



 northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2025/1178

BOUNDARY
17.07m

BOUNDARY
29.425m

GARDEN
BED
TO BE
RETAINED

RETAIN EX.
CROSSOVER,
KERBS & DRIVEWAY

RETAIN EX. DRIVEWAY

EXISTING BRICK DRIVEWAY
TO BE RETAINED

EXISTING CARPORT STRUCTURE
TO BE REMOVED

RETAIN EX. GARDEN BED

GRASSED AREA TO BE
RETAINED

PORTION OF PLANTER TO BE DEMOLISHED
NEW SLEEPERS TO EXISTING PLANTER BED
EXISTING WINDOW TO
BE DEMOLISHED

RETAIN
EX. GARDEN

TALL HEDGING TO
BOUNDARY FENCE
TO BE RETAINED

EX. TREE

BOUNDARY
13.875m

TOW 103.750

NEW
GARDEN
BED

BOUNDARY
27.43m

NEW STORMWATER
BOUNDARY PIT AND
DISCHARGE

OPEN ABOVE
EXISTING WINDOW TO
BE DEMOLISHED

ROOF ABOVE TO
BE DEMOLISHED

BATHROOM FINISHES &
FIXTURES TO BE DEMOLISHED

SKYLIGHT ABOVE TO
BE DEMOLISHED

RETAIN EX. WALL
OPENINGS TO BE
WIDENED

ROOF ABOVE TO BE
DEMOLISHED

SKYLIGHT
ABOVE TO BE
DEMOLISHED

KITCHEN JOINERY &
FIXTURES TO BE
DEMOLISHED

RETAIN EX.
WALL STRUCTURE.
NEW OPENING

REMOVE EX.
FLOOR
STRUCTURE

ROOF ABOVE TO
BE DEMOLISHED

STORMWATER

DECK TO BE
DEMOLISHED

RETAIN EX.
GARDEN BED

REFER HYD. ENG'S DRAWINGS
NEW CHARGED SYSTEM

REMOVE EXISTING
ROOF STRUCTURE
PORTION OF WALL
TO BE DEMOLISHED
FOR NEW DOOR

RETAIN EXISTING OPENING

EXISTING WINDOW
TO BE REMOVED

WC FINISHES &
FIXTURES TO BE
DEMOLISHED

UTILITY JOINERY &
FIXTURES TO BE
DEMOLISHED

**2 WEWAK
PLACE**

**7
ROOSEVELT
AVENUE**

BLa
BLAKE LETNIC architects

Studio 18 | 13 - 29 Nichols Street
Surry Hills, Sydney NSW 2010

+61 2 8591 9364
info@blakeletnic.com

abn 7763585553
reg # 9445

Notes

This drawing shall be read in conjunction with all other architectural and consultant drawings and specifications and with such other written instructions issued during the course of the contract. Notify designer of any discrepancies prior to proceeding with work. Materials and workmanship shall be in accordance with the specification, current SAA codes, Building Regulations and requirements of any other statutory authorities. Contractors shall verify all dimensions on site and notify designer of any discrepancies. Use figured dimensions only. Copyright. All rights reserved. This drawing is copyright and confidential apart from any fair dealings as permitted under copyright and may not be reproduced by any persons without written permission of the above company and is not to be used in any manner prejudicial to the interests of that company. This drawing and attached sheet remain the property of Blake Letnic Architects Pty Ltd.

Legend

Boundary
Existing walls
To be demolished
Proposed new walls
New construction

Revision
01
02

Date
22/08/2025
11/11/2025

Transmittal Set Name
DEVELOPMENT APPROVAL
DEVELOPMENT APPROVAL

2310

ALLAMBIE HEIGHTS HOUSE
9 ROOSEVELT AVENUE, ALLAMBIE HEIGHTS NSW 2100

Prepared for: Jenna & Richard Mair

1:100 @ A3

Demolition Plan - Ground Floor



11/11/2025

NOT FOR CONSTRUCTION

DA101 [02]

 northern
beaches
council

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DA2025/1178

BOUNDARY
17.07m

BOUNDARY
29.425m

SHED

BOUNDARY
13.875m

BOUNDARY
27.43m

ROOF TO BE
DEMOLISHED

ROOF, SKYLIGHTS & GUTTER
TO BE DEMOLISHED

FALL
27°

FALL
27°

FALL
27°

FALL
27°

RIDGE
108.94

SKYLIGHT

FALL
1.5°

GUTTER

FALL
1.5°

FALL
6°

ROOF &
GUTTER TO BE
DEMOLISHED

ROOF &
GUTTER TO BE
DEMOLISHED

**7
ROOSEVELT
AVENUE**

**2 WEWAK
PLACE**



DA2025/1178

78 **BOUNDARY**
17.07m

BOUNDARY
29.425m

N

GARDEN
BED
TO BE
RETAINED

RETAIN EX. DRIVEWAY

LINE OF ROOF OVER
EXISTING BRICK DRIVEWAY
TO BE RETAINED

CARPORT

RETAIN EX. GARDEN BED

RETAIN EX. G

FREE

GARDEN

GRASSED AREA TO BE
RETAINED

TALL HEDGING TO
BOUNDARY FENCE
TO BE RETAINED

RETAIN
GARDEN

TO
BACK

EX. TREE

BOUNDARY
13.875

NEW STORMWATER
BOUNDARY PIT AND
DISCHARGE

BOUNDARY



**2 WEWAK
PLACE**

7
ROOSEVELT
AVENUE

LEGEND

COL	COLUMN
DP	DOWNPIPE
EG	EAVES GUTTER
MR	METAL ROOF SHEETING
SCR	PRIVACY SCREEN
SK	SKYLIGHT
W--	PROPOSED WINDOW / GLAZED DOOR

BL | a
BLAKE LETNIC architects

Studio 18 | 13 - 29 Nichols Street
Surry Hills, Sydney NSW 2010

+61 2 8591 9364
info@blakeitnic.com

abn 7763585553
req # 9445

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Legend



Revision	Date
01	22/08/2025
02	11/11/2025

Transmittal Set Name
DEVELOPMENT APPROVAL
DEVELOPMENT APPROVAL

2310

ALLAMBIE HEIGHTS HOUSE
9 ROOSEVELT AVENUE, ALLAMBIE HEIGHTS NSW 2100

11/11/2025

Prepared for: Jenna & Richard Mair

NOT FOR CONSTRUCTION

1:100 @ A3

Proposed Ground Floor Plan



DA201 [02]

 northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2025/1178

BOUNDARY 17.07m

BOUNDARY 29.425m

3.5m SETBACK
0.9m SETBACK

6.5m SETBACK

BOUNDARY 13.875m

0.9m SETBACK
BOUNDARY 27.43m

6.5m SETBACK

2 WEWAK PLACE

7 ROOSEVELT AVENUE

BLa
BLAKE LETNIC architects

Studio 18 | 13 - 29 Nichols Street
Surry Hills, Sydney NSW 2010

+61 2 8591 9364
info@blakeletnic.com

abn 7763585553
reg # 9445

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Legend

Boundary
Existing walls
To be demolished
Proposed new walls
New construction

Revision
01 22/08/2025
02 11/11/2025

Transmittal Set Name
DEVELOPMENT APPROVAL
DEVELOPMENT APPROVAL

2310 ALLAMBIE HEIGHTS HOUSE
9 ROOSEVELT AVENUE, ALLAMBIE HEIGHTS NSW 2100

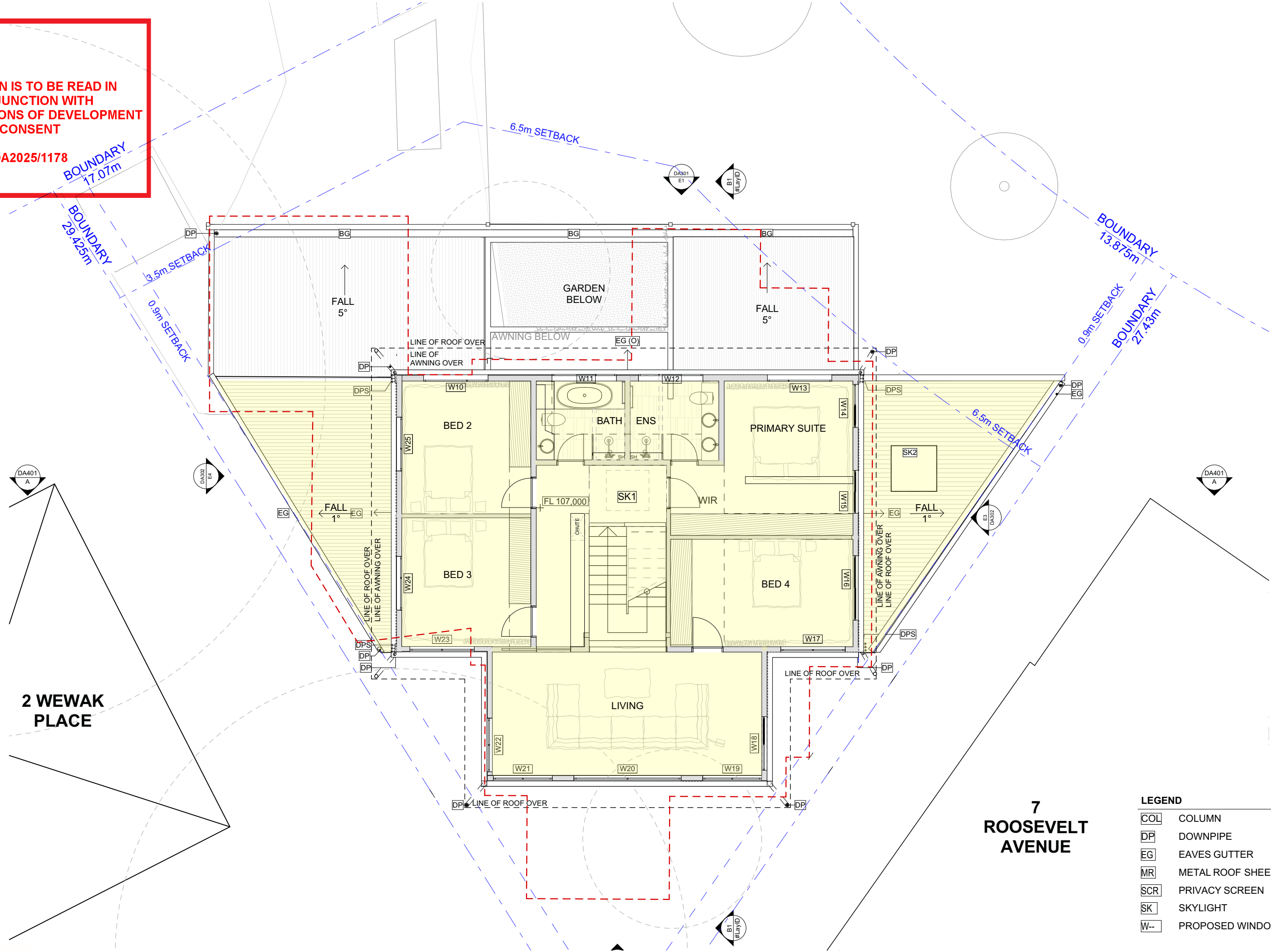
Prepared for: Jenna & Richard Mair

NOT FOR CONSTRUCTION

1:100 @ A3 **Proposed First Floor Plan**



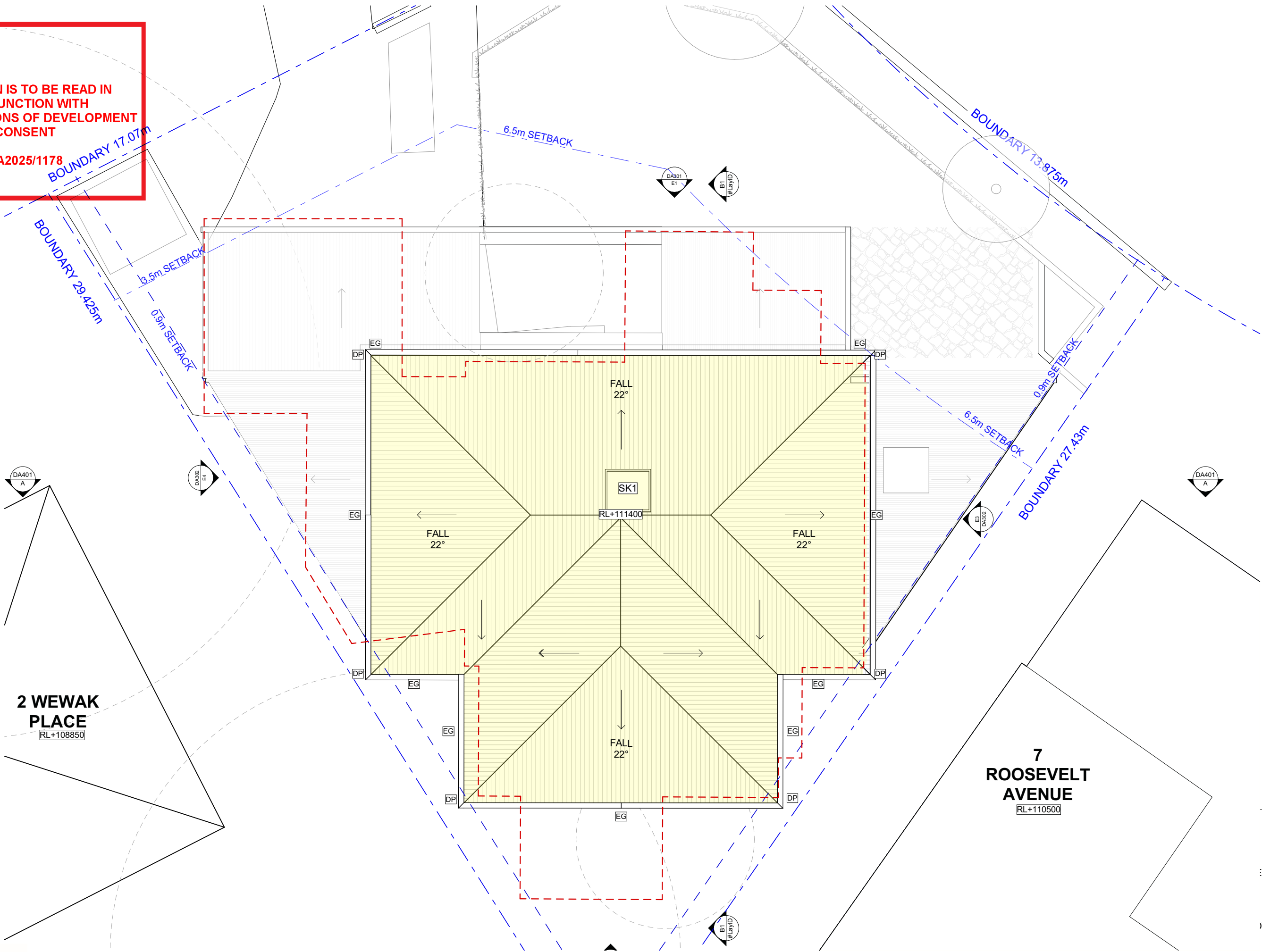
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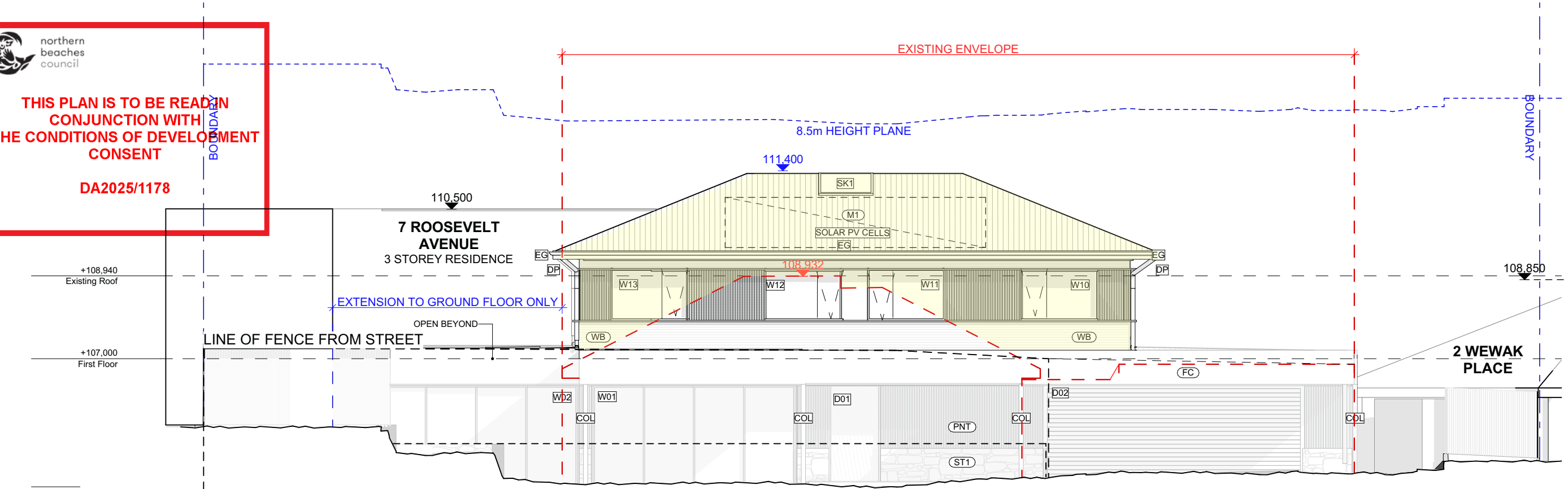


 northern
beaches
council

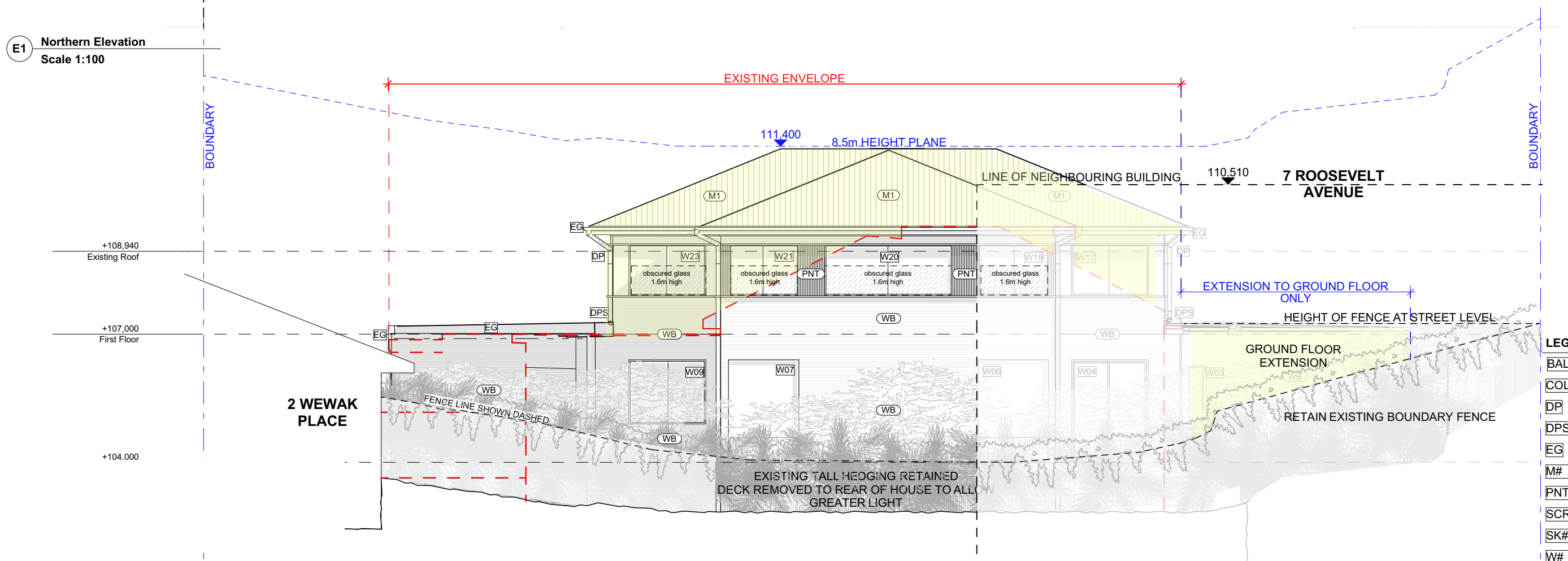
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DA2025/1178





E1 Northern Elevation
Scale 1:100



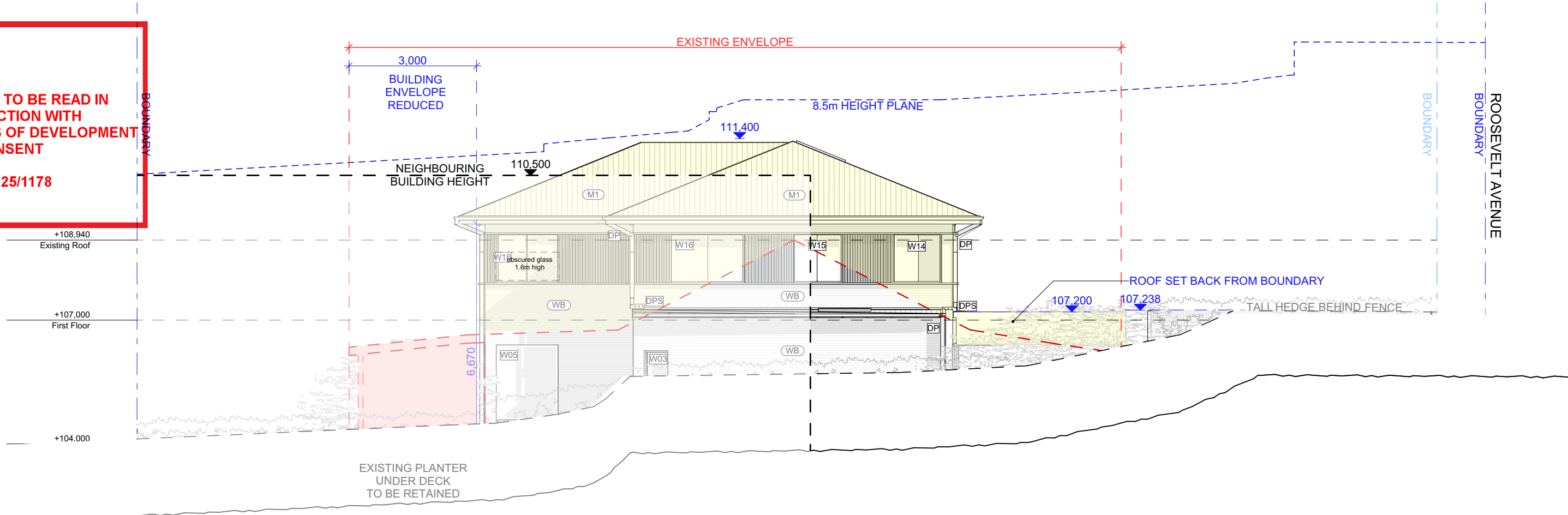
LEGEND	
BAL	BALUSTRADE
COL	COLUMN
DP	DOWNPIPE
DPS	DOWNPIPE SPREADER
EG	EAVES GUTTER
M#	METAL ROOF SHEETING
PNT#	PAINT FINISH
SCR	TIMBER PRIVACY SCREEN
SK#	SKYLIGHT
W#	PROPOSED WINDOW / GLAZED DOOR

E2 Southern Elevation
Scale 1:100

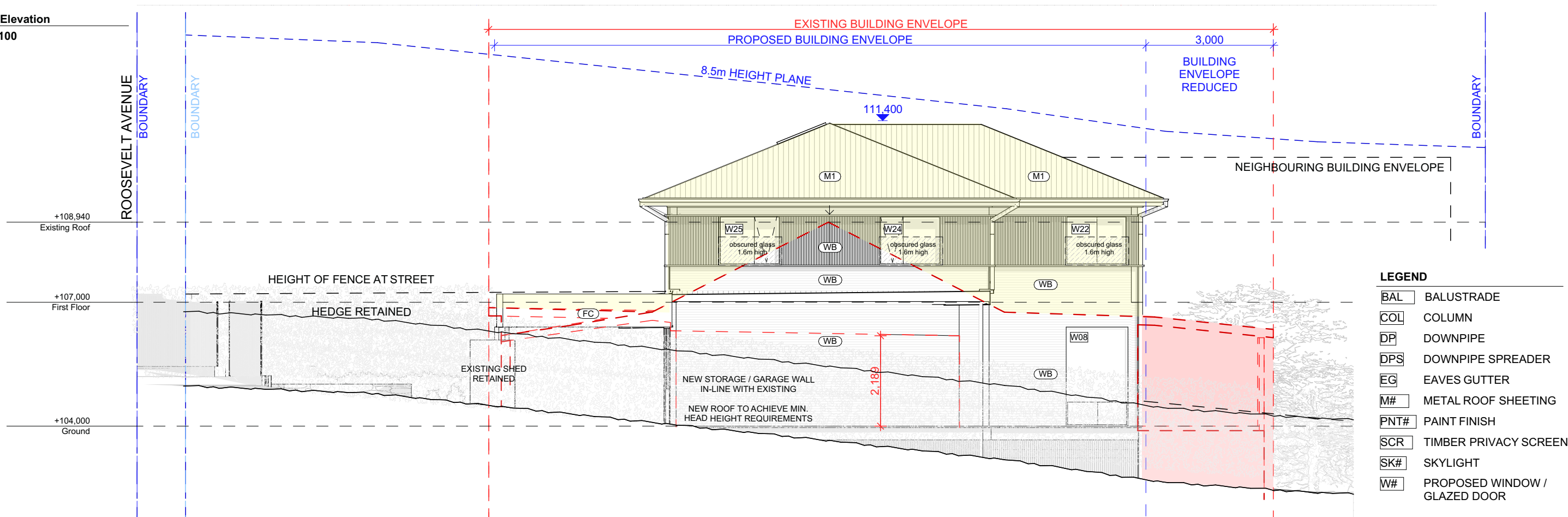
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DA2025/1178



E3 Eastern Elevation
Scale 1:100



E4 Western Elevation
Scale 1:100

LEGEND

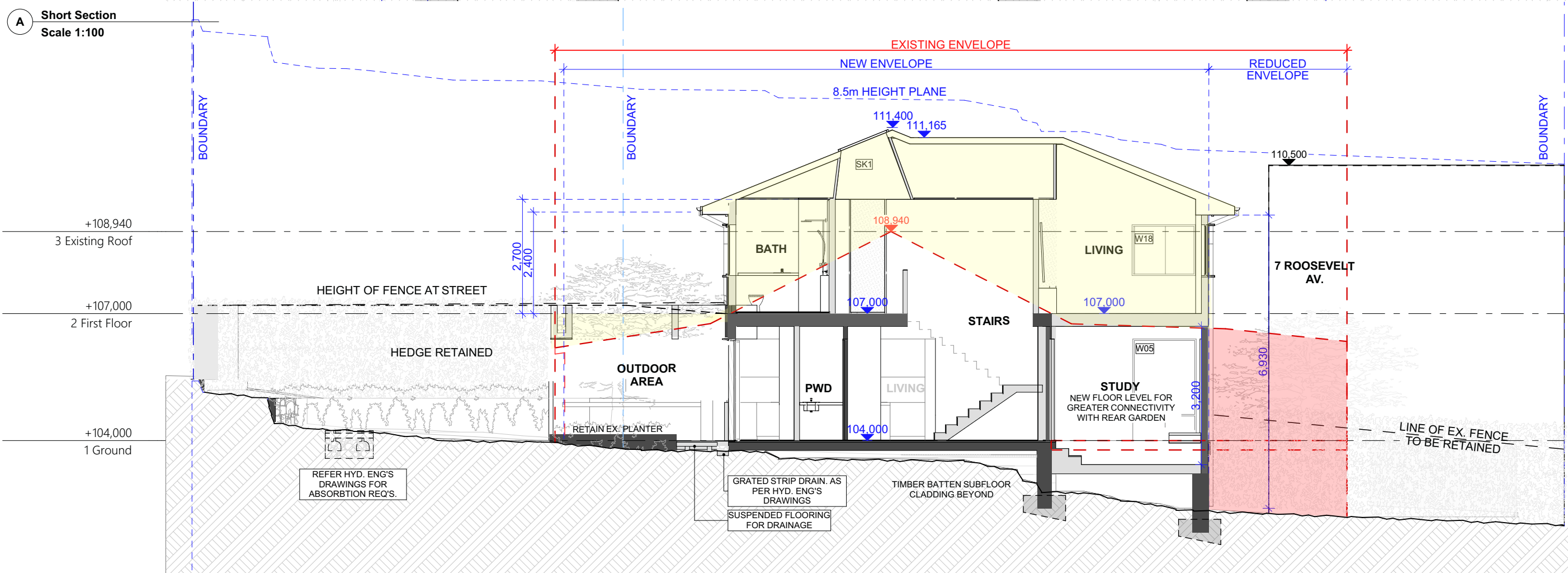
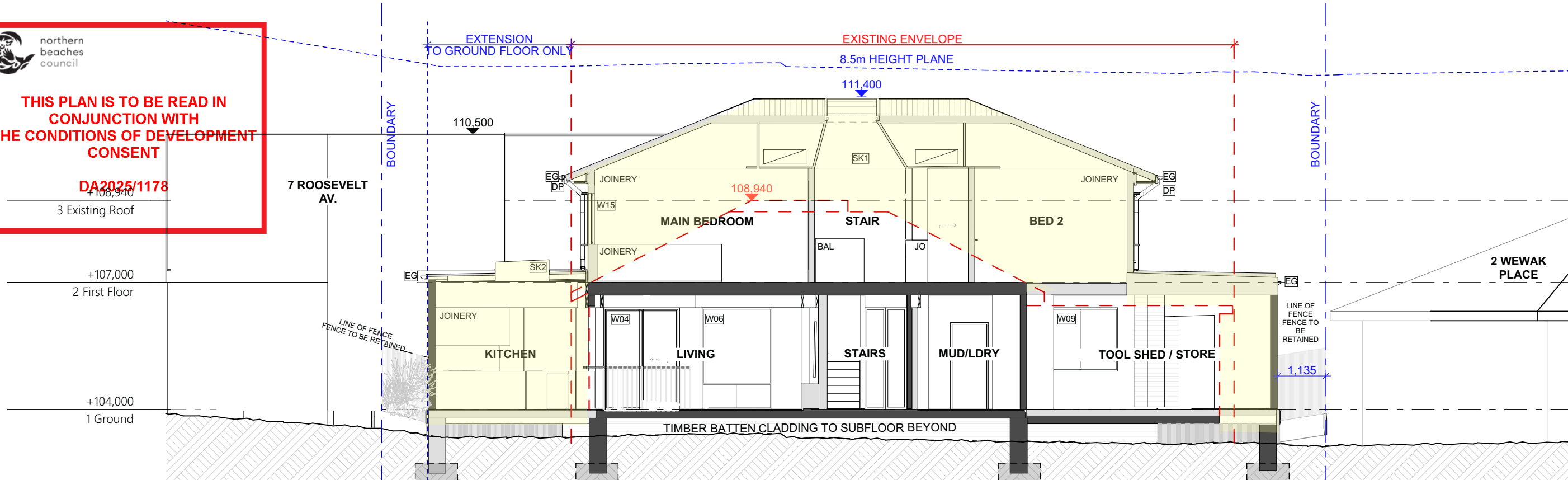
BAL	BALUSTRADE
COL	COLUMN
DP	DOWNPIPE
DPS	DOWNPIPE SPREADER
EG	EAVES GUTTER
M#	METAL ROOF SHEETING
PNT#	PAINT FINISH
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DA2025/1178

+106,940
3 Existing Roof





MATERIALITY

EXTERNAL FINISHES

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CONSENT

DA2025/1178

WB 	CLADDING WEATHERBOARD PAINT FINISH	PC (D-XX/W-XX) 	DOORS & WINDOWS ALUMINIUM POWDERCOAT GREY	ST1 	EXTERNAL CLADDING - LANDSCAPE WALL NATURAL STONE WALL CLADDING
PNT 	EXPOSED STRUCTURE TIMBER PAILING OR BATTEN PAINT FINISH TO MATCH WEATHERBOARD FINISH	EG /DP 	GUTTERS & DOWNPIPES PAINT FINISH TO MATCH ROOF CLADDING AND DOORS & WINDOWS	ST2 	EXTERNAL FLOORING NATURAL STONE FLOORING
FC 	FC SHEET PAINT FINISH TO MATCH	M1 	ROOF CLADDING CUSTOM ORB ROOF SHEETING COLORBOND LIGHT COLOURED FINISH	TMB 	FRONT DOOR HARDWOOD SEAL FINISH