

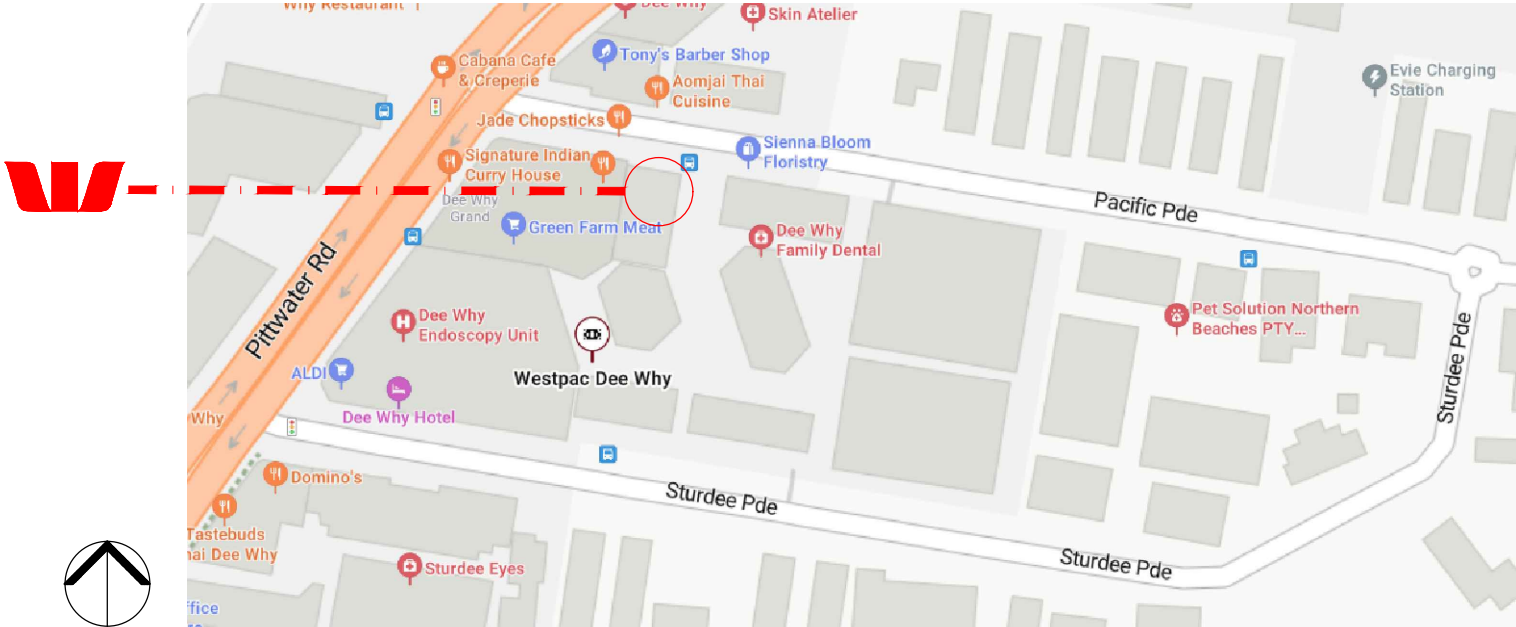


WESTPAC DEE WHY

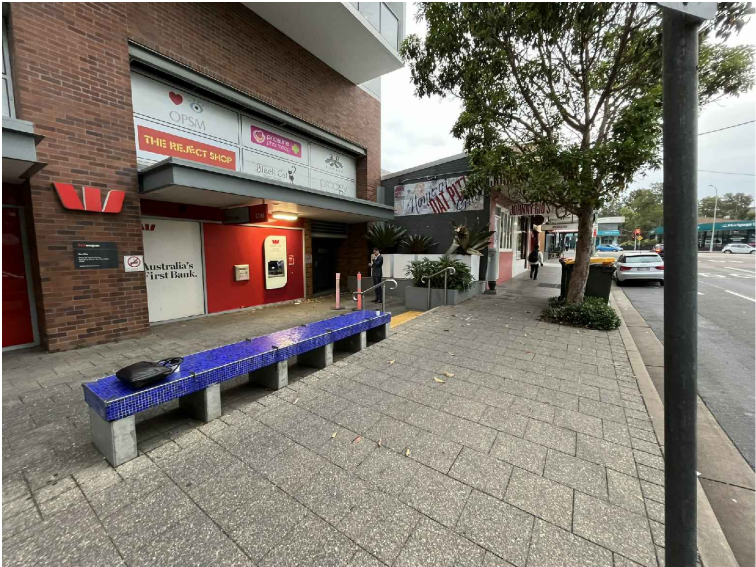
SHOP 1-3A DEE WHY GRAND
15-19 PACIFIC PDE
DEE WHY NSW 2099

DEVELOPMENT APPLICATION ARCHITECTURAL DRAWINGS

- DA00 CONTENTS / LOCATION MAP / EXISTING SITE PHOTOS
- DA01 PART SURVEY & LOCALITY PLAN
- DA02 EXISTING / DEMOLITION PLAN
- DA03 PROPOSED PLAN
- DA04 PROPOSED ELEVATION



LOCATION MAP



EXISTING SITE PHOTOS

CLIENT



WESTPAC GROUP PROPERTY
RETAIL PROJECTS & CORPORATE WORKS
275 Kent Street, Sydney NSW 2000

PROJECT MANAGER



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REVISIONS

Rev.	Date	Description
A	09/07/25	DEVELOPMENT APPLICATION ISSUE
B	09/10/25	UPDATED PER SURVEY

By
VT
SM

DRAWN

VT

PROPERTY ID

TBC

PROJECT NO

W25031

PROJECT

WESTPAC DEE WHY
SHOP 1-3A DEE WHY GRAND
15019 PACIFIC PDE, DEE WHY NSW 2099

MANAGER

AI

WBC PROJECT ID

TBC

DRAWING NO

DA00

DRAWING

COVER PAGE, LOCATION MAP

REVISION

B

BRANCH BSB

032-094

PJT COMMENCEMENT DATE

JUL 2025

SCALE

N.T.S @ A3

LEGEND:

HYDRANT

STOP VALVE

WATER VALVE

WATER METER

ELECTRICAL BOX

LIGHT POLE

POWER POLE

COMMS PIT

COMMS PILLAR

GAS MARKER

GAS VALVE

GAS METER

SEWER/SEPTIC IP

SEWER MAN HOLE

SEWER VENT

TREE

STREET SIGN

TRAFFIC LIGHT

TRAFFIC CONTROL BOX

TRAFFIC SIGNAL BOX

BOUNDARY LINE

BITUMEN LINE

TOP OF BANK

BOTTOM OF BANK

CONCRETE LINE

EASEMENT LINE

FENCE LINE

GARDEN

PAVERS LINE

KERB LINE

POOL

ROCK

ROOF LINE

NOTE: REFER PART SURVEY DRAWING 12011-001-A
PREPARED BY SHAWN LECLERC (DATE 1.10.2025) FOR
MORE DETAILS

LOT C P397729

PART SURVEY PLAN SCALE: 1:200

EASEMENTS AFFECTING LOT 2 AT LOWER GROUND FLOOR

- (A) EASEMENT TO DRAIN WATER 2.4 & 3.5 WIDE (DP1146740)
- (F) EASEMENT FOR PEDESTRIAN ACCESS (WHOLE OF LOT AT LOWER GROUND) (DP1146740)
- (X) EASEMENT FOR SUPPORT & SHELTER (WHOLE OF LOT) (DP1146740)
- (Y) EASEMENT FOR SERVICES (WHOLE OF LOT) (DP1146740)

PT 2 [H1]
LIMITED IN DEPTH TO RL 21.35 AND LIMITED TO HEIGHT RL 29.25

PT 2 [H2]
LIMITED IN DEPTH TO RL 20.8 AND LIMITED TO HEIGHT RL 29.25

PT 2 [H3]
LIMITED IN DEPTH TO RL 21.15 AND LIMITED TO HEIGHT RL 29.25

PT 2 [H4]
LIMITED IN DEPTH TO RL 21.5 AND LIMITED TO HEIGHT RL 29.25

LOCALITY PLAN SCALE: 1:1000

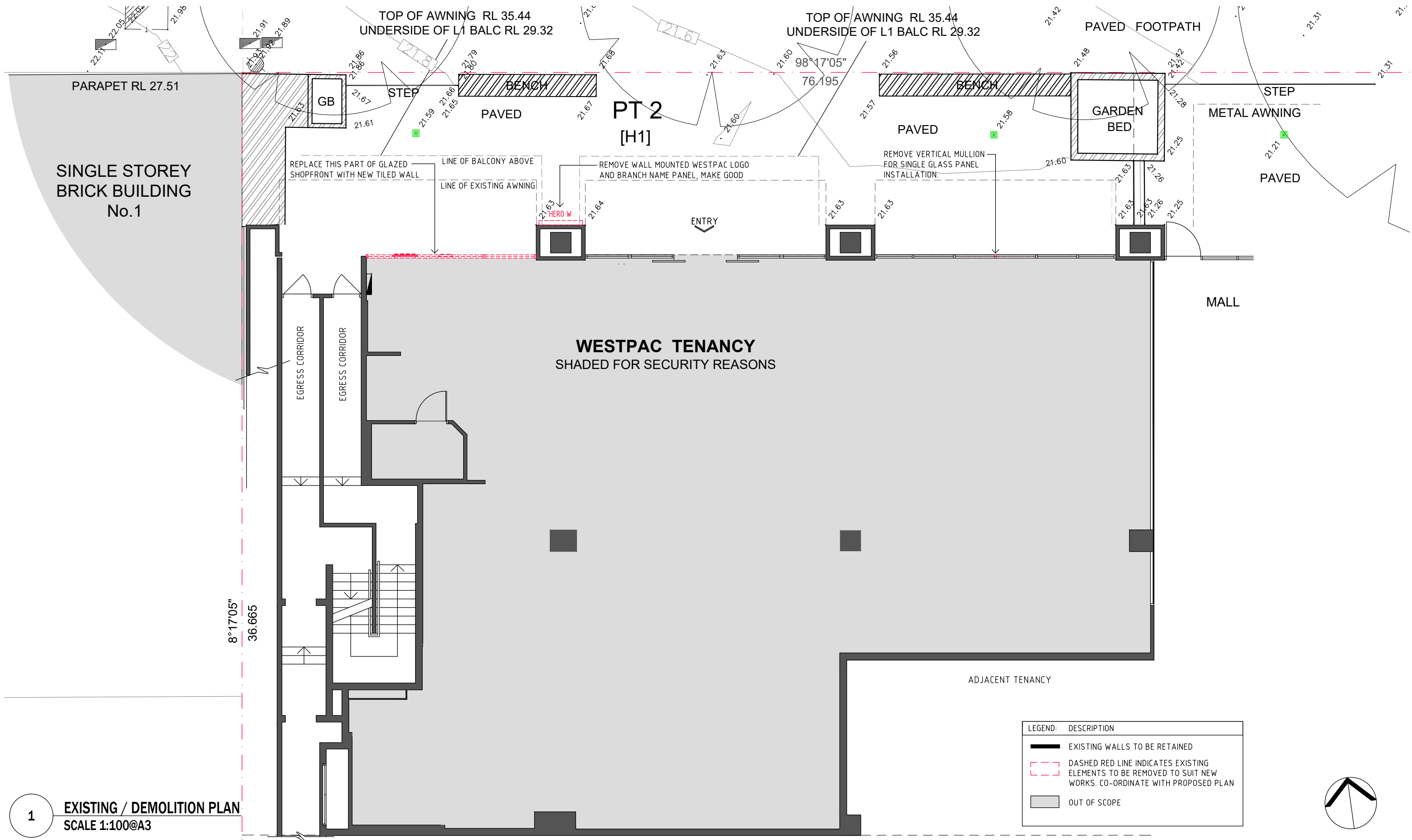
LOT 1, 2, 3, 4, 5 & 6 DP1146740
SITE AREA 1.056 Ha
(X) (Y) (F)

STURDEE PARADE

PACIFIC PARADE

PITTWATER ROAD

CLIENT	PROJECT MANAGER	ARCHITECT	REVISIONS	DRAWN	PROPERTY ID	PROJECT NO	PROJECT	WESTPAC DEE WHY SHOP 1-3A DEE WHY GRAND 15019 PACIFIC PDE, DEE WHY NSW 2099
	MostynCopper		Rev. Date Description A 09/07/25 DEVELOPMENT APPLICATION ISSUE B 09/10/25 UPDATED PER SURVEY	VT	TBC	W25031		
				MANAGER	WBC PROJECT ID	DRAWING NO	DRAWING	PART SURVEY & LOCALITY PLAN
				AI	TBC	DA01		
				REVISION	BRANCH BSB	PJT COMMENCEMENT DATE	SCALE	AS NOTED @ A3
				B	032-094	JUL 2025		



1 EXISTING / DEMOLITION PLAN
SCALE 1:100@A3

CLIENT



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BRANCH BSB
032-094

PROJECT NO

W25031

DRAWING NO
DA02

PJT COMMENCEMENT DATE
JUL 2025

PROJECT

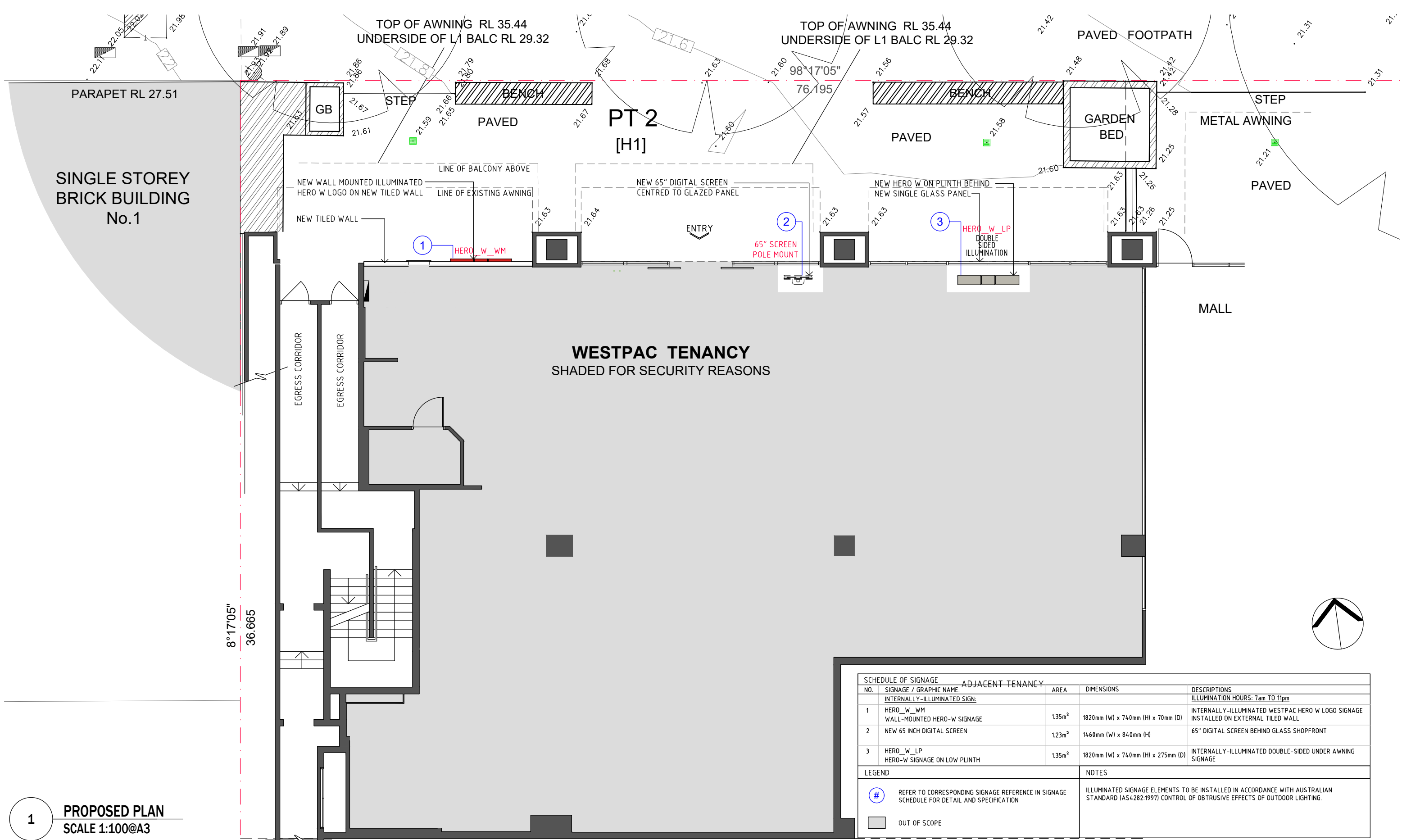
**WESTPAC DEE WHY
SHOP 1-3A DEE WHY GRAND
15019 PACIFIC PDE, DEE WHY NSW 2099**

DRAWING

EXISTING/ DEMOLITION PLAN

SCALE

1:100 @ A3



1 **PROPOSED PLAN**
SCALE 1:100@A3

SCHEDULE OF SIGNAGE		ADJACENT TENANCY		
NO.	SIGNAGE / GRAPHIC NAME	AREA	DIMENSIONS	DESCRIPTIONS
	INTERNALLY-ILLUMINATED SIGN:			ILLUMINATION HOURS: 7am TO 11pm
1	HERO_W_WM WALL-MOUNTED HERO-W SIGNAGE	1.35m ²	1820mm (W) x 740mm (H) x 70mm (D)	INTERNALLY-ILLUMINATED WESTPAC HERO W LOGO SIGNAGE INSTALLED ON EXTERNAL TILED WALL
2	NEW 65 INCH DIGITAL SCREEN	1.23m ²	1460mm (W) x 840mm (H)	65" DIGITAL SCREEN BEHIND GLASS SHOPFRONT
3	HERO_W_LP HERO-W SIGNAGE ON LOW PLINTH	1.35m ²	1820mm (W) x 740mm (H) x 275mm (D)	INTERNALLY-ILLUMINATED DOUBLE-SIDED UNDER AWNING SIGNAGE
LEGEND			NOTES	
	REFER TO CORRESPONDING SIGNAGE REFERENCE IN SIGNAGE SCHEDULE FOR DETAIL AND SPECIFICATION		ILLUMINATED SIGNAGE ELEMENTS TO BE INSTALLED IN ACCORDANCE WITH AUSTRALIAN STANDARD (AS4282:1997) CONTROL OF OBTRUSIVE EFFECTS OF OUTDOOR LIGHTING.	
	OUT OF SCOPE			



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WBC PROJECT ID

TBC

BRANCH BSB

032-094

PROJECT NO

W25031

DRAWING NO

DA03

PJT COMMENCEMENT DATE

JUL 2025

PROJECT

**WESTPAC DEE WHY
SHOP 1-3A DEE WHY GRAND
15019 PACIFIC PDE, DEE WHY NSW 2099**

DRAWING

PROPOSED PLAN

SCALE

1:100 @ A3

SCHEDULE OF SIGNAGE				
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	OUT OF SCOPE			



1

PROPOSED EXTERNAL SHOPFRONT

SCALE 1:100@A3

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SHOP 1-3A DEE WHY GRAND
15019 PACIFIC PDE, DEE WHY NSW 2099

MANAGER

AI

WBC PROJECT ID

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DRAWING NO

DA04

DRAWING

PROPOSED ELEVATION

REVISION

B

BRANCH BSB

032-094

PJT COMMENCEMENT DATE

JUL 2025

SCALE

1:100 @ A3