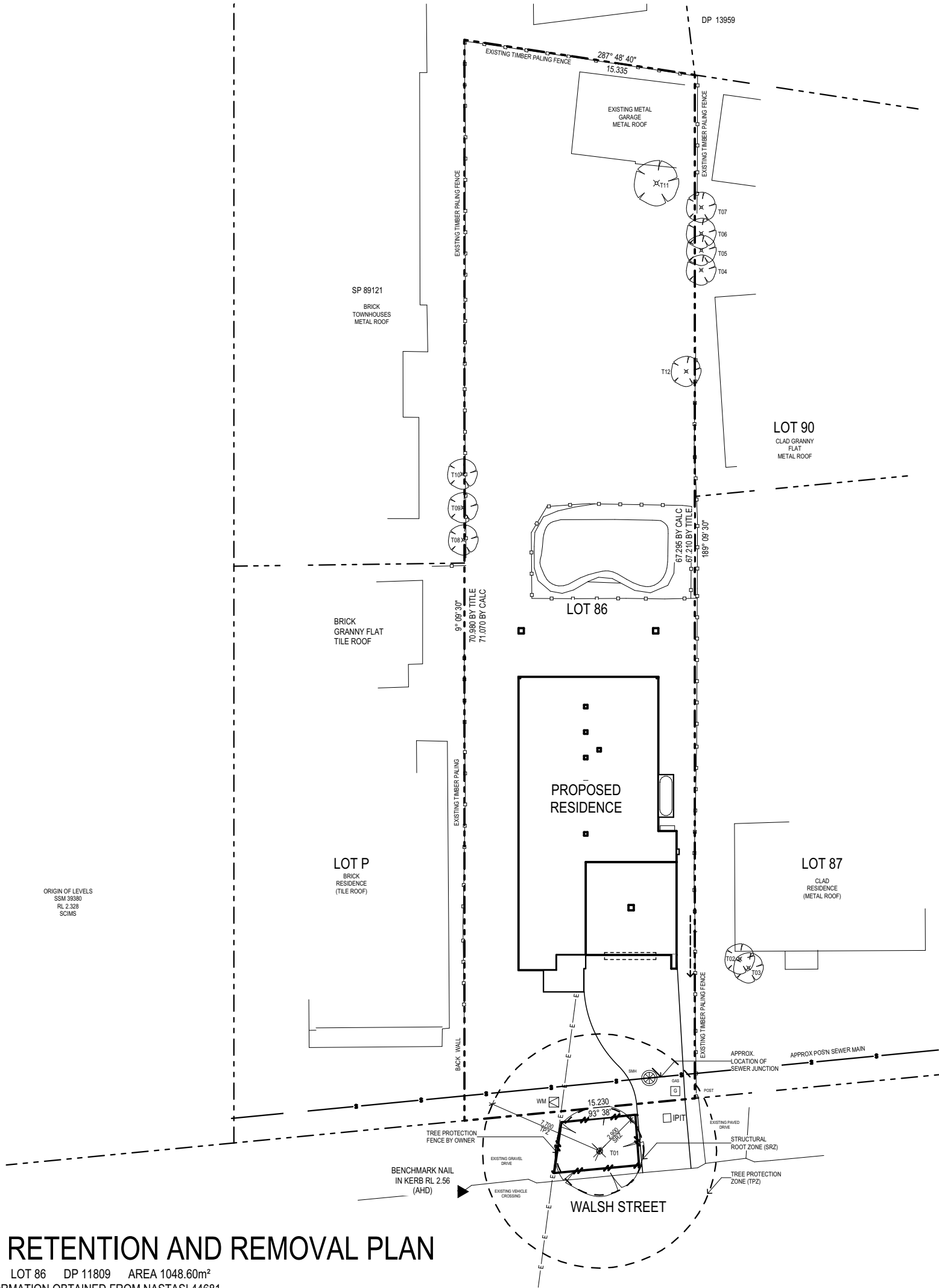


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TREE RETENTION AND REMOVAL PLAN

SCALE 1:300 LOT 86 DP 11809 AREA 1048.60m²
SURVEY INFORMATION OBTAINED FROM NASTASI 44681



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TREE LEGEND					
#	RET.	REM.	SPECIES	HEIGHT	DIAMETER
T01	☒	☐		7.0m	0.6m
T02	☒	☐		6.0m	0.2m
T03	☒	☐		6.0m	0.2m
T04	☒	☐		4.0m	0.1m
T05	☒	☐		4.0m	0.1m
T06	☒	☐		4.0m	0.1m
T07	☒	☐		4.0m	0.1m
T08	☒	☐		4.0m	0.1m
T09	☒	☐		4.0m	0.1m
T10	☒	☐		4.0m	0.1m
T11	☒	☐		4.0m	0.15m
T12	☒	☐		4.0m	0.15m

		OVERFLOW PIPE / STORMWATER LINE	
		TREES TO BE REMOVED (BY SEPARATE APPLICATION)	
		TREES TO RETAIN	
		SEWER LINE	
		RETAINING WALLS (BY OWNER)	
GA	2G	RE-ISSUE TO BASIX	27/08/2025
GA	2F	RE-ISSUE TO CERTIFIER	24/06/2025
GA	2E	RE-ISSUE TO CERTIFIER	16/06/2025
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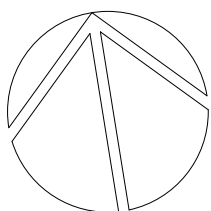
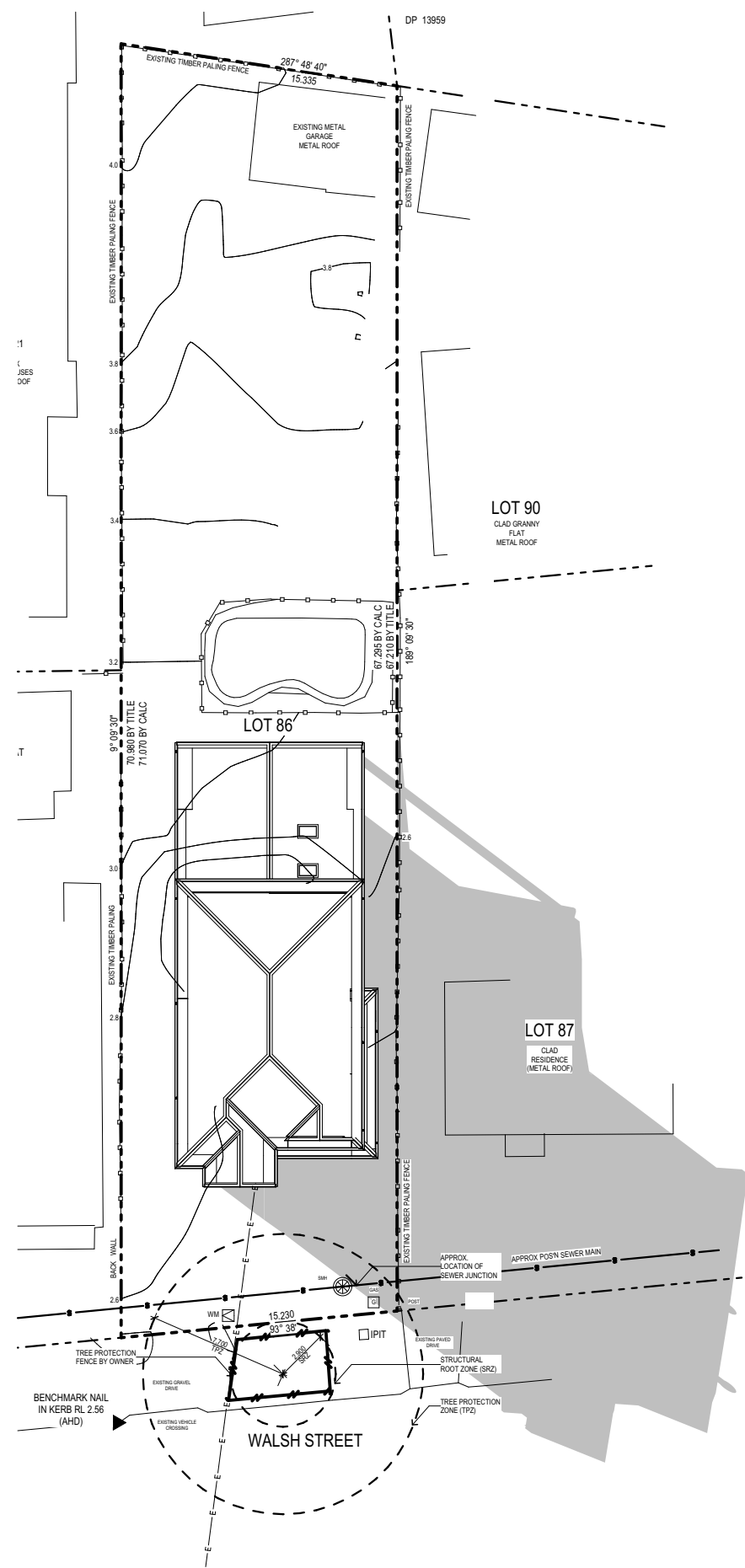
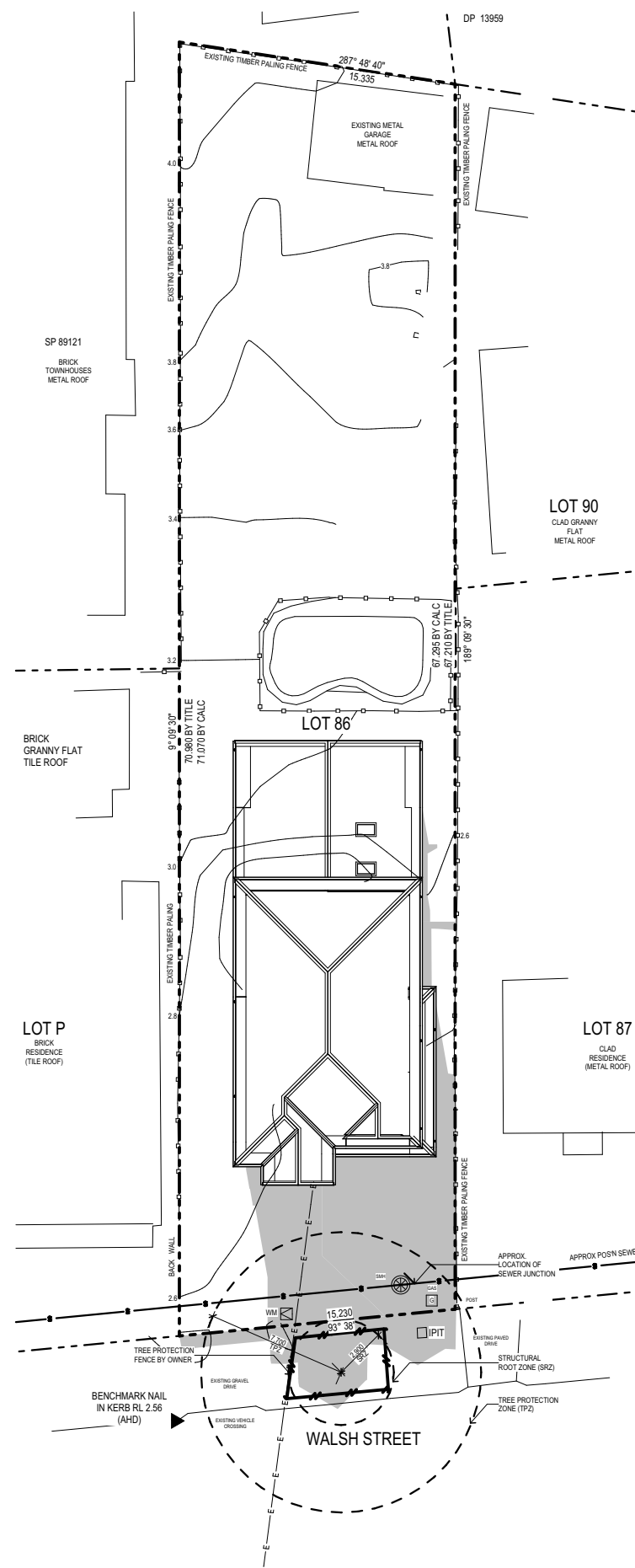
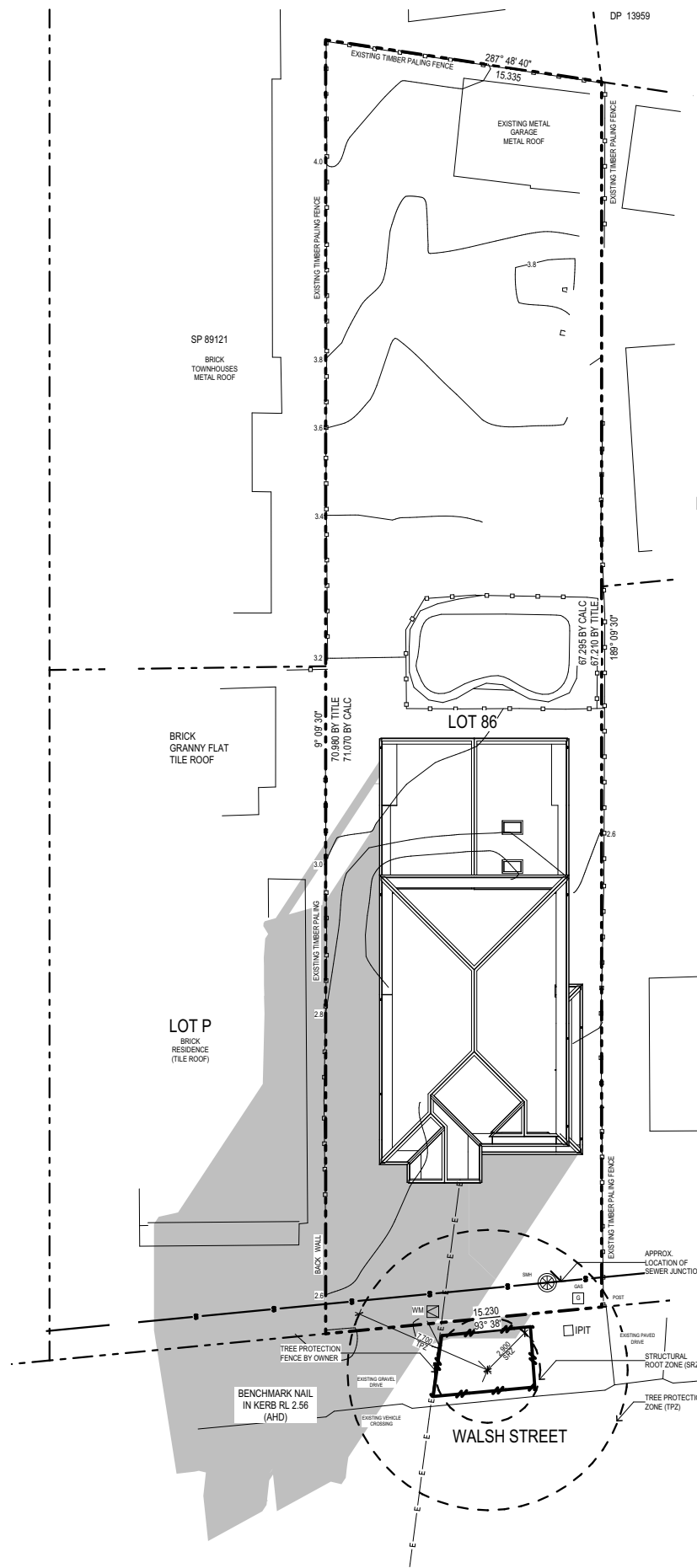


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Central Coast: (02) 4384 1441

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Client Name: SPINKS, D & L			
Job Address: PROPOSED RESIDENCE Lot 86, No. 8 Walsh Street NORTH NARRABEEN			
Design: The TRINITY 2 323 - Hamptons - 2024			
Current Drafter: GA	APOD	Sales/CLO: SMC	Plot Date: 27/08/2025
Job No: 3804	Tender No: 49	Drg No: A11 of 12	Revision: 2G
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SUN STUDY

SCALE 1:350 LOT 86 DP 11809 AREA 1048.60m²
SURVEY INFORMATION OBTAINED FROM NASTASI 44681

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Drawn:	Issue:	Description:	Date:



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Central Coast: (02) 4384 1441



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Client Name:	
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SPINKS, D & L

Job Address:

PROPOSED RESIDENCE
Lot 86, No. 8 Walsh Street
NORTH NARRABEEN

Design: The TRINITY 2 323 - Hamptons - 2024

Current Drafter:		Sales/CLO:	Plot Date:
GA	APOD	SMC	27/08/2025
Job No:	Tender No:	Drg No:	Revision:
3804	49	A12 of 12	2G

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