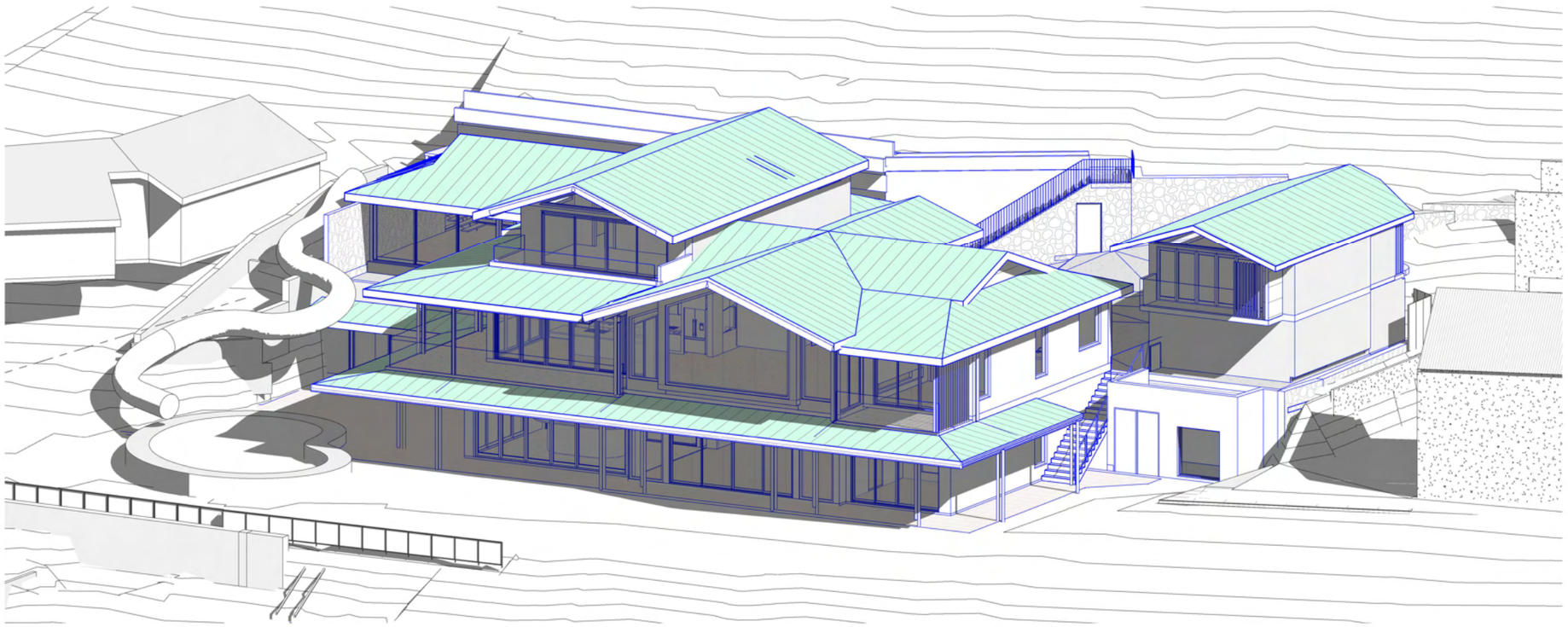
DA.MOD

Sheet Number	Sheet Name	Current Revision
DA.0000	COVER PAGE	2
DA.0001	BASIX	2
DA.0002	LOCATION PLAN	2
DA.0101	SITE ANALYSIS	2
DA.0102	SITE COVER	2
DA.0103	EXCAVATION PLAN	2
DA.1201	DEMOLITON LEVEL 1	2
DA.1202	DEMOLITON LEVEL 2	2
DA.1211	PROPOSED LEVEL 1	2
DA.1212	PROPOSED LEVEL 2	2
DA.1213	PROPOSED LEVEL 3	2
DA.1214	PROPOSED ROOF PLAN	2
DA.1301	ELEVATION WEST	2
DA.1302	ELEVATION SOUTH	2
DA.1303	ELEVATION EAST	2
DA.1304	ELEVATION NORTH	2
DA.1401	SECTION BB AND GG	2
DA.1402	SECTION AA AND DD	2
DA.1403	SECTION EE -CC	2
DA.1701	DOOR WINDOW SCHEDULE 1	2
DA.1702	DOOR WINDOW SCHEDULE 2	2
DA.1703	DOOR WINDOW SCHEDULE 3	2
DA.1704	DOOR WINDOW SCHEDULE 4	2
DA.1705	DOOR WINDOW SCHEDULE 5	2
DA.1706	DOOR WINDOW SCHEDULE 6	2
DA.1901	SHADOW DIAGRAMS WINTER 9AM	2
DA.1902	SHADOW DIAGRAMS WINTER 10AM	2
DA.1903	SHADOW DIAGRAMS WINTER 11AM	2
DA.1904	SHADOW DIAGRAMS WINTER 12PM	2
DA.1905	SHADOW DIAGRAMS WINTER 3PM	2



Certificate No. # 1HO6W6IR77

Scan QR code or follow website link for rating details.

Assessor name Jennifer Edwards
Accreditation No. DMN/17/1795
Property Address 316 Hudson Parade, Clareville, NSW, 2107

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Issue	Date	Amendment
2	16-04-25	DA
1	09-04-25	DA-P

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Job No 346-02 316 Hudson Pde
Client TONY WALLS
Address 316 Hudson Parade Clareville

Drawn TT
Checked MB
Scale

Design Stage DA
Title **COVER PAGE**

No **DA.0000**
Issue -

23/04/2025 3:45:52 PM

NatHERS Construction & Insulation Specifications:

Building Component	*Construction Materials*		*Insulation*	*Colour - Solar Absorpt.*	*Other Detail/Requirements*
External Walls+	Plastered Cavity Brick	Plasterboard lined	R1.75 + Reflective foil	Light (<0.475)	Ground level and Level 1. As drawn. Foil: E = 0.05.
	Insulated panel	Plasterboard lined	R4.61	Light (<0.475)	Level 2
	Rendered Concrete Block	Plasterboard lined	R3.0	Light (<0.475)	Garage/Den to store/plant room. Garage extension and Garage 2 walls.
Internal walls (within)	Plasterboard on studs	Plasterboard lined	R3.6		All ground level. Level 2: Gym to bathroom 2.
	Concrete Block	Plasterboard lined	R3.0		Lift walls. Garage, garage extension and Garage Den - all walls to house.
	Plasterboard on studs	Plasterboard lined	R4.0		Internal walls to roofspace.
	Plasterboard on studs	Plasterboard lined	None		Elsewhere
Windows/Glazing*	ALM-001-01 A Aluminium A SG Clear: U = 6.7. SHGC = 0.57				D01
	SOV-024-08 W 300 Series Fixed Window-TPS 4/14Ar/4EA: U=1.93: SHGC=0.57				W02 (fixed), W05, W02a (fixed), W03, W04, W11a (fixed) W10a (fixed), W13, W14, W15, W19, W21, W23
	CAN-004-04 W Timber Awning Window DG 3/12/3: U=2.54. SHGC=0.52				All awning windows
	THC-041-02 A Series EC55TB Inward Opening Bi-fold Door DG 4-12Ar-4ET: U=2.4. SHGC=0.52				D03 and D04
	MAR-030-11 W Integrity Casement Picture DG 4clr / 10 / 4LoE 180. U=1.93. SHGC=0.55				All casement doors
	SOV-008-17 W 600 Series Sliding Door-TPS 4/12Ar/4/12Ar/4LE272: U=1.37. SHGC=0.35				All sliding doors
	SOV-001-04 W 800 Series Sliding Window 4/12Ar/4EA:U=2.05. SHGC=0.55				W12 (sliding window)
	SOV-002-10 W 325 High Fixed Window-TPS 4LE272/14Ar/4. U=1.5. SHGC 1.5. SHGC = 0.33				W06, W07, W8, W09, W25A, W25B, W22, W30b (fixed)
	HAF-004-09 B SL60eco TB floor spt open out bifold door DG 6Gn-12Ar-6EA: U=2.08. SHGC 0.34				D45
Roof	Metal Deck		R1.3 + Reflective Foil	Medium (0.475 to 0.70)	All roof areas, (including raked). Garage reflective foil only. E = 0.05
	Concrete		R2.0	Medium (0.475 to 0.70)	Areas to deck/entry above (from Ground level, Bar, Games, Bed 1).
Ceiling	Plasterboard		R5.0		All flat ceilling areas. Excludes garage.
	Plasterboard		R3.0		All raked areas.
Floor Structure	Concrete		R4.60		Ground level. No insulation in garage.
	Concrete		R4.6 + Reflective Foil		Suspended concrete slab (Level 2: Gym/Studio/Bath). E = 0.05
	Concrete		None		Level 1 - main house
	Timber		R2.0		Level 2 - main house
Floor Covering	Ceramic Tiles				As drawn
	Timber				As drawn
Ceiling/Wall Penetrations	Must be sealed. Unsealed in unconditioned areas.				
External Walls+	Walls should be battened as required to allow for insulation and foil construction.				
External Shading Devices	As drawn.				
Skylight*	DG, clear				Skylight shaft insulation: R2.0
Ceiling fans	None				
***Glazing note:**	U and SHGC values are according to NFRC. Alternate products may be used with the same opening type (fixed, sliding etc) if the U value is the same or lower than that specified and the SHGC is within 5% of the above figures.				
Construction note:	These construction and insulation specifications are for the NatHERS thermal performance requirements of this development. Designers, engineers and builders should ensure building construction satisfies the NCC requirements including, but not limited to; air tightness, fresh air ventilation, natural lighting, thermal bridging and condensation prevention.				

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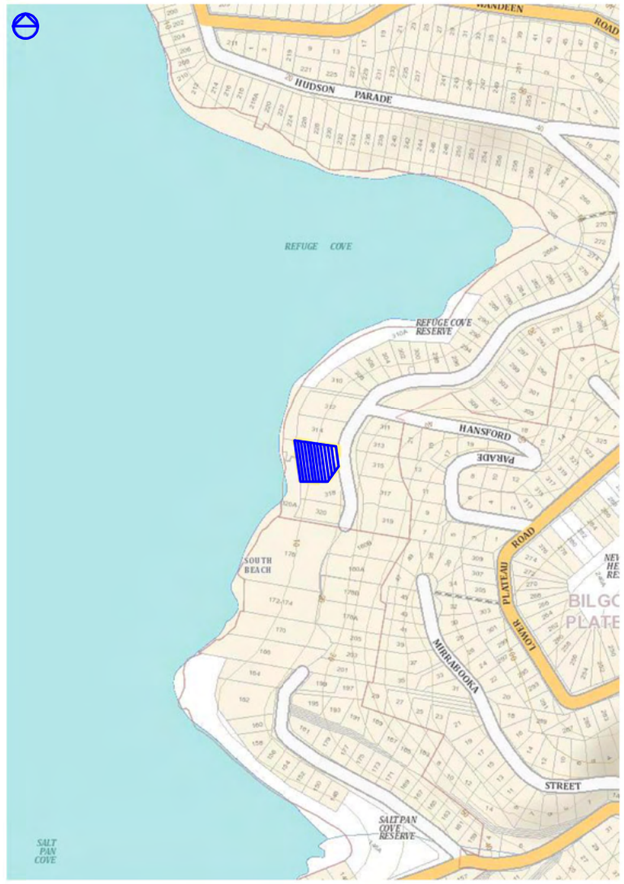
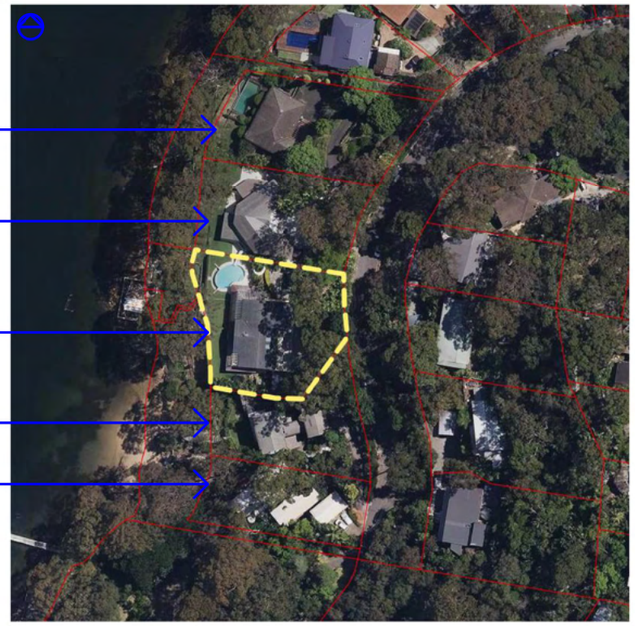
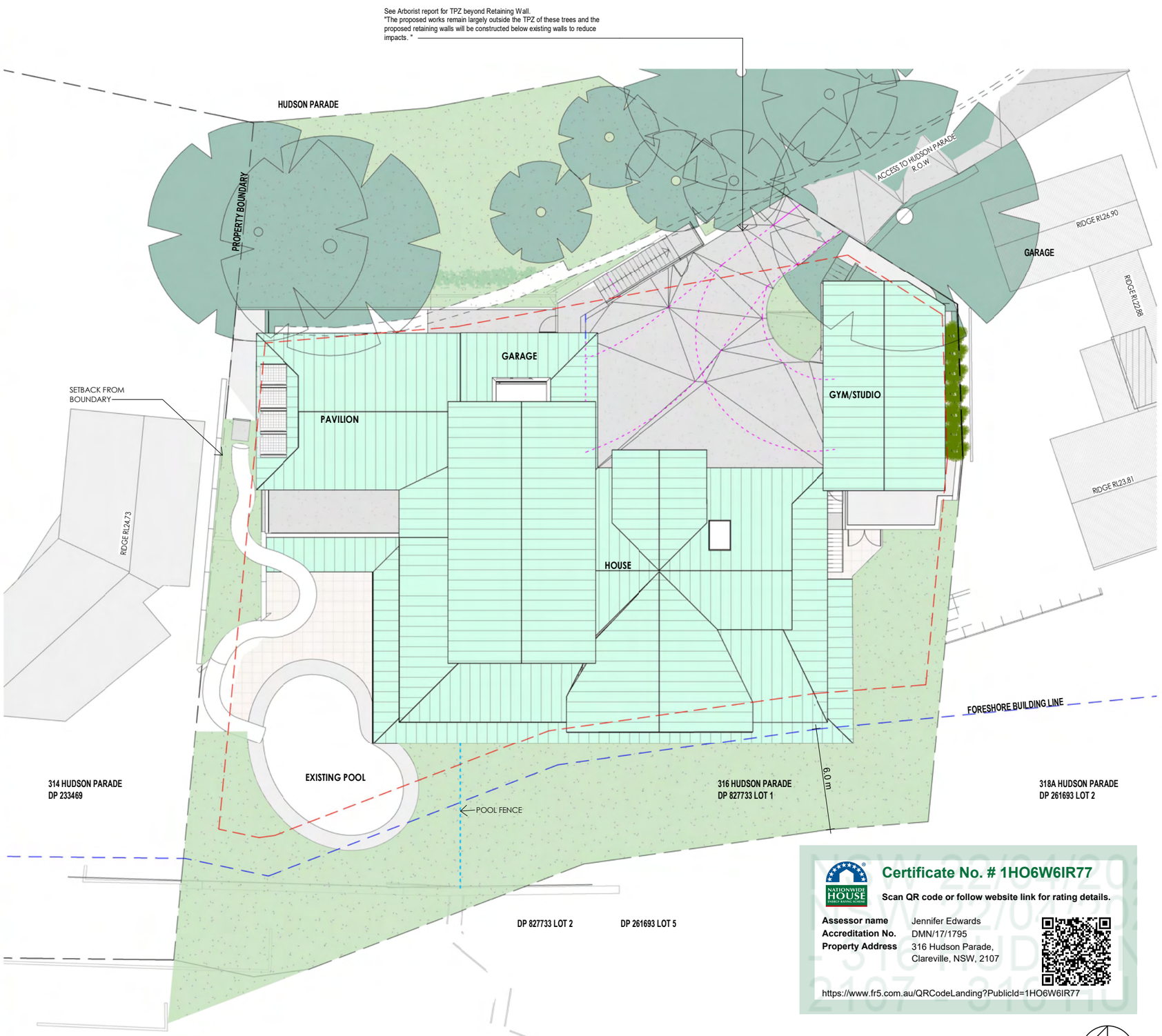
Job No	346-02 316 Hudson Pde	Drawn	Author
Client	TONY WALLS	Checked	Checker
Address	316 Hudson Parade Clareville	Scale	

Design Stage: DA
Title: **BASIX**

No: **DA.0001**
Issue: -
23/04/2025 3:45:55 PM







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Assessor name	Jennifer Edwards
Accreditation No.	DMN/17/1795
Property Address	316 Hudson Parade, Clareville, NSW, 2107

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Job No	346-02 316 Hudson Pde	Drawn	TT
Client	TONY WALLS	Checked	MB
Address	316 Hudson Parade Clareville	Scale	1 : 250

Design Stage: DA

Title: **LOCATION PLAN**

No: **DA.0002**

Issue: -

23/04/2025 3:46:01 PM

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Accreditation No. DMN/17/1795
Property Address 316 Hudson Parade, Clareville, NSW, 2107

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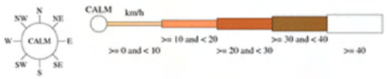
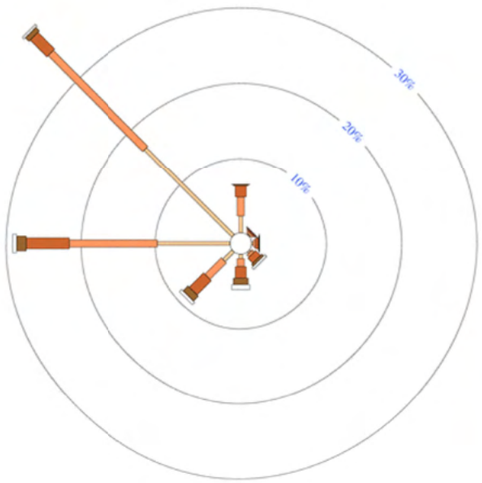
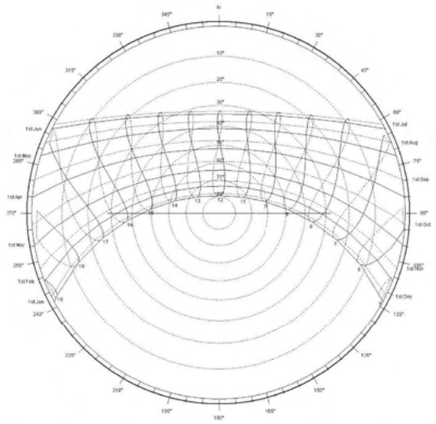


9 am Winter
7029 Total Observations

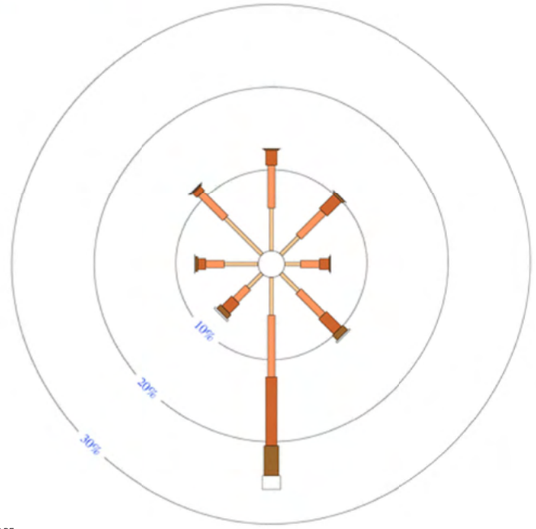
Calm 7%





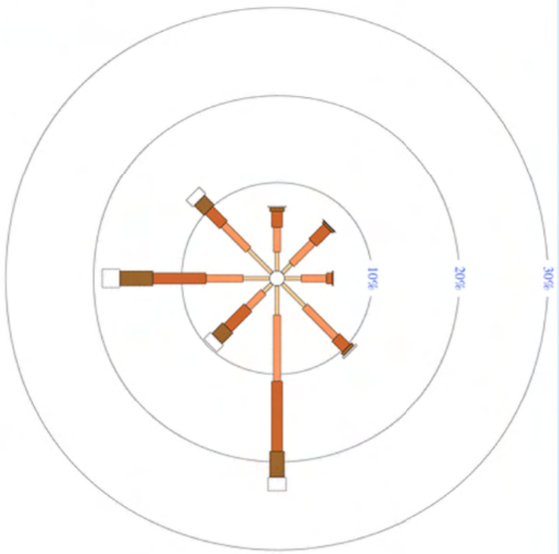
9 am Summer
6716 Total Observations

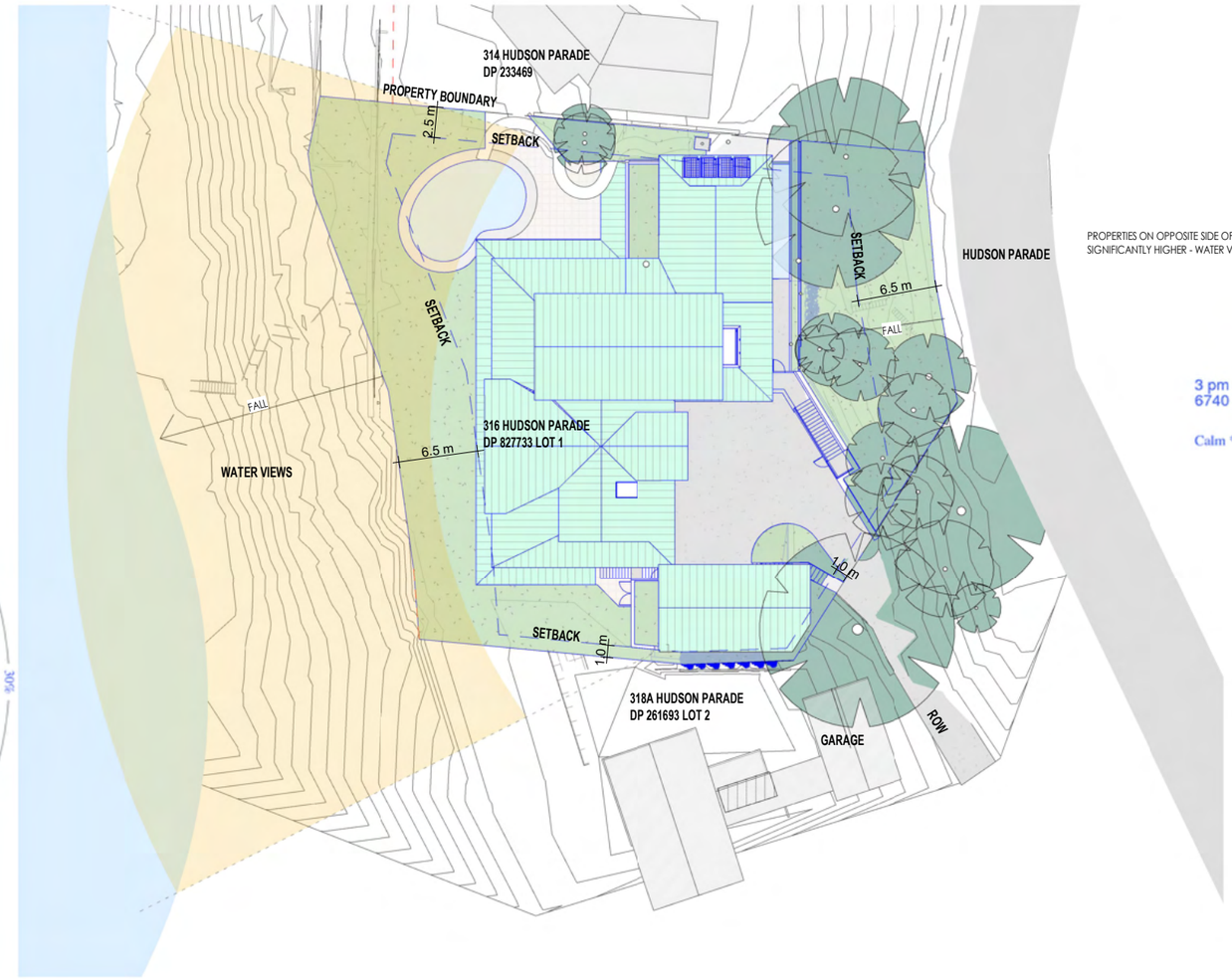
Calm 8%



3 pm Winter
7058 Total Observations

Calm 4%





3 pm Summer
6740 Total Observations

Calm *

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Issue	Date	Amendment
2	16-04-25	DA
1	09-04-25	DA-P

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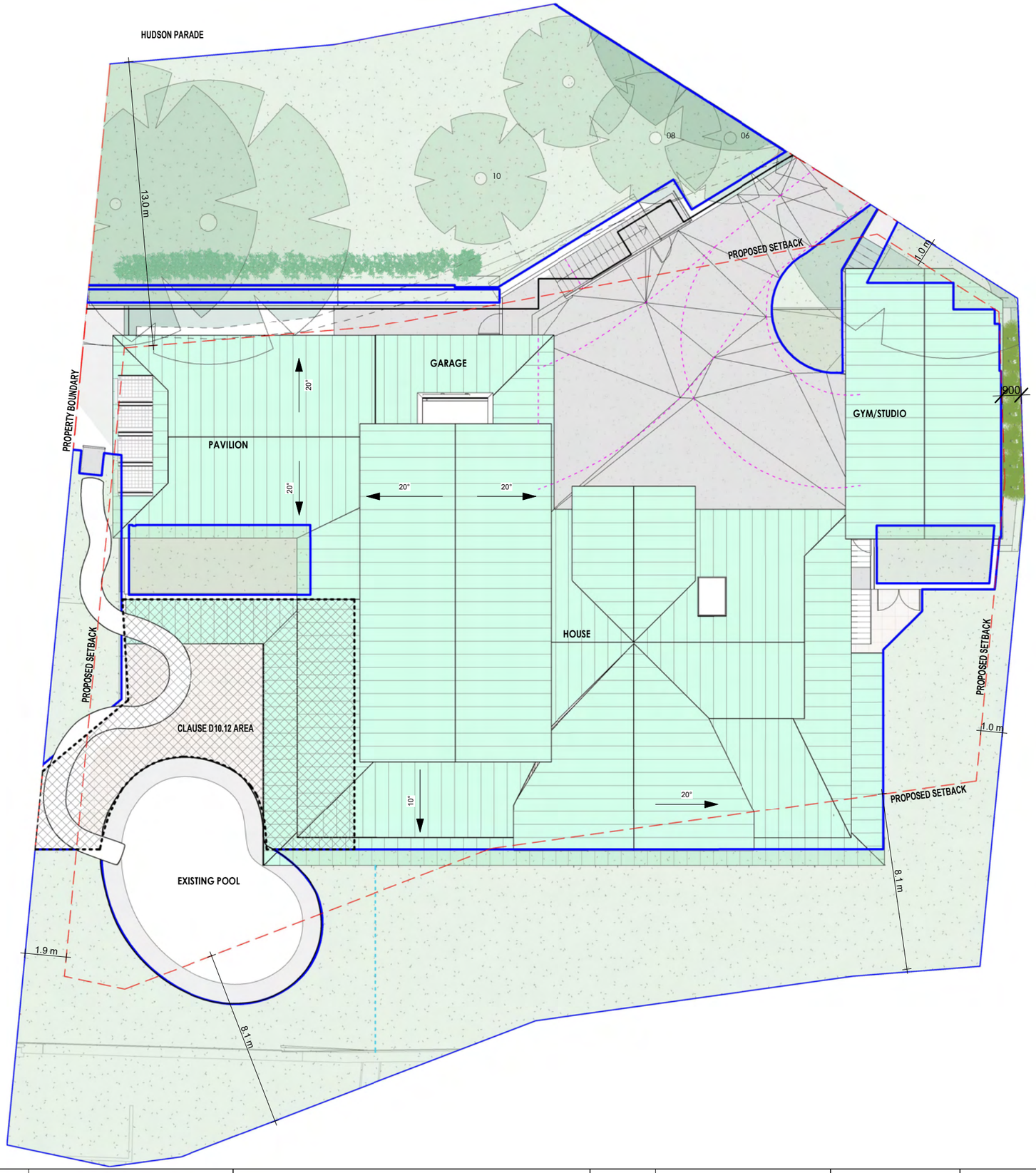
Job No 346-02 316 Hudson Pde
Client TONY WALLS
Address 316 Hudson Parade Clareville

Drawn TT
Checked MB
Scale **1 : 500**

Design Stage DA
Title **SITE ANALYSIS**

No **DA.0101**
Issue -

23/04/2025 3:46:07 PM



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Accreditation No. DMN/17/1795
Property Address 316 Hudson Parade, Clareville, NSW, 2107

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SITE AREA	= 1902 m2		
LANDSCAPE REQUIREMENT 60%	= 1141.2m2	= 60.0%	
PROPOSED SOFT LANDSCAPE AREA	= 840.6 m2	= 44.2%	
DCP Clause D10.12 LANDSCAPED AREA - GENERAL Variations			
ADD 6% of paved area for outdoor recreation	= 114.1 m2	= 6 %	
TOTAL LANDSCAPE AREA PROVIDED	= 954.7 m2	= 50.2%	

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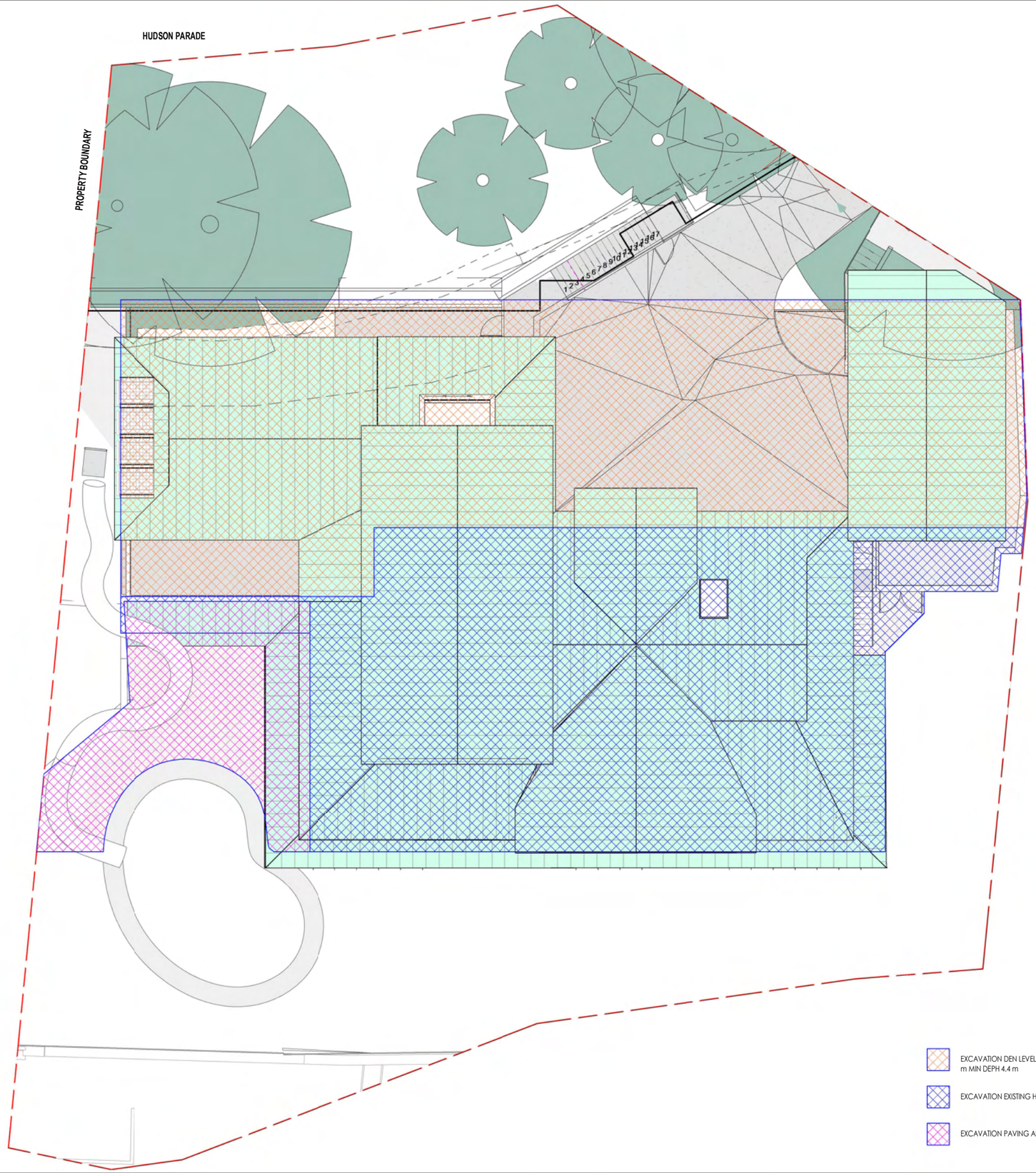
Job No 346-02 316 Hudson Pde
Client TONY WALLS
Address 316 Hudson Parade Clareville

Drawn TT
Checked MB
Scale **1 : 200**

Design Stage DA
Title **SITE COVER**

No **DA.0102**
Issue -

23/04/2025 3:46:25 PM



EXCAVATION DEN LEVEL FROM EXISTING DRIVEWAY AND GARDEN GROUND LEVEL, MAX DEPH 8 m MIN DEPH 4.4 m

EXCAVATION EXISTING HOUSE SLAB, 200 mm DROP FLOOR LEVEL, DEMOLISH SLAB TO DROP LEVEL

EXCAVATION PAVING AREA, 200 mm LEVEL DOWN ACCORDING TO NEW FLOOR LEVEL

Certificate No. # 1HO6W6IR77

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Job No	346-02 316 Hudson Pde	Drawn	TT
Client	TONY WALLS	Checked	MB
Address	316 Hudson Parade Clareville	Scale	1 : 200

Design Stage: DA
Title: **EXCAVATION PLAN**

No: **DA.0103**
Issue: -

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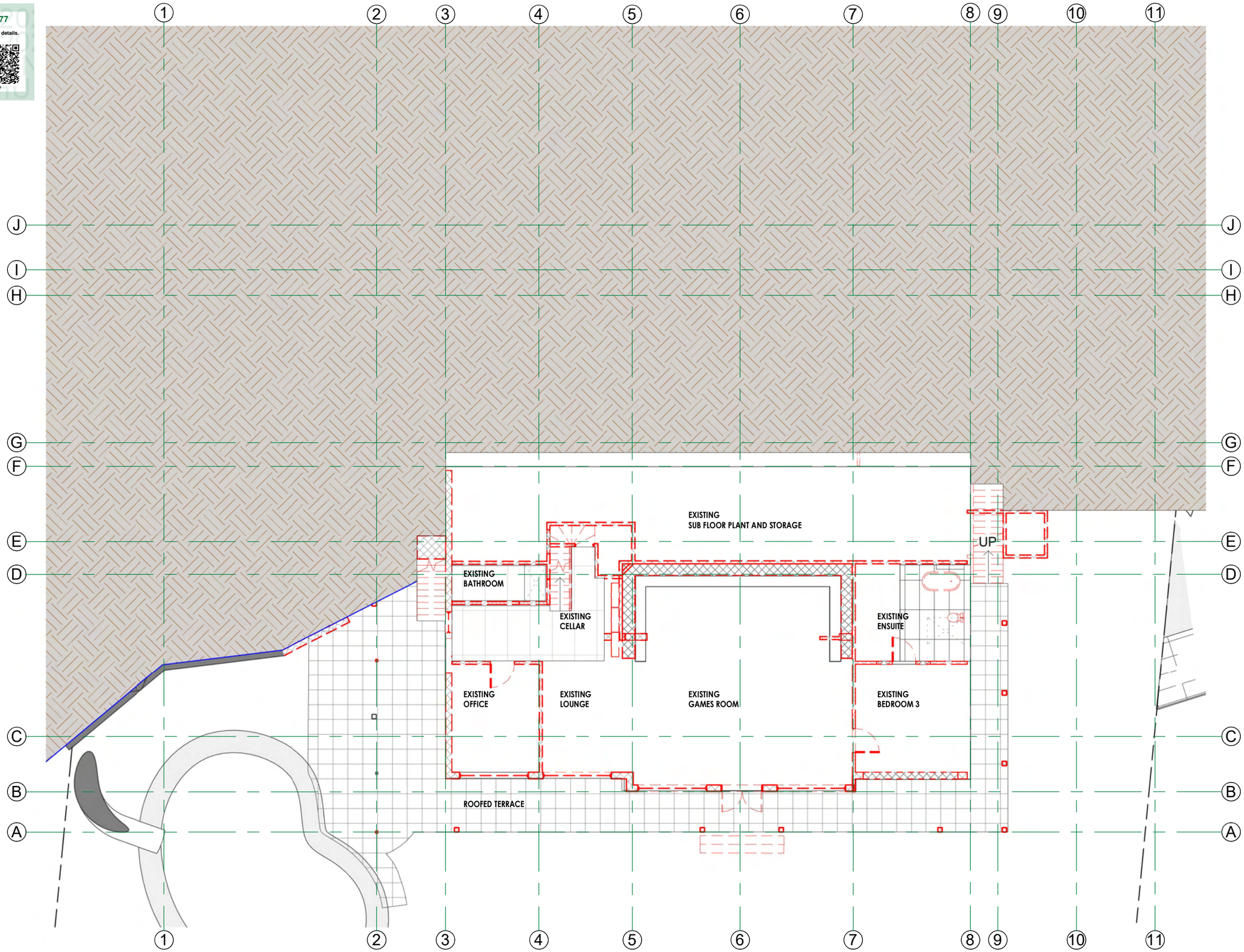

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Job No 346-02 316 Hudson Pde
Client TONY WALLS
Address 316 Hudson Parade Clareville

Drawn TT
Checked MB
Scale **1 : 150**

Design Stage DA
Title **DEMOLITON LEVEL 1**

No **DA.1201**
Issue -

23/04/2025 3:46:42 PM

Certificate No. # 1HO6W6IR77

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Accreditation No.	DMN/17/1795
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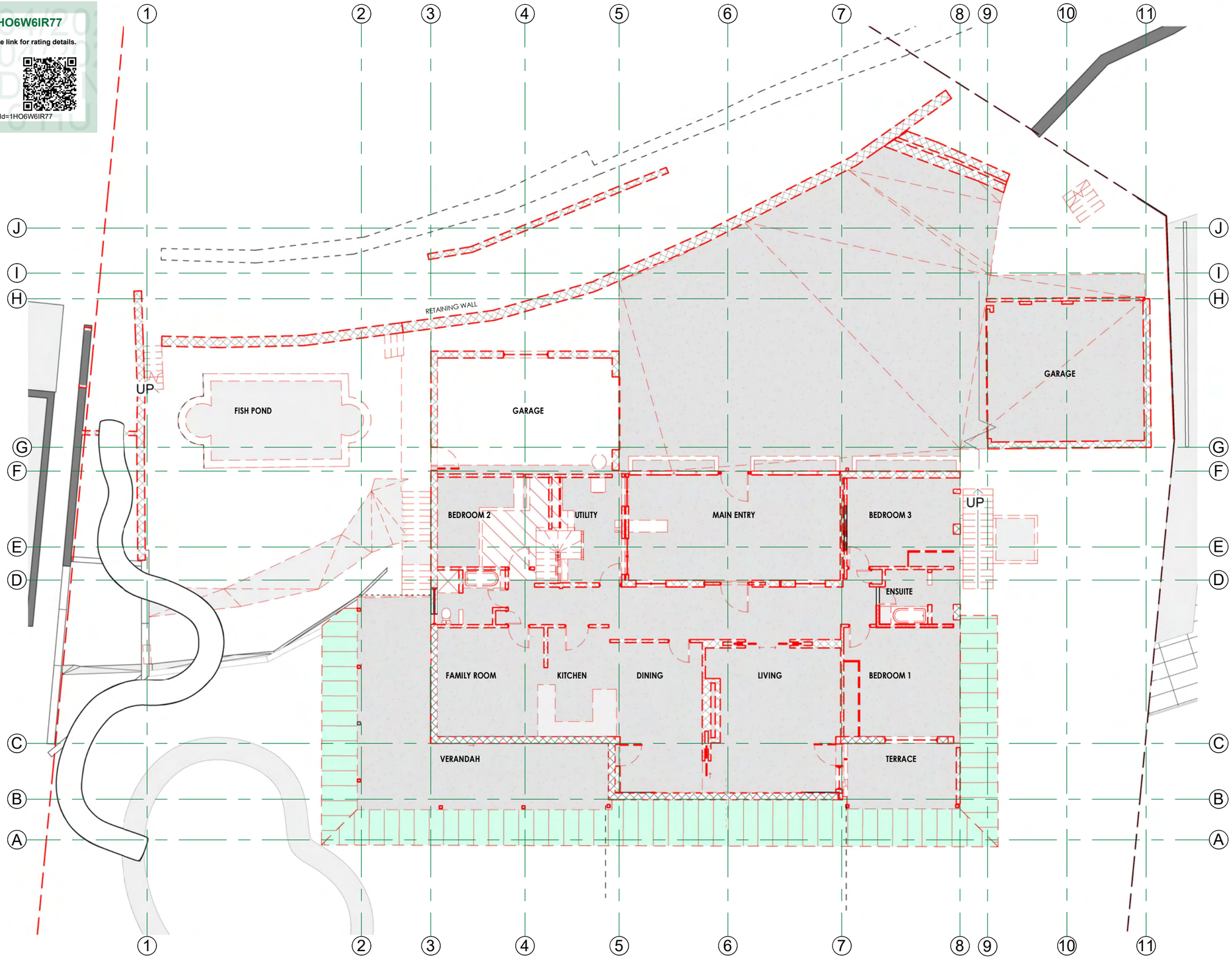

Demolition

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Job No	346-02 316 Hudson Pde	Drawn	TT
Client	TONY WALLS	Checked	MB
Address	316 Hudson Parade Clareville	Scale	**1 : 150**

Design Stage
DA
Title
DEMOLITON LEVEL 2

No
DA.1202
Issue -

23/04/2025
3:46:47 PM

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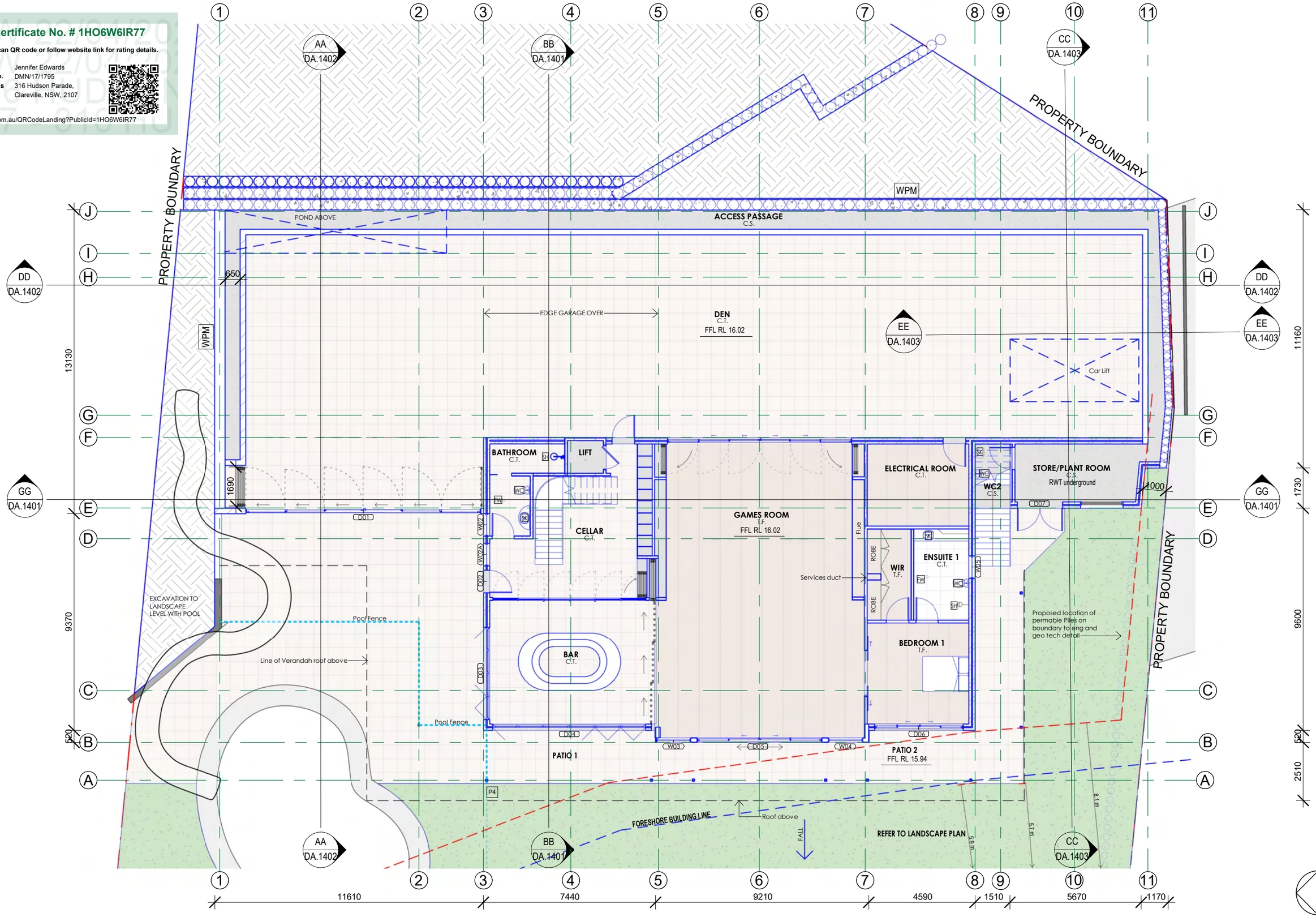

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Issue	Date	Amendment
2	16-04-25	DA
1	09-04-25	DA-P

BAXTER & JACOBSON ARCHITECTS

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EMAIL mark@bja.net.au
WEB www.bja.net.au

Job No	346-02 316 Hudson Pde	Drawn	TT
Client	TONY WALLS	Checked	MB
Address	316 Hudson Parade Clareville	Scale	1 : 150

Design Stage: DA

Title: **PROPOSED LEVEL 1**

No: **DA.1211**

Issue: -

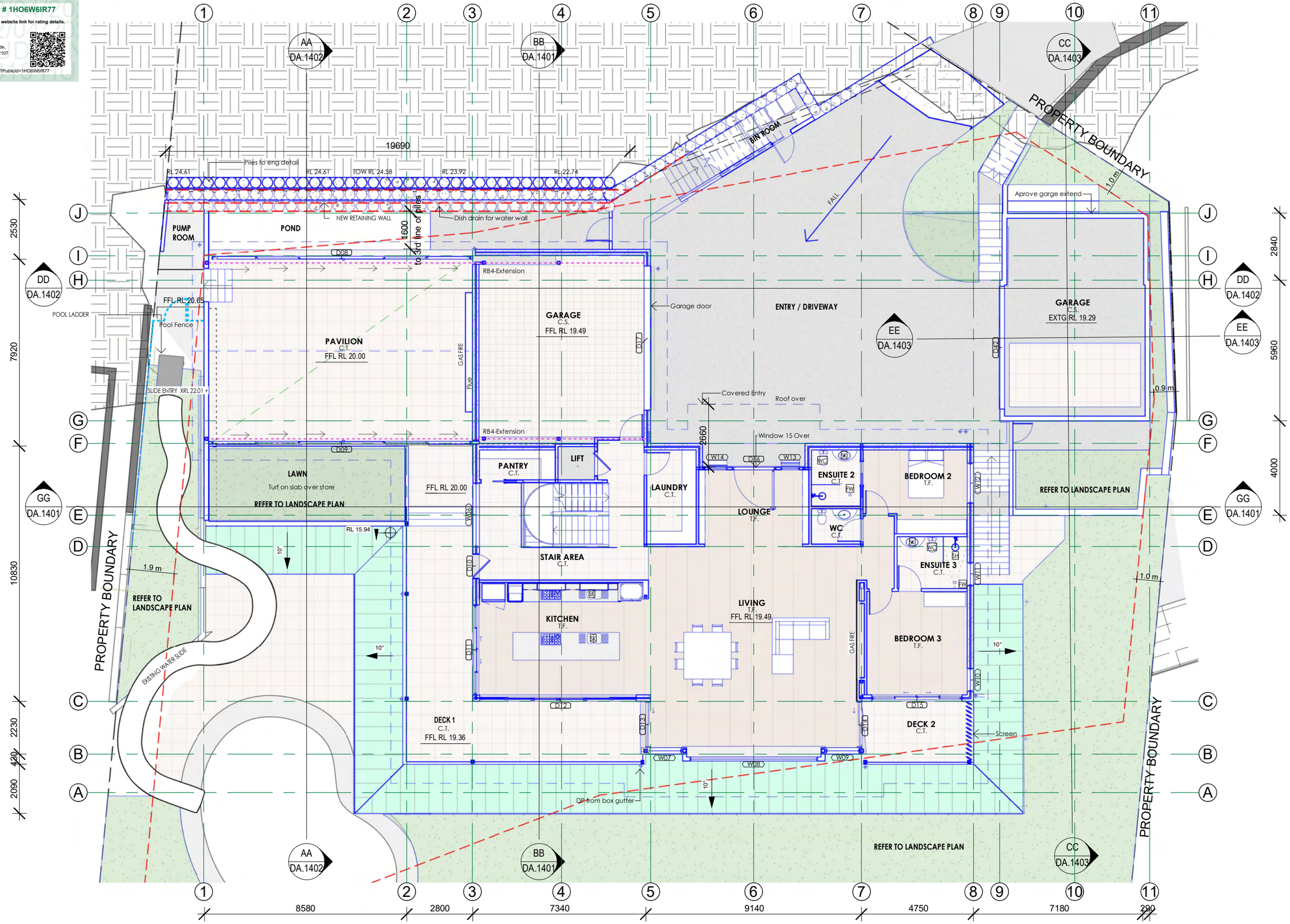
23/04/2025 3:46:52 PM

Certificate No. # 1HO6W6IR77

Scan QR code or follow website link for rating details.

Assessor name: Jennifer Edwards
Accreditation No.: DMN/17/1795
Property Address: 316 Hudson Parade, Clareville, NSW, 2107

https://www.fr5.com.au/QRCodeLanding?PublicId=1HO6W6IR77



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2	16-04-25	DA
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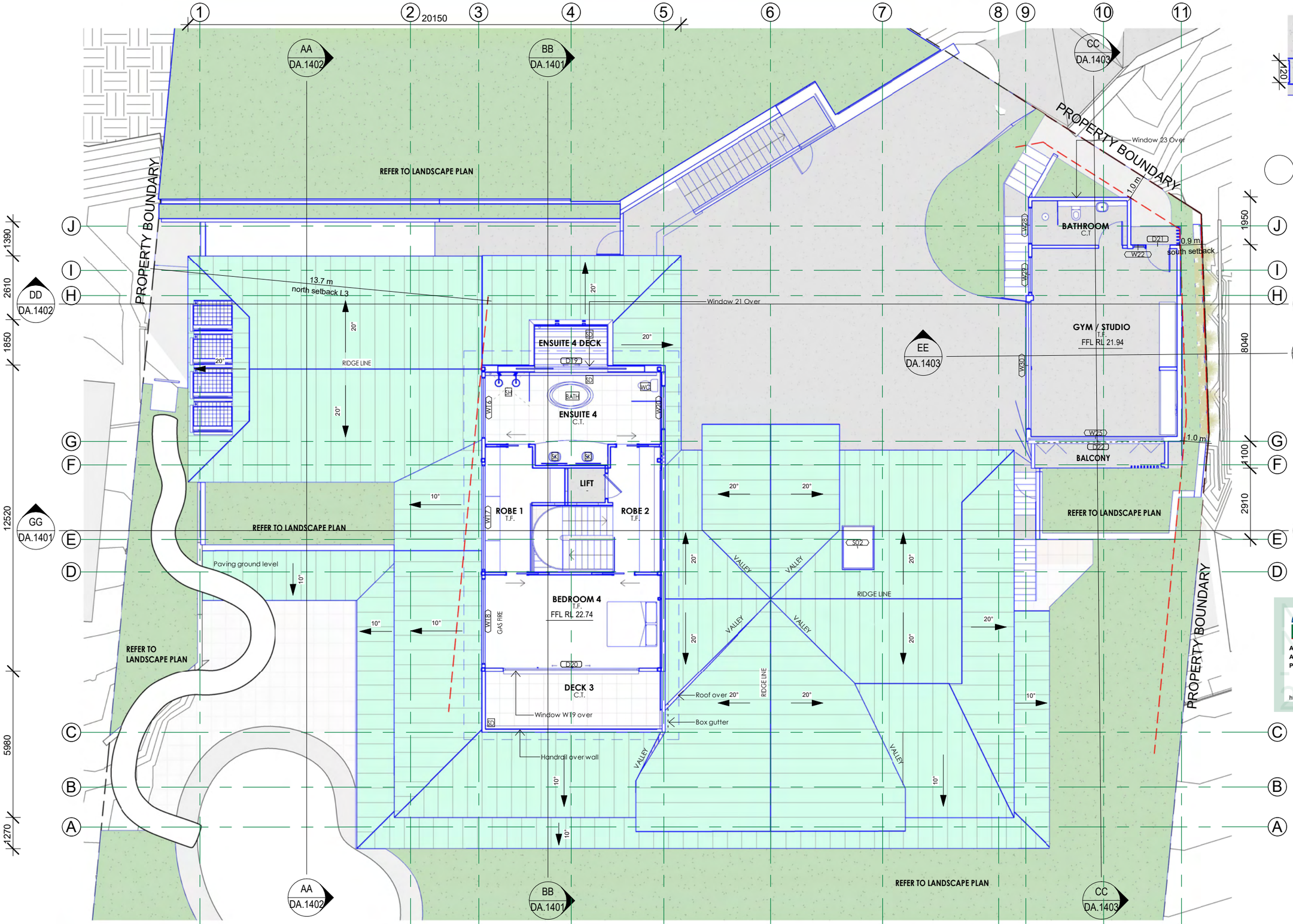
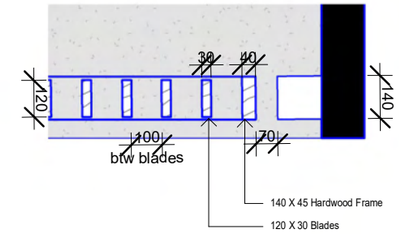
Job No: 346-02 316 Hudson Pde
Client: TONY WALLS
Address: 316 Hudson Parade Clareville
Drawn: TT
Checked: MB
Scale: 1 : 150
Design Stage: DA
Title: **PROPOSED LEVEL 2**
No: **DA.1212**
Issue: -
23/04/2025 3:47:01 PM





Detail Privacy Screen
1 : 20

Certificate No. # 1HO6W6IR77

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Assessor name	Jennifer Edwards
Accreditation No.	DMN/17/1795
Property Address	316 Hudson Parade, Clareville, NSW, 2107

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CC.606 **Level 3 Floor Plan**
1 : 150

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1	09-04-25	DA-P

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Job No	346-02 316 Hudson Pde	Drawn	TT
Client	TONY WALLS	Checked	MB
Address	316 Hudson Parade Clareville	Scale	As indicated

Design Stage: DA
Title: **PROPOSED LEVEL 3**

No: **DA.1213**
Issue: -
23/04/2025 3:47:27 PM

Certificate No. # 1HO6W6IR77

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Accreditation No.	DMN/17/1795
Property Address	316 Hudson Parade, Clareville, NSW, 2107

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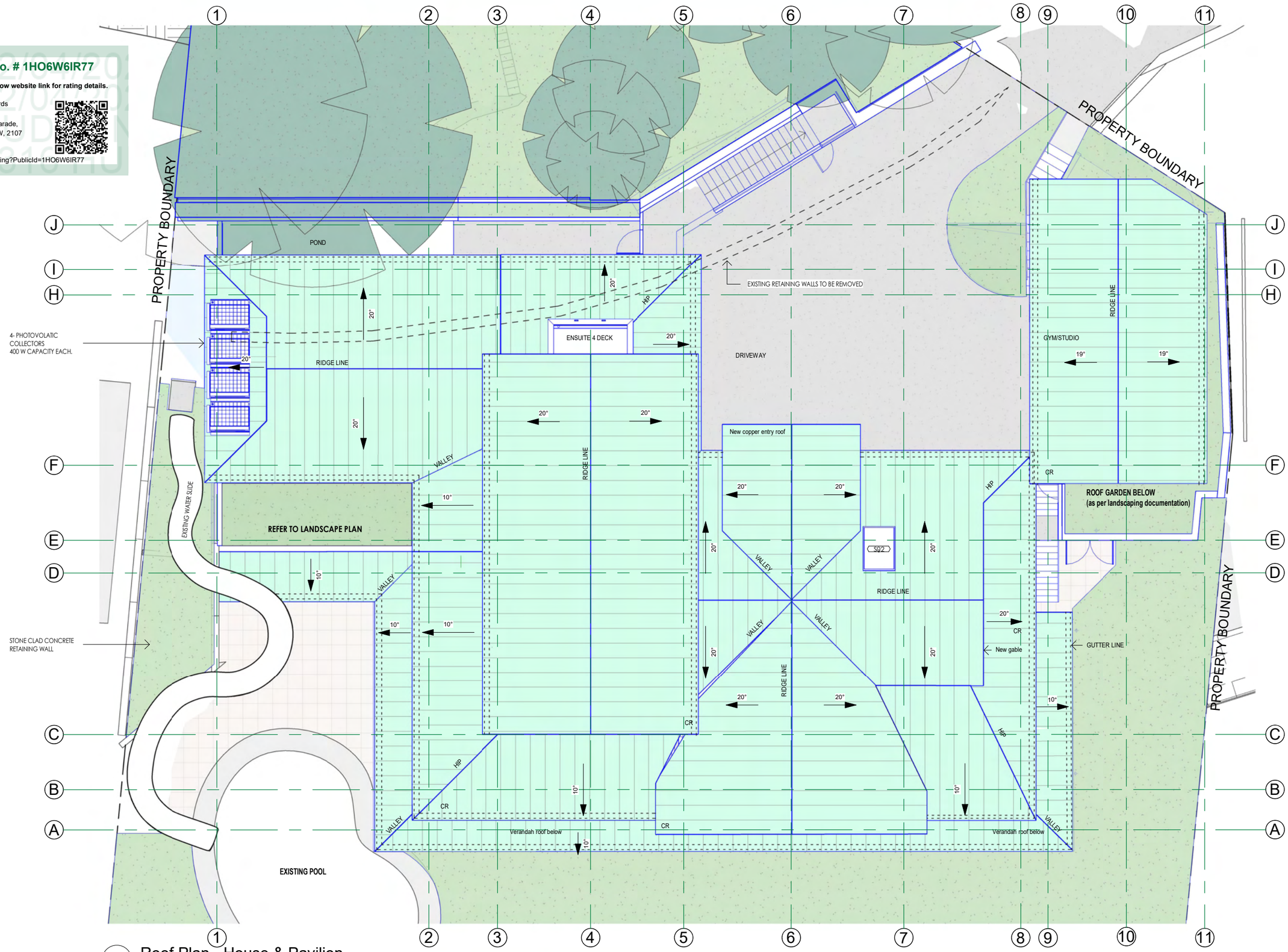

CC.610 Roof Plan - House & Pavilion

1 : 150

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1	09-04-25	DA-P

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Job No	346-02 316 Hudson Pde	Drawn	TT
Client	TONY WALLS	Checked	MB
Address	316 Hudson Parade Clareville	Scale	**1 : 150**

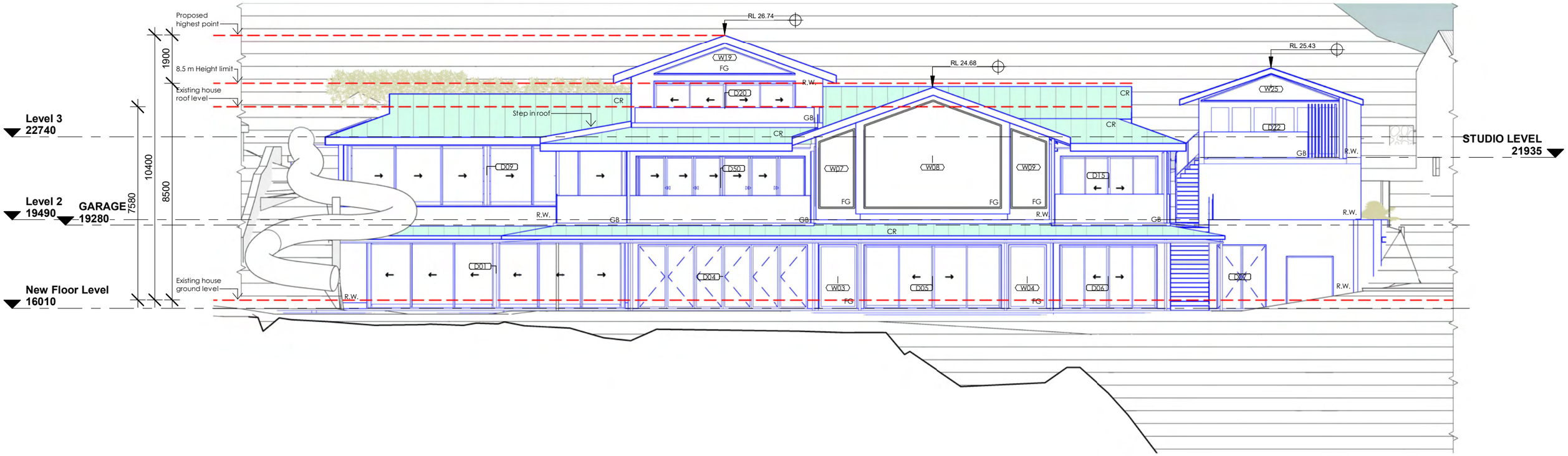
Design Stage: DA

Title: **PROPOSED ROOF PLAN**

No: **DA.1214**

Issue: -

23/04/2025 3:47:38 PM



Certificate No. # 1HO6W6IR77

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Assessor name Jennifer Edwards
Accreditation No. DMN/17/1795
Property Address 316 Hudson Parade, Clareville, NSW, 2107

https://www.fr5.com.au/QRCodeLanding?PublicId=1HO6W6IR77

LEGEND:

CR - COPPER ROOF
CC - COPPER CLADDING
R.W.- RENDERED WALL
GB - GLASS BALUSTRADE
FG - FIXED GLASS

NOTES:

- CHECK ALL DIMENSIONS ON SITE
- WINDOWS AND DOORS ARE TIMBER FRAMED, SINGLE CLEAR GLAZING GENERALLY

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2	16-04-25	DA
1	09-04-25	DA-P

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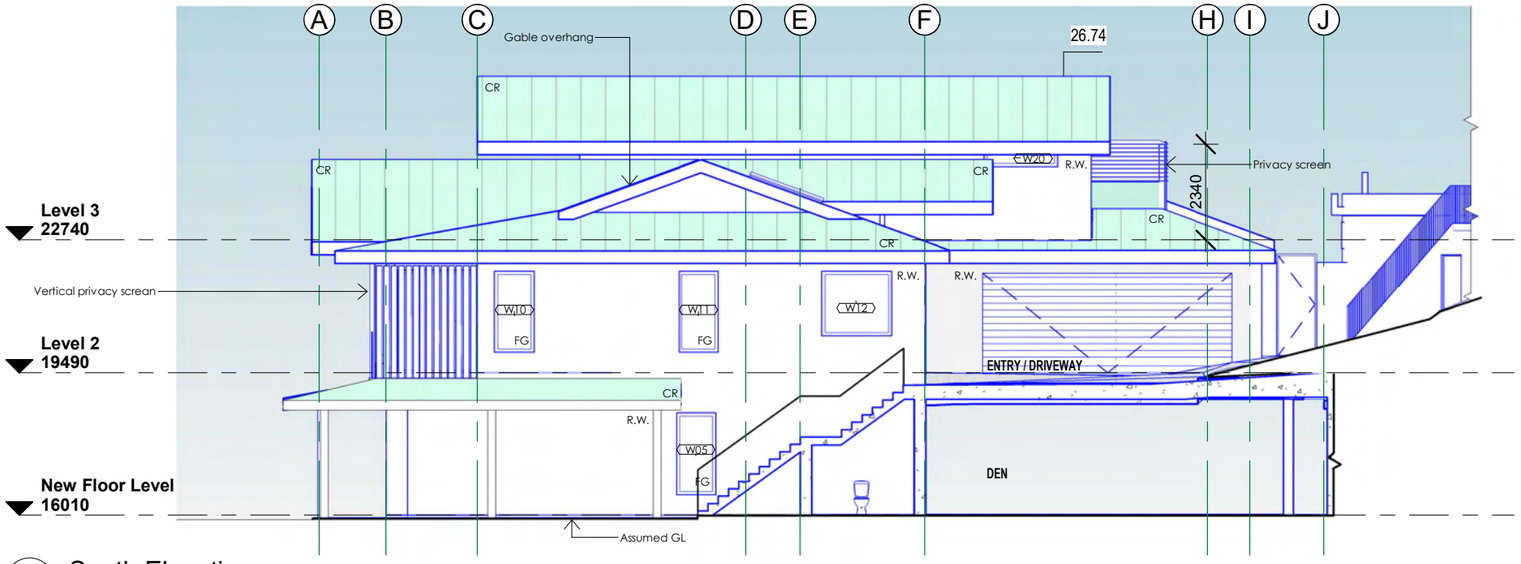
Job No	346-02 316 Hudson Pde	Drawn	TT
Client	TONY WALLS	Checked	MB
Address	316 Hudson Parade Clareville	Scale	1 : 150

Design Stage
DA
Title
ELEVATION WEST

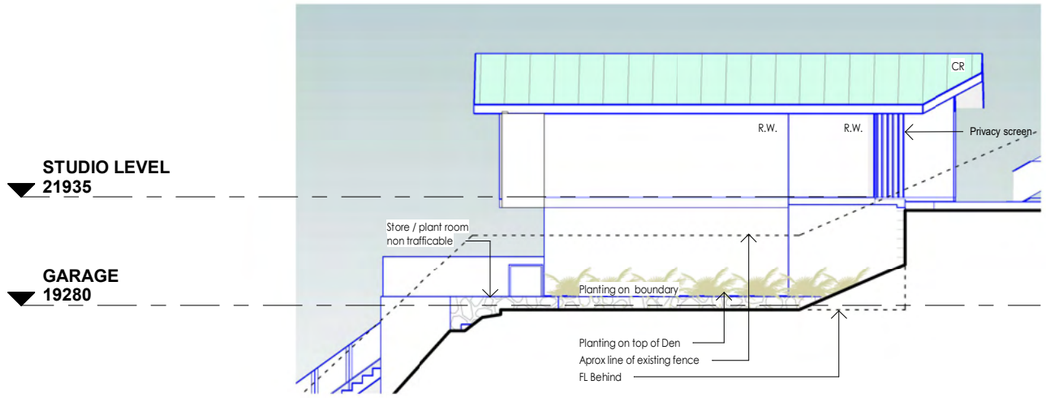
No
DA.1301
Issue -

23/04/2025
3:47:45 PM



South Elevation

1 : 150



Gym / Studio South Elevation

1 : 150

Certificate No. # 1HO6W6IR77

Scan QR code or follow website link for rating details.

Assessor name	Jennifer Edwards
Accreditation No.	DMN/17/1795
Property Address	316 Hudson Parade, Clareville, NSW, 2107

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Job No	346-02 316 Hudson Pde	Drawn	TT	Design Stage DA
Client	TONY WALLS	Checked	MB	Title **ELEVATION SOUTH**
Address	316 Hudson Parade Clareville	Scale	**1 : 150**	

No **DA.1302**
Issue -
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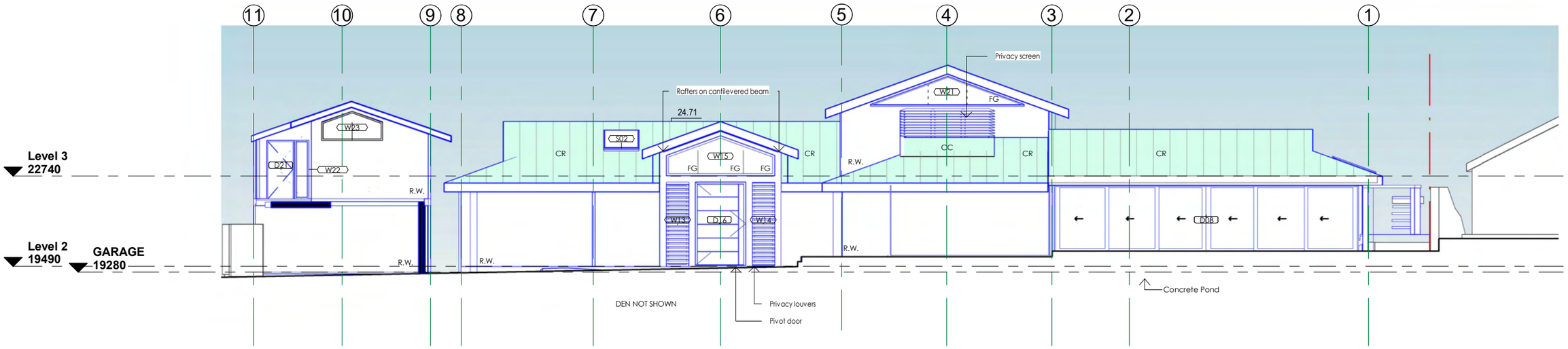

East Elevation

1 : 150

Certificate No. # 1HO6W6IR77

Scan QR code or follow website link for rating details.

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Accreditation No.	DMN/17/1795
Property Address	316 Hudson Parade, Clareville, NSW, 2107

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LEGEND:

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1	09-04-25	DA-P

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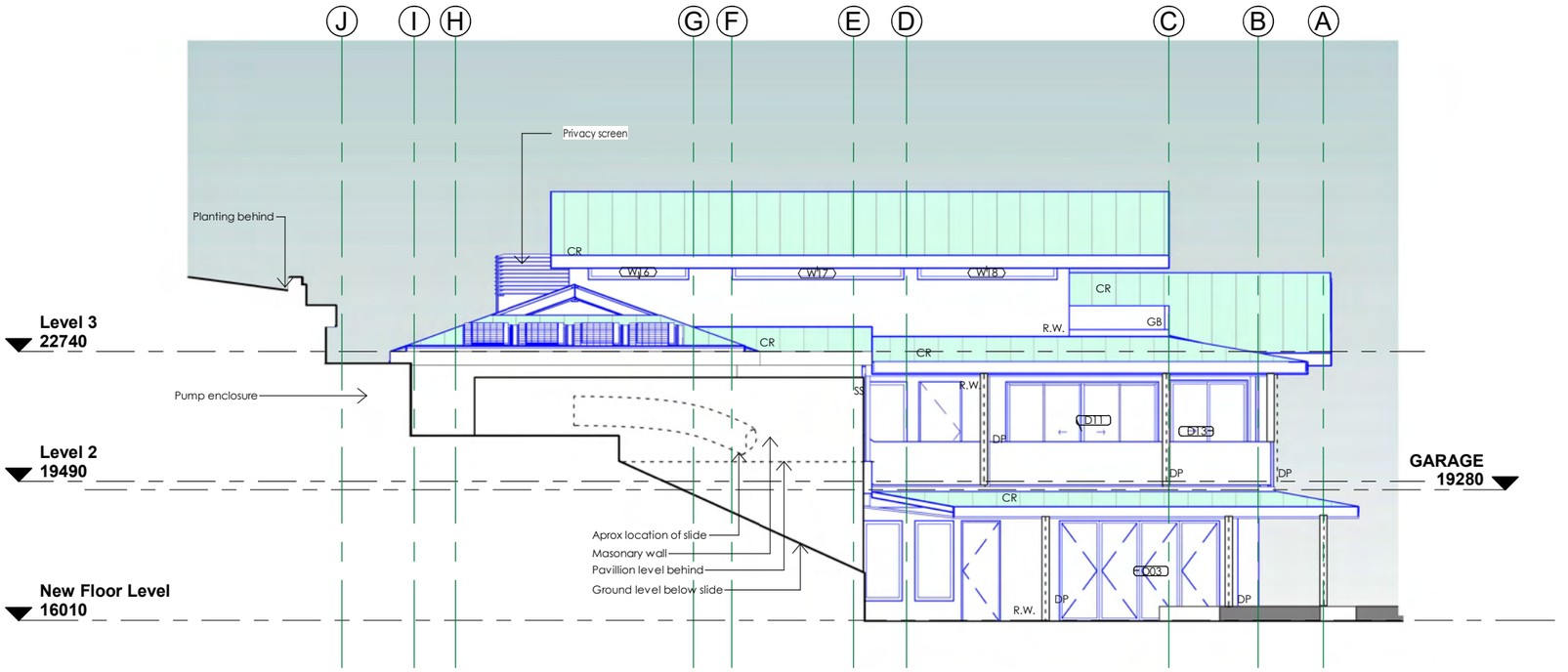
Job No	346-02 316 Hudson Pde	Drawn	TT
Client	TONY WALLS	Checked	MB
Address	316 Hudson Parade Clareville	Scale	**1 : 150**

Design Stage
DA
Title
ELEVATION EAST

No
DA.1303
Issue -

23/04/2025
3:48:03 PM



North Elevation

1 : 150

Certificate No. # 1HO6W6IR77

Scan QR code or follow website link for rating details.

Assessor name	Jennifer Edwards
Accreditation No.	DMN/17/1795
Property Address	316 Hudson Parade, Clareville, NSW, 2107

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LEGEND:

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R.W.- RENDERED WALL
GB - GLASS BALUSTRADE
FG - FIXED GLASS

NOTES:

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Issue	Date	Amendment
2	16-04-25	DA
1	09-04-25	DA-P

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Job No	346-02 316 Hudson Pde	Drawn	TT
Client	TONY WALLS	Checked	MB
Address	316 Hudson Parade Clareville	Scale	1 : 150

Design Stage
DA
Title
ELEVATION NORTH

No
DA.1304
Issue -

23/04/2025
3:48:12 PM

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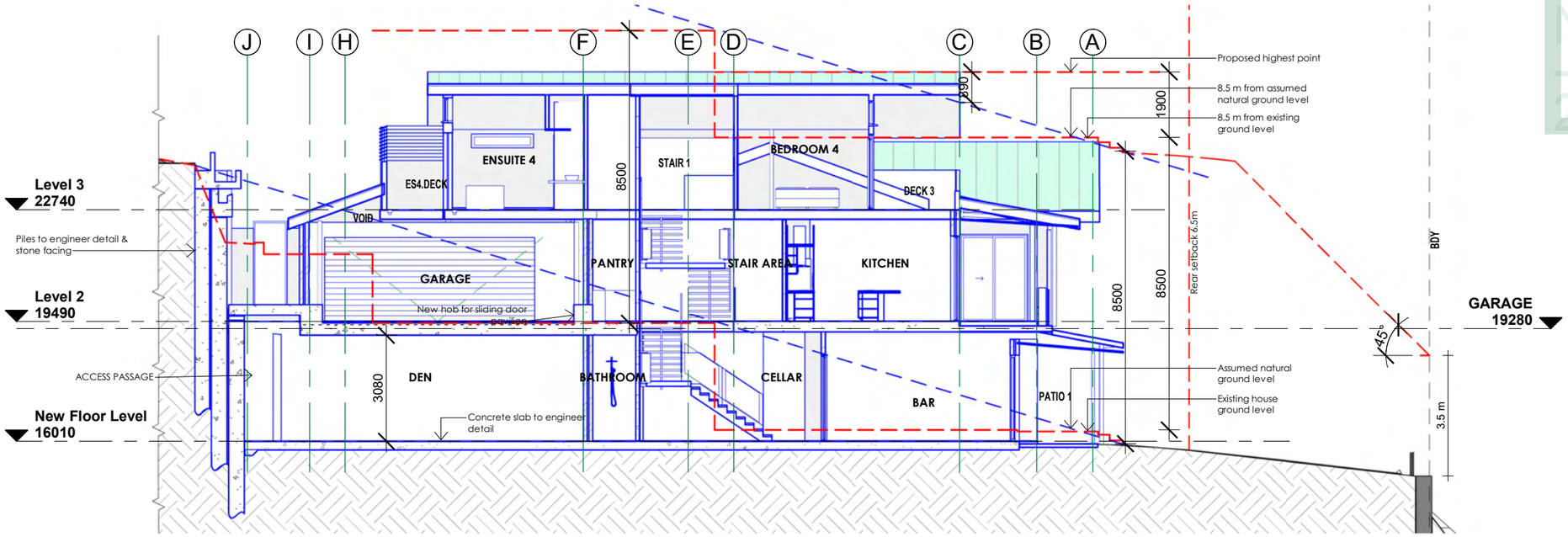
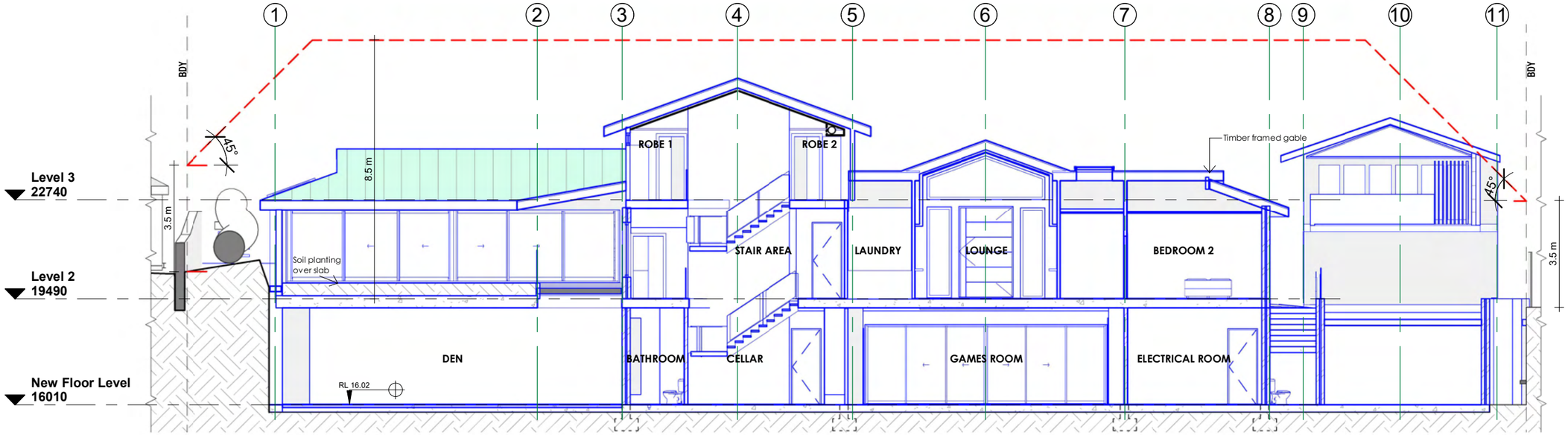


DA.1211 Section BB.
1 : 150



CD.702 Section GG
1 : 150

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1	09-04-25	DA-P

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Nominated Architects
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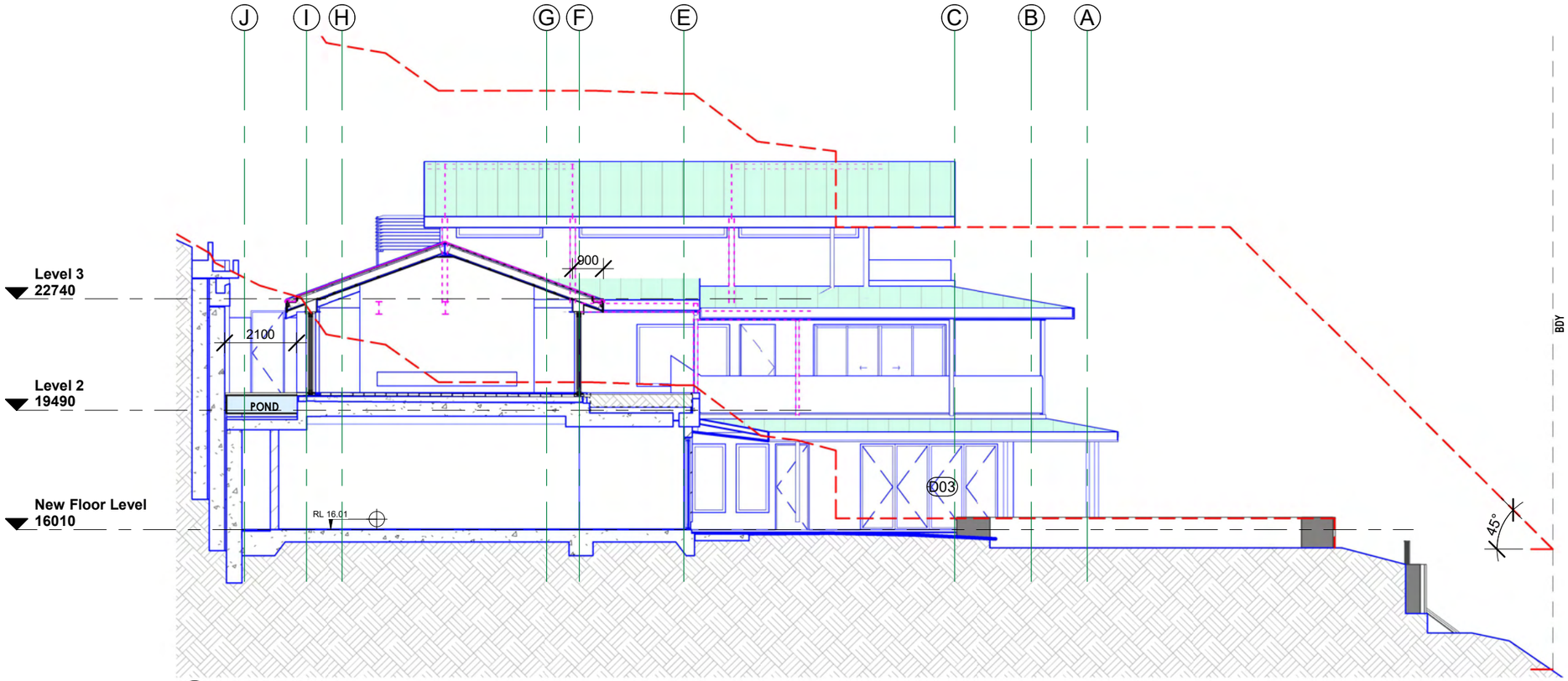
Job No	346-02 316 Hudson Pde	Drawn	TT
Client	TONY WALLS	Checked	MB
Address	316 Hudson Parade Clareville	Scale	1 : 150

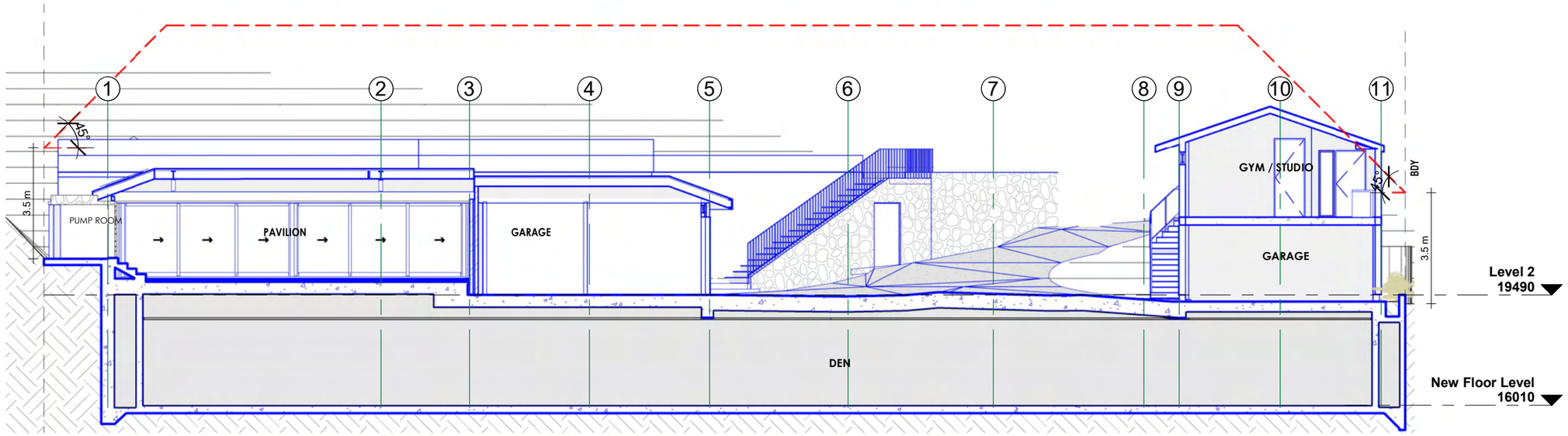
Design Stage: DA
Title: **SECTION BB AND GG**

No: **DA.1401**
Issue: -

23/04/2025 3:48:18 PM



DA.1211 SECTION AA
1 : 150



DA.1211 SECTION DD
1 : 150

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Assessor name Jennifer Edwards
Accreditation No. DMN/17/1795
Property Address 316 Hudson Parade, Clareville, NSW, 2107
https://www.fr5.com.au/QRCodeLanding?PublicId=1HO6W6IR77

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Issue	Date	Amendment
2	16-04-25	DA
1	09-04-25	DA-P

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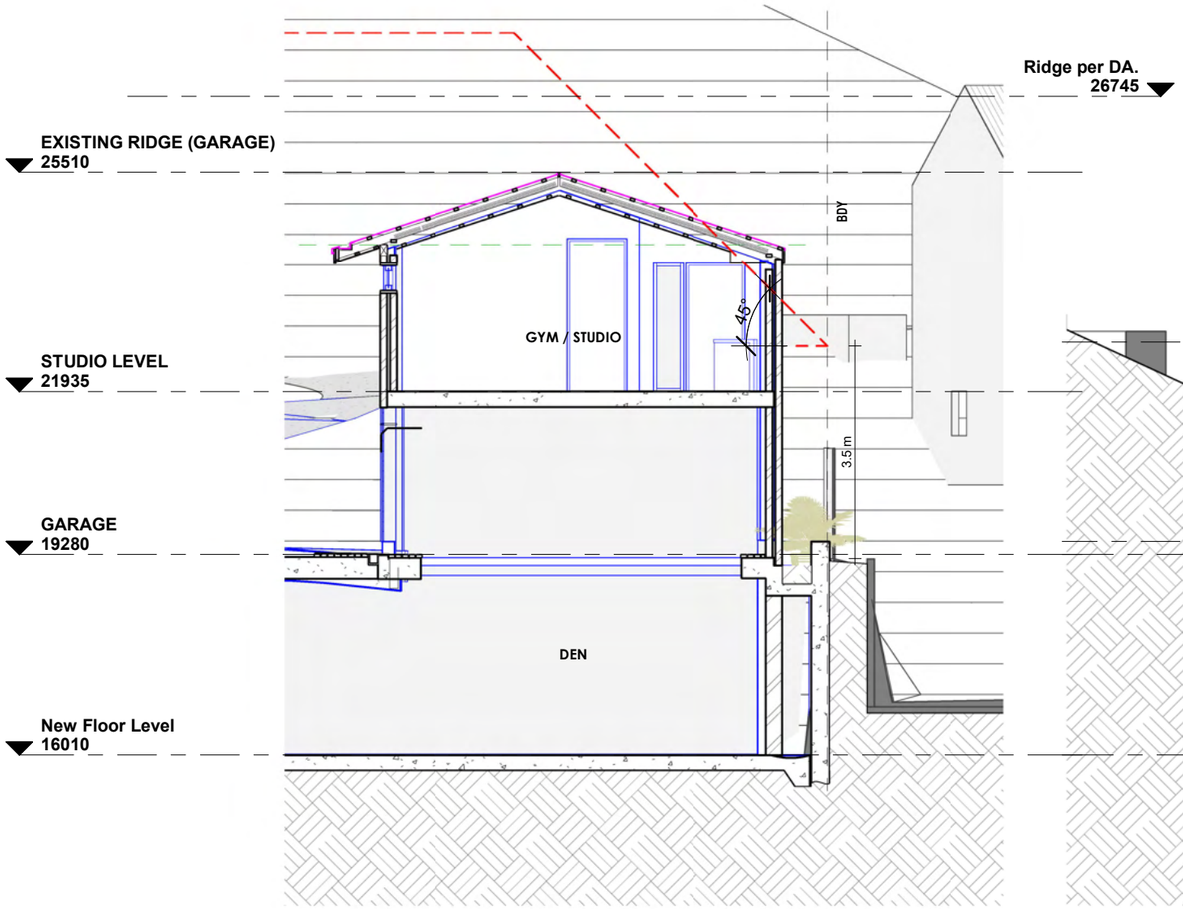
Job No	346-02 316 Hudson Pde	Drawn	TT
Client	TONY WALLS	Checked	MB
Address	316 Hudson Parade Clareville	Scale	1 : 150

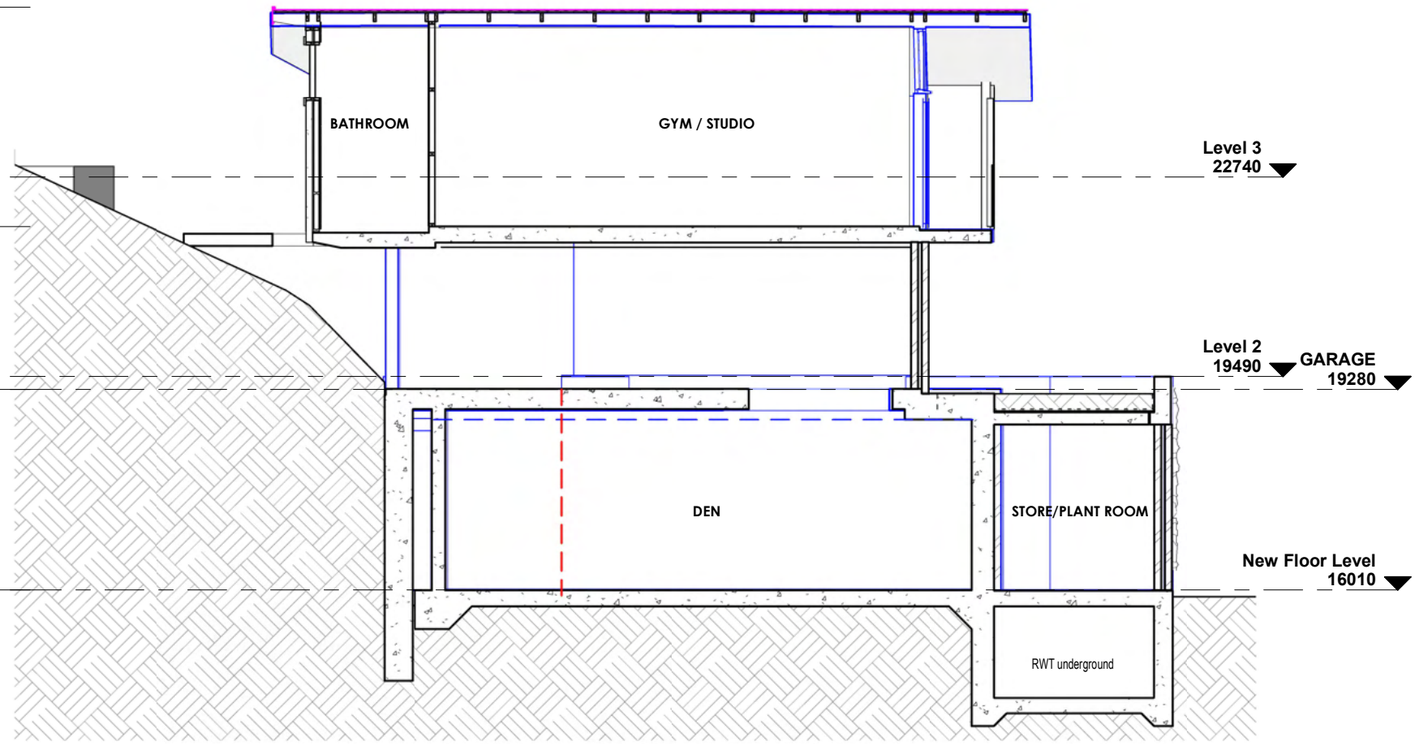
Design Stage
DA
Title
SECTION AA AND DD

No
DA.1402
Issue -

23/04/2025
3:48:27 PM



DA.1211 SECTION EE
1 : 100



DA.1211 SECTION CC
1 : 100

Certificate No. # 1HO6W6IR77

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Assessor name	Jennifer Edwards
Accreditation No.	DMN/17/1795
Property Address	316 Hudson Parade, Clareville, NSW, 2107

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Issue	Date	Amendment
2	16-04-25	DA
1	09-04-25	DA-P

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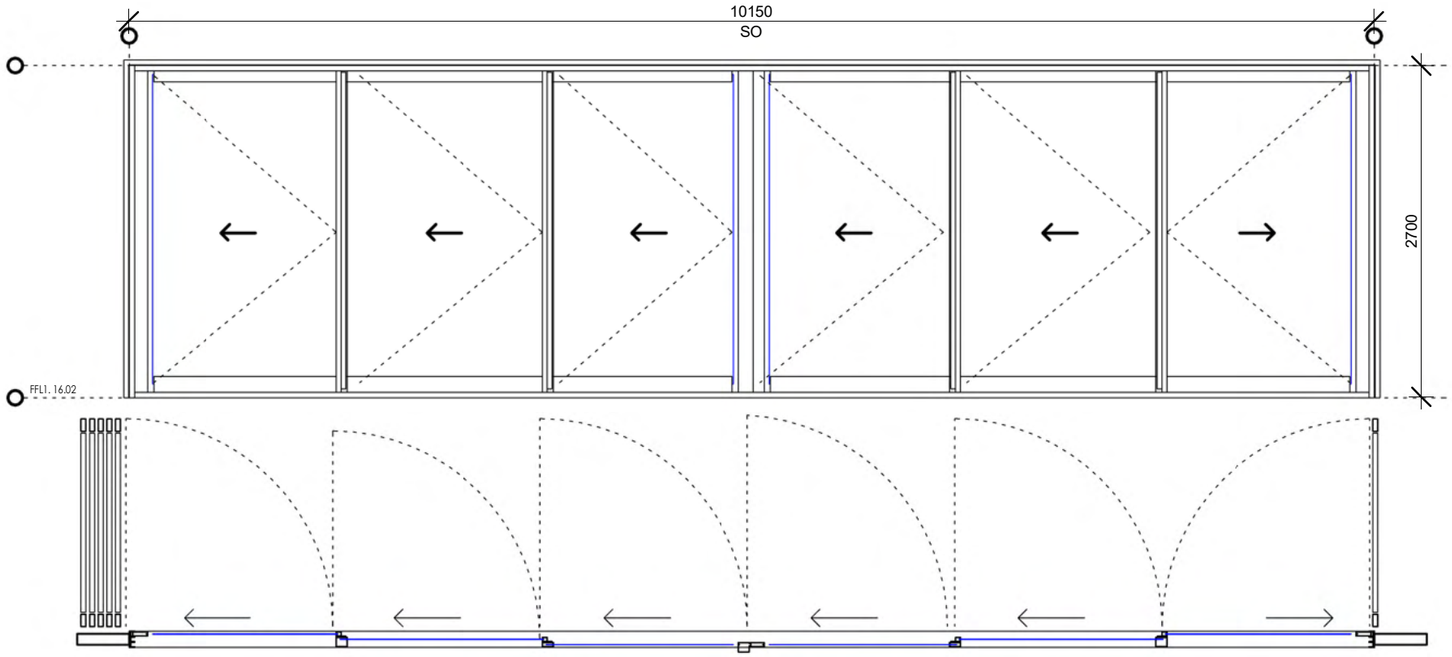
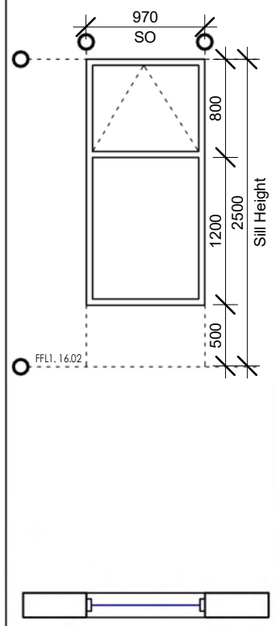
Job No	346-02 316 Hudson Pde
Client	TONY WALLS
Address	316 Hudson Parade Clareville
Drawn	TT
Checked	MB
Scale	1 : 100
Design Stage	DA
Title	SECTION EE -CC
No	DA.1403
Issue	-

23/04/2025 3:48:35 PM

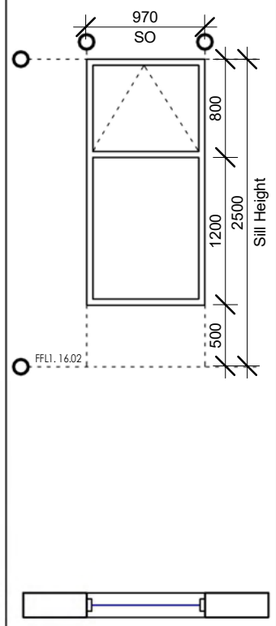


D01 Den Level 1
27.4 sqm



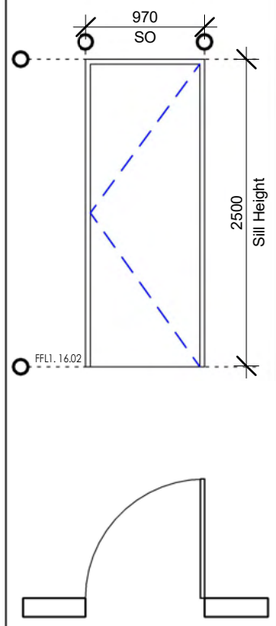
W02 Bathroom Level 1
2 sqm

Timber Frame
Frosted Glazed



W02A Cellar Level 1
2 sqm

Timber Frame



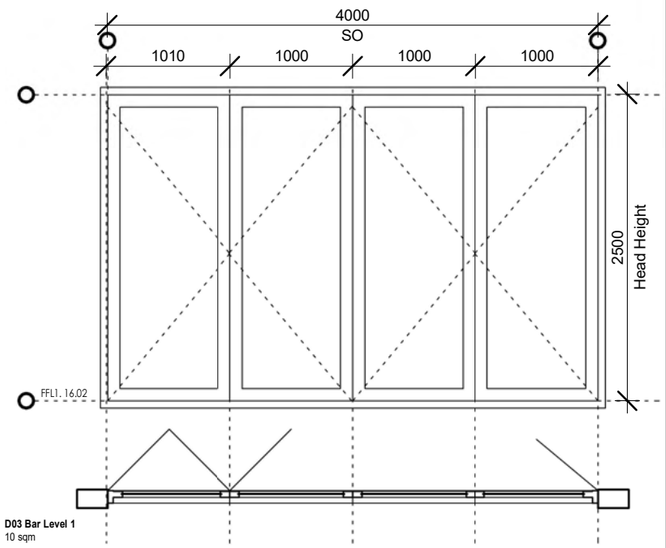
D02 Cellar Level 1
2.4 sqm

Certificate No. # 1HO6W6IR77

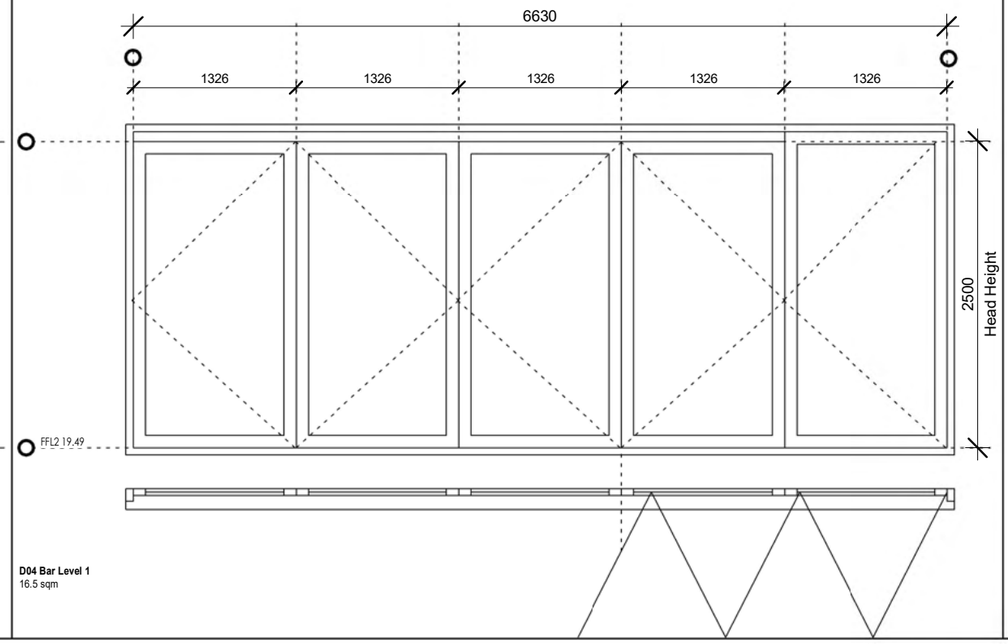
Scan QR code or follow website link for rating details.

Assessor name	Jennifer Edwards
Accreditation No.	DMN/17/1795
Property Address	316 Hudson Parade, Clareville, NSW, 2107

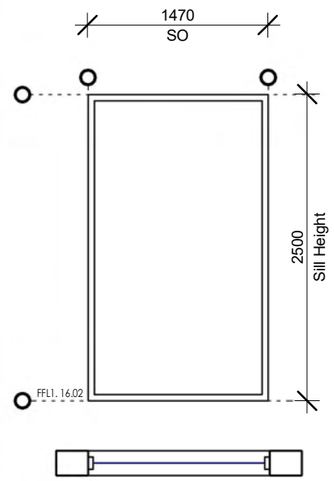
https://www.fr5.com.au/QRCodeLanding?PublicId=1HO6W6IR77



D03 Bar Level 1
10 sqm



D04 Bar Level 1
16.5 sqm



W03-04 Games Room Level 1
3.7 sqm

NOTES

ALL MEASUREMENTS TO BE CHECKED ON SITE. CONTACT ARCHITECT IF REQUIRED

WINDOWS AND DOORS MUST COMPLY WITH BASIX CERTIFICATION A479554

SEE FACADE ENGINEERS REPORT FOR DIFFERENT FRAME SIZES

SINGLE CLEAR GLASS TO HAVE U-VALUE 5.71 SHGC 0.66 AS PER BASIX CERTIFICATE

SKYLIGHTS - LOW E INTERNAL/ ARGON/ CLEAR EXTERNAL TO HAVE U VALUE 2.5 SHGC 0.456

SHGC AND U VALUE REFER TO BASIX

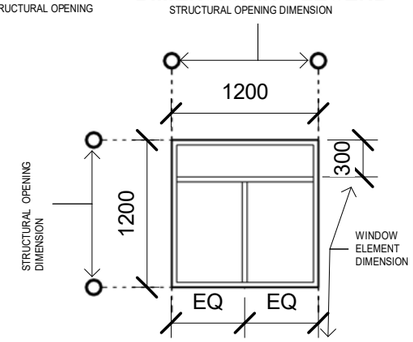
FG - FROSTED
TP - TIMBER PANEL

LEGEND

FFL - FINISHED FLOOR LEVEL
FG - FIXED GLASS WINDOW
TP - TIMBER PANEL
T - TRANSLUCENT FILM
SO-STRUCTURAL OPENING

DIMENSIONING LEGEND

STRUCTURAL OPENING DIMENSION



Protection of openable windows in accordance with BCA Housing Provisions 11.3.7 / 11.3.8
Window with device to limit opening

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Issue	Date	Amendment
2	16-04-25	DA
1	09-04-25	DA-P

BAXTER & JACOBSON ARCHITECTS
SYDNEY MANLY, NSW AUSTRALIA
BYRON BAY NSW AUSTRALIA
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PHONE +612 9977 7648
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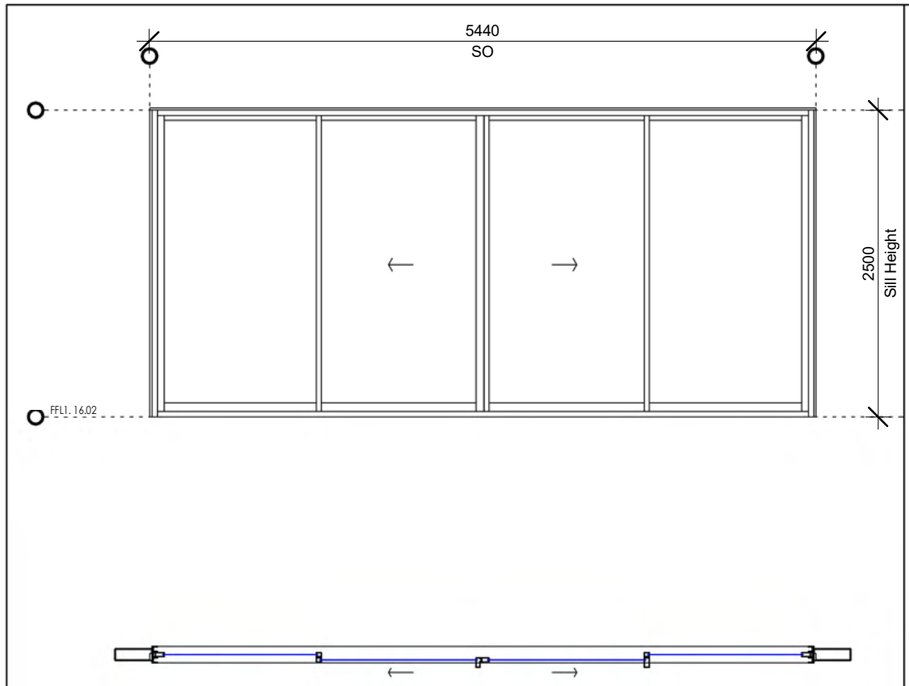
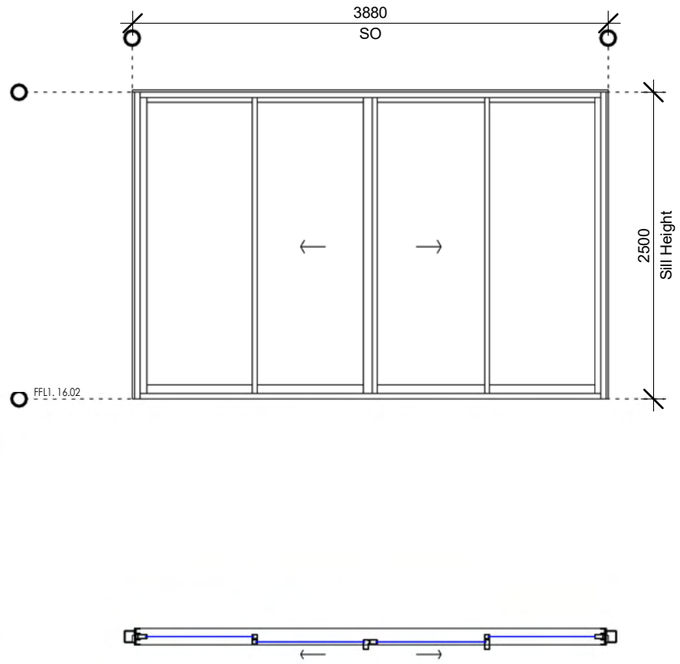
Job No	346-02 316 Hudson Pde
Client	TONY WALLS
Address	316 Hudson Parade Clareville
Drawn	TT
Checked	MB
Scale	1 : 50
Design Stage	DA
Title	DOOR WINDOW SCHEDULE 1
No	DA.1701
Issue	-

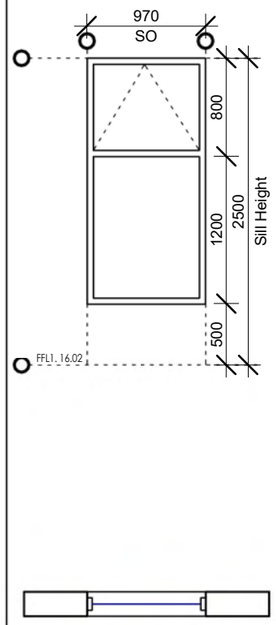
23/04/2025 3:48:40 PM



D05 Games Room Level 1
13.6 sqm

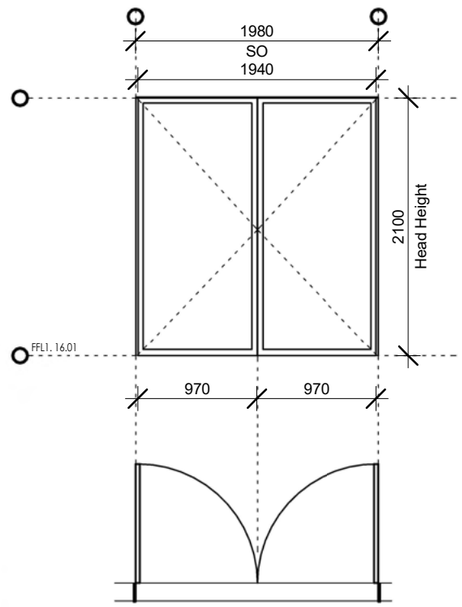


D06 Bedroom 1 Level 1
9.7 sqm

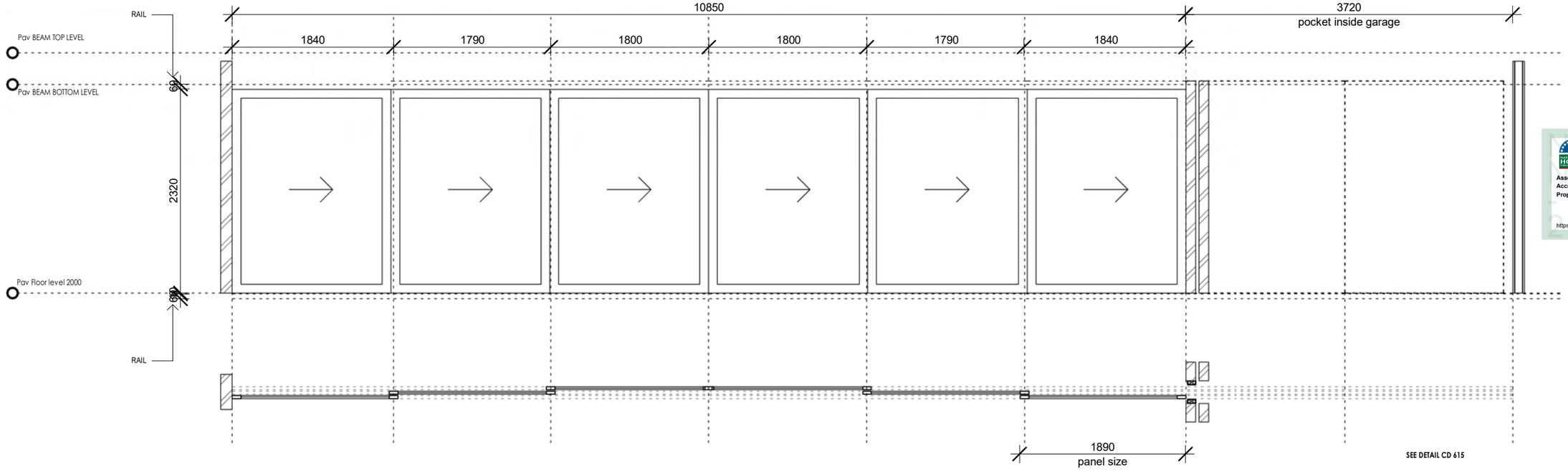


W05 Ensuite 1 Level 1
2 sqm

Timber Frame
Frosted Glazed



D07 Plant Room Level 1
4.1 sqm



D08 and D09 (mirror set out) Pavilion Sliding wall
25 sqm

Certificate No. # 1HO6W6IR77
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Assessor name Jennifer Edwards
Accreditation No. DMN/17/1795
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1	09-04-25	DA-P

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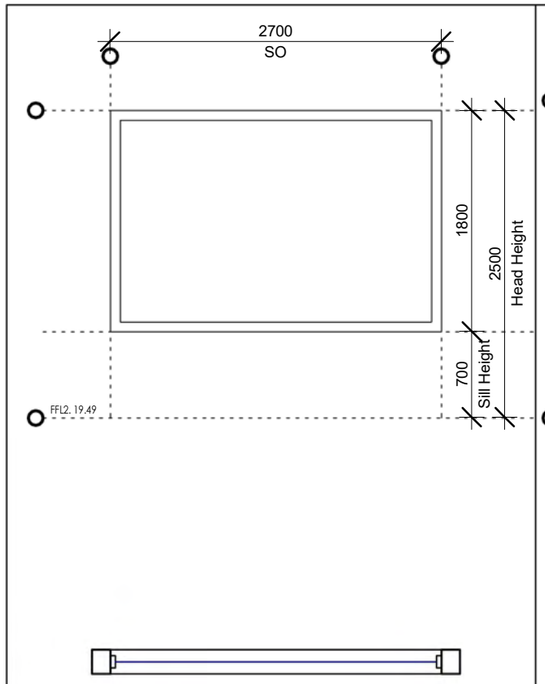
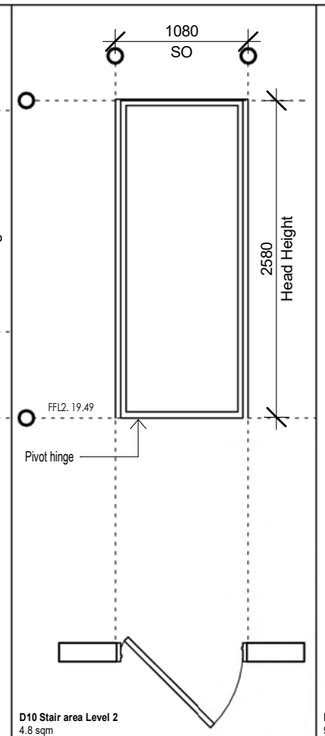
Job No	346-02 316 Hudson Pde
Client	TONY WALLS
Address	316 Hudson Parade Clareville
Drawn	TT
Checked	MB
Scale	1 : 50
Design Stage	DA
Title	**DOOR WINDOW SCHEDULE 2**
No	**DA.1702**
Issue	-

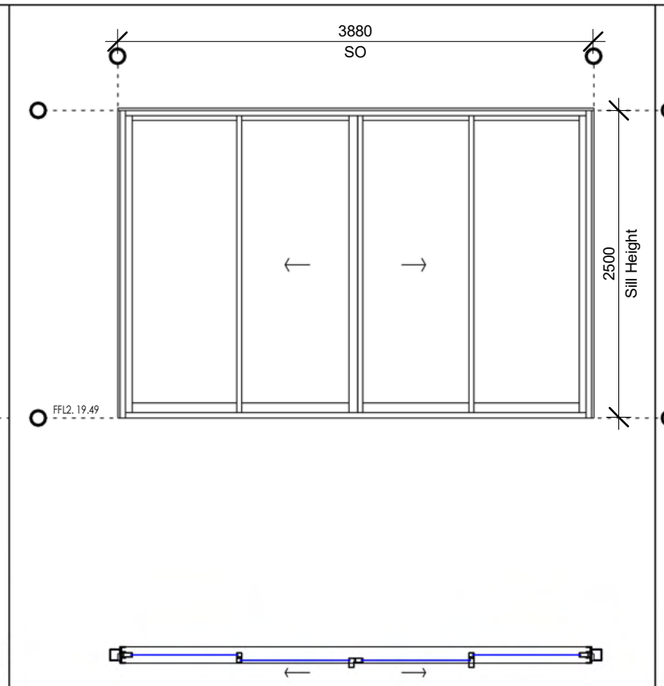
23/04/2025 3:48:48 PM



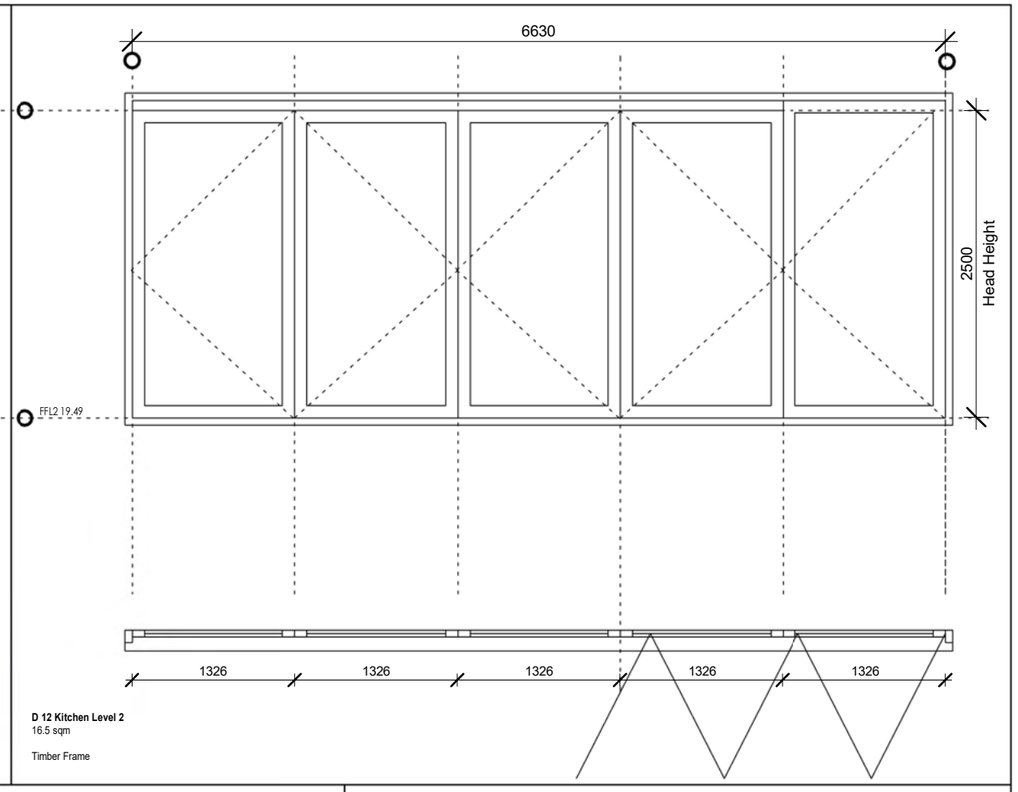
W06 Stair area Level 2
4.8 sqm



D10 Stair area Level 2
4.8 sqm

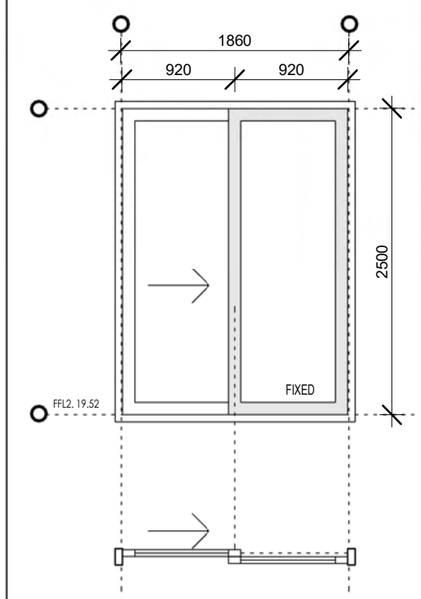


D11 Kitchen Level 2
9.7 sqm



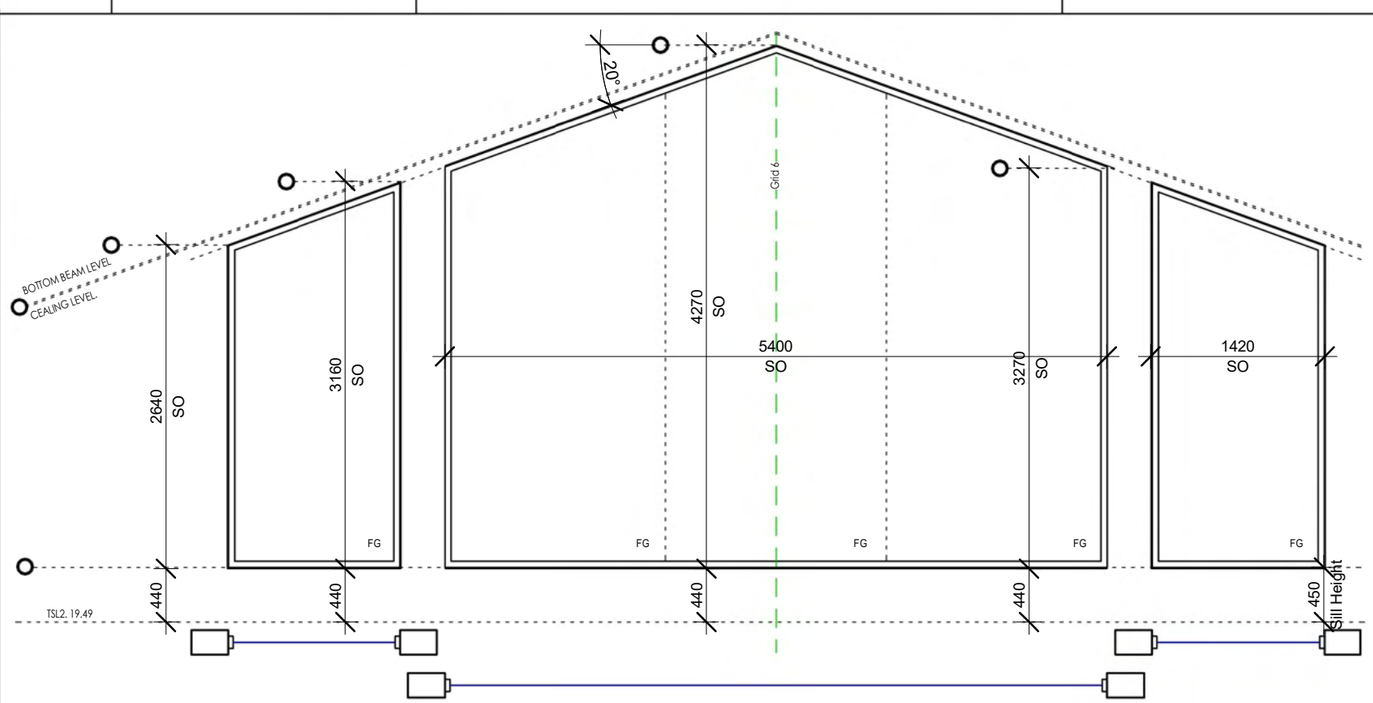
D 12 Kitchen Level 2
16.5 sqm

Timber Frame



D13-14 DINNIG / LIVING Level 2
4.6 sqm

Timber Frame
Clear Glass



W07 Dining / Living Level 2
4.1 sqm

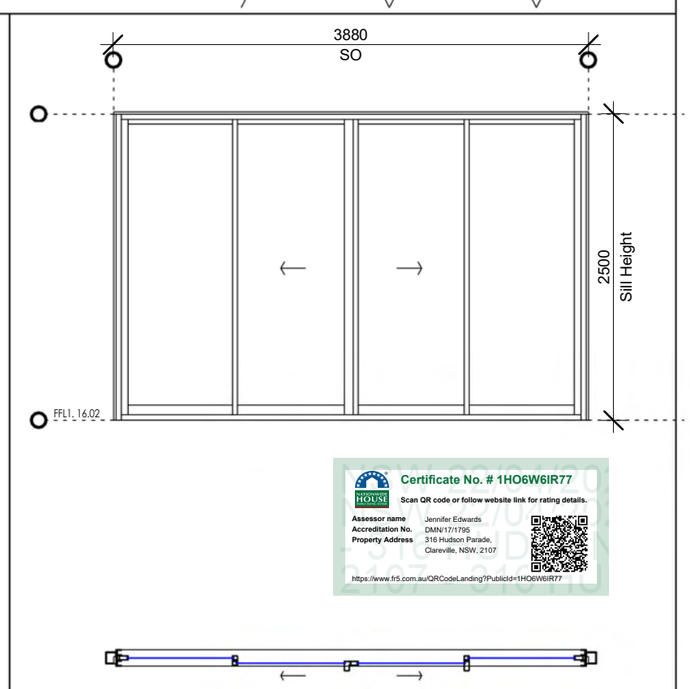
Timber Frame
Clear Glass

W08 Dining / Living Level 2
20.8 sqm

Timber Frame
Clear Glass

W09 Dining / Living Level 2
4.1 sqm

Timber Frame
Clear Glass



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Assessor name Jennifer Edwards
Accreditation No. DMN/17/1795
Property Address 316 Hudson Parade, Clareville, NSW, 2107
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D15 Bedroom 3 Level 2
9.7 sqm

Protection of openable windows in accordance with BCA Housing Provisions 11.3.7 / 11.3.8
Window with device to limit opening

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2	16-04-25	DA
1	09-04-25	DA-P

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BYRON BAY NSW AUSTRALIA
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PHONE +612 9977 7648
EMAIL mark@bja.net.au
WEB www.bja.net.au

Job No	346-02 316 Hudson Pde	Drawn	MB
Client	TONY WALLS	Checked	TT
Address	316 Hudson Parade Clareville	Scale	1 : 50

Design Stage
DA
Title
DOOR WINDOW SCHEDULE 3

No
DA.1703
Issue -

23/04/2025
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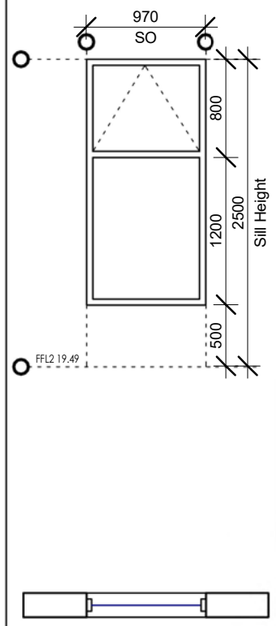
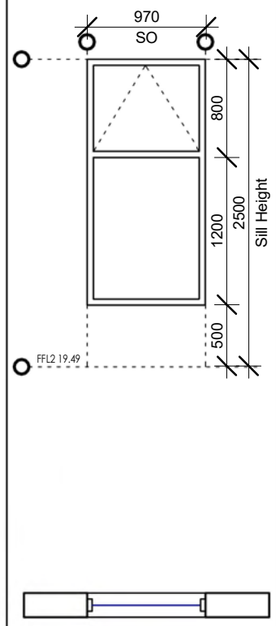


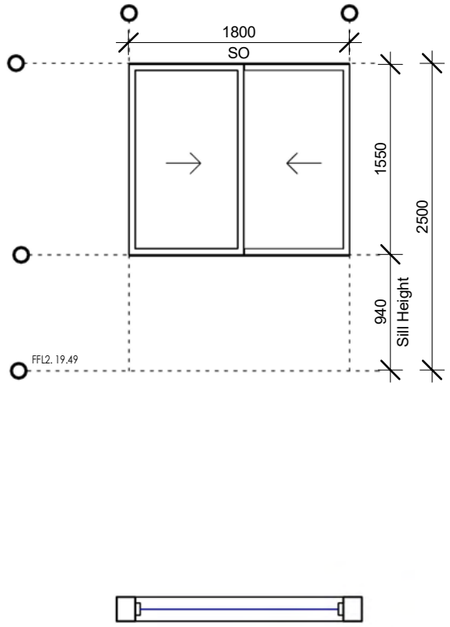
W10 Bedroom 3 Level 2
2 sqm

Timber Frame



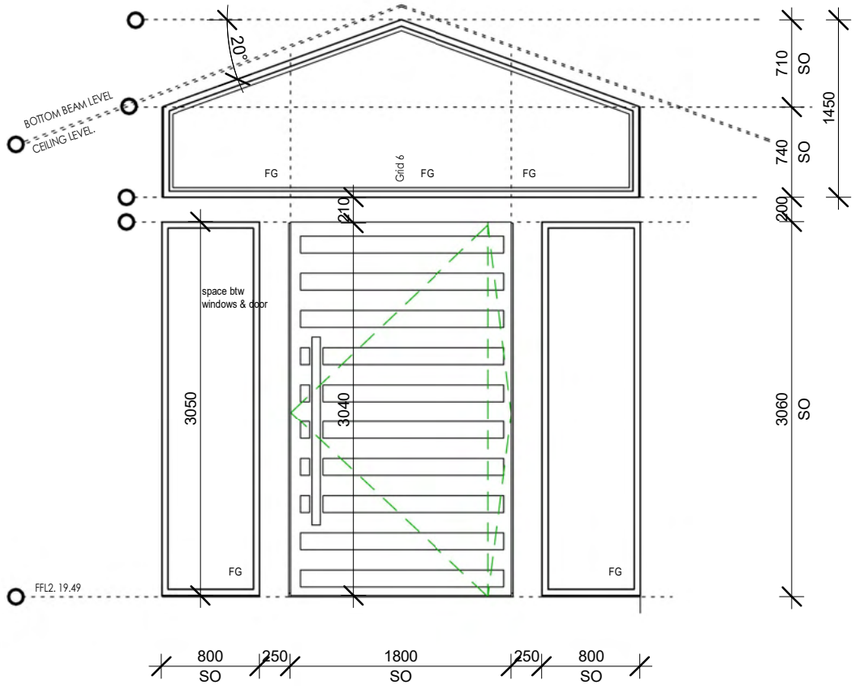
W11 Ensuite 3 Level 2
2 sqm

Timber Frame
Frosted Glazed



W12 Bedroom 3 Level 2
2.8 sqm

Timber Frame
Double Glazed - clear



W13 Lounge
2.7 sqm

Timber Frame
Clear Glass

W15 Over Lounge
4.3 sqm

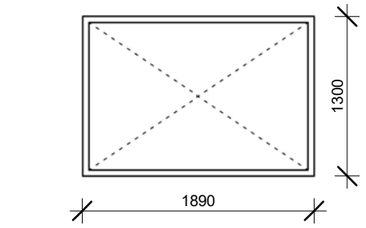
Timber Frame
Clear Glass

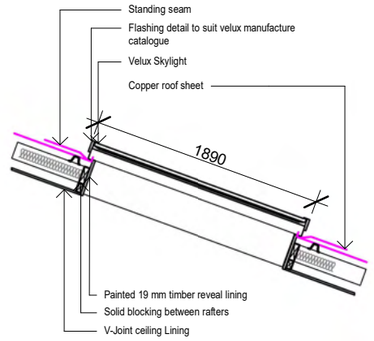
D16 Lounge
6.1 sqm

Timber Frame
Clear Glass

W14 Lounge
2.7 sqm

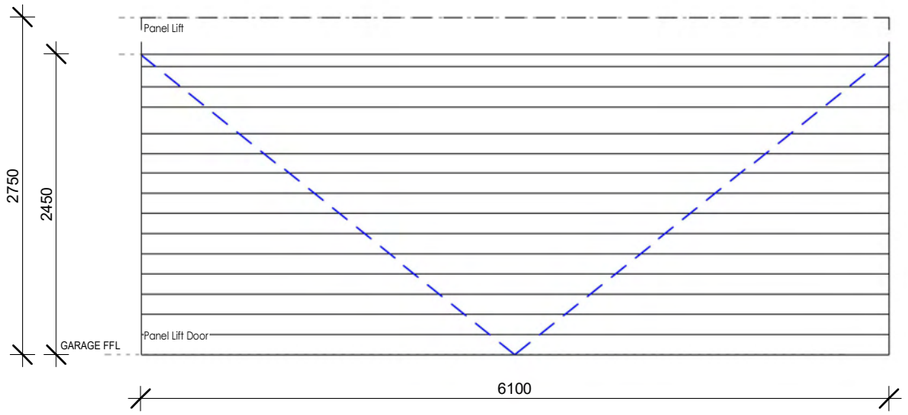
Timber Frame
Clear Glass



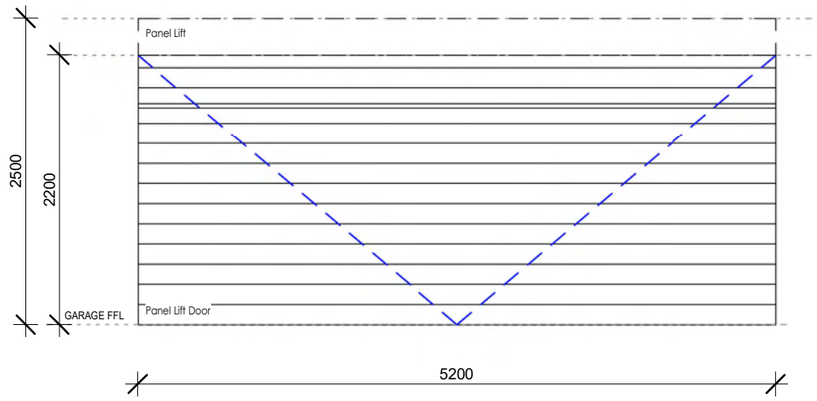


S02 Skilight level 2 bathroom
2.5 sqm

Velux Skylight
Double Glazed - clear



D 17
GARAGE DOOR MAIN HOUSE



D 42
GARAGE DOOR STUDIO

Certificate No. # 1HO6W6IR77

Scan QR code or follow website link for rating details.

Assessor name Jennifer Edwards
Accreditation No. DMN/17/1795
Property Address 316 Hudson Parade, Clareville, NSW, 2107

https://www.fr5.com.au/QRCodeLanding?PublicId=1HO6W6IR77

Protection of openable windows in accordance with BCA Housing Provisions 11.3.7 / 11.3.8
Window with device to limit opening

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Issue	Date	Amendment
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1	09-04-25	DA-P

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SYDNEY MANLY, NSW AUSTRALIA
BYRON BAY NSW AUSTRALIA
Nominated Architects
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PHONE +612 9977 7648
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WEB www.bja.net.au

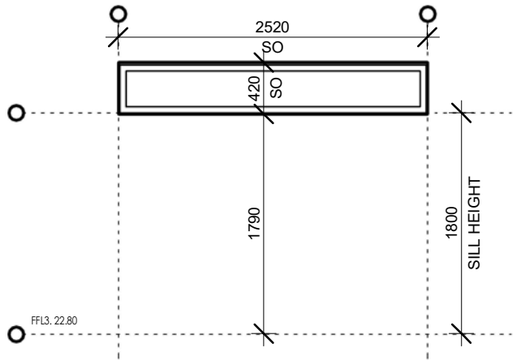
Job No 346-02 316 Hudson Pde
Client TONY WALLS
Address 316 Hudson Parade Clareville

Drawn TT
Checked MB
Scale **1 : 50**

Design Stage
DA
Title
DOOR WINDOW SCHEDULE 4

No
DA.1704
Issue -

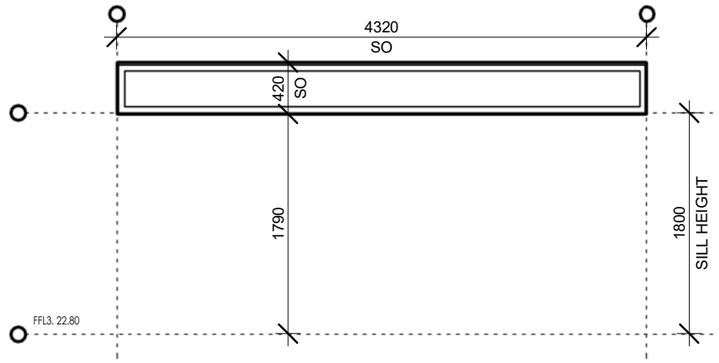
23/04/2025
3:49:00 PM



W16 Window North level 3
1 sqm

Timber Frame
Double Glazed - clear

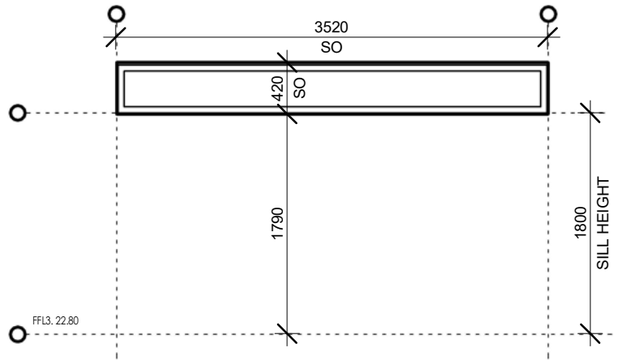
Protection of openable windows in accordance with BCA Housing Provisions 11.3.7 / 11.3.8
Window with device to limit opening



W17 Window North level 3
1.8 sqm

Timber Frame
Double Glazed - clear

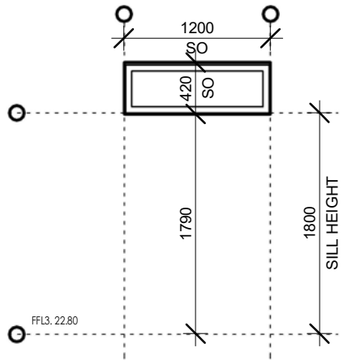
Protection of openable windows in accordance with BCA Housing Provisions 11.3.7 / 11.3.8
Window with device to limit opening



W18 Window North level 3
1.5 sqm

Timber Frame
Double Glazed - clear

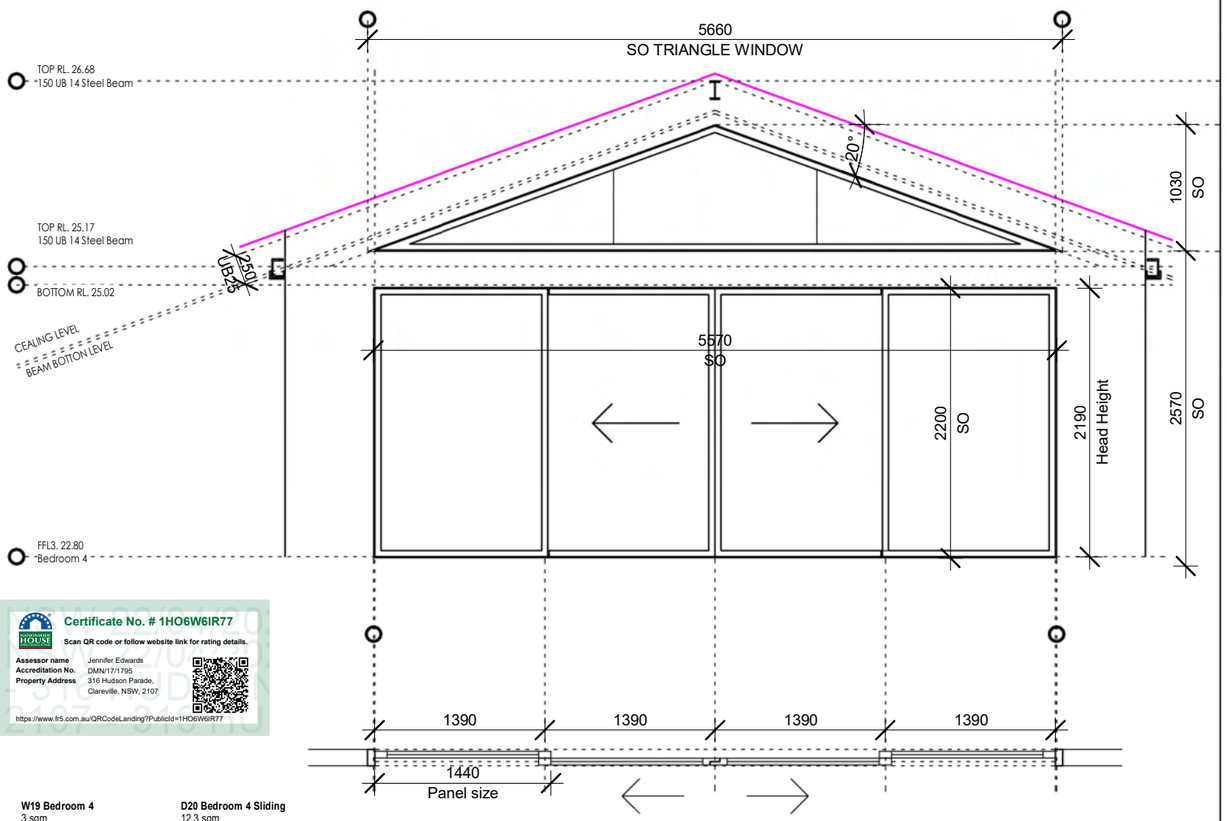
Protection of openable windows in accordance with BCA Housing Provisions 11.3.7 / 11.3.8
Window with device to limit opening



W20 Window Ensuite level 3
0.5 sqm

Timber Frame
Double Glazed - clear

Protection of openable windows in accordance with BCA Housing Provisions 11.3.7 / 11.3.8
Window with device to limit opening



Certificate No. # 1HO6W6IR77
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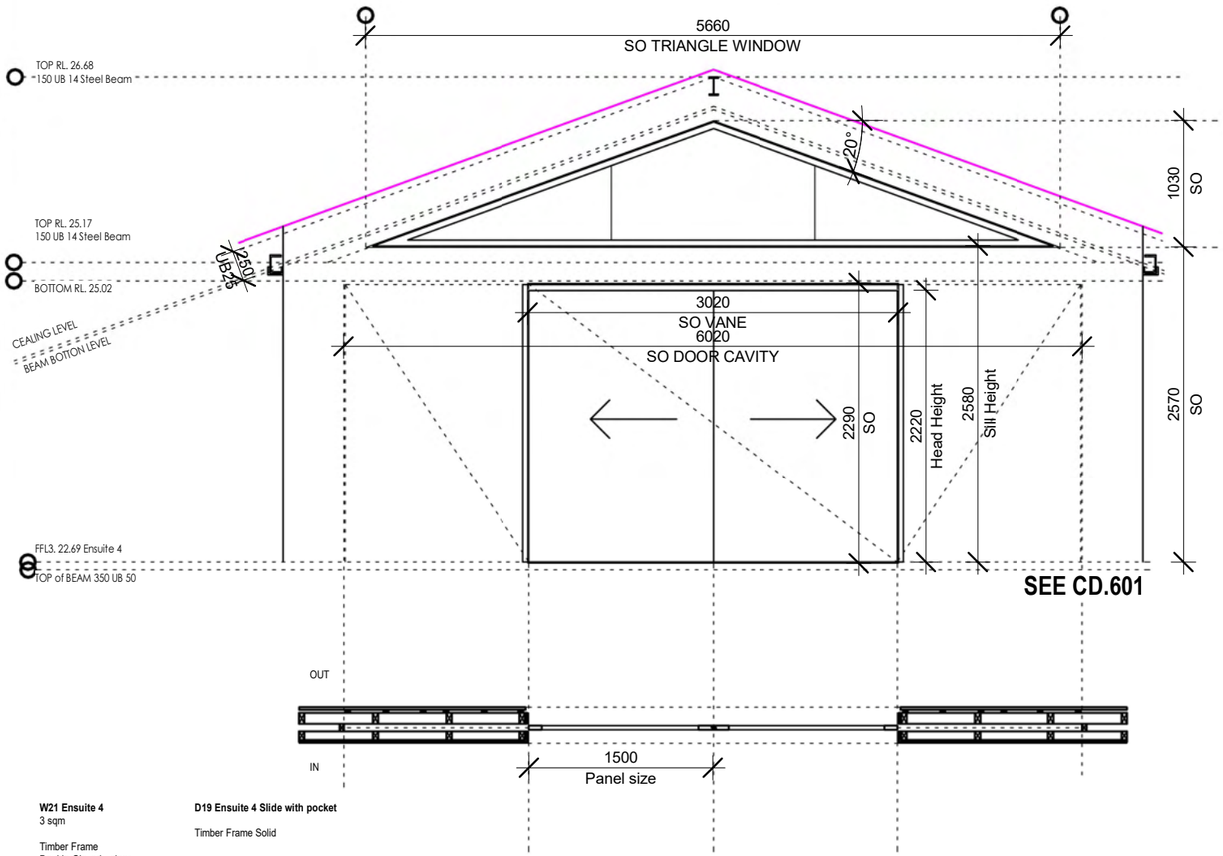
Assessor name Jennifer Edwards
Accreditation No. DMN17/1795
Property Address 316 Hudson Parade, Clareville, NSW, 2107
https://www.frl5.com.au/QRCodeLanding?PublicId=1HO6W6IR77

W19 Bedroom 4
3 sqm

Timber Frame
Double Glazed - clear

D20 Bedroom 4 Sliding
12.3 sqm

Timber Frame
Double Glazed - clear



W21 Ensuite 4
3 sqm

Timber Frame
Double Glazed - clear

D19 Ensuite 4 Slide with pocket

Timber Frame Solid

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BYRON BAY NSW AUSTRALIA
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WEB www.bja.net.au

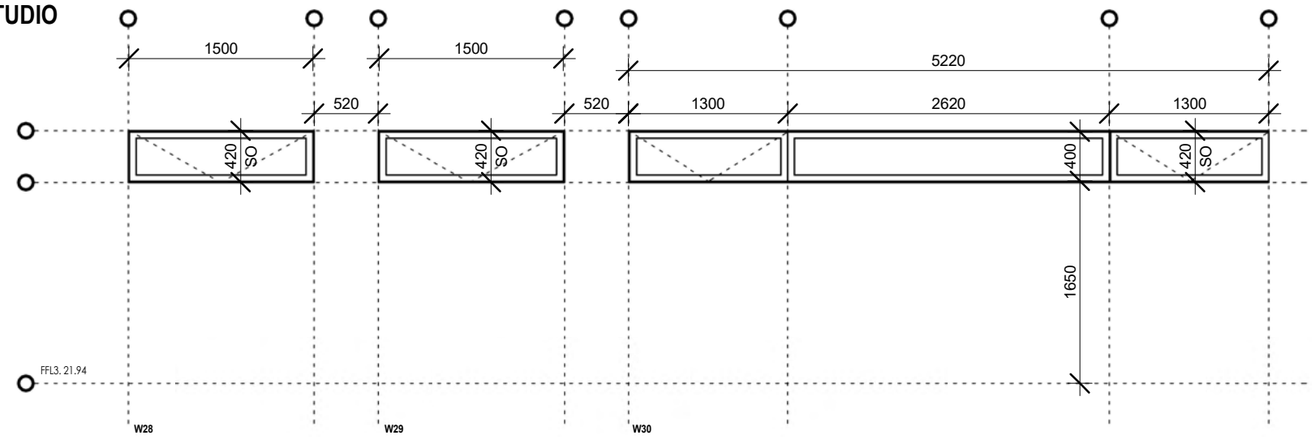
Job No	346-02 316 Hudson Pde	Drawn	TT
Client	TONY WALLS	Checked	MB
Address	316 Hudson Parade Clareville	Scale	1 : 50

Design Stage
DA
Title
DOOR WINDOW SCHEDULE 5

No
DA.1705
Issue -

23/04/2025
3:49:05 PM

STUDIO



W28
0.6 sqm

Timber Frame
Double Glazed - clear
Awning windows

W29
0.6 sqm

Timber Frame
Double Glazed - clear
Awning windows

W30
2.2 sqm

Timber Frame
Double Glazed - clear
50% Awning windows
50% Fix window

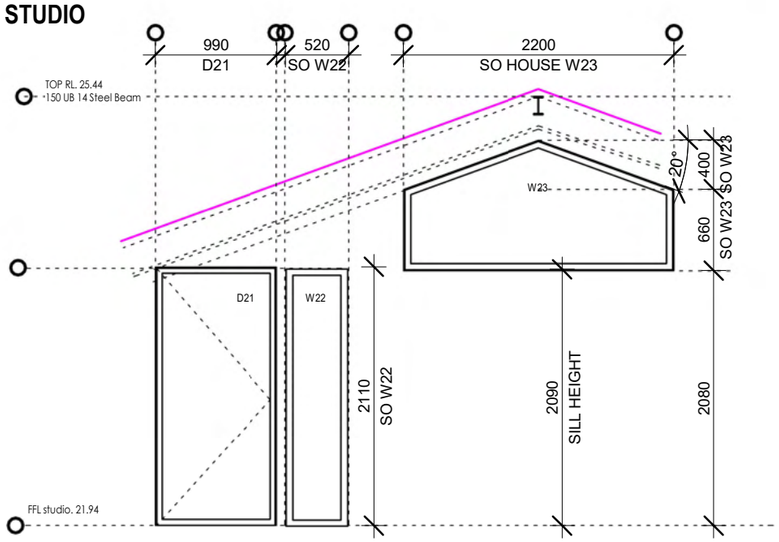
Certificate No. # 1HO6W6IR77

Scan QR code or follow website link for rating details.

Assessor name Jennifer Edwards
Accreditation No. DMN/17/1795
Property Address 316 Hudson Parade, Clareville, NSW, 2107

https://www.fr5.com.au/QRCodeLanding?PublicId=1HO6W6IR77

STUDIO



W22 Studio
1 sqm

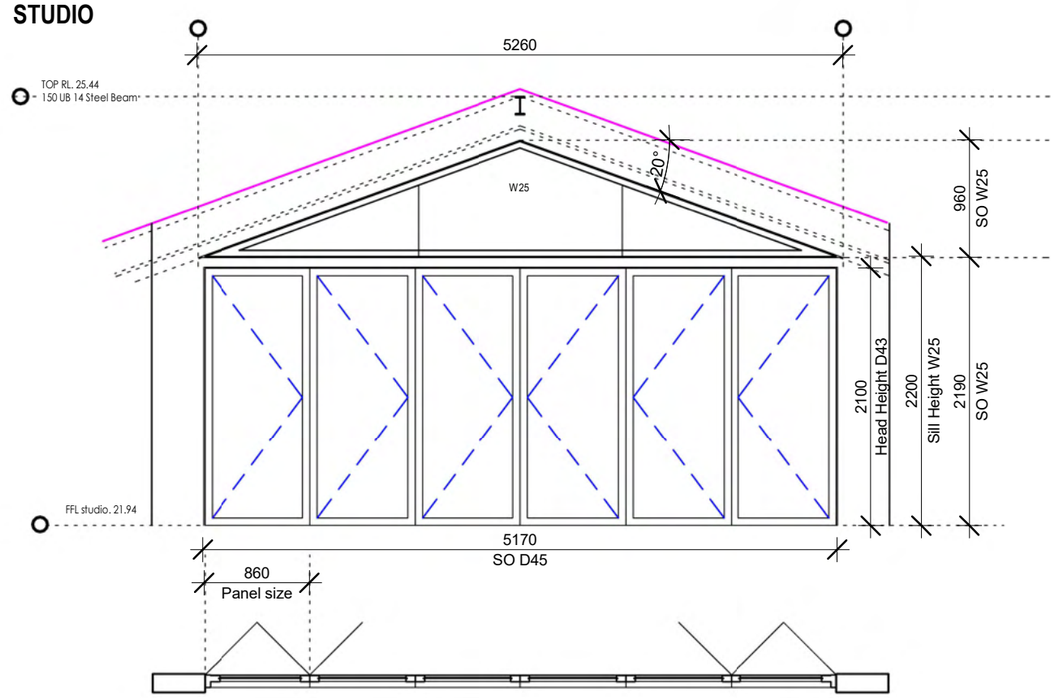
Timber Frame
Double Glazed - clear

W26 Studio
2 sqm

Timber Frame
Double Glazed - clear

(Required by BASIX - Single Toned Glass
U-Value 5.67 SHGC 0.49)

STUDIO



W25 Studio
2.5 sqm

Timber Frame
Double Glazed - clear

D45 Studio Bifold
11 sqm

Timber Frame
Double Glazed - clear

General Notes:
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Issue	Date	Amendment
2	16-04-25	DA
1	09-04-25	DA-P

BAXTER & JACOBSON ARCHITECTS

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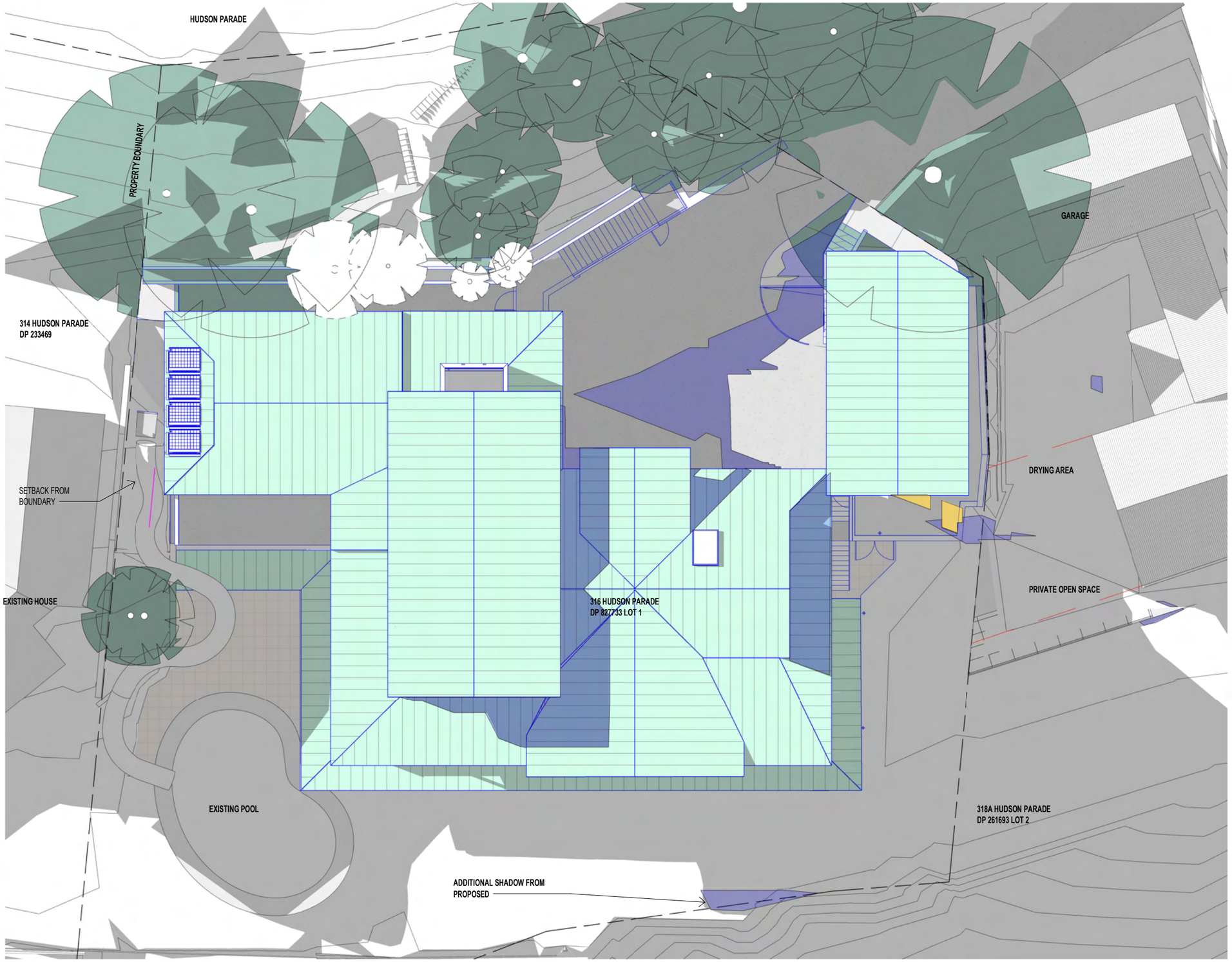
Job No	346-02 316 Hudson Pde	Drawn	TT
Client	TONY WALLS	Checked	MB
Address	316 Hudson Parade Clareville	Scale	1 : 50

Design Stage: DA
Title: **DOOR WINDOW SCHEDULE 6**

No: **DA.1706**
Issue: -

23/04/2025 3:49:11 PM



CC.610 Shadow - 9am winter proposed

1 : 200

Certificate No. # 1HO6W6IR77

Scan QR code or follow website link for rating details.

Assessor name	Jennifer Edwards
Accreditation No.	DMN/17/1795
Property Address	316 Hudson Parade, Clareville, NSW, 2107

https://www.fr5.com.au/QRCodeLanding?PublicId=1HO6W6IR77

LEGEND

- EXISTING SHADOW
- ADDITIONAL SHADOW
- ADDITIONAL SUN

General Notes:

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Issue	Date	Amendment
2	16-04-25	DA
1	09-04-25	DA-P

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Job No	346-02 316 Hudson Pde	Drawn	TT
Client	TONY WALLS	Checked	MB
Address	316 Hudson Parade Clareville	Scale	1 : 200

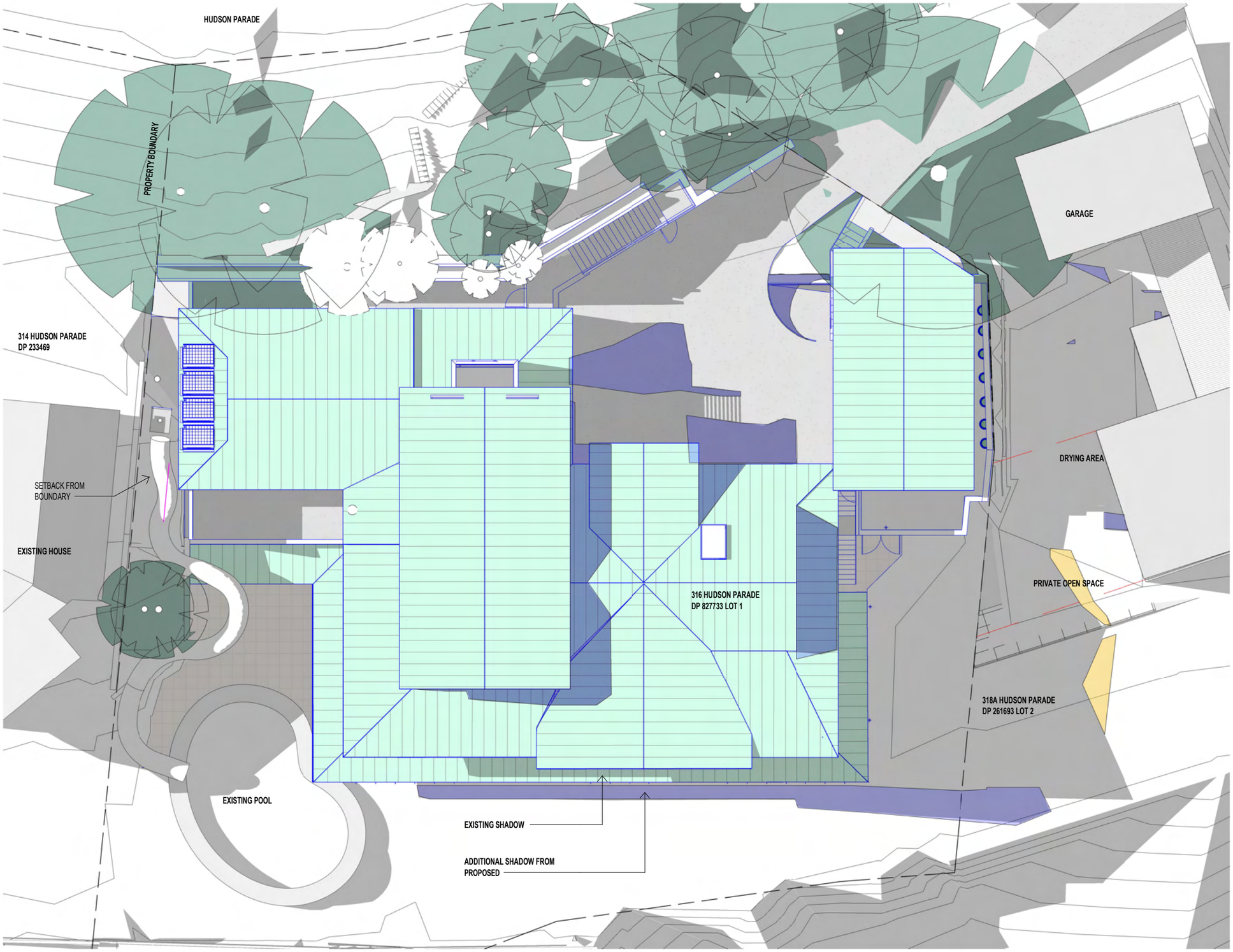
Design Stage: DA

Title: **SHADOW DIAGRAMS WINTER 9AM**

No: **DA.1901**

Issue: -

23/04/2025 3:49:29 PM



CC.610 Shadow - 10am winter proposed

1 : 200

Certificate No. # 1HO6W6IR77

Scan QR code or follow website link for rating details.

Assessor name	Jennifer Edwards
Accreditation No.	DMN/17/1795
Property Address	316 Hudson Parade, Clareville, NSW, 2107

https://www.fr5.com.au/QRCodeLanding?PublicId=1HO6W6IR77

LEGEND

- EXISTING SHADOW
- ADDITIONAL SHADOW
- ADDITIONAL SUN

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Issue	Date	Amendment
2	16-04-25	DA
1	09-04-25	DA-P

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Client	TONY WALLS	Checked	MB
Address	316 Hudson Parade Clareville	Scale	1 : 200

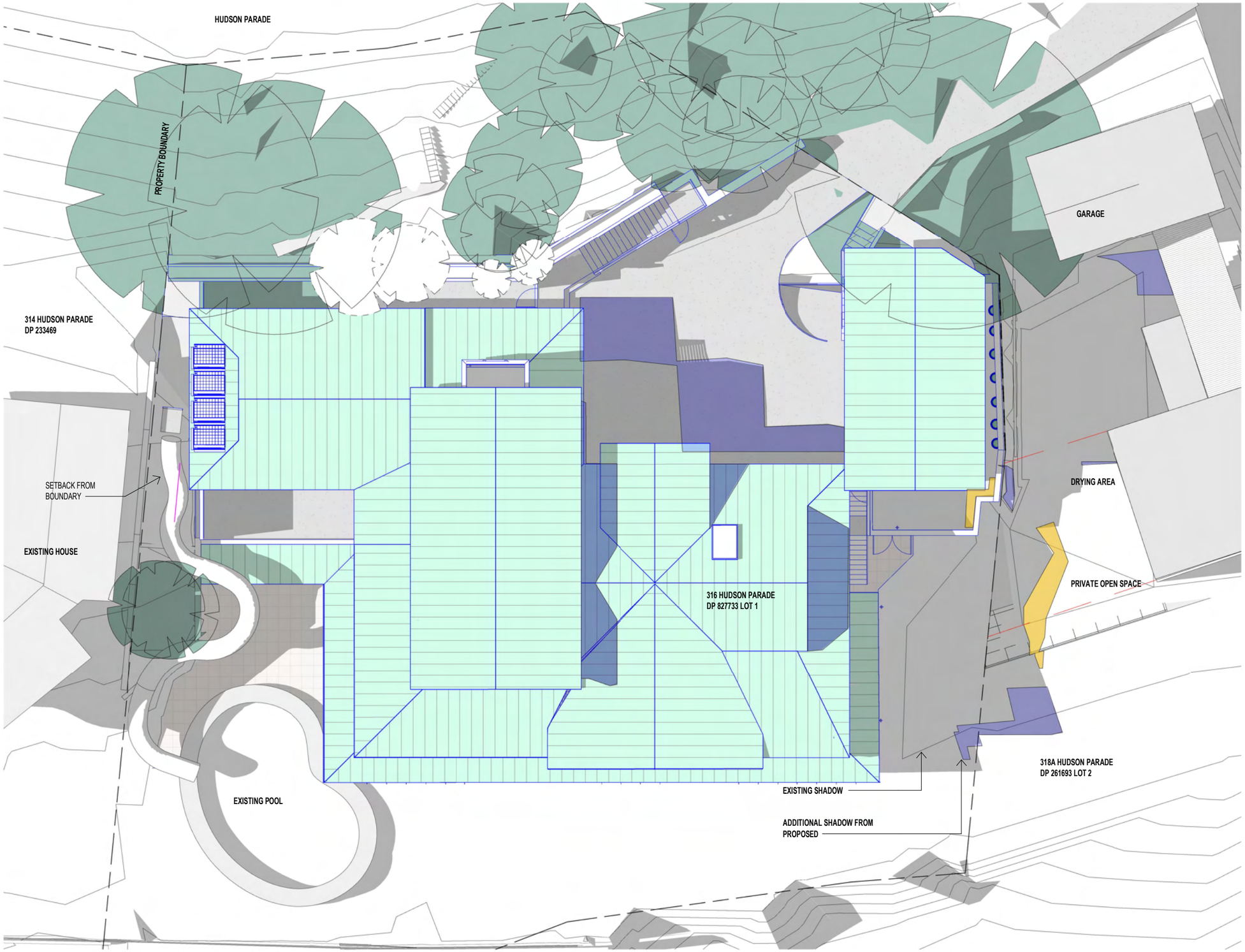
Design Stage: DA

Title: **SHADOW DIAGRAMS WINTER 10AM**

No: **DA.1902**

Issue: -

23/04/2025 3:49:44 PM



CC.610 Shadow - 11am winter proposed
1 : 200

Certificate No. # 1HO6W6IR77
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Assessor name	Jennifer Edwards
Accreditation No.	DMN/17/1795
Property Address	316 Hudson Parade, Clareville, NSW, 2107

https://www.fr5.com.au/QRCodeLanding?PublicId=1HO6W6IR77

LEGEND
- EXISTING SHADOW
- ADDITIONAL SHADOW
- ADDITIONAL SUN

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Issue	Date	Amendment
2	16-04-25	DA
1	09-04-25	DA-P

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Job No	346-02 316 Hudson Pde	Drawn	TT
Client	TONY WALLS	Checked	MB
Address	316 Hudson Parade Clareville	Scale	1 : 200

Design Stage
DA
Title
SHADOW DIAGRAMS WINTER 11AM

No
DA.1903
Issue -
23/04/2025 3:49:56 PM

HUDSON PARADE

PROPERTY BOUNDARY

314 HUDSON PARADE
DP 233469

SETBACK FROM BOUNDARY

EXISTING HOUSE

EXISTING POOL

316 HUDSON PARADE
DP 827733 LOT 1

GARAGE

DRYING AREA

ADDITIONAL SHADOW FROM PROPOSED

PRIVATE OPEN SPACE

ADDITIONAL SUN FROM PROPOSED

318A HUDSON PARADE
DP 261693 LOT 2

Certificate No. # 1HO6W6IR77

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LEGEND

- EXISTING SHADOW
- ADDITIONAL SHADOW
- ADDITIONAL SUN

CC.610

Shadow - 12pm winter proposed

1 : 200

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2	16-04-25	DA
1	09-04-25	DA-P

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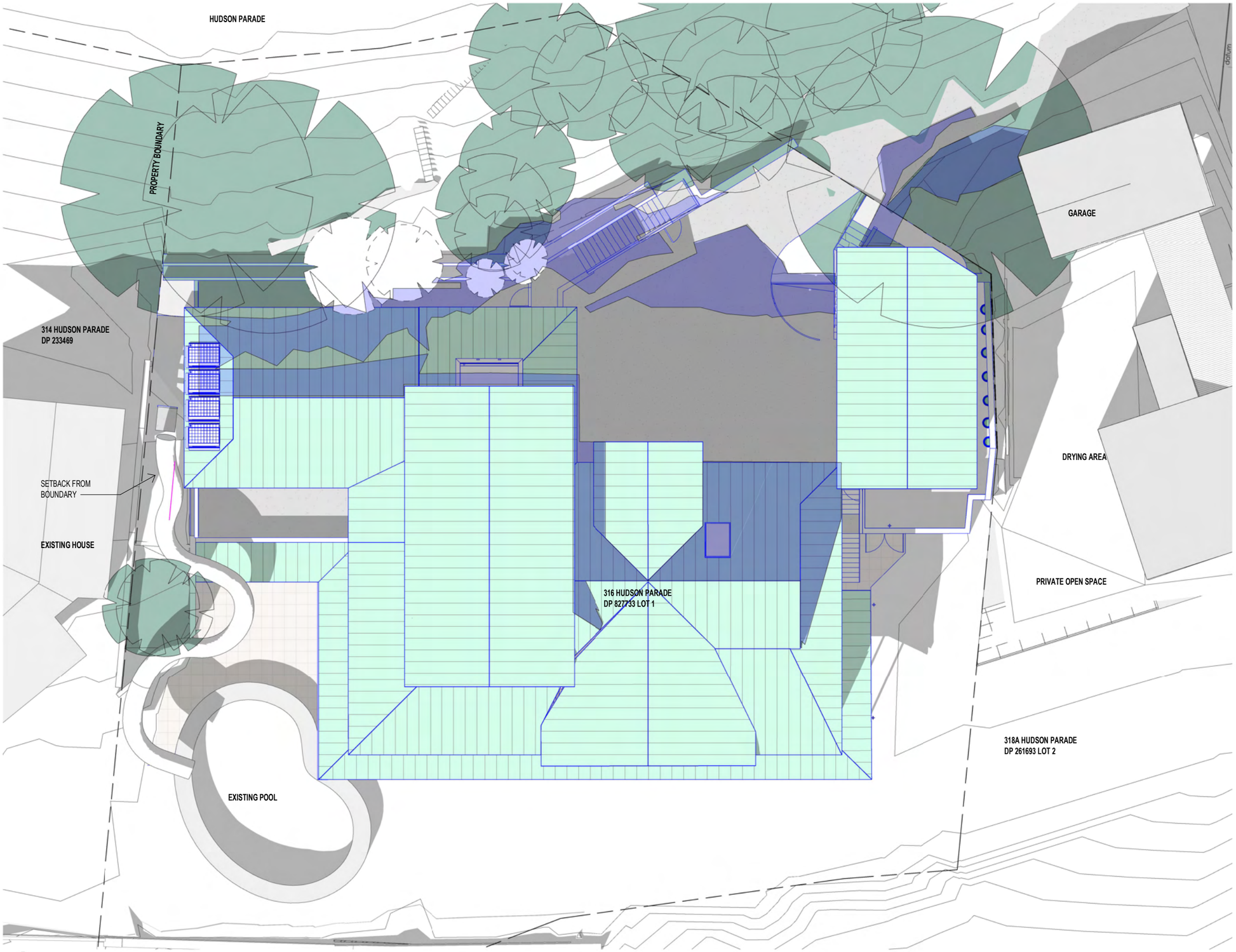
Client	TONY WALLS
Address	316 Hudson Parade Clareville
Drawn	TT
Checked	MB
Scale	1 : 200
Design Stage	DA
Title	**SHADOW DIAGRAMS WINTER 12PM**
No	**DA.1904**
Issue	-

23/04/2025 3:50:13 PM



CC.610 Shadow - 3pm winter proposed
1 : 200

Certificate No. # 1HO6W6IR77

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Accreditation No.	DMN/17/1795
Property Address	316 Hudson Parade, Clareville, NSW, 2107

https://www.fr5.com.au/QRCodeLanding?PublicId=1HO6W6IR77

LEGEND

- EXISTING SHADOW
- ADDITIONAL SHADOW
- ADDITIONAL SUN

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Job No	346-02 316 Hudson Pde
Client	TONY WALLS
Address	316 Hudson Parade Clareville
Drawn	TT
Checked	MB
Scale	1 : 200
Design Stage	DA
Title	SHADOW DIAGRAMS WINTER 3PM
No	DA.1905
Issue	-

23/04/2025 3:50:29 PM