



Environmental Compliance
8am to 5.30pm Mon - Thurs, 8am to 5pm Fri
Phone 9970 1111

4th April 2007

Stuart Henri
Richmond & Ross P/L
1st Floor, 38 Willoughby Road
CROWS NEST NSW 2065

Dear Stuart,

**Re: Construction Certificate CC0030/07
Property: 2 Vuko Place, Warriewood NSW 2102**

Please find enclosed your approved Construction Certificate and stamped plans.

Did you know that work is unable to commence until such time as a completed Notification of Commencement Form has been submitted to Council at least two (2) days prior to starting work? Not to do so is a breach of the Environmental Planning and Assessment Act, which would result in a Penalty Infringement Notice (on-the-spot fine) being issued to you and the builder.

To assist you please find enclosed a "Notification of Commencement and Principal Certifying Authority Service Agreement" form to enable you to appoint Pittwater Council as your Principal Certifying Authority (PCA).

If appointed as the PCA, Council would engage the services of The Certification Group to carry out the various inspections as indicated in Part 6 of the enclosed "Notification of Commencement and Principal Certifying Authority Service Agreement" form and ultimately issue an Occupation Certificate for your development. Appointment and inspection fees are also detailed in the enclosed form.

Council will endorse your completed "Notice of Commencement and Principal Certifying Authority Service Agreement" form and return a copy to the applicant with advice as to the required critical stage and other inspections to be carried out on behalf of Council.

Council is committed to providing a quality service and would value your business in being appointed as the Principal Certifying Authority for your development.

Yours faithfully

Development Compliance Group

Per:

Page 1 of 2



Pittwater Council

Construction Certificate No: CC0030/07

Site Details: 2 Vuko Place, Warriewood NSW 2102
Legal Description: Lot 5 DP 737137
Type of Development: Building Work
Description: Alterations and additions to accommodate a new COD booth
Associated Development Consent No: N0050/07 Dated: 16th March 2007
Building Code of Australia Classification: Class: 10a

Details of plans, documents or Certificates to which this Construction Certificate relates:

- Working Drawing No SP00, SP01, A01, A02, A03 prepared by Richmond + Ross P/L, dated January 2007.
- Structural Engineering Details, Drawing No S01, S02, S03, S04, S05 prepared by Richmond + Ross P/L dated January 2007.
- Sydney Water Quick Check Stamp dated 30/03/2007, Property No: 4670836

I hereby certify that the above plans, documents or Certificates satisfy:

- The relevant provisions of the Building Code of Australia, and
- The relevant conditions of Development Consent No: N0050/07

And, that work completed in accordance with the documentation accompanying the application for this certificate (and any modifications as verified by me and shown on that documentation) will comply with the requirements of the Environmental Planning and Assessment Regulation, referred to in section 81A(5) of the Environmental Planning and Assessment Act, 1979.

Issued By: Wayne Treble
Accreditation Number: NSW BPB 0413
Pittwater Council Consultant
Building Surveyor

4th April 2007

Note: You are reminded that pursuant to provisions of Clause 81A, you must nominate whether Council or an accredited certifier will be the principal certifying authority, also you must give notice to Council of your intention to commence work at least two days beforehand.



Pittwater Council
PO Box 882
Mona Vale NSW 1660
Tel: (612) 9970 1111
Fax: (612) 9970 7150

NOTIFICATION OF COMMENCEMENT & PRINCIPAL CERTIFYING AUTHORITY SERVICE AGREEMENT

under Environmental Planning and Assessment Act 1979 sections 81A
(2) (b) (ii) or (c), or (4) (b) (ii) or (c), 86 (1) and (2)

About this form

- Use this form to appoint Pittwater Council as the Principal Certifying Authority (PCA) to carry out nominated inspections of the building / subdivision works and to issue the required Occupation Certificate
- This form must be submitted to Pittwater Council a minimum of two (2) days prior to the commencement of works.

Who can complete this form?

- The owner of the property or the person having the benefit of the development consent.
Note: The builder or other contractor cannot complete this form unless they are also the owner of the property.

Applicant's Checklist

- Read this document ☐
- Complete pages 1, 2 & 3 ☐
- Sign on page 8 ☐
- Attach a copy of Owner Builder Permit or Home Owner Warranty Insurance Certificate. ☐

Payment of fees

- Critical Stage Inspection fees (refer to Part 6e of this form) must be paid at the time of booking the inspection.

This form is valid from
1st July 2006 to 30 June 2007

1. DEVELOPMENT INFORMATION

1a) DEVELOPMENT CONSENT

Development Application No:	Determination Date:
N0050/07	16 th March 2007

1b) CONSTRUCTION CERTIFICATE

Construction Certificate No:	Date of Issue:
CC0030/07	4 th April 2007

1c) DEVELOPMENT DETAILS

Type of Work:	Brief description of development:
☐ New Building ☐ Additions / Alterations ☐ Subdivision	

1d) SITE DETAILS

Unit/Suite:	Street No: 2	Street: Vuko Place
Suburb: Warriewood		Lot No: 5
		Deposit /Strata Plan: 737137

1e) VALUE OF PROPOSED DEVELOPMENT

Estimated value of proposed works: \$

1f) DATE WORK IS TO COMMENCE

Minimum notice of two (2) days is required to be given prior to commencement of works.
Date of commencement:

2. APPLICANT DETAILS

Note: The builder or other contractor cannot complete this form unless they are also the owner of the property.

Name (owner):	
Postal Address:	Phone (H/B):
.....	Mobile:
.....	Email:
.....	Fax:

This form is valid from
1st July 2006 to 30 June 2007

3. PRINCIPAL CERTIFYING AUTHORITY

PITTWATER COUNCIL

PO Box 882
Mona Vale NSW 1660

Ph: 9970 1111
Fax: 9970 7150

4. COMPLIANCE WITH DEVELOPMENT CONSENT

Have all conditions to be addressed prior to the commencement of works been satisfied?

☐ YES

☐ NO (see Note below)

Note: If **NO** work must not commence.

Please be aware that failure to address these conditions may leave you liable and in Breach of the Environmental Planning and Assessment Act 1979 (as amended). Penalties may include an on-the-spot fine and/or legal action.

If you are uncertain as to these requirements please contact Council's Development Compliance Group.

5. WHO WILL BE DOING THE BUILDING WORKS?

☐ Owner Builder

Owner Builders Permit No:

Copy of Owner Builders permit
attached:

☐ YES

**If you are an Owner-Builder for the residential building work exceeding \$5000 you must apply for a permit at NSW Office of Fair Trading, 1 Fitzwilliam Street, Parramatta NSW 2150 Australia.
Tel: 61 2 98950111 Fax: 61 2 9895 0222.**

OR

☐ Licensed Builder

Builder's License Number

Name of Builder:

Phone:

Contact person:

Mobile:

Address:

Fax:

Insurance Company:

Insurance Certificate attached:

☐ Yes

☐ No – statement attached & signed by each owner of the property that the reasonable market cost of the labour & materials to be used is less than \$12,000.

If you are using a licensed builder for residential building work exceeding \$12,000 you must obtain Home Building Act Insurance. A certificate of insurance must be provided with this application.

6. RESPONSIBILITIES OF THE PRINCIPAL CERTIFYING AUTHORITY (PCA)

6a) Quality of Service:

Pittwater Council will carry out PCA and inspection services in a professional manner and in accordance with the requirements of the Environmental Planning & Assessment Act 1979 and Council's Code of Conduct.

6b) Site Signage:

Pittwater Council will erect a sign on the site to advise the general public of the contact details of the PCA. The sign will be erected during the Commencement Inspection, on Council's acceptance of appointment as PCA.

6c) Inspections:

Pittwater Council officers will undertake the Critical Stage Inspections of the work during construction and prior to issuing an Occupation Certificate to ascertain compliance of specified stages of construction with the Development Consent, Construction Certificate, Building Code of Australia & relevant standards of construction. On appointment as the PCA, Pittwater Council will notify the applicant in writing of the Critical Stage & other Inspections.

6d) Critical Stage and other inspections:

The following stages of construction are required to be inspected by Council (as indicated by a ✓ in the relevant box).

Note: Council's Development Compliance Officer will complete this section of the form.

Office Use Only

- ☒ Footing Inspection (prior to placement of concrete)
- ☐ Slab and other Steel Inspection (prior to placement of concrete)
- ☐ Frame Inspection (prior to fixing floor, wall & ceiling linings)
- ☐ Wet Area Waterproofing Inspection (prior to covering)
- ☐ Stormwater Inspection (prior to backfilling of trenches)
- ☐ Swimming Pool Safety Fence Inspection (prior to placement of water)
- ☒ Final Inspection (all works completed and prior to occupation of the building)



Office Use Only

Note: Should the building works be completed in parts & not all aspects of a Critical Stage Inspection be ready, additional inspections maybe required – with a further inspection fee payable.

Eg: If two slabs are prepared at separate times, two separate inspection bookings and fees are required.

6e) Critical Stage and other inspection fees:

An inspection fee is required for each inspection identified in Part 6d of this form. A separate inspection fee is required for each Critical Stage Inspection. Should works be either incomplete or incorrect at the time of inspection a further separate reinspection fee will be required.

Each inspection fee must be paid at the time of requesting the inspection.

Critical Stage or other Inspection Fee current to 30 June 2007 \$210 (Code: HINR)

Final Inspection Fee Scale current to 30 June 2007 \$280 (Code: FOCC)

Please note that a failure to give correct notification of required inspections may result in the issuing of a Penalty Infringement Notice (PIN or on-the-spot fine) and/or a Notice and Order by Council and may result in refusal to issue an Occupation Certificate.

6f) Inspection Results:

Pittwater Council will provide written confirmation to the applicant of the inspection results and indicate if satisfactory or if additional works are required prior to reinspection.

7. RESPONSIBILITIES OF THE APPLICANT

7a) Inspections:

A minimum of forty-eight (48) hours notice (excluding weekends and public holidays) must be given to Council to enable the specified stages of construction to be inspected as identified in Item 6 of this agreement.

Should an inspection be missed, the applicant must advise Council in writing (as soon as practicable after the event) of that fact, the circumstances causing the inspection to be missed and supporting documentation for Council's consideration. In such cases, the inspection fee, which would normally have been required, must still be paid.

The applicant must ensure that the Principal Contractor (Builder/Owner Builder) is advised of the required inspections and that the directions of Council's Development Compliance Officers are to be observed to ensure compliance with the Development Consent, Construction Certificate, Building Code of Australia and the terms of this agreement.

7b) Booking of Inspections:

The applicant shall request an inspection via Pittwater Council's Inspection Booking Hotline on **9970 1300**. A minimum of forty-eight (48) hours notice must be provided to Council to arrange for completion of the inspection.

At the time of requesting the inspection, Pittwater Council will confirm an inspection time and day, name of inspecting officer and mobile contact number.

Building works must **not** proceed to the subsequent stages of construction prior to obtaining a satisfactory inspection from Council for each stage of construction specified in Item 6d of this agreement.

7c) Site Signage:

The applicant is responsible to maintain the PCA signage provided by Pittwater Council at the site until the work is completed.

The applicant is responsible to ensure that the Owner Builder or Principal Contractor (Builder) provide a rigid durable sign at the site, visible from the public place and maintained at the site until the work is completed. Such a sign shall display: (a) the name, address and telephone number of the person; (b) an after-hours emergency telephone number for the person and (c) stating "Unauthorised Entry to the Site is Prohibited".

7d) Compliance with the Development Consent and Construction Certificate:

All works must be carried out in accordance with the terms and conditions of Council's Development Consent and the Construction Certificate and relevant provisions of the Building Code of Australia and Environmental Planning and Assessment Act 1979.

Development Consent and a Construction Certificate must be obtained for any amendments or variations to the development, prior to the commencement of the amendment or variation.

This form is valid from
1st July 2006 to 30 June 2007

Works not in accordance with the approval and Building Code of Australia may result in the refusal to issue an Occupation Certificate. Council may also serve a Notice and Order to comply with the approval and/or the institution of legal proceedings.

7e) Structural Engineering and Other Specialist Details:

The following details are to be forwarded to the PCA prior to commencement of the relevant stage of construction (as identified by a ✓). The details are to be prepared by a suitably qualified person to confirm compliance with the relevant provisions of the BCA and Australian Standards:

Note: Council's Development Compliance Officer will complete this section of the form.

Office Use Only

- ☐ Timber framing details including bracing and tie-downs
- ☐ Roof construction or roof truss details
- ☐ Termite control measures
- ☐ Glazing details
- ☐ Mechanical ventilation details
- ☐ Wet area construction details
- ☐ Details of fire resisting construction
- ☐ Details of essential fire and other safety measures
- ☐ Sound transmission and insulation details
- ☐ Details of compliance with development consent conditions

No
ticked:

Office Use Only

7f) Certification of Works:

To ensure compliance with the Construction Certificate and Building Code of Australia (BCA), the applicant is to provide certification, verifying that the following specialist matters (identified by a ✓) have been carried out.

Each certification must:

- reference the approved Construction Certificate number, property address, relevant provisions of the BCA, Australian Standards and approved drawings.
- be prepared by an accredited certifier or other suitably qualified & experienced person to the satisfaction of Pittwater Council.

Note: Council's Development Compliance Officer will complete this section of the form.

- ☐ Survey detailing building setbacks, reduced levels of floors & ridge by a registered surveyor
- ☐ Shoring and support for adjoining premises and structures by a structural engineer
- ☐ Contiguous piers or piling by a structural engineer

Office Use Only

- ☐ Underpinning works by a structural engineer
- ☒ Structural engineering works by a structural engineer on all structural building elements –(i.e. footings, slabs, floor, wall & roof framing)
- ☐ Retaining walls by a structural engineer
- ☐ Inspection and approval of foundation material by Geotechnical engineer
- ☐ Stormwater drainage works by a hydraulic engineer and surveyor
- ☐ Landscaping works by the landscaper
- ☐ Condition of trees by an Arborist
- ☐ Mechanical ventilation by a mechanical engineer
- ☐ Termite control and protection by a licensed pest controller
- ☐ Waterproofing of wet areas by a licensed waterproofer or licensed builder
- ☐ Installation of glazing by a licensed builder
- ☐ Installation of smoke alarm systems by a licensed electrician
- ☐ Plumbing and Drainage Contractors certificate indicating that sewer/waste water system has been installed and completed in accordance with the Sydney Water requirements.
- ☐ Completion of construction requirements in a bush fire prone area by a competent person
- ☐ Completion of requirements listed in the BASIX Certificate by a competent person
- ☐ Fire resisting construction systems by a competent person
- ☐ Smoke hazard management systems by a competent person
- ☐ Essential fire safety and other safety measures by a competent person (Form 15a)
- ☐ Completion of Bushland Management requirements by a suitably qualified person.
- ☐ Installation of Waste Water Management System by a suitably qualified person
- ☐ Installation of the inclined lift by a suitably qualified person
- ☐ Installation of sound attenuation measures by an acoustic engineer

Office Use Only

7g) Occupation Certificate:

A *Final* Occupation Certificate must be obtained from the PCA prior to the occupation or use of a new building (or part of a building) or prior to the change of an existing building use/classification. An inspection fee is to be paid to the PCA in accordance with the fee scale in Part 6e of this agreement.

An application may be made to the PCA for an *Interim* Occupation Certificate, which will be considered in accordance with the provisions of the Environmental Planning and Assessment Act 1979 and conditions of development consent.

Only the Principal Certifying Authority can issue an Occupation Certificate and the Environmental Planning and Assessment Act 1979 contains penalty provisions for failing to obtain a required Occupation Certificate.

An application for an *Interim* or *Final* Occupation Certificate must be accompanied by a final or interim *fire safety certificates* as required by the EP&A Regulations, Clauses 80E or 80F for buildings other than Class 1 and 10.

This form is valid from
1st July 2006 to 30 June 2007

7h) Miscellaneous requirements:

The applicant is required to ensure that valid public liability insurance cover to the value of \$10,000,000 (minimum) is held by the applicant and/or builder.

The applicant is required to notify Council, in writing, of any change in the details or address of the applicant or head contractor.

Pittwater Council may cancel the agreement if there is a breach of the agreement.

8. **YOUR SIGNATURE**

I accept the terms and conditions of this service agreement, including the associated payment of fees and appoint Pittwater Council as the Principal Certifying Authority for the subject development.

Signature: Date:

9. **COUNCIL'S AGREEMENT TO APPOINTMENT**

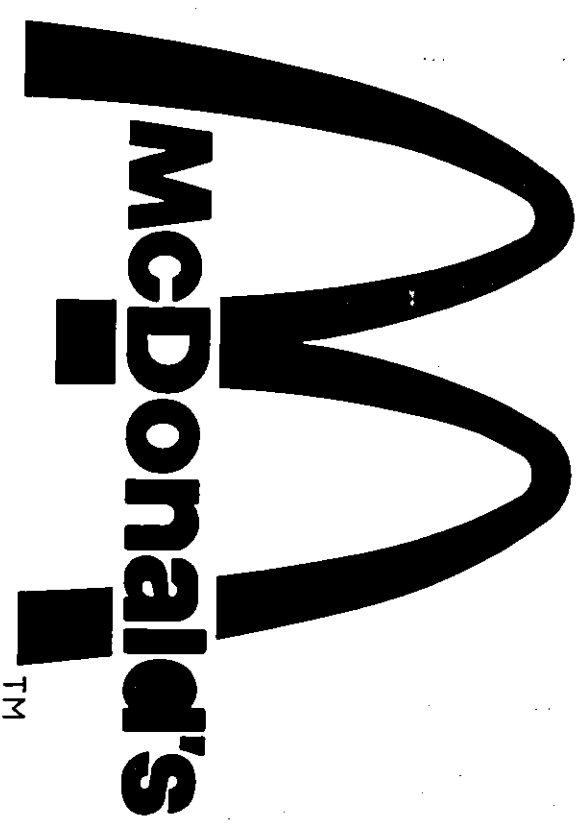
The relevant details in Parts 6d, 7e & 7f of this agreement have been completed and I acknowledge the appointment of Pittwater Council as the Principal Certifying Authority.

Officer's name: on behalf of Pittwater Council

Officer's signature: Date:

PRIVACY AND PERSONAL INFORMATION PROTECTION NOTICE

Purpose of collection:	To enable Council to act as the Principal Certifying Authority for the development.
Intended recipients:	Pittwater Council staff
Supply:	The information is required by legislation
Consequence of Non-provision:	Your application may not be accepted, not processed or rejected for lack of information
Storage:	Pittwater Council will store details of this form in a register that can be viewed by the public.
Retention period:	Hard copies will be destroyed after 7 years and electronic records will be kept indefinitely.
Please contact Council if this information you have provided is incorrect or changes.	



**McDonald's
Australia Limited**

ABN 43 008 496 928

PROPOSED COD BOOTH

AT:

EXISTING McDONALD'S
FAMILY RESTAURANT
CNR WARRIEWOOD & PITTWATER RDS
WARRIEWOOD
NSW
2102

STAGE:

DA ISSUE

SCOPE OF WORKS

1. BUILDER TO REMOVE LANDSCAPING IN LOCATION OF PROPOSED DELPHI ORDER POINT, MENUBOARD AND AWNING. AS FAR AS PRACTICALLY POSSIBLE THE BUILDER IS TO MAINTAIN LANDSCAPING ADJACENT WORKS AND REINSTATE ANY LANDSCAPING AFFECTED BY WORKS. BUILDER TO PROVIDE KOPERS LOG RETAINING AS REQUIRED TO SIDES OF DELPHI PAD.
2. REMOVE ALL TOPSOIL AND DELETERIOUS MATERIAL FROM FOOTING LOCATION SO THAT THERE IS A FIRM SUBGRADE FOUNDATION. EXISTING SUBSOIL DRAINAGE, IRRIGATION SUPPLY OR OTHER SERVICES TO BE MAINTAINED INTACT.
3. BUILDER TO INSTALL CONDUITS & DRAW WIRE IN LANDSCAPING BETWEEN C.O.D LOCATION AND MAIN BUILDING AS NOTED ON DRAWING SP01 WITH JUNCTION BOXES AT EXISTING CORRAL WALL AT BASE. CONDUITS TO RUN IN LANDSCAPE TO CORNER OF CORRAL WALL, RISE UP OUT OF GROUND AND RUN ALONG OUTSIDE BASE OF CORRAL WALL CONNECTED TO WALL. CONDUITS TO PASS INTO CAVITY & RISE TO CEILING SPACE WITH DRAW WIRES IN CEILING FROM JUNCTION BOX FOR PULLING THROUGH OF DATA, AUDIO AND DELPHI POWER BY IBM. PROVIDE MECHANICAL PROTECTION TO EXPOSED CONDUITS AT BASE OF CORRAL WALL.
4. BUILDER TO CONSTRUCT COD FOOTING AND AWNING AND CO-ORDINATE WITH COATES SIGNCO, GRAHAM MUIR (02) 9699 3122 FOR INSTALLATION OF NEW MENUBOARDS.
5. BUILDER TO REMOVE EXISTING MENUBOARDS AS NOMINATED ON SP01.
6. BUILDER TO PROVIDE DECAL FILM TO REDUNDANT ORDER BOOTH WINDOWS WITH EFTPOS AVAILABLE IN DRIVE THRU TEXT. CONFIRM WITH LICENSEE. CONTACT SIGNWAVE FOR DECAL FILM.
7. BUILDER TO CO-ORDINATE WITH IBM FOR INSTALLATION OF DELPHI ORDER POINT.
8. BUILDER TO PAINT BLACK EXISTING PRE-SELL TO REMAIN.
9. BUILDER TO LIASE WITH McDONALD'S OPERATIONS MANAGER TO CONFIRM PROGRAM FOR ALL WORKS.
10. BUILDER TO REFER TO AND COMPLY WITH DEVELOPMENT APPROVAL AND CONSTRUCTION CERTIFICATE CONDITIONS.
11. BUILDER TO ATTEND HANDOVER OF COMPLETED WORKS WITH McDONALDS DEVELOPMENT MANAGER AND OPERATIONS MANAGER.

All external glazing is to have a maximum reflectivity index of 25%

New electrical connections are to be carried out using underground cabling

Materials and colour schemes are to be in accordance with the samples submitted to Council with the development application. No white or light coloured roofs are permitted

Re checked 4 APR 2007

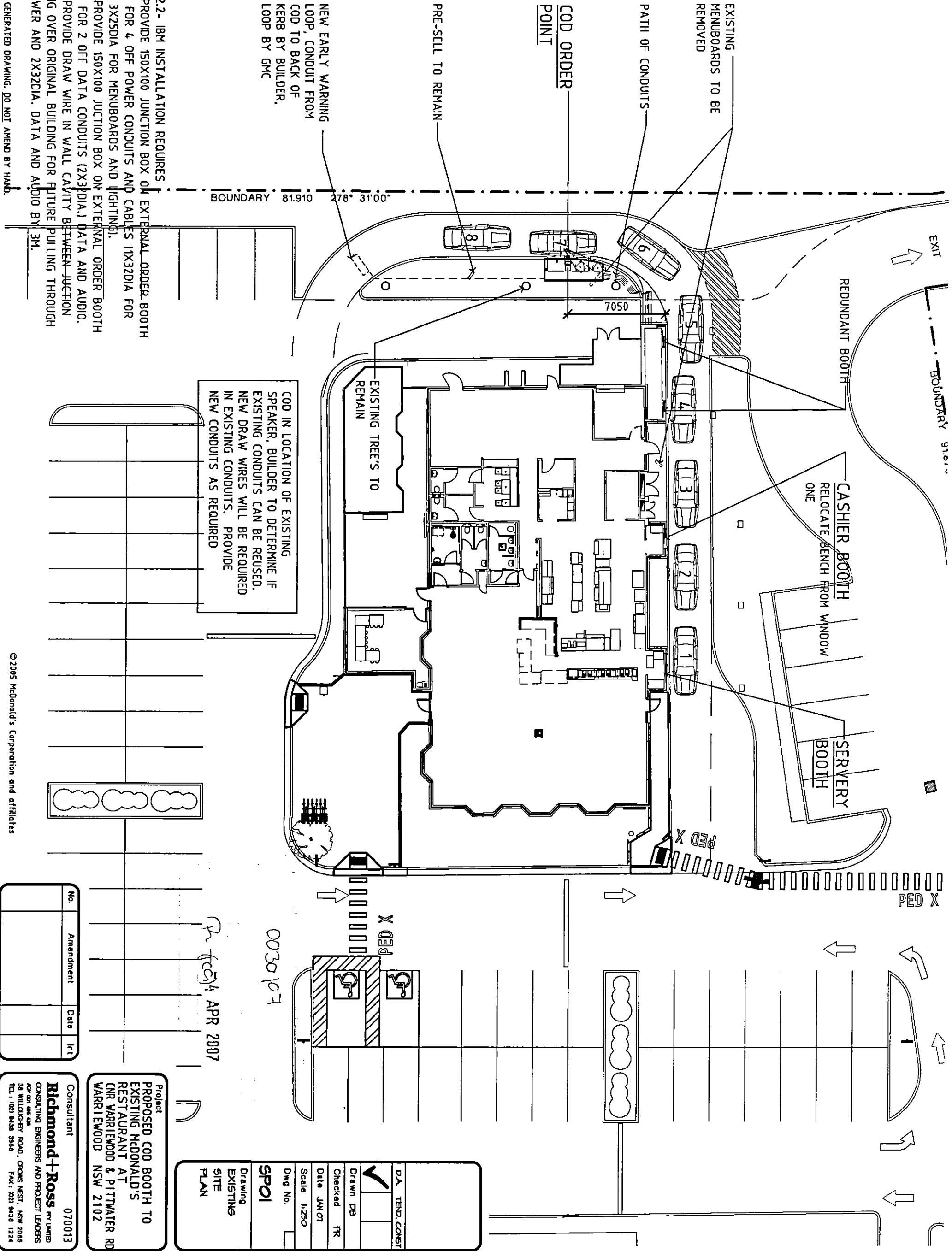
0030107

D.A. TEND. CONST	
☒	☐
Drawn SH	
Checked PR	
Date JAN 07	
Scale 1:1	
Dwg No.	☐
SP00	
Drawing SCOPE OF WORKS	

Project
PROPOSED COD BOOTH TO EXISTING McDONALD'S RESTAURANT AT CNR WARRIEWOOD & PITWATER RD WARRIEWOOD NSW 2102

No.	Amendment	Date	Int

Consultant	070013
Richmond+Ross PTY LIMITED	
CONSULTING ENGINEERS AND PROJECT LEADERS	
ACR 001 446 434	
38 WILLOUGHBY ROAD, CROWS NEST, NSW 2066	
TEL : (02) 9436 3868 FAX : (02) 9436 1244	



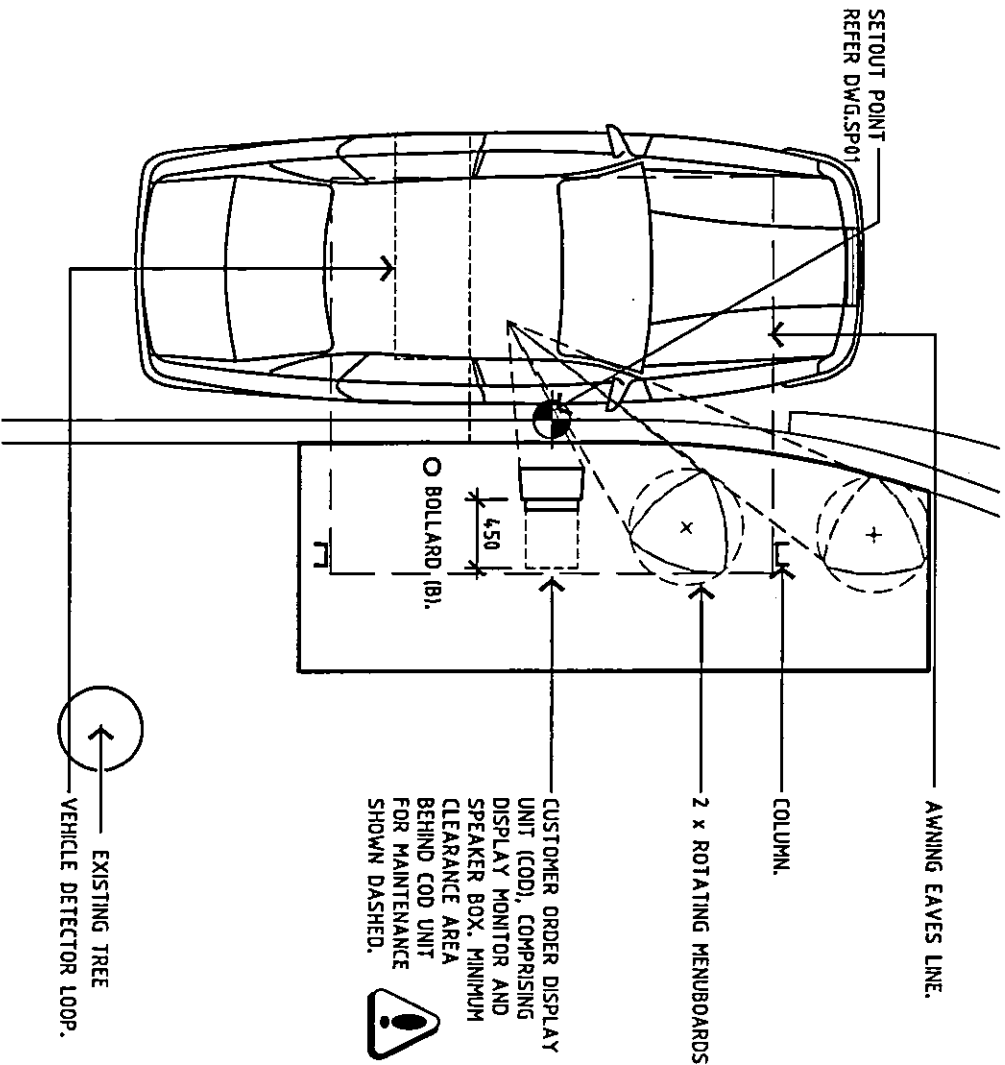
DA, TEND, CONGT	✓		
Drawn DB			
Checked FR			
Date JAW 01			
Scale 1:250			
Dwg No.			
SPO1			
Drawing			
SITE			
PLAN			

Project
PROPOSED COD BOOTH TO
EXISTING McDONALD'S
RESTAURANT AT
CNR WARRIEWOOD & PITTLATER RD
WARRIEWOOD NSW 2102

Consultant
Richmond+Ross Pty Limited
CONSULTING ENGINEERS AND PROJECT MANAGERS
404 001 446 426
38 WILLOUGHBY ROAD, ORONG ORONG, VIC 3206
TEL: (03) 9438 3980 FAX: (03) 9438 1224

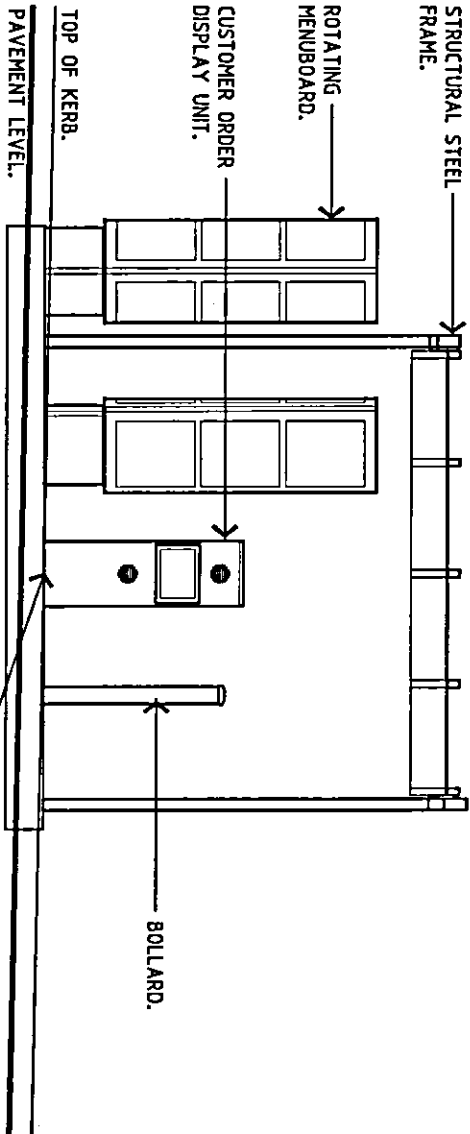
No.	Amendment	Date	Int.

- NOTES:
- GENERIC NOTE 2.2- IBM INSTALLATION REQUIRES
1. BUILDER TO PROVIDE 150X100 JUNCTION BOX ON EXTERNAL ORDER BOOTH WALL AT BASE FOR 4 OFF POWER CONDUITS AND CABLES (1X32DIA FOR DELPHI POWER, 3X25DIA FOR MENUBOARDS AND LIGHTING).
 2. BUILDER TO PROVIDE 150X100 JUNCTION BOX ON EXTERNAL ORDER BOOTH WALL AT BASE FOR 2 OFF DATA CONDUITS (2X32DIA.) DATA AND AUDIO.
 3. BUILDER TO PROVIDE DRAW WIRE IN WALL CAVITY BETWEEN JUNCTION BOX AND CEILING OVER ORIGINAL BUILDING FOR FUTURE PULLING THROUGH OF 1X32DIA. POWER AND 2X32DIA. DATA AND AUDIO BY 3M.



COD UNIT WITH AWNING (PLAN)

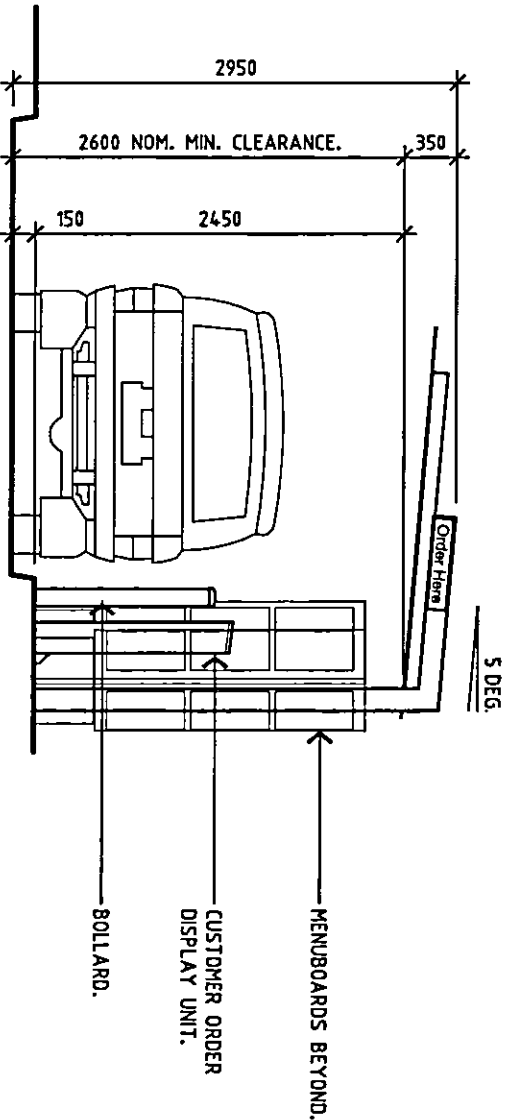
SCALE 1:50



COD UNIT WITH AWNING (FRONT ELEVATION)

SCALE 1:50

NOTE: AWNING STEELWORK TO BE PAINTED BLACK.



COD UNIT WITH AWNING (APPROACH SIDE ELEVATION)

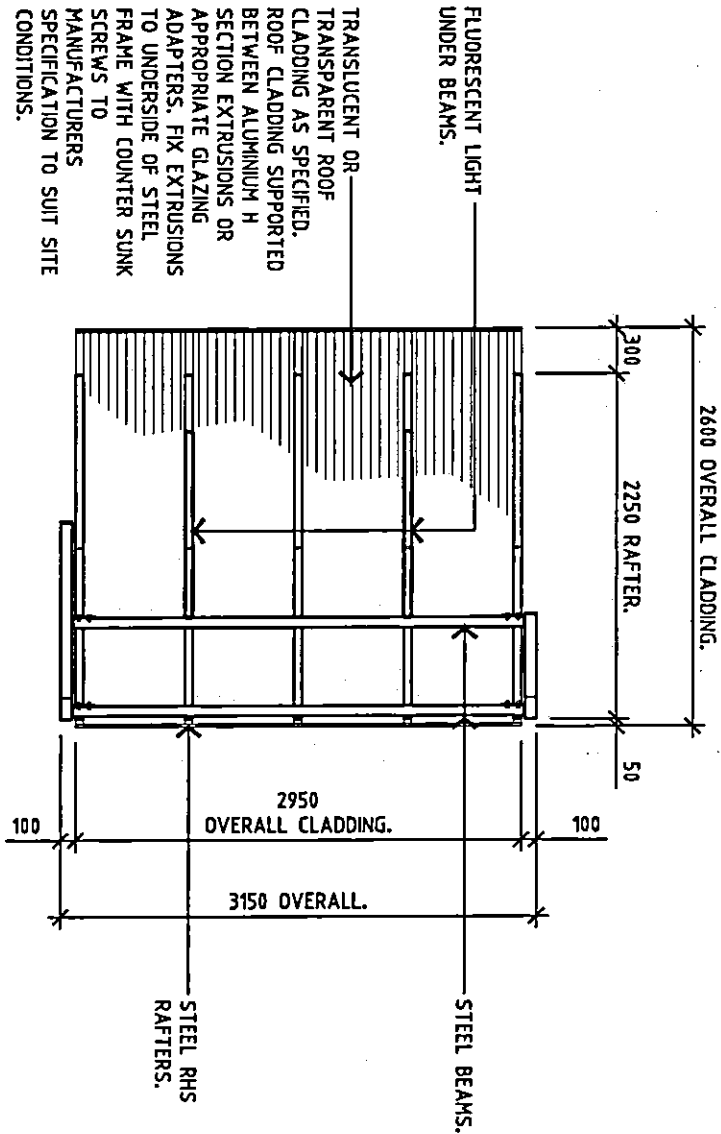
SCALE 1:50

	D.A.	TEND.	CONST.
✓			
Drawn	DB		
Checked	FR		
Date	JAN 07		
Scale	AS NOTED		
Dwg No.			
A01			
Drawing	COD AWNING		
PLAN			
AND			
ELEVATIONS			

Project
PROPOSED COD BOOTH TO
EXISTING McDONALD'S
RESTAURANT AT
CNR WARRIEWOOD & PITWATER RD
WARRIEWOOD NSW 2102

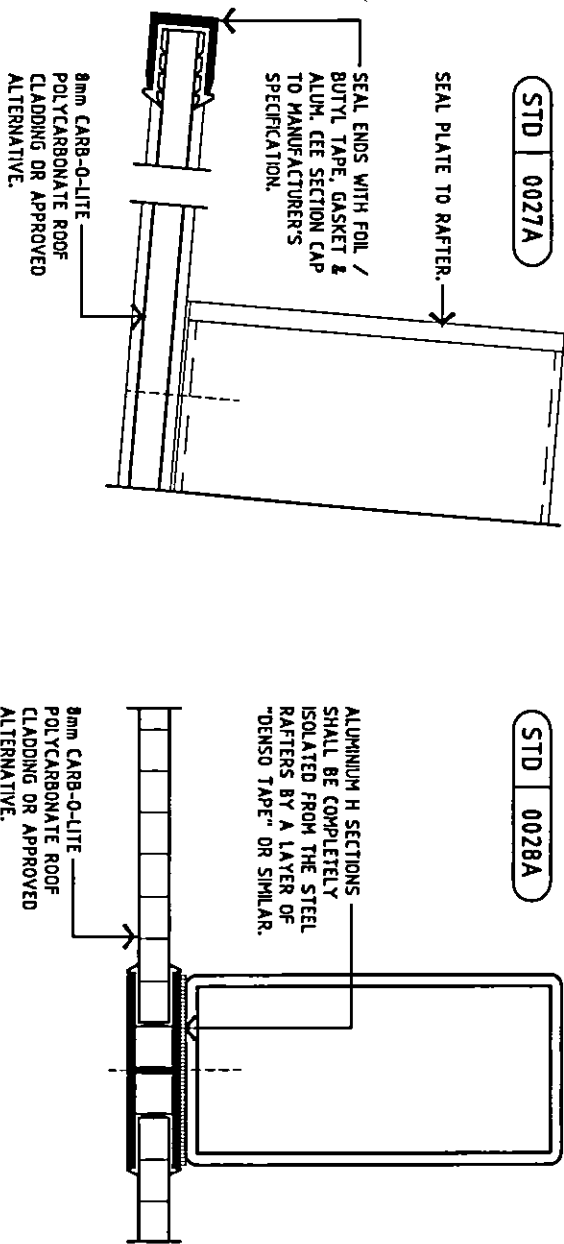
Consultant
070013
Richmond+Ross Pty Limited
CONSULTING ENGINEERS AND PROJECT LEADERS
401 601 446 434
38 WILLOUGHBY ROAD, CROWS NEST, NSW 2085
TEL: (02) 9438 3888 FAX: (02) 9438 1224

No.	Amendment	Date	Int.



COD AWNING (ROOF PLAN)

SCALE 1:50



POLYCARBONATE CLADDING END DETAIL SCALE 1:2

POLYCARBONATE CLADDING FIXING DET'L SCALE 1:2

003064

APR 2007

DA	TEND. CONST			
Drawn	DB			
Checked	PR			
Date	JAN 07			
Scale	AS NOTED			
Dwg No.	1			
A02				
Drawing				
COD				
AWNING				
DETAILS				

Project
PROPOSED COD BOOTH TO
EXISTING McDONALD'S
RESTAURANT AT
CNR WARRIEWOOD & PITTSWATER RD
WARRIEWOOD NSW 2102

Consultant
Richmond+Ross Pty Limited
CONSULTING ENGINEERS AND PROJECT MANAGERS
ACN 091 444 436
38 WILLOUGHBY ROAD, CROWS NEST, NSW 2085
TEL : (02) 9438 5966 FAX : (02) 9438 1224

No.	Amendment	Date	Int

CONCRETE

- C1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS3600 CURRENT EDITION WITH AMENDMENTS, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- C2. READY MIX CONCRETE SHALL COMPLY WITH AS1379.
- C3. CONCRETE QUALITY SHALL BE AS TABULATED. ALL THE REQUIREMENTS OF THE ACSE CONCRETE SPECIFICATION DOCUMENT SHALL APPLY TO THE FORMWORK, REINFORCEMENT AND CONCRETE UNLESS NOTED OTHERWISE.

ELEMENT	STRENGTH GRADE	SUMP	MAX. AGG. SIZE (mm)	CEMENT TYPE	MAX. W/C RATIO	MIN. CEMENT	MAX. SHRINK
FOOTING PAVEMENT INFILL	32 #	80 80	25 25	GP GP	- -	- -	- -

PAVEMENT CONCRETE SHALL HAVE A MINIMUM FLEXURAL TENSILE STRENGTH OF 4MPa AT 90 DAYS AND A MINIMUM CHARACTERISTIC COMPRESSIVE STRENGTH OF 25 MPa PRIOR TO BEING TRAFFICED.

STRUCTURAL STEEL

- S1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS4100 EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS. FABRICATION SHALL BE CARRIED OUT IN ACCORDANCE WITH SECTION 14 OF AS4100. ERECTION SHALL BE CARRIED OUT IN ACCORDANCE WITH SECTION 15 OF AS4100.
- S2. UNLESS NOTED OTHERWISE, ALL STEEL SHALL BE OF THE FOLLOWING GRADE IN ACCORDANCE WITH AUSTRALIAN STANDARDS

TYPE OF STEEL	GRADE (MPa)
UNIVERSAL BEAMS, COLUMNS, PFCs AND LARGE ANGLES TO AS3679.1	300
WELDED SECTIONS TO AS/NZS 3679.2	300
HOT ROLLED PLATES, FLOOR PLATES AND SLABS TO AS/NZS 3678	250
HOLLOW SECTIONS TO AS1163	C350
COLD FORMED PURLINS AND GIRTS TO AS1397	G450 Z350

- S3. UNLESS NOTED OTHERWISE ALL BOLTS SHALL BE M16 GRADE 8.8/S. NO CONNECTION SHALL HAVE LESS THAN 2 BOLTS. ALL BOLTS AND WASHERS SHALL BE GALVANISED.
- S4. UNLESS NOTED OTHERWISE, ALL WELDS TO BE 6mm CONTINUOUS FILET WELD TYPE SP USING E48xx ELECTRODES OR EQUIVALENT. BUTT WELDS, WHERE SPECIFIED SHALL BE COMPLETE PENETRATION BUTT WELDS CATEGORY SP TO AS1554.1

- S5. STRUCTURAL STEELWORK SHALL HAVE THE FOLLOWING SURFACE TREATMENT IN ACCORDANCE WITH THE SPECIFICATION

ELEMENT	SURFACE CLEANING	PRIMING
ALL UNO	CLASS 2.5 ABRASIVE BLAST	HOT DIP GALVANISED

ALL GALVANISING OF STRUCTURAL STEEL WORK SHALL BE TO AS4680. THE CONTINUOUS AVERAGE ZINC COATING MASS SHALL BE 600g/m2 (550g/m2 MINIMUM).

THIS IS A COMPUTER GENERATED DRAWING. DO NOT AMEND BY HAND.

NOTES

1. ALL POSTS AND BEAMS SHALL BE HOT DIP GALVANISED. POSTS AND BEAMS SHALL BE COATED AND PAINTED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND THE SPECIFICATION.
2. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS.
3. ALL SURFACES AFFECTED BY SITE WELDING SHALL BE POWER WIRE BRUSHED AND PAINTED WITH A MINIMUM OF TWO COATS OF COLD GALVANISING.
4. ALL SECTIONS TO BE HOT DIP GALVANISED.
5. ALL VISIBLE MANUFACTURERS MARKS TO BE GROUND FLUSH PRIOR TO SURFACE FINISHING.
6. REFER SIGNAGE CONTRACTOR FOR HOLDING DOWN BOLTS FOR MENUBOARD TO BE CAST IN.

D.A. TEND. CONST	
☒	
Drawn DB	
Checked PR	
Date JAN 07	
Scale	
Dwg No.	
501	
Drawing C.O.D.	
ANNING	
STRUCTURAL	
NOTES	

STEVEN DABRY
MICHAEL CREAG (eddons)

R(TCA)
4 APR 2007

0030107

No.	Amendment	Date	Int

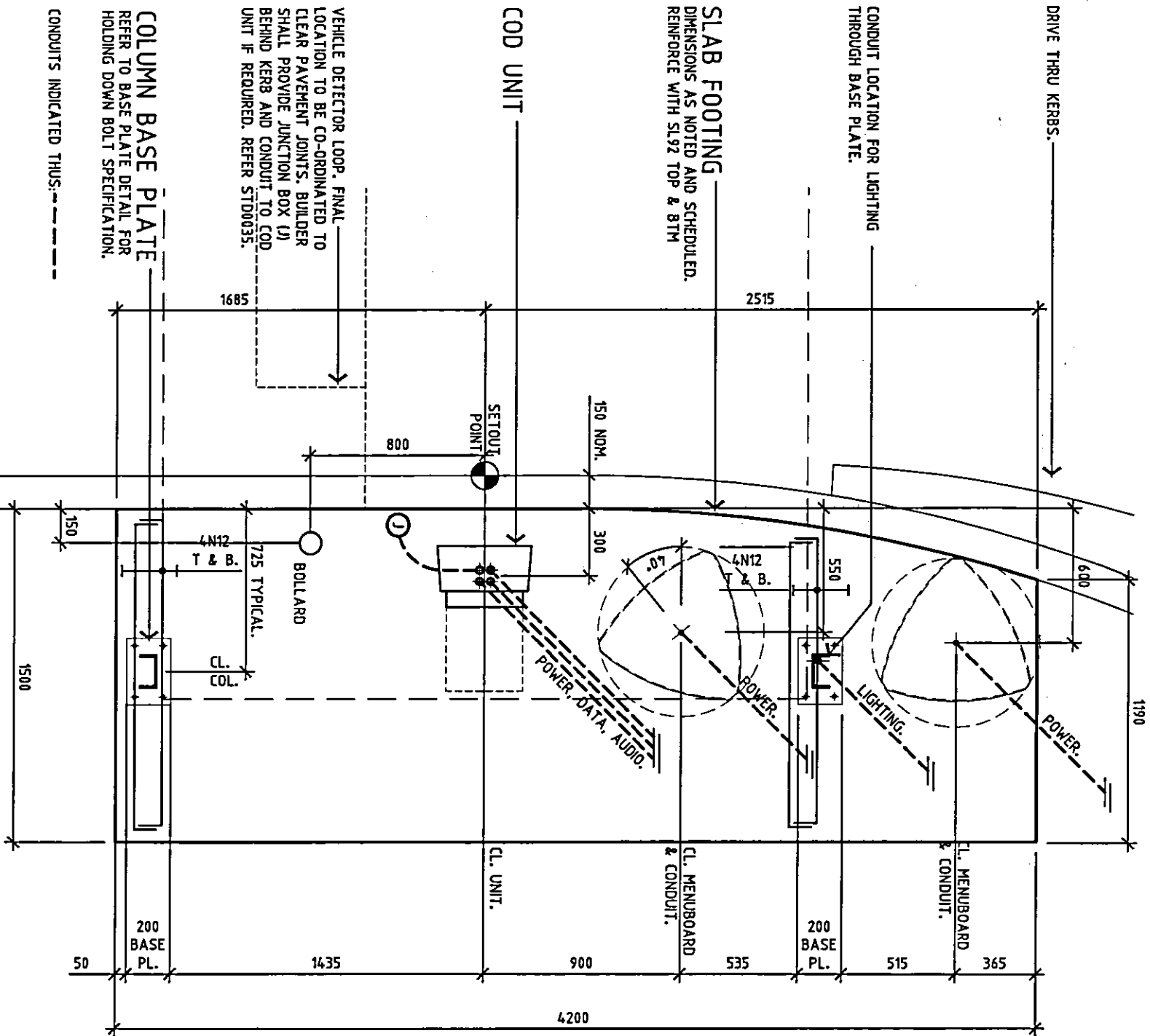
Project
PROPOSED COD BOOTH TO
EXISTING McDONALD'S
RESTAURANT AT
CNR WARRIEWOOD & PITWATER RD
WARRIEWOOD NSW 2102

Consultant

070013

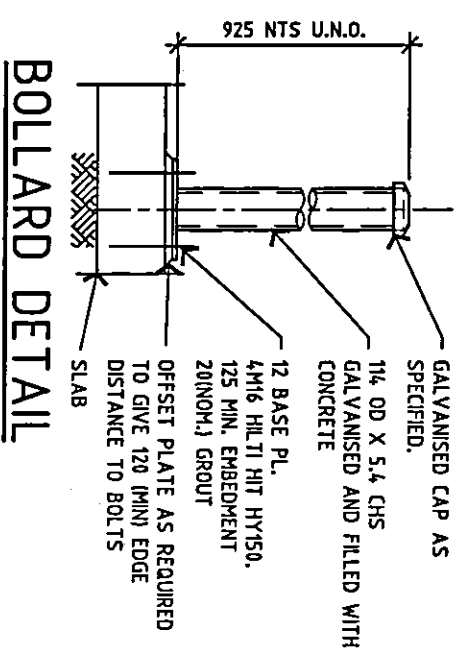
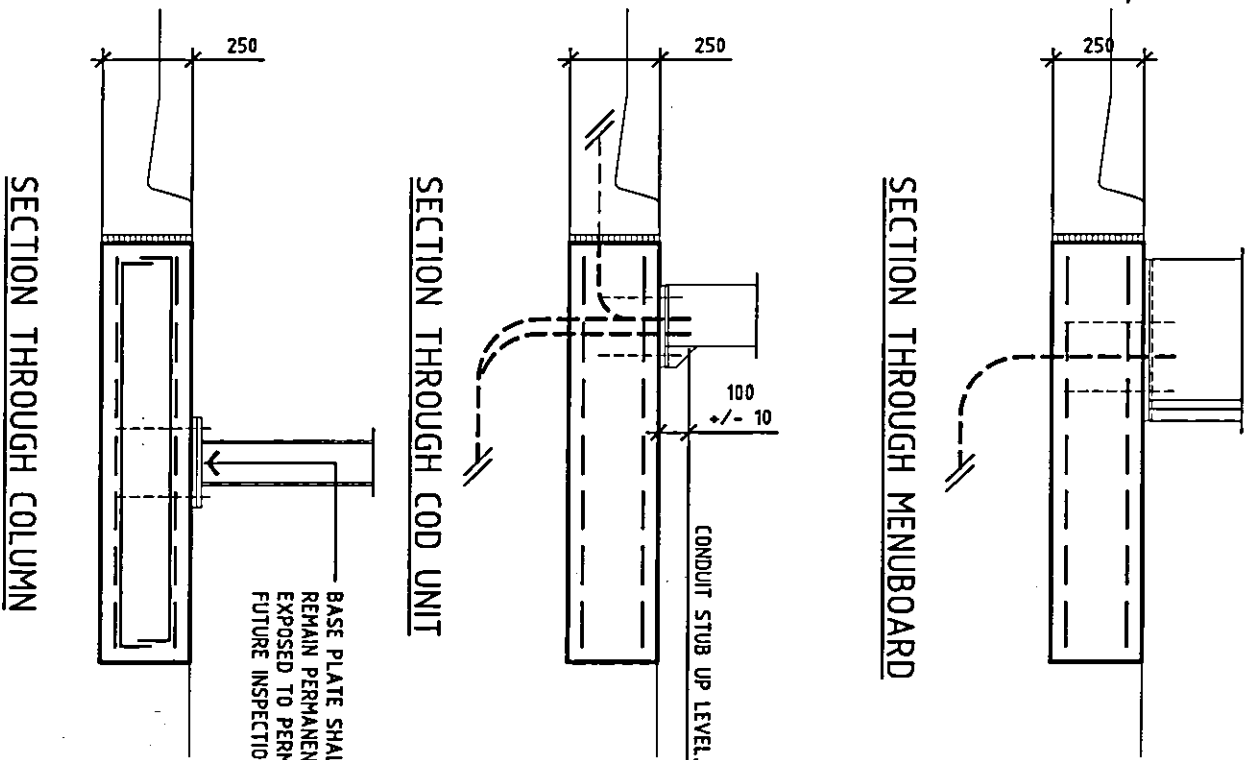
Richmond+Ross Pty Limited
CONSULTING ENGINEERS AND PROJECT LEADERS
404 601 446 436
38 WILLOUGHBY ROAD, CROMS NEST, NSW 2065
TEL : (02) 9438 3998 FAX : (02) 9438 1224

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COD UNIT WITH AWNING
SCALE 1:25
(SLAB FOOTING & SETOUT DETAILS)

NOTE:
SLAB FOOTING TO HAVE BLACK OXIDE FINISH.



0030107

R (TCC) 4 APR 2007

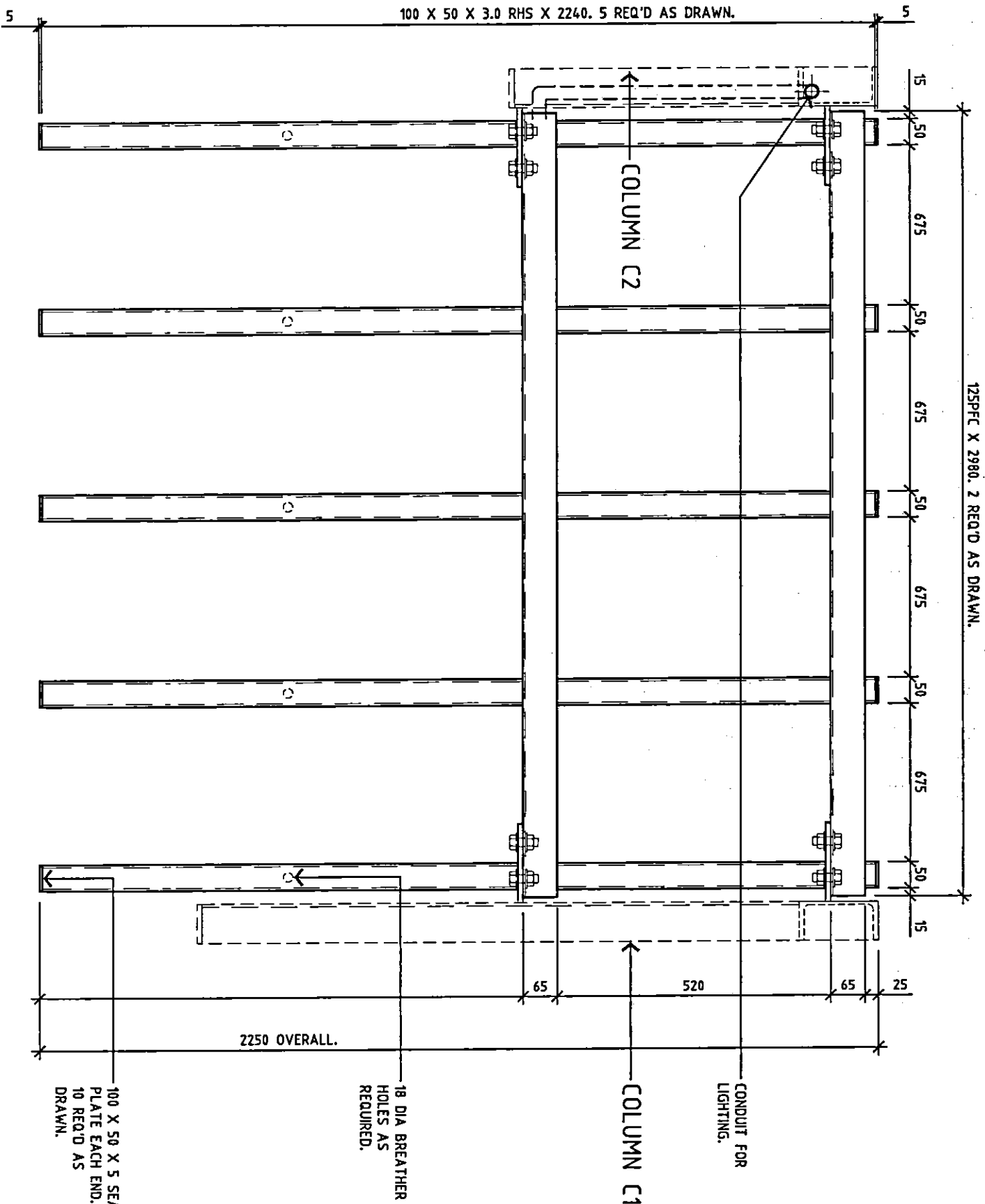
STEPHEN DAZBY
HICKS CREW, BE (lons)

DA. TEND. CONST			
Drawn	SH		
Checked	FR		
Date	JAN 07		
Scale	AS NOTED		
Dwg No.	12		
S02			
Drawing	COD AWNING		
STRUCTURAL			
SLAB PLAN			
AND DETAILS			

Project
PROPOSED COD BOOTH TO
EXISTING McDONALD'S
RESTAURANT AT
CNR WARRIEWOOD & PITWATER RD
WARRIEWOOD NSW 2102

No.	Amendment	Date	Int

Consultant 070013
Richmond+Ross Pty Limited
CONSULTING ENGINEERS AND PROJECT LEADERS
201 SW 4th St
38 WILLOUGHBY ROAD, CROMA WEST, NSW 2085
TEL: (02) 9438 3068 FAX: (02) 9438 1224



1 FRAME REQ'D AS DRAWN MARK FR1

COD AWNING STEELWORK DETAILS (ROOF FRAME)

SCALE 1:10

NOTES

- ALL HOLES SHALL HAVE A DIAMETER = BOLT DIAMETER + 2mm U.N.O.
- ALL WELDS SHALL BE 6 C.F.W. U.N.O.
- B.C. DENOTES BEVEL CUT.
- ALL STEELWORK SHALL BE CLASS 2.5 GRIT BLAST AND HOT DIP GALVANISED. PROVIDE BREATHER HOLES AS REQUIRED AND WHERE SHOWN.
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS.
- ALL VISIBLE MANUFACTURER'S MARKS TO BE GROUND FLUSH PRIOR TO SURFACE FINISHING.

STEPHEN DABBY
HICKMAST, CREAG, BELLHOS

0030107

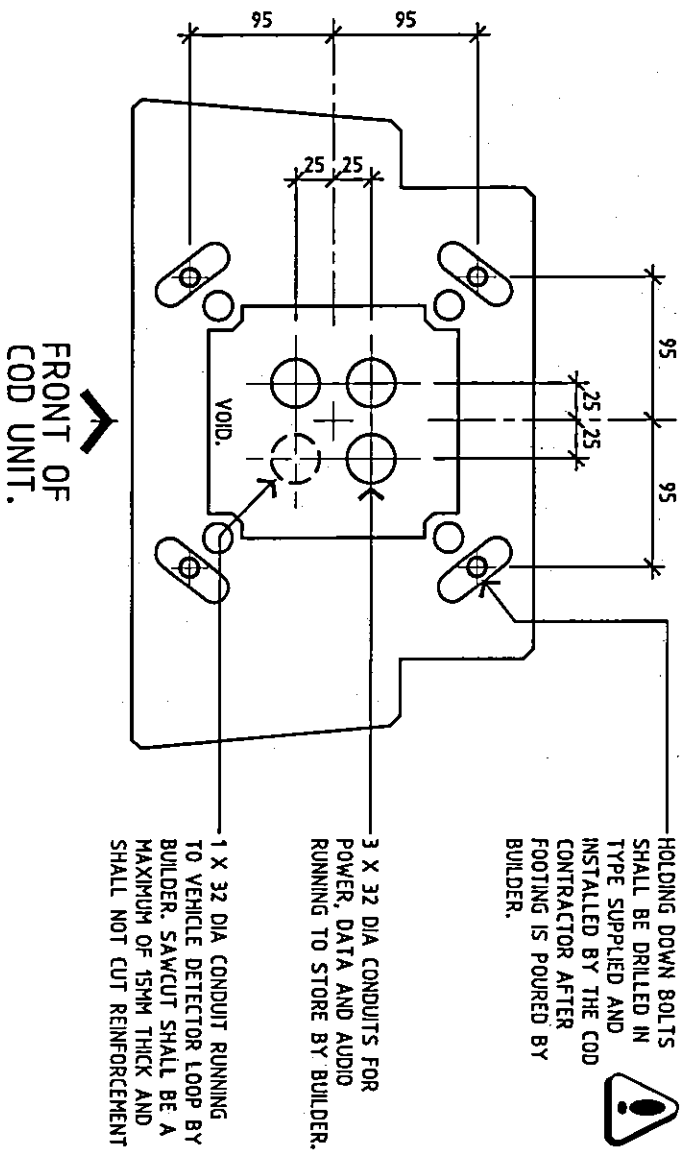
Rn - 4 APR 2007
(TCC)

D.A. TEND. CONST	
✓	
Drawn	SH
Checked	FR
Date	JAN 07
Scale	AS NOTED
Dwg No.	2
S04	
Drawing COD AWNING STRUCTURAL DETAILS SHEET 2	

Project
PROPOSED COD BOOTH TO
EXISTING McDONALD'S
RESTAURANT AT
CNR WARRIEWOOD & PITTMATER RD
WARRIEWOOD NSW 2102

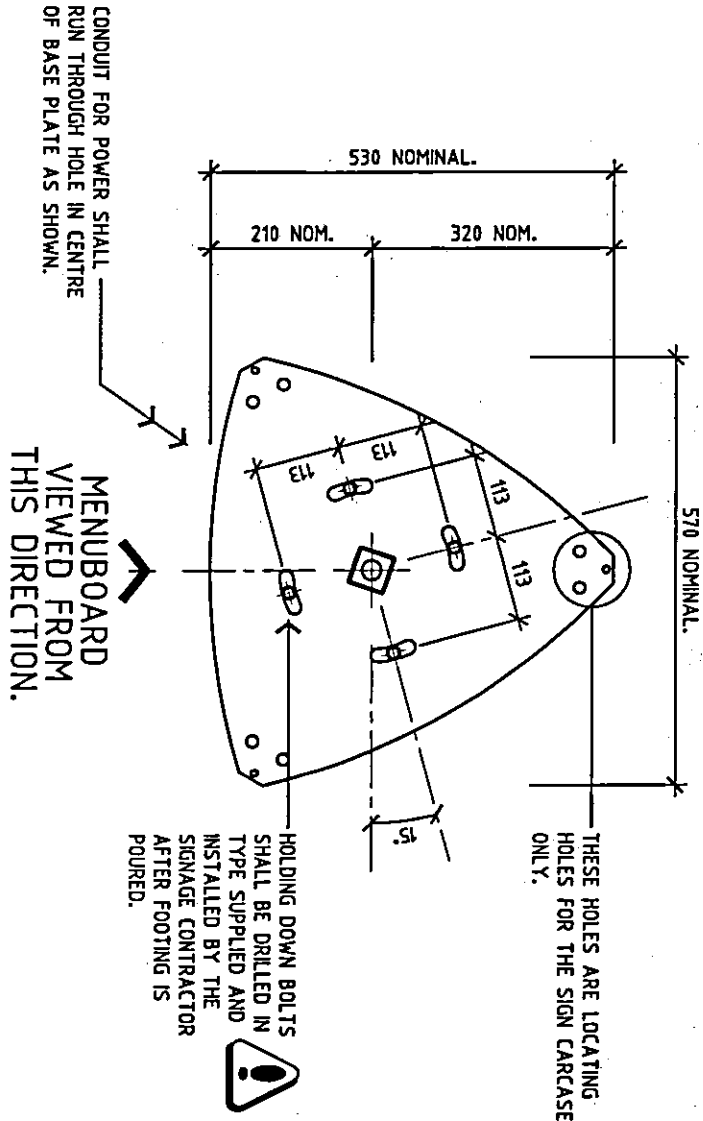
No.	Amendment	Date	Int

Consultant
Richmond+Ross Pty Limited
CONSULTING ENGINEERS AND PROJECT LEADERS
38 WILLOUGHBY ROAD, CROWS NEST, NSW 2066
TEL: (02) 9438 3888 FAX: (02) 9438 1224



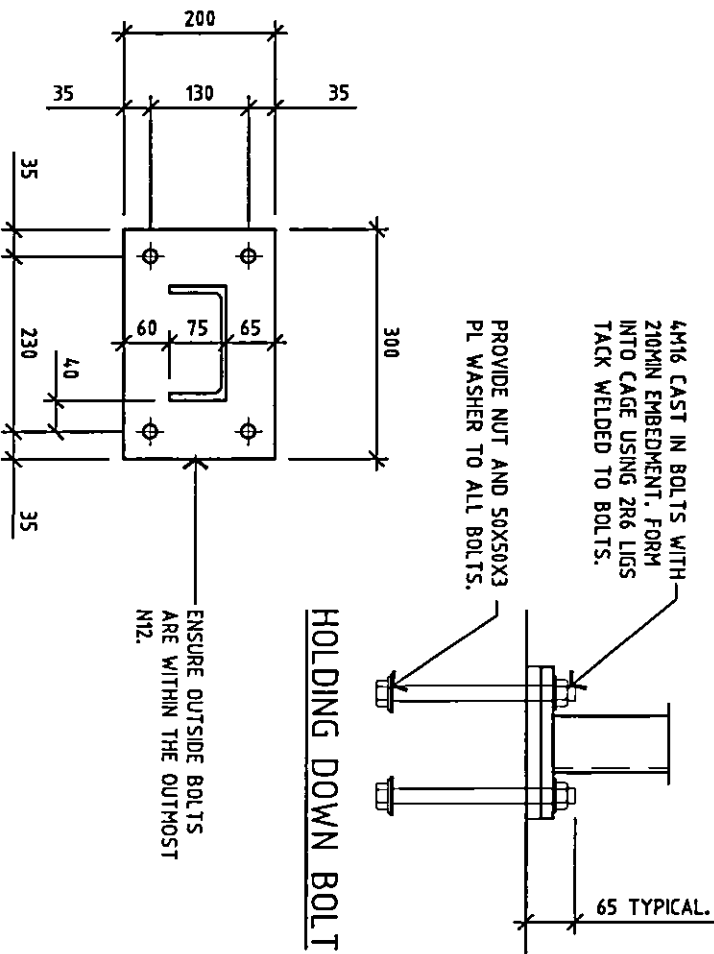
COD UNIT BASE PLATE DETAIL

SCALE 1:5



COATES MENUBOARD BASE PLATE

SCALE 1:10



COD AWNING COLUMN BASE PLATE

SCALE 1:10

Project	PROPOSED COD BOOTH TO EXISTING McDONALD'S RESTAURANT AT CNR WARRIEWOOD & PITTWATER RD WARRIEWOOD NSW 2102
Consultant	Richmond+Ross Pty Limited CONSULTING ENGINEERS AND PROJECT LEADERS ACN 001 448 436 38 WILLOCHERY ROAD, CROMBIE NSW 2065 TEL: (02) 9438 3986 FAX: (02) 9438 1224
Drawing	BASE PLATE DETAILS
Dwg No.	2
Scale	AS NOTED
Date	JAN 07
Checked	FR
Drawn	SH
DA. TEND. CONST	✓

0030107
STEPHEN DUBBY
MICHAEL CREIG, BETHCOO

Rm (TCC1)
-4 APR 2007

No.	Amendment	Date	Int

1. Position of structure in relation to Sydney Water's main is satisfactory.
2. Current flow in Sydney Water sewerage system is satisfactory and flow into the River of the sewer is not a problem.
3. If no flow is observed, it may be that the sewer is blocked with debris in Sydney Water's area.
4. If no flow is observed, Sydney Water may be responsible for the blockage.
5. Current flow in Sydney Water sewerage system is satisfactory and flow into the River of the sewer is not a problem.
6. If no flow is observed, it may be that the sewer is blocked with debris in Sydney Water's area.
7. If no flow is observed, Sydney Water may be responsible for the blockage.

Prepared by: 4670826

Project Manager,
Queensland Water, on behalf of
SYDNEY WATER

29/3/02

R (TCS)
-4 APR 2007



Application Lodgement Summary

WATER

Reference Number 1943970

Date Requested: Fri March 30 2007

Agent Reece St. Leonards, ?
Applicant RICHMOND & ROSS, 38 WILLOUGHBY CROWS NEST 2065
Property/Asset Lot 5 Vuko Pl, Warriewood 2102 (Mcdonald's Australia Limited) PNum: 4670836
225 mm DI CL Sewer Main - (2795348)
Product Building Plan Approval Application

Charge	Product Cost	GST	Total
Building Plan Approval Application Fee	\$23.60	\$0.00	\$23.60

0030/c=

R (cc)

- 4 APR 2007