

LOT TYPE (AS PER NSW HOUSING CODE)		A
SITE AREA		560.3 SQM
FLOOR AREA		
GROUND FLOOR	192.17 SQM	
FIRST FLOOR	137.63 SQM	
TOTAL LIVING AREA		329.8 SQM
INCLUDES EXT. WALLS & GARAGE EXCLUDES PORTICO, P.P. STAIRS & VOIDS		
MAX. ALLOWABLE BY NSW H/CODE		330M2
SITE COVERAGE		
TOTAL SITE COVERAGE	192.17 SQM	
EXCLUDES PORTICO, DRIVEWAY, EAVES (SWIMMING POOL)		
MAX. ALLOWABLE BY NSW H/CODE		50 %
LANDSCAPED AREA		
TOTAL SITE LANDSCAPE	221.4 SQM	
EXCL. ALL HARD SURFACES MIN. DIMENSION OF 25M		
MIN. REQUIRED BY NSW H/CODE		20 %
OUTDOOR LIVING AREA		
TOTAL OUTDOOR LIVING AREA	160.2 SQM	
MIN. DIMENSION OF 4M MAX. 150 GRADE		
MIN. REQUIRED BY NSW H/CODE		24 SQM
BUILDING HEIGHT RESTRICTION MAXIMUM 8.5 M RIDGE HEIGHT (F.F.L. MUST BE ACCURATE TO COMPLY)		
MAXIMUM 1000MM CUT MAXIMUM 1000MM FILL MAX. 600MM FILL IF SETBACK IS > 2M FILL BATTER MIN. 400MM FROM BOUNDARY DEEP EDGE BEAM TO NATURAL GROUND FOR SETBACKS < 2M		
RETAINING WALL REQUIREMENTS RETAINING WALLS TO BE MAXIMUM 1000MM FROM DWELLING FOOTPRINT		
TERMITE PROTECTION PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH A.5.3660.1		
GENERAL NOTES		
A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED AND THE POSITION SHOWN IS APPROXIMATE ONLY		
B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY		
C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION		
D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.		
DRAWINGS AMENDMENTS		
A	14.12.10	PROVIDE 9M SETBACK JN
B	24.02.11	8.66M 5/BACK TO GAR BG

TREE TO BE REMOVED BY OWNER

TREE REMOVAL REQUIREMENTS:
SITE TO BE CLEARED BY OWNER OF ANY
EXISTING TREES AND OR PRUNE TREES
WHICH WILL AFFECT THE BUILDING AREA
PRIOR TO CONSTRUCTION.

OWNER TO OBTAIN APPROVAL FROM
RELEVANT AUTHORITIES, IF REQUIRED.

WAKEHURST PARKWAY (B)

(B) RIGHT OF ACCESS, EASEMENT
FOR SERVICES & EASEMENT
TO DRAIN WATER 4.8 WIDE,
6.3 WIDE & VARIABLE

(C) RESTRICTION ON USE OF
LAND (NO VEHICULAR ACCESS)

(G) COVENANT - D988242
(NOT SHOWN ON TITLE)

LOT NO 5	
DEPOSITED PLAN 1112545	
COUNCIL / LGA MANLY	
SLAB CLASS	M
WIND SPEED	N2

EXCAVATION NOTES:
EXCAVATE APPROX. 650MM ON RL 86.150.

**EXCAVATIONS TO BE THE RESPONSIBILITY
OF THE OWNER.**

IT IS THE OWNERS RESPONSIBILITY TO
PROVIDE A GRATED DRAIN ACROSS
GARAGE OPENINGS, IF REQUIRED DUE TO
CONSTRUCTION OF DRIVEWAY.

IMPORTANT NOTE:
SITE CUTS ARE SUBJECT TO COUNCIL
APPROVAL & NOT TO BE USED BY ANY
OTHER CONTRACTORS OTHER THAN
METRICON HOMES P/L

**STORMWATER TO DRAIN TO
STREET VIA RAINWATER/ON-SITE
DETENTION TANKS**
REFER TO HYDRAULIC ENGINEERS DETAILS

TEMPORARY FENCING:
BUILDER TO PROVIDE FENCING TO ANY
UNFENCED BOUNDARIES (LOCAL AUTH.
BYLAW)

ALL WEATHER ACCESS:
METRICON TO SUPPLY UP TO 5M SUITABLE
ALL WEATHER ACCESS TO BUILDING
PLATFORM DURING CONSTRUCTION

LEGEND	
<ul style="list-style-type: none"> GULLY PIT HYD. HYDRANT SIP SURFACE INLET PIT SIC SEWER INSPECTION COVER SMH SEWER MANHOLE WM WATER METER ELC ELECTRICITY BOX SMH STORMWATER MANHOLE TELECOM PIT 	<ul style="list-style-type: none"> SEWER LINE VEHICLE CROSSING STOP VALVE DROP EDGE DRAIN GAS METER LIGHT POLE INVERT TOP OF KERB KERB OUTLET

ASPECT SURVEY DATE: 26/05/10

CONTOUR INTERVALS: 200MM

LEVELS TO: AHD DATUM

SITE PLAN

metricon

Build. E. Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153
P.O. Box 7510, Norwest Business Park NSW 2153
Telephone 02 8887 9000 Fax 02 8079 5901

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MR WATSON
LOT 5 WAKEHURST PARKWAY
SEAFORTH

JOB: 628981

DATE: 05/06/10 DRAWN: DZ

SCALE: 1:200 SHEET: 1 OF 10

UBD REF: SYD 197 A6

APPROX. LOCATION OF
SEDIMENT FENCE

OUTDOOR LIVING AREA
SHOWN HATCHED

KEEP SERVICES
CLEAR OF
THIS AREA

LOCATION OF 2 X 4000L
SLIMLINE ABOVE GROUND
RAINWATER TANKS

APPROX. LOCATION OF
RETAINING WALL BY
OWNER AFTER HANDOVER

DRIVEWAY AND FRONT
PATH TO BE THE
RESPONSIBILITY OF
THE OWNER.

Accredited Supplier to SYDNEY WATER
BUILDING PLAN APPROVED
SUBJECT TO REQUIREMENTS

Ref No: D.10/1-06070 Date: 4/13/11

OUTDOOR LIVING AREA
SHOWN HATCHED

APPROX. LOCATION OF FUTURE
AIR-CONDITIONING UNIT BY
OWNER

Accredited Supplier to SYDNEY WATER
BUILDING PLAN APPROVED
SUBJECT TO REQUIREMENTS

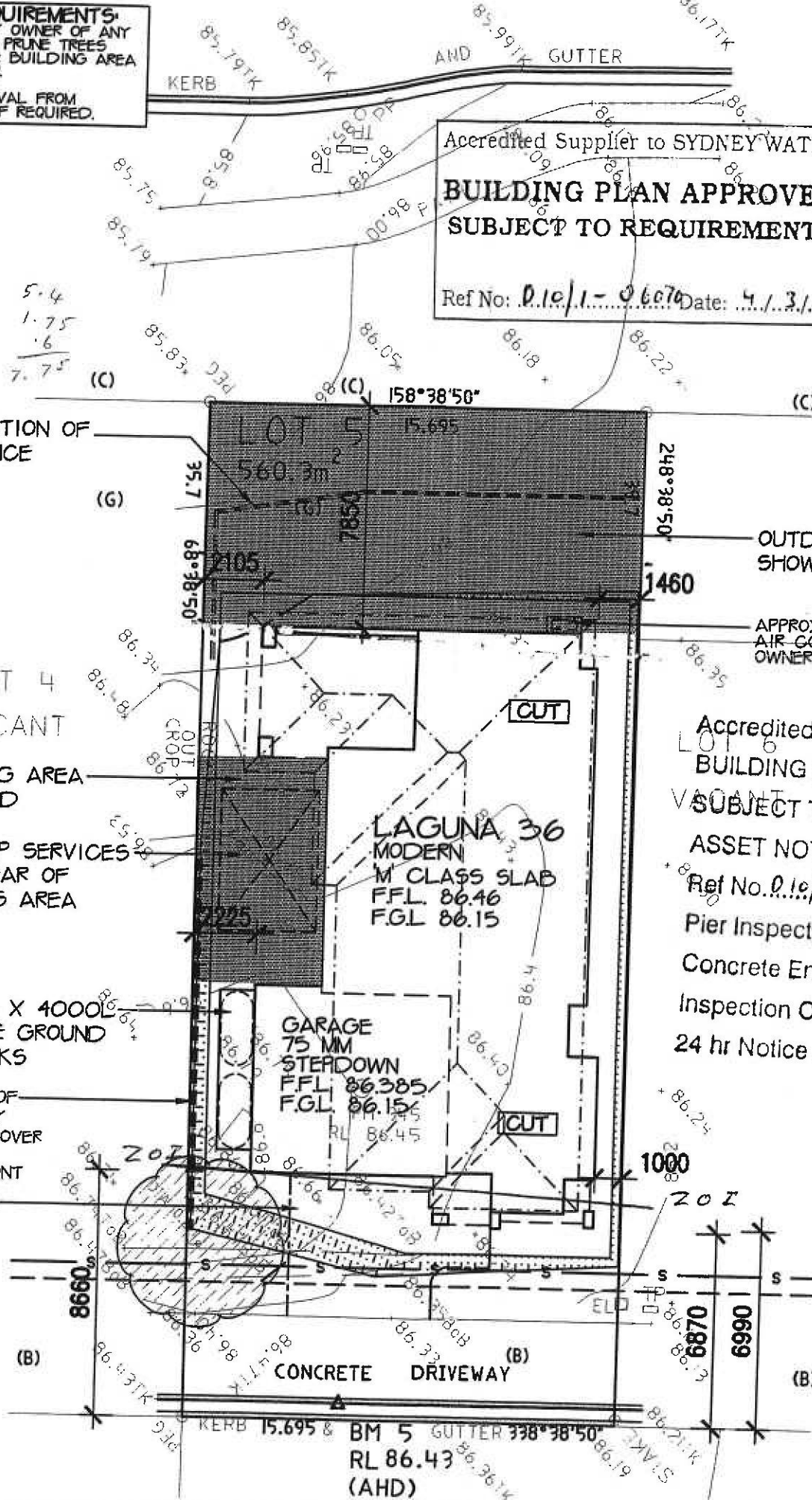
ASSET NOT AFFECTED
Ref No. D.10/1-06070...

Pier Inspection Required

Concrete Encasement Inspection Required

Inspection Contact: JOHN VASSALLO

24 hr Notice Required 0404 868 412



2x 4000L SLIMLINE SQUAT TANK
(2600L X 1150W X 1450H)

MIN. 1830L FOR BASIX AND EFFECTIVE
5236L FOR OSD/COUNCIL-
OSD/RAINWATER TANK
PROVIDE 2x 4000L RAINWATER TANK
WITH PUMPS TO SUPPLY GARDEN TAPS
AND INTERNAL RE-USE TO BE
CONNECTED AS PER ARCHITECTURAL
DETAILS, BASIX ASSESSMENT AND
SYDNEY WATER GUIDELINES.
Overflow pipe to Pit P1. LOCATION
SHOWN DIAGRAMMATIC ONLY.
Max. Overflow RL.87.78m
Outlet to be mosquito proofed. All
exposed pipework to be painted to
withstand external elements. PIPE INLETS
AND OUTLETS AS PER DETAILS ON
SHEET 2.

APPROX. LOCATION
OF RETAINING WALL
BY CLIENT

GROUND FLOOR LAYOUT

REFER TO SHEET 2 FOR RAINWATER TANK DETAILS.
LEAF GUTTER GUARDS OR SIMILAR SCREENING
RECOMMENDED TO ALL GUTTERS.

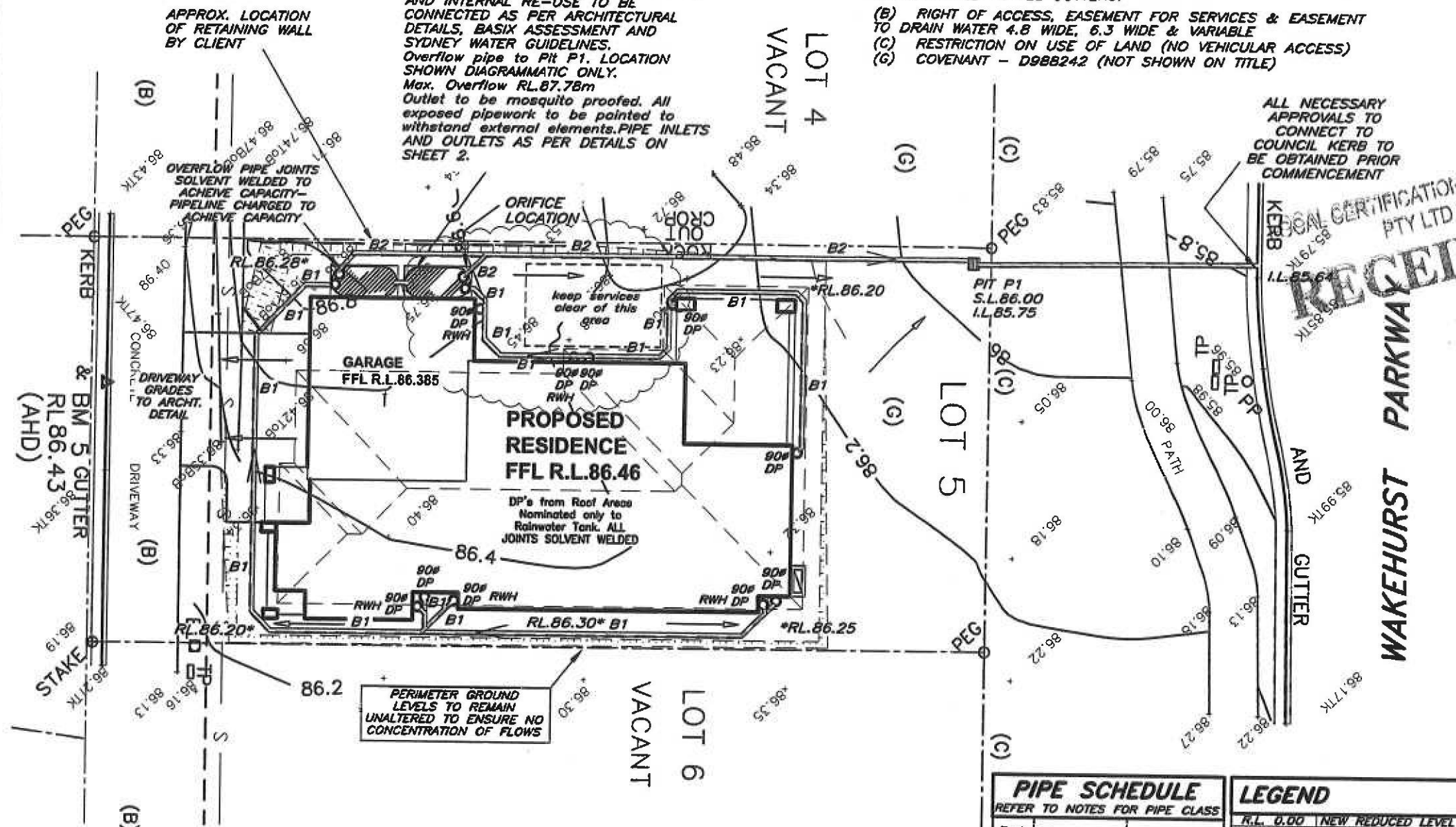
- (B) RIGHT OF ACCESS, EASEMENT FOR SERVICES & EASEMENT
TO DRAIN WATER 4.8 WIDE, 6.3 WIDE & VARIABLE
(C) RESTRICTION ON USE OF LAND (NO VEHICULAR ACCESS)
(G) COVENANT - D988242 (NOT SHOWN ON TITLE)

ALL NECESSARY
APPROVALS TO
CONNECT TO
COUNCIL KERB TO
BE OBTAINED PRIOR
COMMENCEMENT

RECEIVED
CERTIFICATION
PTY LTD

STORMWATER LAYOUT NOTES

- PITS UP TO 600 DEEP TO BE 450 x 450 U.N.O., PITS UP TO 900 DEEP TO BE 600 x 600 U.N.O., PITS UP TO 1200 DEEP TO BE 900 x 600 U.N.O., PITS EXCEEDING 1200 DEEP TO BE 900 SQ. U.N.O. PITS TO BE PRECAST CONCRETE OR RENDERED BRICK WITH CONCRETE HEAVY DUTY GRATES. U.N.O. LIGHT DUTY PITS AND GRATES MAY BE USED ONLY IN LIGHT/FOOT TRAFFICABLE AREAS. U.N.O. ALL PITS TO BE BENCHED TO DISCHARGE PIPES U.N.O. GAL. STEP IRONS TO ALL PITS EXCEEDING 900 DEPTH.
- COVER AND SUMP GRATES SHALL COMPLY WITH AS2733 & AS4198.
- DOWNPIPES TO BE 90 DIA IF CHARGED AND 100 x 50 BOX IF GRAVITY. U.N.O. DP'S SHALL BE INSTALLED IN ACCORDANCE WITH AS3500.3.2:4.11 & AS4198. MAX. ROOF AREA PER DOWNPIPE IS 30SQM. WITH A QUAD 115 HI-FRONT GUTTER U.N.O.
- PIPES TO HAVE 1% MIN.GRADE U.N.O. BY PIT INVERTS. PIPES TO BE P.C. CLASS 'X' OR U.P.V.C. CLASS STORMWATER PIPE TO AS1284, 1260, 1273, 1477, 2179.2 AND WHERE EXPOSED TO DIRECT SUNLIGHT TO HAVE ADEQUATE PROTECTION TO U.V. RADIATION IN ACCORDANCE WITH AS2032. SEWER GRADE/GAL. PIPES TO BE USED WHERE COUNCIL POLICY OR CONSENT REQUIRE SUCH.
- GUTTER OUTLETS SHALL BE FITTED VERTICALLY TO THE SOLE OF THE LEAVE GUTTERS. RAINHEADS TO HAVE AN OVERFLOW DUCT OR WEIR 80mm BELOW THEIR CREST.
- PROVIDE OVERFLOW SPITTERS TO ALL COVERED BALCONIES/ TERRACES. NOT TO BE DIRECTED ON TO ROOF SURFACES
- RISING MAINS (PRESSURE PIPE) TO BE IN ACCORDANCE WITH AS3500.1:2.
- SUBSOIL DRAINS TO BE IN ACCORDANCE WITH AS2439.1 CLASS 100 TO BE USED ONLY IN SINGLE DWELLINGS.
- ALL PIPE JOINTS TO BE IN ACCORDANCE WITH AS3500.3.2:2.7
- ALL VALVES TO BE IN ACCORDANCE WITH AS3500.3.2
- EXPANSION JOINTS SHALL COMPLY WITH AS3500.3.2:TABLE 4.1 PVC JOINTS AND ACCESSORIES TO COMPLY WITH AS2179.2 & AS4198.
- ALL TRENCHES TO BE IN ACCORDANCE WITH AS3500.3.2:7.2.8-14. EMBEDMENT MATERIAL AND TRENCH FILL TO ALL PIPES & SUBSOIL DRAINS TO BE IN ACCORDANCE WITH AS3500.3.2:7. ALL WORKS TO BE IN ACCORDANCE WITH AS1254, 1741, 2032, 2733, 2865, 3996, 1260, 1477, 2179.1 & 2,2566, 6367, 8301, ARR97 & BCA.
- IT IS THE BUILDER'S RESPONSIBILITY TO CONFIRM THAT LEVELS AND SURVEYS ARE IN ACCORDANCE WITH LEVELS ON SITE & ARE APPROVED BY COUNCIL & ARCHITECT BEFORE COMMENCING WORK.
- NO SEWER VENTS, GULLY PITS OR SIMILAR TO BE LOCATED BELOW THE MAXIMUM WATER SURFACE LEVEL IN DETENTION BASINS. ALL BASIN WALLS TO BE WATERTIGHT & STRUCTURALLY DESIGNED BY A STRUCTURAL ENGINEER.
- ALL FENCES WHICH MAY DIVERT FLOW FROM PROPOSED DIRECTION TO BE RAISED 100mm.
- BUILDER TO ENSURE ALL DRAINAGE AREAS INCLUDING EXPOSED BALCONIES TO HAVE OVERFLOW MECHANISM IN PLACE IN THE EVENT OF BLOCKAGE WITH ADEQUATE OVERFLOW SECTION THROUGH PLANTERS, PARAPETS ETC.
- ALL EXTERIOR FINISHED GROUND LEVELS TO BE SLOPING AWAY FROM PERIMETER WALLS IN ALL CASES.
- ALL HEADROOM CLEARANCES TO BE COORDINATED BETWEEN BUILDER & ARCHITECT. NOTIFY ENGINEER FOR APPROVAL IF ANY CHANGES OCCUR.
- ALL GULLY POSITIONS ARE DIAGRAMMATIC ONLY- BUILDER SHOULD CONSULT ARCHITECTURALS FOR DIMENSIONS TO LOCATE STORMWATER ELEMENTS U.N.O.
- FIRE RATING TO ARCHITECT'S SPECIFICATION.
- ALL FINISHED FLOOR LEVELS ARE NOMINATED BY ARCHITECT.
- ALL SITE SAFETY MEASURES AND WORK METHOD STATEMENTS PREPARED BY BUILDER/SUB-CONTRACTORS ARE TO BE IMPLEMENTED DURING CONSTRUCTION. NO WORK IS TO COMMENCE UNTIL ALL WORKERS CARRY OUT SITE INDUCTION, PREPARED AND CARRIED OUT BY BUILDER. ANY HAZARD IDENTIFICATION TO BE REPORTED IMMEDIATELY TO SITE SUPERVISOR TO CARRY OUT NECESSARY PROCEDURES TO ELIMINATE HAZARD, PRIOR TO PROCEEDING WITH WORK. STRUCTURAL AND GEOTECHNICAL ADVICE SHOULD BE SOUGHT IN ALL CASES.
- CONFINED SPACES SIGNAGE TO BE INSTALLED IN ACCESSIBLE UNDERGROUND TANKS TO WORK COVER SPECIFICATIONS. ALL PITS EXCEEDING 600mm DEPTH TO HAVE 'J' BOLTS INSTALLED TO GRATES.
- MAINTENANCE DEVICES REQ'D BY AUTHORITIES ARE NOT TO BE ASSUMED SHOWN ON DRAWINGS.
- EARTH MOUNDING SHOWN AS TEMPORARY MEASURE UNTIL LANDSCAPING COMPLETED TO DIRECT FLOWS AS SHOWN.



PIPE SCHEDULE

REFER TO NOTES FOR PIPE CLASS

TAG	PIPE DIA.	MIN.GRADE
B1	100	CHARGED
B2	100	1%

LEGEND

RL 0.00	NEW REDUCED LEVEL (NEW FINISHED GROUND LEVEL)
+00.00	EXISTING LEVEL
S.L. 0.00	SURFACE LEVEL
I.L. 0.00	INVERT LEVEL
T.O.W.	TOP OF WALL LEVEL
G.F.L. 0.00	GARAGE FLOOR LEVEL
F.F.L. 0.00	FINISHED FLOOR LEVEL
A.B.C. etc.	SEE PIPE SCHEDULE
LI	PIPE LABEL
PIT P1	SURFACE INLET PIT
PIT OP1	OVERLAND FLOW PIT
g--g	80mm AG. LINE
ODP	DOWNPIPE-SIZE
REFER TO NOTES FOR DP SIZE	
GP	GULLY PIT
GP	GARDEN GULLY PIT
O/F	OVERFLOW-200x100
RWH	RAIN WATER HEAD
SP	DP WITH SPREADER
BG	BALCONY GULLY PIT
CE	CLEANING EYE
))))	100 HIGH EARTH MOUNDING

ALL OTHER SURFACE WATERS TO BE STRICTLY CONNECTED TO A SEPARATE SYSTEM BY OWNER IN ACCORDANCE WITH AS 3500.3:2003 AND BCA PART 3.1.2.3.

RAINWATER TANKS WITH PUMPS TO SUPPLY GARDEN TAPS AND INTERNAL RE-USE AS PER BASIX ASSESSMENT

- THESE DRAWINGS ARE IN NO WAY TO BE USED AS CERTIFICATION OF COMPLIANCE WITH ANY CODE OR DOCUMENT WITHOUT A SEPARATE DESIGN CERTIFICATE WHICH MAY REFERENCE THEM.
- ALL STORMWATER DRAINAGE WORKS TO BE CARRIED OUT IN ACCORDANCE WITH COUNCIL DCP AND RELATED POLICIES.
- POSITIVE COVENANTS TO BE REGISTERED AS REQUIRED.
- WORK AS EXECUTED PLANS SHALL BE PREPARED IN ACCORDANCE WITH COUNCIL REQUIREMENTS AND FINAL STORMWATER CERTIFICATION BE PROVIDED BY ENGINEER PER COUNCIL DCP BEFORE FINAL OCCUPATION CERTIFICATE IS ISSUED BY PCA.
- DESIGN IS LIMITED TO STORMWATER DRAINAGE DISPOSAL OF THE PROPOSED DWELLING ONLY. ALL EXTERNAL SURFACE FLOWS DO NOT FORM PART OF THIS DESIGN.

ISSUE	PRINTS	ISSUED TO	DATE
1	EMAIL	BUILDER/CLIENT	14-1-11
2	EMAIL	BUILDER/CLIENT	9-3-11

SCALE(A3) 1:200, 100 u.n.o.
SCALE BAR - 1m INTERVALS

DATE JAN. 2011

DRAWN M.I.

DESIGNED M.I.

APPROVED



IBRAHIM STORMWATER CONSULTANTS
CONSULTING CIVIL ENGINEERS

P.O. BOX 400 CHERRYBROOK NSW 2126
TELEPHONE: (02) 9980 5515 FAX: (02) 9980 6114
www.stormwater.net.au email: mail@stormwater.net.au

PROJECT

**PROPOSED RESIDENCE
AT LOT 5 WAKEHURST
PARKWAY, SEAFORTH
FOR MR WATSON**

THIS DRAWING

**STORMWATER
LAYOUT SH.1**

BUILDER
METRICON HOMES

JOB NUMBER

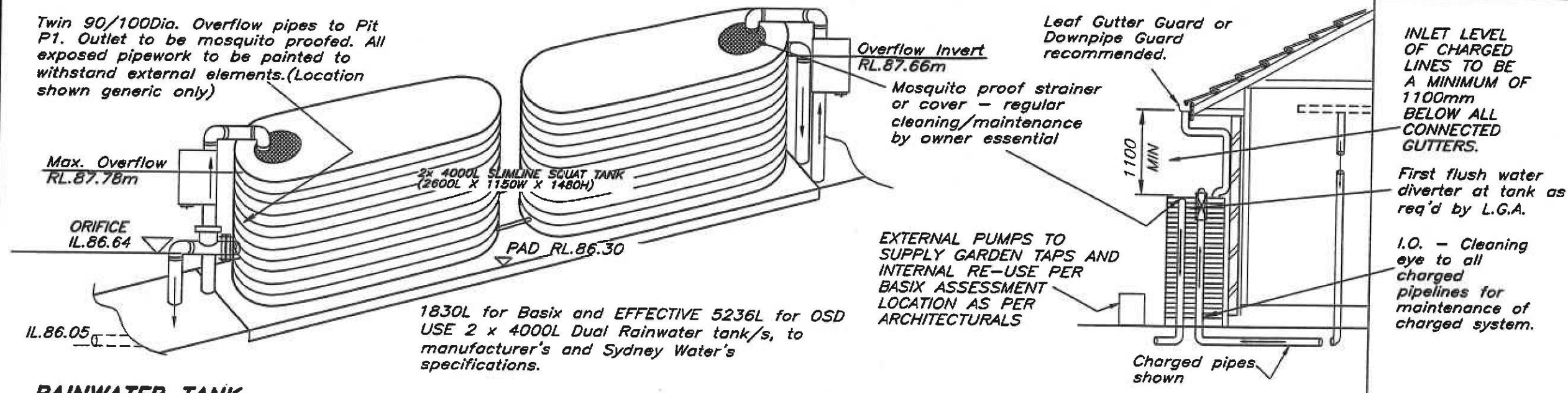
M2916-628981

SHEET No.

1 of 2

REVISION

A



RAINWATER TANK

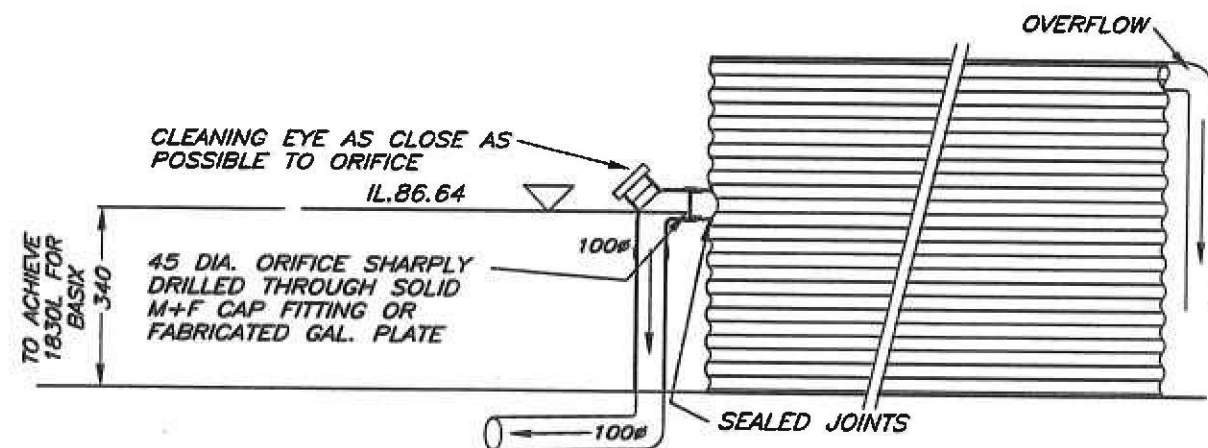
TANK DETAILS SHOWN ARE A SUGGESTED CONFIGURATION ONLY. ANY MODIFICATIONS TO TANK VOLUME OR INLET AND OUTLET LEVELS MUST BE APPROVED BY ENGINEER PRIOR TO COMMENCEMENT OF CONSTRUCTION. TANK SHAPE, & DEVICES SHOWN ARE DIAGRAMMATIC ONLY. MINIMUM OF 450 CLEARANCE (UNLESS L.G.A. REQUIRES LARGER SETBACK) TO SIDE BOUNDARIES MUST BE MAINTAINED. CLIENT IS RESPONSIBLE TO ENSURE COMPLIANCE WITH THIS IN THE INSTALLED STATE. Charged stormwater lines from Roof Areas ONLY to rainwater tank.

All joints to be solvent welded. All exposed pipework to be painted to withstand external elements.

First flush water diverter at tank to comply with Sydney Water and council DCP's. An approved switch system similar to 'Rainbank' to be used via mains. Pumps to manuf. specs.

Rain Tank to be installed and maintained to manufacturers specifications and to comply with all Sydney Water Guidelines.

Client to be responsible for maintenance system of charged pipelines. Debris accumulation significantly affects systems performance. Maintenance program essential. Structural details for tank base by manufacturer or others.



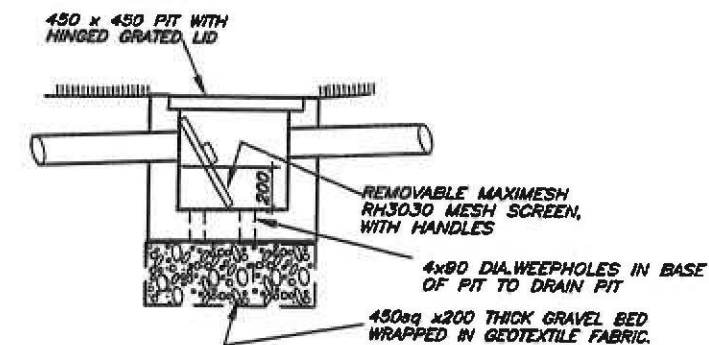
OSD OUTLET DETAIL

THIS IS AN ON-SITE STORMWATER DETENTION SYSTEM REQUIRED BY YOUR LOCAL COUNCIL

IT IS AN OFFENSE TO REDUCE THE VOLUME OR TO INTERFERE WITH THE ORIFICE PLATE THAT CONTROLS THE OUTFLOW. THE BASE OF THE OUTLET CONTROL PIT AND DEBRIS SCREEN MUST BE CLEANED OF DEBRIS AND SEDIMENT ON A REGULAR BASIS BY THE OWNER.

THIS PLATE MUST NOT BE REMOVED

Signage to be provided adjacent tanks Size: 110 mm x 80mm



SILT ARRESTOR PIT - P1

THIS DRAWING IS DIAGRAMMATIC ONLY & NOT TO BE SCALED. IT IS NOT A PART 4A CERT. REFER TO ARCHITECTS DRAWINGS FOR DIMENSIONS. COPYRIGHT IN THIS DRAWING IS THE PROPERTY OF IBRAHIM STORMWATER CONSULTANTS AND THE DRAWING SHALL NOT BE REPRODUCED OR COPIED, WHOLE OR IN PART, IN ANY FORM WITHOUT THE PRIOR WRITTEN APPROVAL OF IBRAHIM STORMWATER CONSULTANTS

BUILDER/CLIENT TO ENSURE THAT ALL SAFETY MEASURES ARE TAKEN DURING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, SAFETY FENCING, SIGNAGE, OBTAINING STRUCTURAL AND GEOTECHNICAL ADVICE WHERE EXCAVATIONS ARE NEAR STRUCTURES OR SERVICES, SAFETY MEASURES RECOMMENDED BY PRODUCT SUPPLIERS ETC.

REVISIONS	
A	CDC-Pipework altered, house setback

ISSUE	PRINTS	ISSUED TO	DATE
1	EMAIL	BUILDER/CLIENT	14-1-11
2	EMAIL	BUILDER/CLIENT	9-3-11

SCALE(A3) 1:200,100 u.n.c.
SCALE BAR - 1m INTERVALS
DATE JAN. 2011
DRAWN M.I.
DESIGNED M.I.
APPROVED



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AT LOT 5 WAKEHURST
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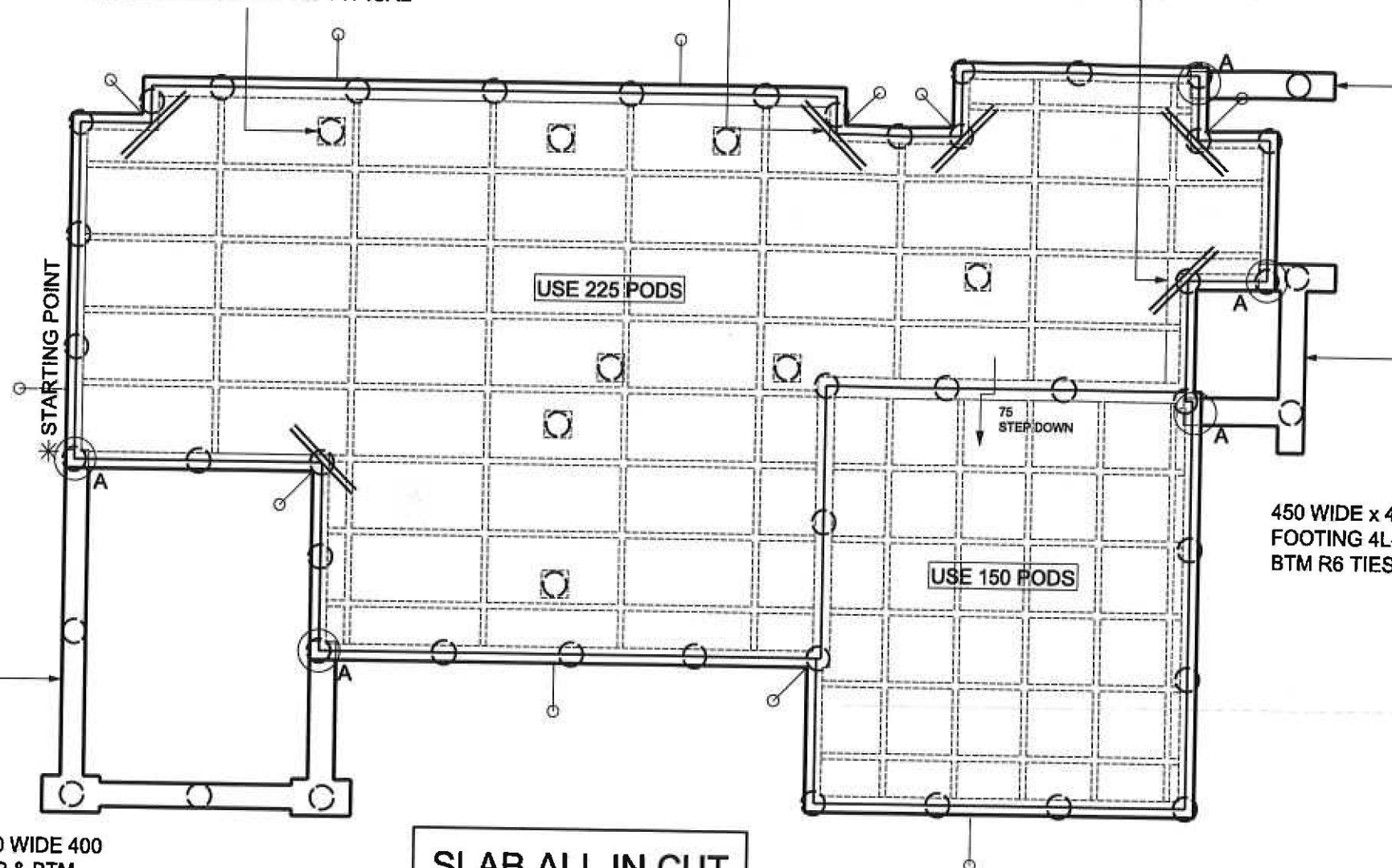
THIS DRAWING
**STORMWATER
DETAILS SH.1**
BUILDER
METRICON HOMES

JOB NUMBER
M2916-628981
SHEET No.
2 of 2
REVISION
A

WAFFLE PODS CUT TO FORM
450 SQUARE x 310 DEEP
MASS CONCRETE PAD TYPICAL

2-N12 BARS 1500 LONG, TYPICAL,
TIED TO UNDERSIDE OF FABRIC.

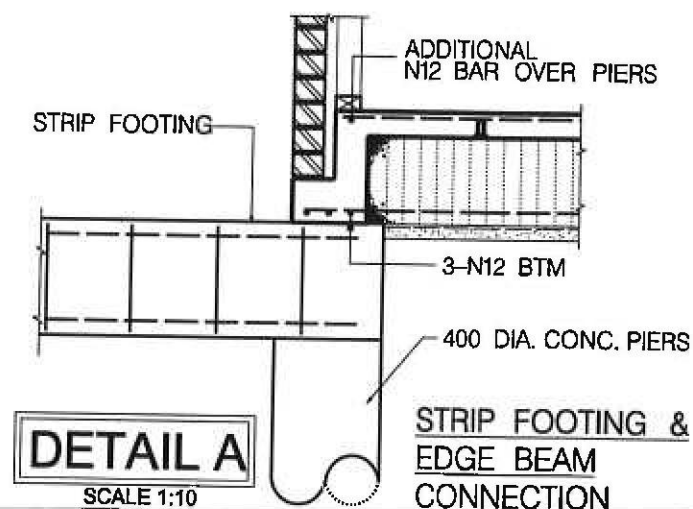
LINE REFERS TO POD
EXTENSION (TYPICAL)



STRIP FOOTING 400 WIDE 400
DEEP 3L-11 TM TOP & BTM
R6 TIES @ 900 CTS WIDEN AS
REQUIRED TO 1000 LONG x
600 WIDE x 400 DEEP MASS
CONCRETE PAD.

SLAB ALL IN CUT

450 WIDE x 400 DEEP STRIP
FOOTING 4L-11TM TOP &
BTM R6 TIES AT 600 CTS.



CONSTRUCTION NOTES

GENERAL: UNLESS NOTED OTHERWISE

THE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL OTHER WORKING DRAWINGS AND SPECIFICATIONS AND ANY OTHER WRITTEN INSTRUCTIONS ISSUED DURING CONSTRUCTION. ALL DISCREPANCIES AND VARIATIONS SHALL BE REFERRED TO THE ENGINEER, BEFORE PROCEEDING WITH THE WORK.

DURING CONSTRUCTION THE STRUCTURE AND ANY ADJACENT STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED.

DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWING ALL LEVELS AND SETTING OUT DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF THE WORKS.

THE CONTRACTOR IS RESPONSIBLE TO ESTABLISH THE LOCATION, SIZE AND LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF WORKS.

ALL SITE SAFETY MEASURES AND WORK METHOD STATEMENTS PREPARED BY BUILDER/SUB-CONTRACTORS ARE TO BE IMPLEMENTED DURING CONSTRUCTION. NO WORK IS TO COMMENCE UNTIL SUPERVISOR/BUILDER HAS IDENTIFIED AND APPROPRIATELY ACTED ON ANY POTENTIAL HAZARDS.

UNLESS REQUESTED AND PRODUCED ON THE PLANS, BUILDER IS TO ENSURE THAT ARTICULATION JOINTS ARE SHOWN ON THEIR ARCHITECTURAL DRAWINGS AND BE SATISFIED THEY ARE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODES.

ALL WORKMANSHIP AND MATERIALS TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF RELEVANT AUSTRALIAN STANDARD CODES AND THE REGULATIONS OF THE RELEVANT BUILDING AUTHORITY

FOOTINGS ARE DESIGNED FOR AN ALLOWABLE BEARING PRESSURE OF 100kPa.

PIER HOLES ARE DESIGNED FOR ALLOWABLE BEARING PRESSURE OF 200kPa.

FOUNDATION MATERIAL SHALL BE APPROVED PRIOR TO CONSTRUCTION

ADDITIONAL CONCRETE PIERS MAY BE REQUIRED UNDER SLAB TO EVEN BEARING IN SOIL AS RECOMMENDED BY AUSTRALIAN STANDARD AS 2870.

ADDITIONAL PIERS IN THE CUT SECTION OF BUILDING PLATFORM MAY ALSO BE REQUIRED TO ACHIEVE THE SAME BEARING AS PIERS IN THE FILL SECTION.

A 1 METRE WIDE APRON, WITH 25 CROSS FALL AWAY FROM SLAB EDGE IS TO BE FORMED ALL AROUND THE RAFT SLAB WHERE APPLICABLE

IF THE LOCATION OF THE SLAB IS NEXT TO AN ABOVE OR BELOW ON SITE DETENTION SYSTEM OR BELOW GROUND RAINWATER TANK, THE BUILDER IS TO ADVISE ENGINEER IN ORDER TO ENSURE THAT CONCRETE PIERS ARE TAKEN 500mm BELOW THE INVERT LEVEL OF TANK OR THE FOOTING OF THE SUPPORTING WALL FOR AN ABOVE GROUND DETENTION SYSTEM.

ALL SITE FILLING PLACED BENEATH SLAB TO BE TREATED IN ACCORDANCE WITH CLAUSE 6.4. OF AS 2870.2 - 1996.

REFER TO ARCHITECTURAL PLANS FOR LOCATIONS OF RAINWATER TANK AC, HWS AND LPG UNITS.

CONCRETE SPECIFICATION (F_c 28 DAYS) TO BE AS FOLLOWS: ADOPT TYPE 'A' CEMENT WITH MAX AGGREGATE SIZE OF 20mm AND 80mm SLUMP

LOCATION	NORMAL F _c	SALINE AFFECTED F _c
PIERS	15 MPa	32 MPa
SLAB	20 MPa	32 MPa
STRIP FOOTINGS	25 MPa	32 MPa

CLEAR COVER TO REINFORCEMENT TO BE AS FOLLOW:

LOCATION	FORMED & SHELTERED	FORMED & EXPOSED	POURED ON GROUND
SLABS & WALLS	20	30	65
BEAMS	25	40	65
COLUMNS	40	50	—
STRIP FOOTING	—	—	65

REINFORCEMENT SYMBOLS ARE AS FOLLOWS:

(N) - HOT ROLLED DEFORMED BARS (400 n)
(SL) - HARD-DRAWN WIRE REINFORCING FABRIC (450 sl)
(S) - STRUCTURAL GRADE DEFORMED BARS

NO HOLES OR CHASES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS ARE TO BE MADE IN CONCRETE MEMBERS WITHOUT PRIOR ENGINEERS APPROVAL. CONSTRUCTION JOINTS THAT ARE NOT SHOWN SHALL BE LOCATED TO THE APPROVAL OF THE ENGINEER.

ALL REINFORCEMENT TO BE ADEQUATELY SUPPORTED IN ITS REQUIRED POSITION AND COVER DURING PLACEMENT OF CONCRETE

PIPES OR CONDUITS SHALL NOT BE PLACED WITHIN THE CONCRETE COVER TO REINFORCEMENT WITHOUT THE APPROVAL OF THE ENGINEER.

ALL CONCRETE TO BE MECHANICALLY VIBRATED AND SHALL BE CAREFULLY WORKED AROUND THE REINFORCEMENT AND INTO THE CORNERS OF FORMWORK

BUILDER TO ADHERE TO ANY GEOTECHNICAL REPORT RECOMMENDATIONS PREPARED FOR THE SITE.

● REINFORCED CONC. PIER ● SEWER AFFECTED PIER ● SCREW PIER
○ UNREINFORCED CONC. PIER ○ ARTICULATION JOINT * STARTING POINT
DESIGNED TO AS 2870 - 1996 SLAB AND FOOTING CODE

Rafeletos

ABN: 35 079 047 466
LEVEL 2, 103 VANESSA STREET
KINGSGROVE NSW 2208
PO BOX 161 KINGSGROVE NSW 2208



ZANUTTINI

Pty Ltd
FASCILIMILE: (02) 9554 9764
TELEPHONE: (02) 9554 9311
EMAIL: admin@rafzan.com.au

[Signature]
B.E., M.I.E. AUST.

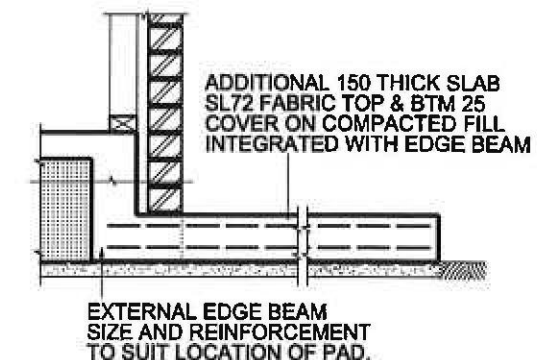
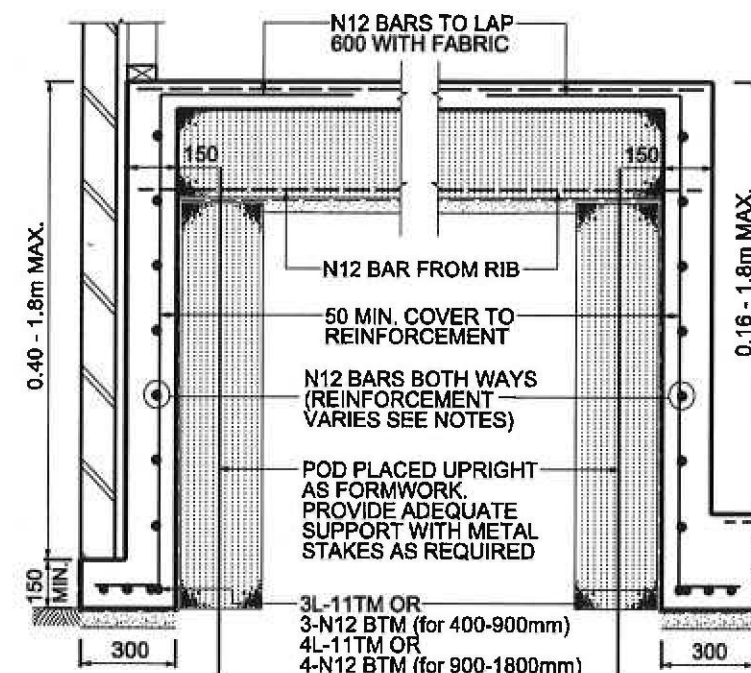
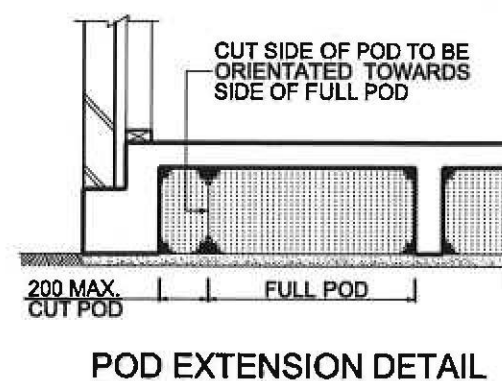
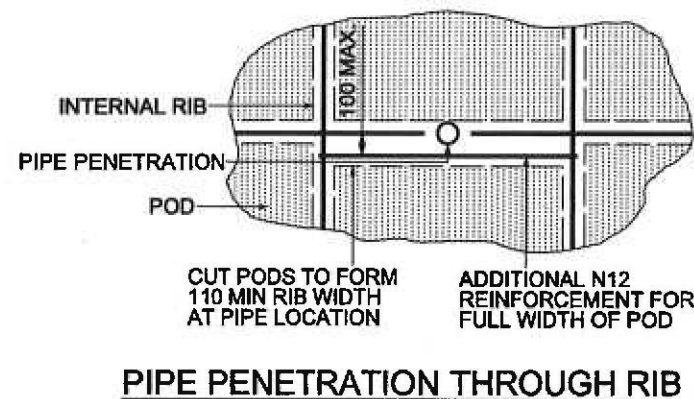
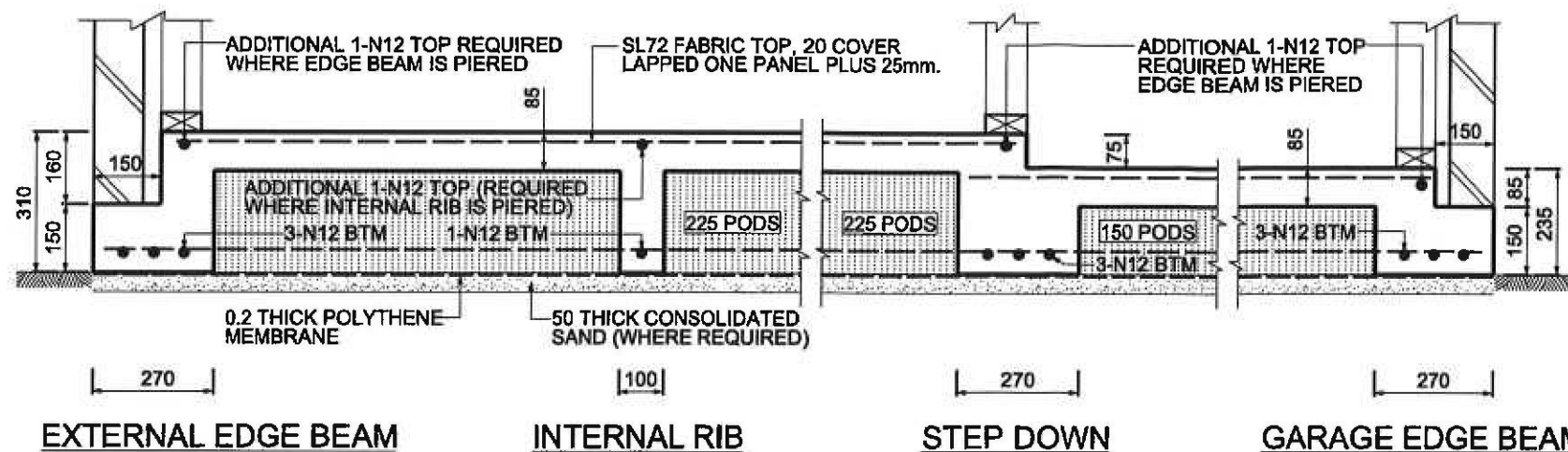
metricon

CLASSIFICATION M
REFERENCE 628981

STRUCTURAL SLAB DETAIL PLAN

CLIENT LOCATION WATSON
LOT 5, WAKEHURST PARKWAY, SEAFORTH

DRAWN J.J. SCALE 1:100 SHEET No. 1
ISSUE B DATE 10/01/11 JOB No. 44176 MT



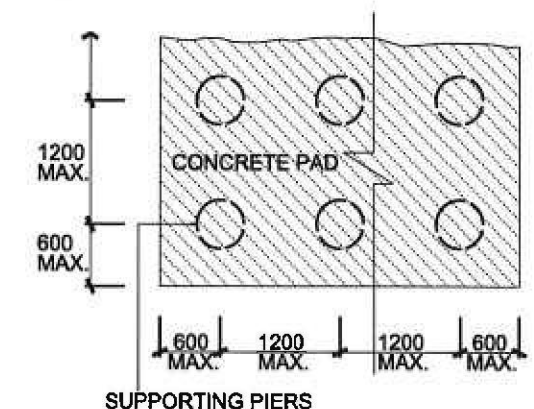
PAD DETAIL

FOR RAINWATER TANK, LPG & A/C UNITS ETC. REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.

SPACE PIERS AS REQUIRED TO SUIT PAD SIZE:

-500 MAXIMUM TO EDGE OF SLAB FOR PERIMETER PIERS.

-1000 MAXIMUM CENTRES IF ADDITIONAL INTERNAL PIERS ARE REQUIRED FOR PAD SIZE.



AT ALL EXTERNAL BEAM CORNER LOCATIONS:

PROVIDE ADDITIONAL 1200 LONG BENT CORNER LAP BARS AROUND CORNER WHERE BOTTOM N12 EDGE BEAM REINFORCEMENT IS DISCONTINUOUS.

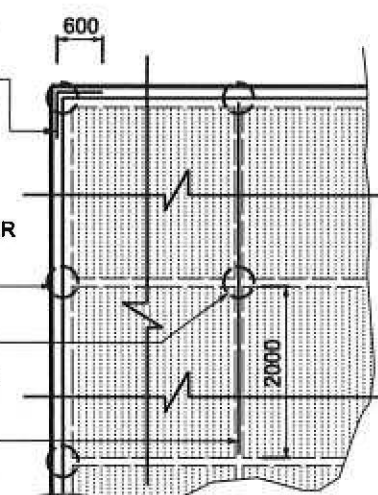
OR

BEND BOTTOM N12 EDGE BEAM REINFORCEMENT AROUND CORNER TO PROVIDE 600 MINIMUM LAP.

EXTERNAL LOAD BEARING BEAM AND PIERS.

INTERNAL RIB BEAM PIERS:

WHERE INTERNAL RIB BEAMS ARE PIERED, THE ADDITIONAL 1-N12 TOP BAR ALONG THE RIB IS REQUIRED IN ONE DIRECTION ONLY AND IS TO BEGIN FROM THE EXTERNAL EDGE BEAM AND EXTEND 2000 BEYOND LAST PIER.



PROVIDE 400 DIA. CONCRETE PIERS TO CLAY AND SAND, OR 300 DIA. TO ROCK OR SHALE. SPACE PIERS AT 2400 CTS AS SHOWN ALONG EXTERNAL EDGE BEAM, UNLESS NOTED OTHERWISE

PIERS REQUIRED UNDER INTERNAL RIB BEAMS WHEN CONSTRUCTED ON MORE THAN 300mm OF UNCONTROLLED/NON-COMPACTED MATERIAL, OR AS SHOWN.

N12 BARS CAN BE REPLACED WITH 10.65mm HDW (450MPa STRESS GRADE)

REINFORCEMENT FOR RIBS AND BEAMS

WIDTH	TOP STEEL	BTM STEEL
271-330	1-N12	3-N12
331-440	2-N12	4-N12
441-550	3-N12	5-N12
551-660	4-N12	6-N12

EXTERNAL DEEP BEAM

INTERNAL DEEP BEAM

DEEP BEAM DEPTH	BEAM REINFORCEMENT
160 - 400mm	N12 BARS AT 1200 CENTRES & 1-N12 HORIZONTAL
400 - 900mm	N12 BARS AT 600 CENTRES & 1-N12 CENTRALLY
900 - 1500mm	N12 BARS AT 300 CENTRES BOTH WAYS
1500 - 1800mm	N12 BARS AT 200 CENTRES BOTH WAYS

RAFELETOS

ACN 079047466

LEVEL 2, 103 VANESSA STREET
KINGSGROVE NSW 2208
PO BOX 161 KINGSGROVE NSW 2208



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Pty Ltd

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[Signature]

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225.72.3.N 225.150.75.3

STRUCTURAL DETAIL PLAN

CLIENT
LOCATION

WATSON
LOT 5, WAKEHURST PARKWAY, SEAFORTH

CLASSIFICATION

M

SCALE

NTS.

SHEET No.

2

ISSUE

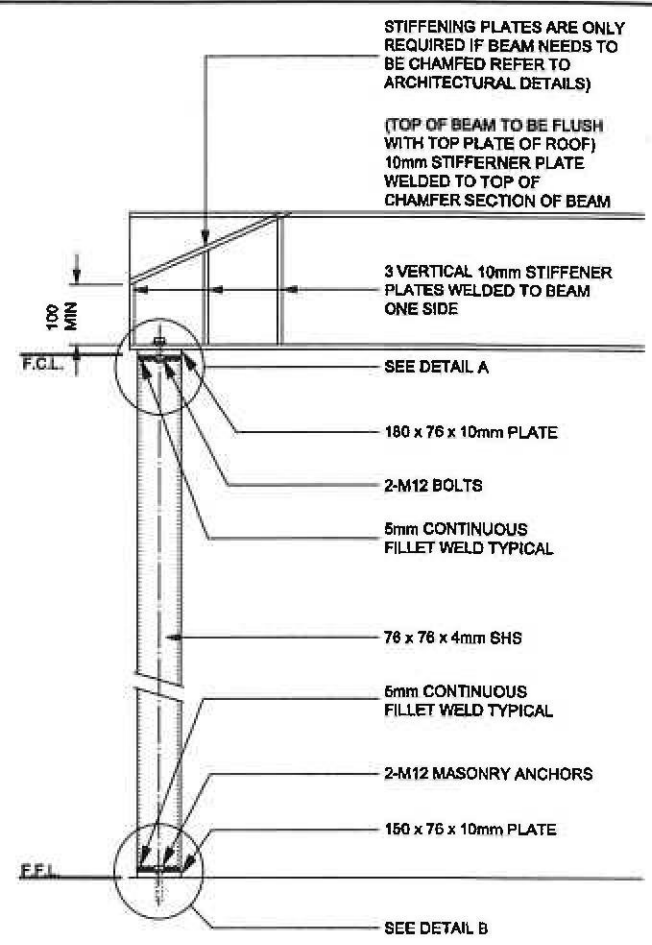
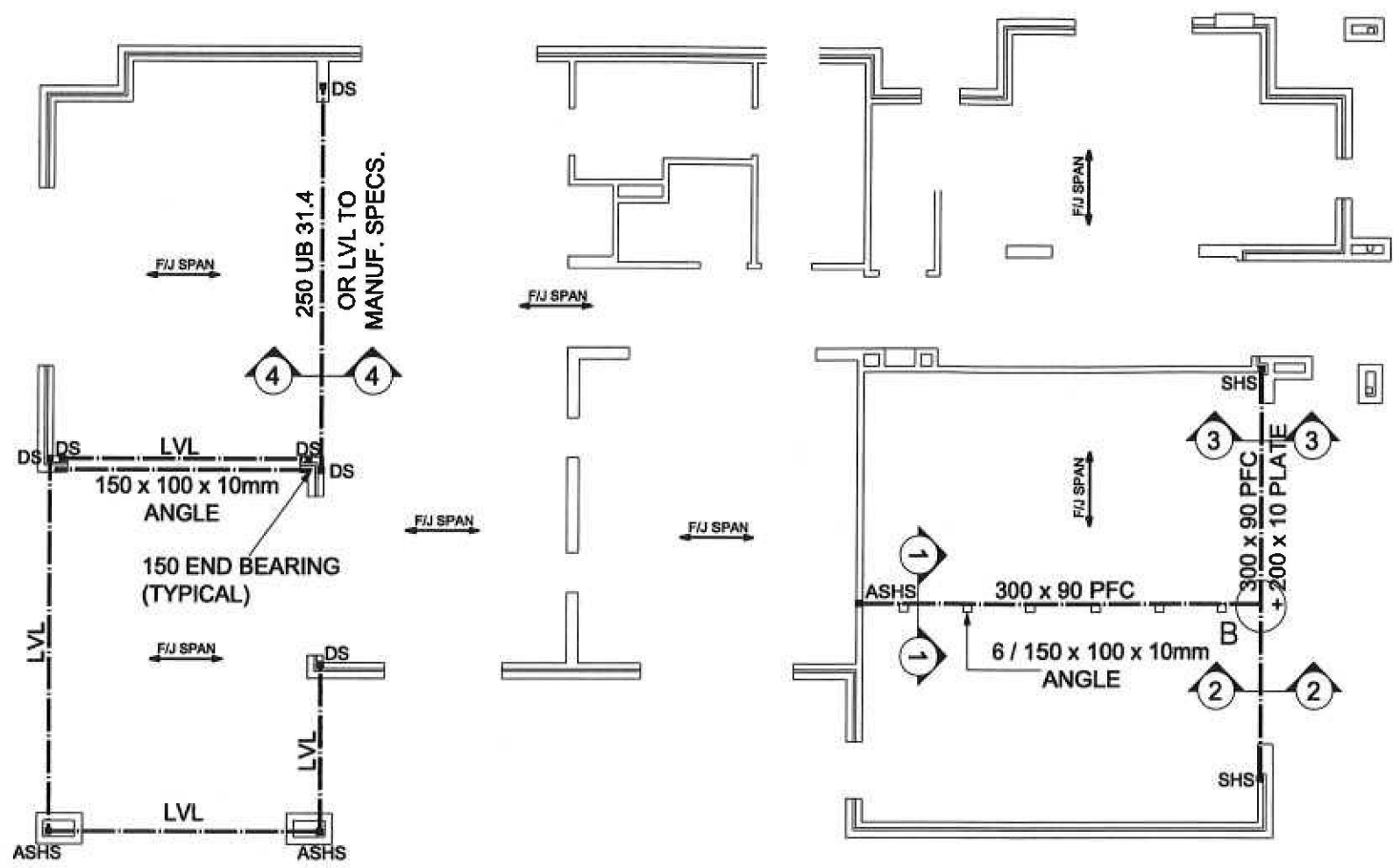
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DATE

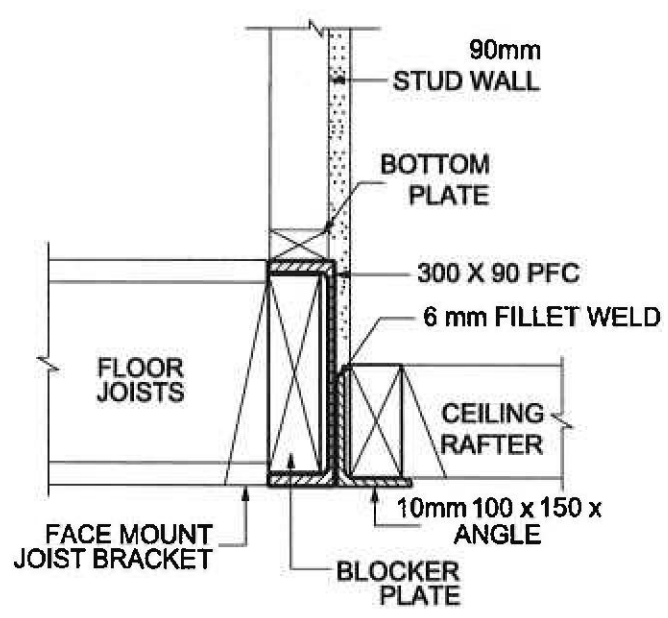
10/01/11

JOB No.

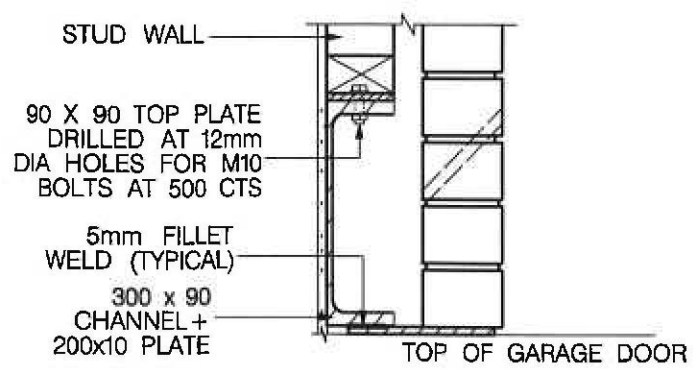
44176 MT



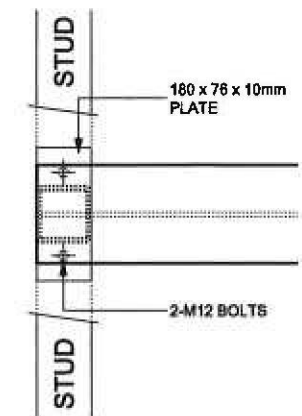
TYPICAL SECTION



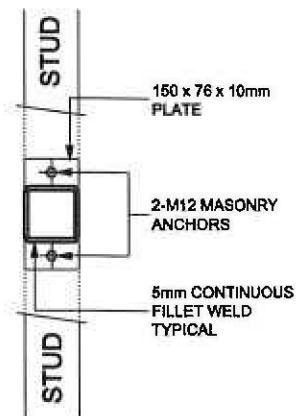
SECTION 1-1
SCALE 1:10



SECTION 2-2
SCALE 1:10



DETAIL A



DETAIL B

NOTE:

- ALL STEELWORK TO BE PAINTED WITH AN APPROVED CORROSIVE RESISTANT PRIMER.
- NOTE: IF BUILDING IS LOCATED WITHIN 1.0 KM OF THE COAST, ENGINEER IS BE NOTIFIED AND STEEL BEAMS ARE TO BE GALVANISED.
- SHS: DENOTES SQUARE HOLLOW SECTION OR STEEL POST. ALL POST TO BE 76 x 76 x 4mm SHS, BUILD POST INTO STUD FRAMEWORK
- DS: DENOTES 1/90 x 90 HARDWOOD STUDS OR 2/90 x 45 HARDWOOD STUDS.
- ASHS: DENOTES ADJUSTABLE SQUARE HOLLOW SECTION STEEL POSTS.

Rafeletos
ABN: 35 079 047 466
LEVEL 2, 103 VANESSA STREET
KINGSGROVE NSW 2208
PO BOX 161 KINGSGROVE NSW 2208

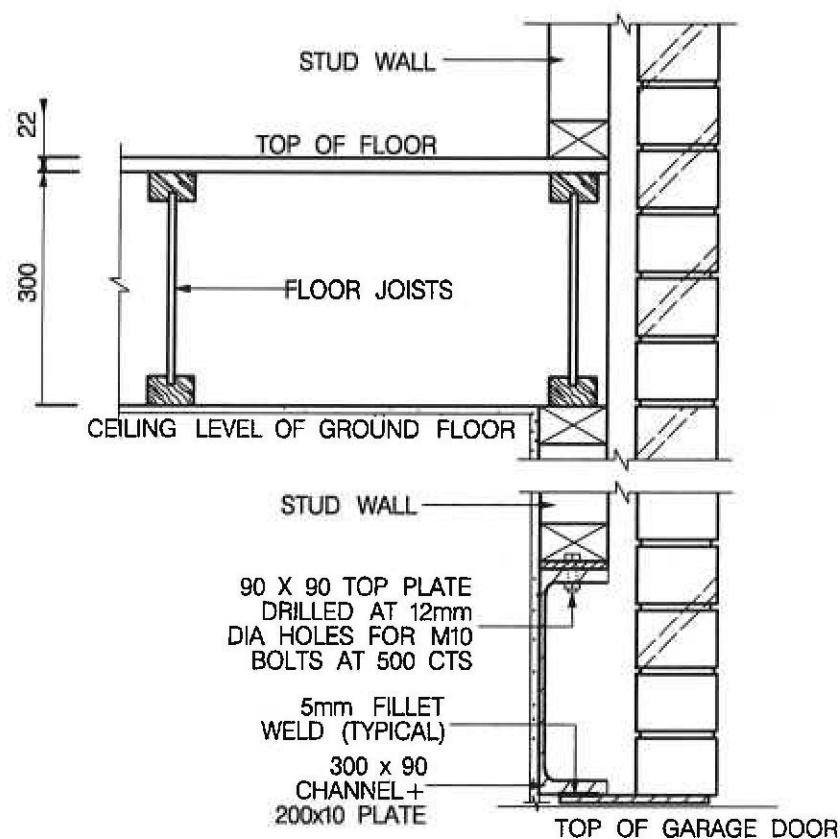


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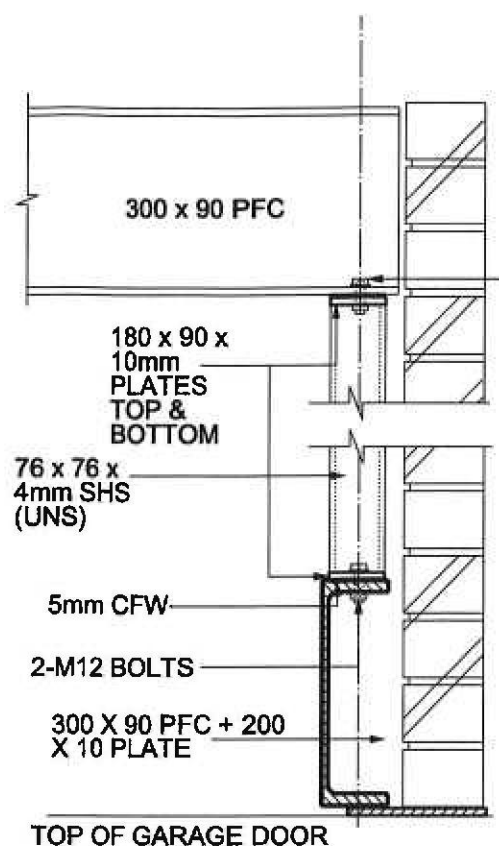
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B.E., M.I.E. AUST.

metricon
REFERENCE 628981

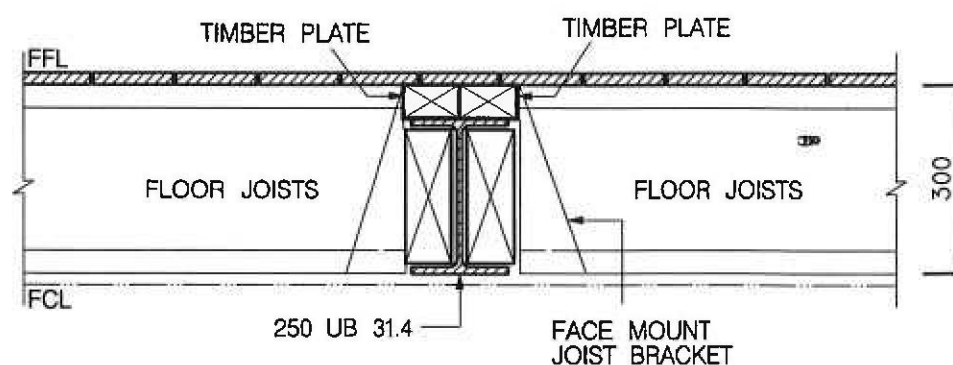
STRUCTURAL STEEL DETAIL PLAN				
CLIENT LOCATION	WATSON LOT 5, WAKEHURST PARKWAY, SEAFORTH			
DRAWN	J.J.	SCALE	1:100	SHEET No. 3
ISSUE	B	DATE	10/01/11	JOB No. 44176 MT



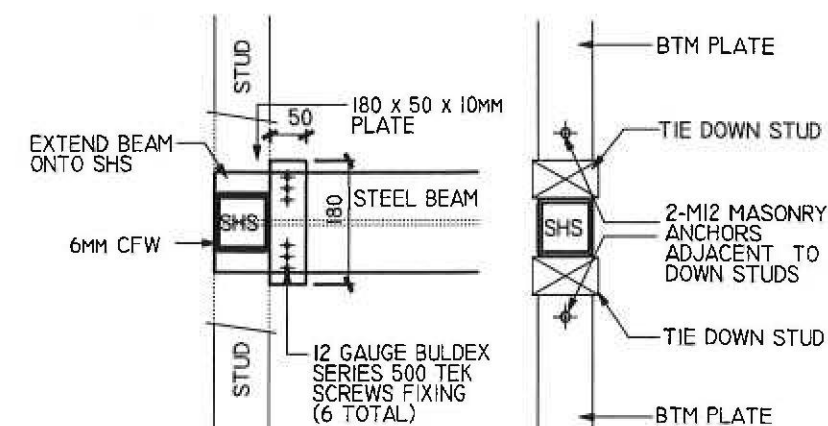
SECTION 3-3
SCALE 1:10



DETAIL B
SCALE 1:10

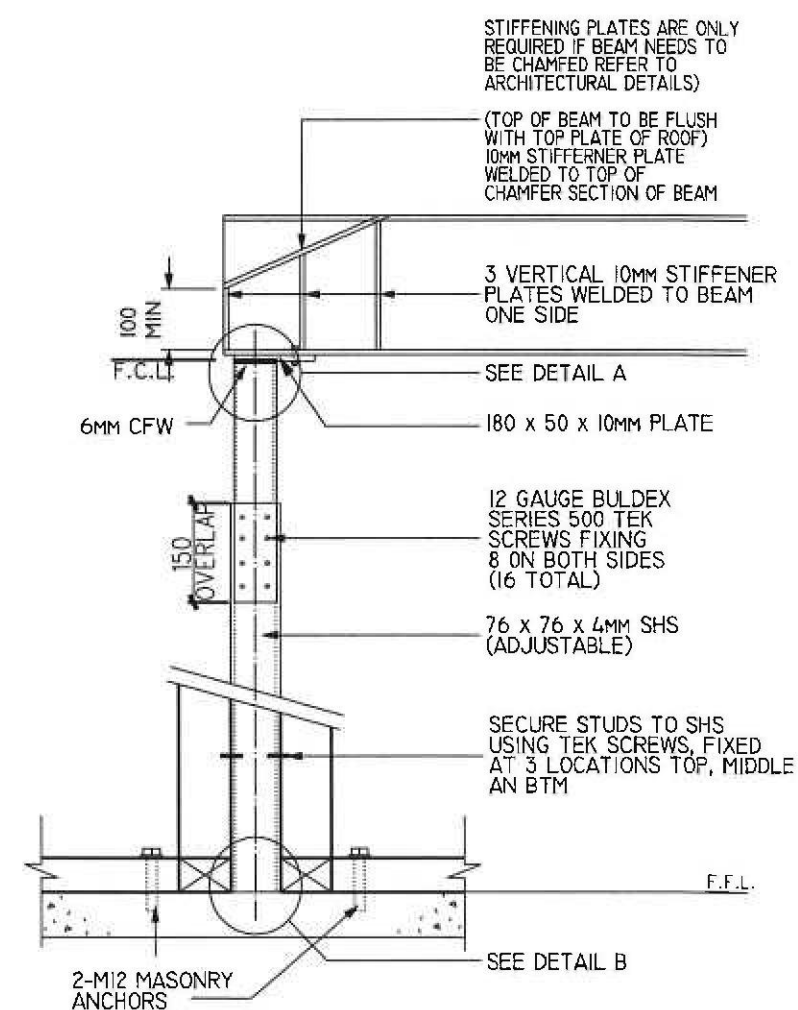


SECTION 4-4
SCALE 1:10



DETAIL A

DETAIL B



TYPICAL SECTION FOR ADJUSTABLE STEEL POSTS

RAFELETOS

ABN: 35 079 047 466
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KINGSGROVE NSW 2208
PO BOX 161 KINGSGROVE NSW 2208



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EMAIL: admin@rafzan.com.au

[Signature]
B.E., M.I.E. AUST.

metricon

REFERENCE 628981

STRUCTURAL STEEL DETAIL PLAN

CLIENT
LOCATION

WATSON
LOT 5, WAKEHURST PARKWAY, SEAFORTH

DRAWN

J.J.

SCALE

1:10

SHEET No.

4

ISSUE

B

DATE

10/01/11

JOB No.

44176 MT

NORTH

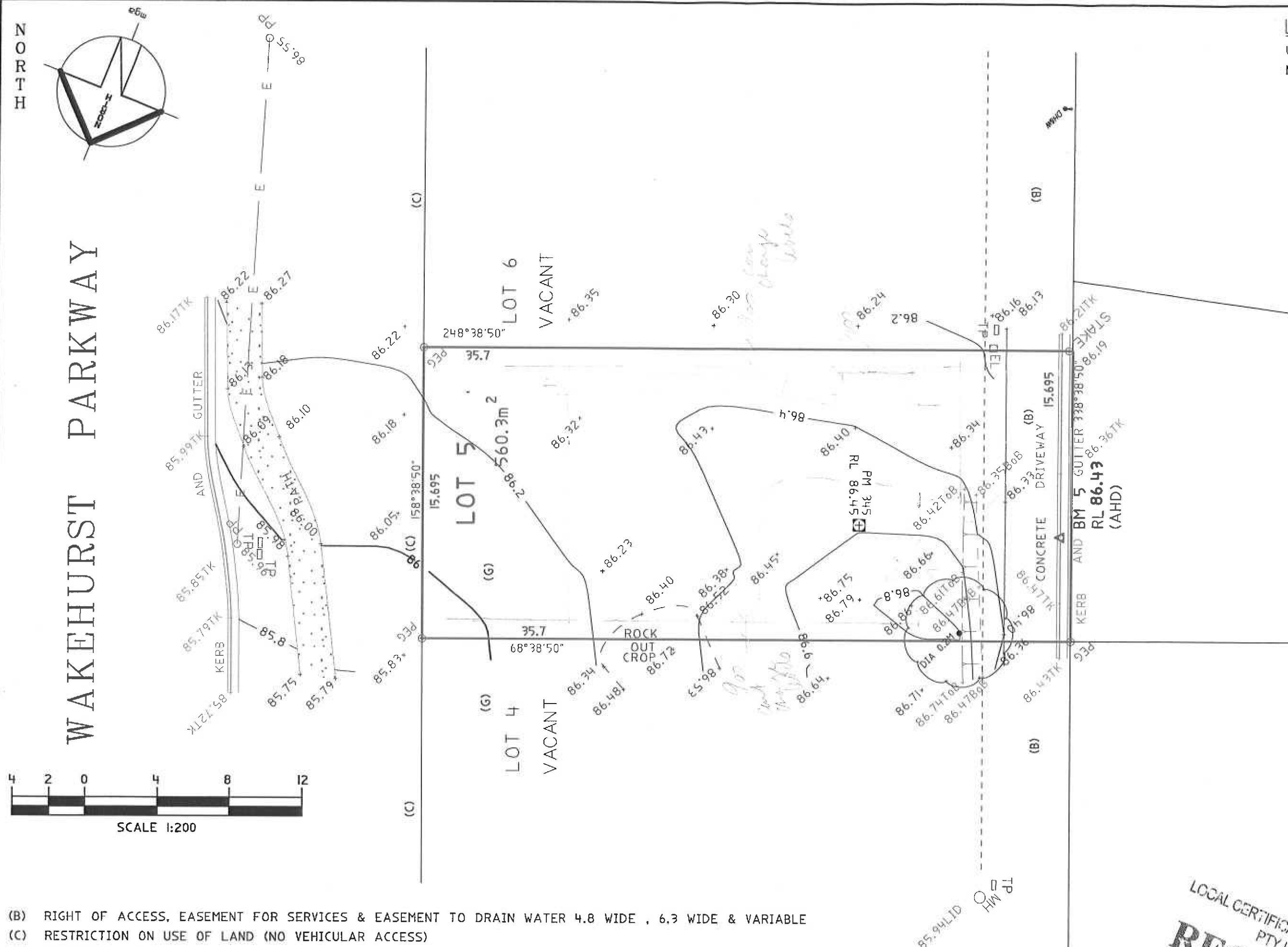
WAKEHURST PARKWAY

LOCALITY SKETCH

UBD AREA: SYD REVISION: 45

MAP: 197

REF: A6



(B) RIGHT OF ACCESS, EASEMENT FOR SERVICES & EASEMENT TO DRAIN WATER 4.8 WIDE , 6.3 WIDE & VARIABLE

(C) RESTRICTION ON USE OF LAND (NO VEHICULAR ACCESS)

(G) COVENANT - D988242 (NOT SHOWN ON TITLE)

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COPYRIGHT OF THIS PLAN AND IN THE ACCOMPANYING CAD FILE(S) WHERE APPLICABLE VESTS WITH ASPECT DEVELOPMENT & SURVEY PTY LTD.

THE PLAN AND CAD FILE SHALL ONLY BE USED BY THE ADDRESSED CLIENT FOR THE PURPOSE FOR WHICH THE SURVEY WAS CARRIED OUT.

1013720_97795.dgn 1/06/2010 1:14:37 PM

GENERAL NOTES

- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED AND THE POSITION SHOWN IS APPROXIMATE ONLY.
- B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY.
- C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY.
- D) THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.
- E) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

SYMBOLS & ABBREVIATIONS:

GP	GULLY PIT	-E-	OVERHEAD ELEC LINE
HYD	HYDRANT	-S-	SEWER LINE
SIP	SURFACE INLET PIT	GM	GAS METER
SIC	SEWER INSPECTION COVER	LP	LIGHT POLE
SMH	SEWER MANHOLE	EC	ELECTRICITY CONDUIT
WM	WATER METER	ECT	ELEC & TELE CONDUIT
EL	ELECTRICITY BOX	TC	TELECOM CONDUIT
TP	TELECOM PIT	WC	WATER CONDUIT
VC	VEHICLE CROSSING	INV	INVERT
SV	STOP VALVE	KO	KERB OUTLET
SMH	STORMWATER MANHOLE	TK	TOP of KERB

ASPECT DEVELOPMENT & SURVEY PTY LTD

CONSULTING REGISTERED SURVEYORS

ABN 60 078 649 000

LEVEL 2
103 VANESSA STREET
KINGSGROVE NSW 2208
PHONE (02) 9554 8388
FAX (02) 9554 8588

PO BOX 161
KINGSGROVE NSW 1480
DX 11392
HURSTVILLE

PROJECT

OUR REFERENCE	40/1013720/97795
LOT 5	DP 1112545 SECTION
DATUM AND	SOURCE SCMS 25.05.10
ORIGIN OF LEVELS	PM 345 REDUCED LEVEL 86.446
SURVEYED DB	DATE 26/05/10
DRAWN NS/JN	DATE 01/06/10
SCALE 1:200	A3 SHEET

CLIENT METRICON HOMES PTY. LTD.

REF: WATSON

REF: 628981

ADDRESS: WAKEHURST PARKWAY

SUBURB SEAFORTH

LOCAL CERTIFICATION SERVICES
PTY LTD
RECEIVED

LOT TYPE (AS PER NSW HOUSING CODE)	A
SITE AREA	560.3 SQM
FLOOR AREA	
GROUND FLOOR	192.17 SQM
FIRST FLOOR	157.63 SQM
TOTAL LIVING AREA	329.8 SQM
INCLUDES EXT. WALLS & GARAGE EXCLUDES PORTICO, P.F. STAIRS & VOIDS	
MAX. ALLOWABLE BY NSW H/CODE	330M2
SITE COVERAGE	
TOTAL SITE COVERAGE	192.17 SQM
EXCLUDES PORTICO, DRIVEWAY, EAVES (SWIMMING POOL)	34%
MAX. ALLOWABLE BY NSW H/CODE	50%
LANDSCAPED AREA	
TOTAL SITE LANDSCAPE	221.4 SQM
EXCL. ALL HARD SURFACES MIN. DIMENSION OF 2.5M	395%
MIN. REQUIRED BY NSW H/CODE	20%
OUTDOOR LIVING AREA	
TOTAL OUTDOOR LIVING AREA	160.2 SQM
MIN. DIMENSION OF 4M MAX. 1:50 GRADE	
MIN. REQUIRED BY NSW H/CODE	24 SQM
BUILDING HEIGHT RESTRICTION MAXIMUM 0.5 M RIDGE HEIGHT (FFL MUST BE ACCURATE TO COMPLY)	
MAXIMUM 1000MM CUT MAXIMUM 1000MM FILL MAX. 600MM FILL IF SETBACK IS \geq 2M FILL BATTER MIN. 400MM FROM BOUNDARY DEEP EDGE BEAM TO NATURAL GROUND FOR SETBACKS $<$ 2M	
RETAINING WALL REQUIREMENTS RETAINING WALLS TO BE MAXIMUM 1000MM FROM DWELLING FOOTPRINT	
TERMITE PROTECTION PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH A.5.3660.1	
GENERAL NOTES A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED AND THE POSITION SHOWN IS APPROXIMATE ONLY B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.	
DRAWINGS AMENDMENTS	
A 14.12.10 PROVIDE 9M SETBACK JN	
B 24.02.11 8.66M S/BACK TO GAR BG	

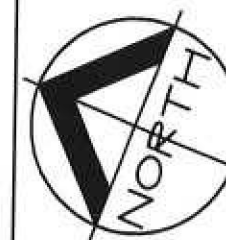
TREE TO BE REMOVED BY OWNER

TREE REMOVAL REQUIREMENTS:
SITE TO BE CLEARED BY OWNER OF ANY
EXISTING TREES AND OR PRUNE TREES
WHICH WILL EFFECT THE BUILDING AREA
PRIOR TO CONSTRUCTION.

OWNER TO OBTAIN APPROVAL FROM
RELEVANT AUTHORITIES, IF REQUIRED.

WAKEHURST PARKWAY

- (B) RIGHT OF ACCESS, EASEMENT
FOR SERVICES & EASEMENT
TO DRAIN WATER 4.8 WIDE,
6.3 WIDE & VARIABLE
- (C) RESTRICTION ON USE OF
LAND (NO VEHICULAR ACCESS)
- (G) COVENANT - D988242
(NOT SHOWN ON TITLE)



LOT NO	5
DEPOSITED PLAN	1112345
COUNCIL / LGA	MANLY
SLAB CLASS	M
WIND SPEED	N2

EXCAVATION NOTES:
EXCAVATE APPROX. 650MM ON RL 86.150.

EXCAVATIONS TO BE THE RESPONSIBILITY
OF THE OWNER.

IT IS THE OWNERS RESPONSIBILITY TO
PROVIDE A GRATED DRAIN ACROSS
GARAGE OPENINGS, IF REQUIRED DUE TO
CONSTRUCTION OF DRIVEWAY.

IMPORTANT NOTE:
SITE CUTS ARE SUBJECT TO COUNCIL
APPROVAL & NOT TO BE USED BY ANY
OTHER CONTRACTORS OTHER THAN
METRICON HOMES P/L

**STORMWATER TO DRAIN TO
STREET VIA RAINWATER/ON-SITE
DETENTION TANKS**
REFER TO HYDRAULIC ENGINEERS DETAILS

TEMPORARY FENCING:
BUILDER TO PROVIDE FENCING TO ANY
UNFENCED BOUNDARIES (LOCAL AUTH.
BYLAW)

ALL WEATHER ACCESS:
METRICON TO SUPPLY UP TO 5M SUITABLE
ALL WEATHER ACCESS TO BUILDING
PLATFORM DURING CONSTRUCTION

LEGEND	
	SEWER LINE
	VEHICLE CROSSING
	STOP VALVE
	DROP EDGE BEAM
	GAS METER
	LIGHT POLE
	INV INVERT
	TK TOP OF KERB
	KO KERB OUTLET

ASPECT SURVEY DATE: 28/03/10
CONTOUR INTERVALS: 200MM
LEVELS TO AND DATUM

SITE PLAN

metricon
Build E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153
P.O. Box 7510, Norwest Business Park NSW 2153
Telephone 02 8887 9000 Fax 02 8079 5901
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MR WATSON
LOT 5 WAKEHURST PARKWAY
SEAFORTH

JOB: 628981

DATE: 05/08/10 DRAWN: BZ
SCALE: 1:200 SHEET: 1 OF 10
UDO REF: SYD 197 A6

APPROX. LOCATION OF
SEDIMENT FENCE

LOT 4
VACANT

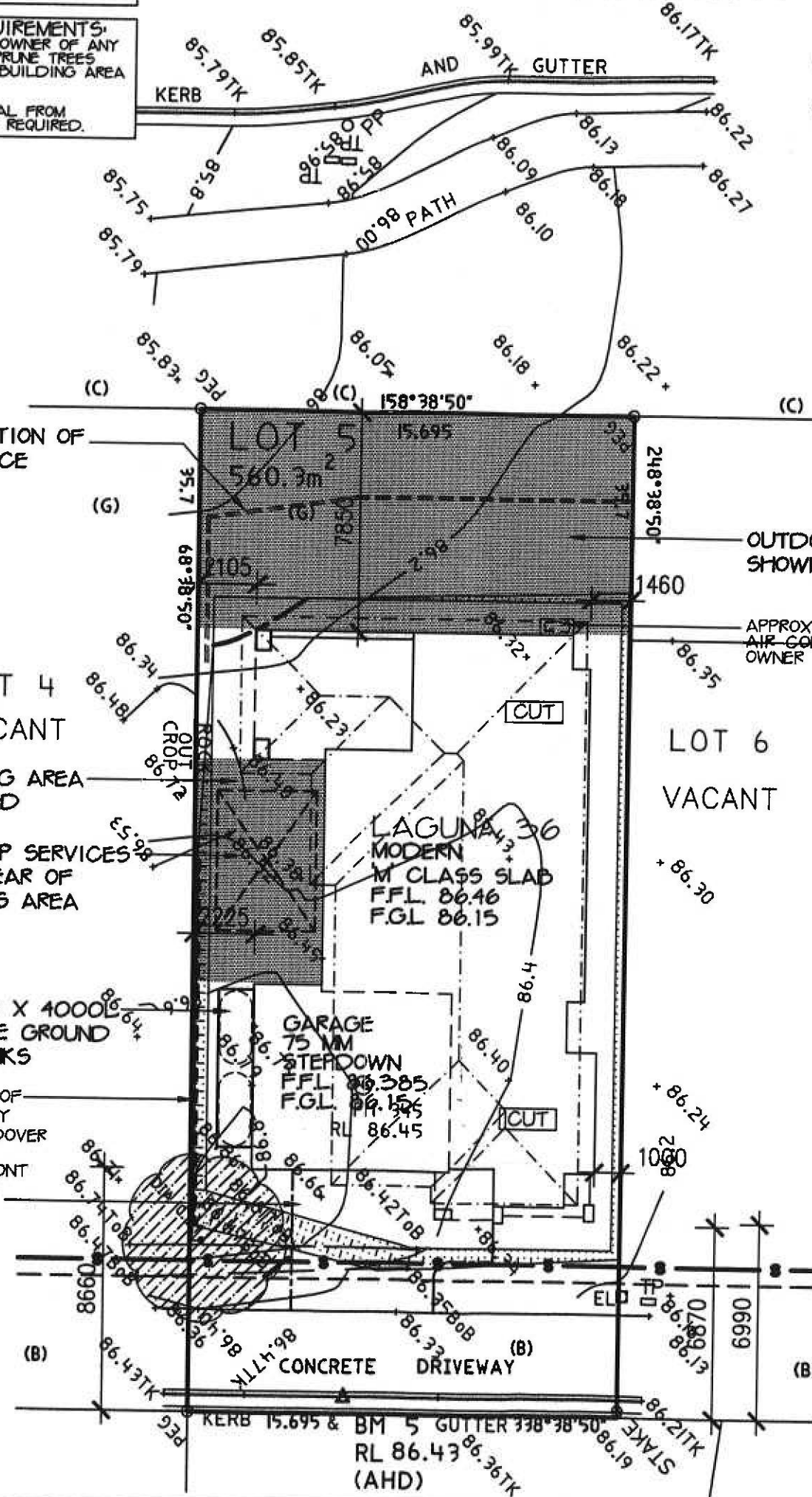
OUTDOOR LIVING AREA
SHOWN HATCHED

KEEP SERVICES
CLEAR OF
THIS AREA

LOCATION OF 2 X 4000L
SLIMLINE ABOVE GROUND
RAINWATER TANKS

APPROX. LOCATION OF
RETAINING WALL BY
OWNER AFTER HANDOVER

DRIVEWAY AND FRONT
PATH TO BE THE
RESPONSIBILITY OF
THE OWNER.



OUTDOOR LIVING AREA
SHOWN HATCHED

APPROX. LOCATION OF FUTURE
AIR-CONDITIONING UNIT BY
OWNER

LOT 6
VACANT

LAGUNA 36
MODERN
M CLASS SLAB
FFL 86.46
FGL 86.15

GARAGE
75 MM
STEPDOWN
FFL 86.385
FGL 86.155
RL 86.45

CONCRETE DRIVEWAY

KERB 15.695 & BM 5 GUTTER 338°38'50"
RL 86.43 (AHD)

SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NEW AND INSPECTED REGULARLY BY THE SITE MANAGER.

2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.

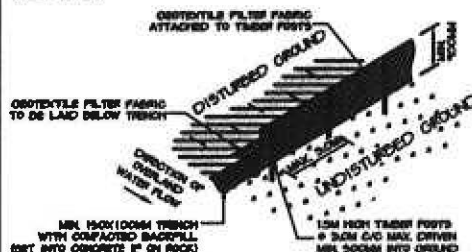
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300MM WIDE X 300MM DEEP TRENCH.

4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 50% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.

5. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEP DAILY.

6. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC OVER OR APPROVED EQUIVALENT BETWEEN POSTS AT 3.0M CENTRES. FABRIC SHALL BE BURIED 150MM ALONG ITS LOWER EDGE.

7. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.



TEMPORARY SECURITY FENCING
TEMPORARY SECURITY FENCING TO THE PERIMETER OF BOUNDARY WHERE REQUIRED TO PREVENT PUBLIC ACCESS ONTO SITE.

CUT & FILL BATTERS
ALL GROUND LINES ARE APPROXIMATE. EXTENT OF CUT AND FILL BATTERS WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED SITE SPECIFIC.

WAKEHURST PARKWAY

- (B) RIGHT OF ACCESS, EASEMENT FOR SERVICES & EASEMENT TO DRAIN WATER 4.8 WIDE, 6.3 WIDE & VARIABLE
- (C) RESTRICTION ON USE OF LAND (NO VEHICULAR ACCESS)
- (G) COVENANT - D988242 (NOT SHOWN ON TITLE)

LOT NO: 5	
DEPOSITED PLAN: 1112545	
COUNCIL / LGA: MANLY	
SLAB CLASS	M
WIND SPEED	N2

This information relates to Construction/Complying Development Certificate
8002916
Issued by Sam Pratt Ph: (02) 9836 5711
Building Professionals Board (0732)

WASTE MANAGEMENT PLAN

EROSION CONTROL PLAN

CONSTRUCTION PLAN

TEMPORARY FENCING:
BUILDER TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (LOCAL AUTH BYLAW)

ALL WEATHER ACCESS:
METRICON TO SUPPLY UP TO 5M SUITABLE ALL WEATHER ACCESS TO BUILDING PLATFORM DURING CONSTRUCTION

ASPECT SURVEY DATE: 26/05/10

CONTOUR INTERVALS: 200 MM

LEVELS TO: AHD DATUM

metricon

Bldg. E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153
P.O. Box 7510, Norwest Business Park NSW 2153
Telephone 02 8887 9000 Fax 02 8079 5901

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MR WATSON
LOT 5 WAKEHURST PARKWAY
SEAFORTH

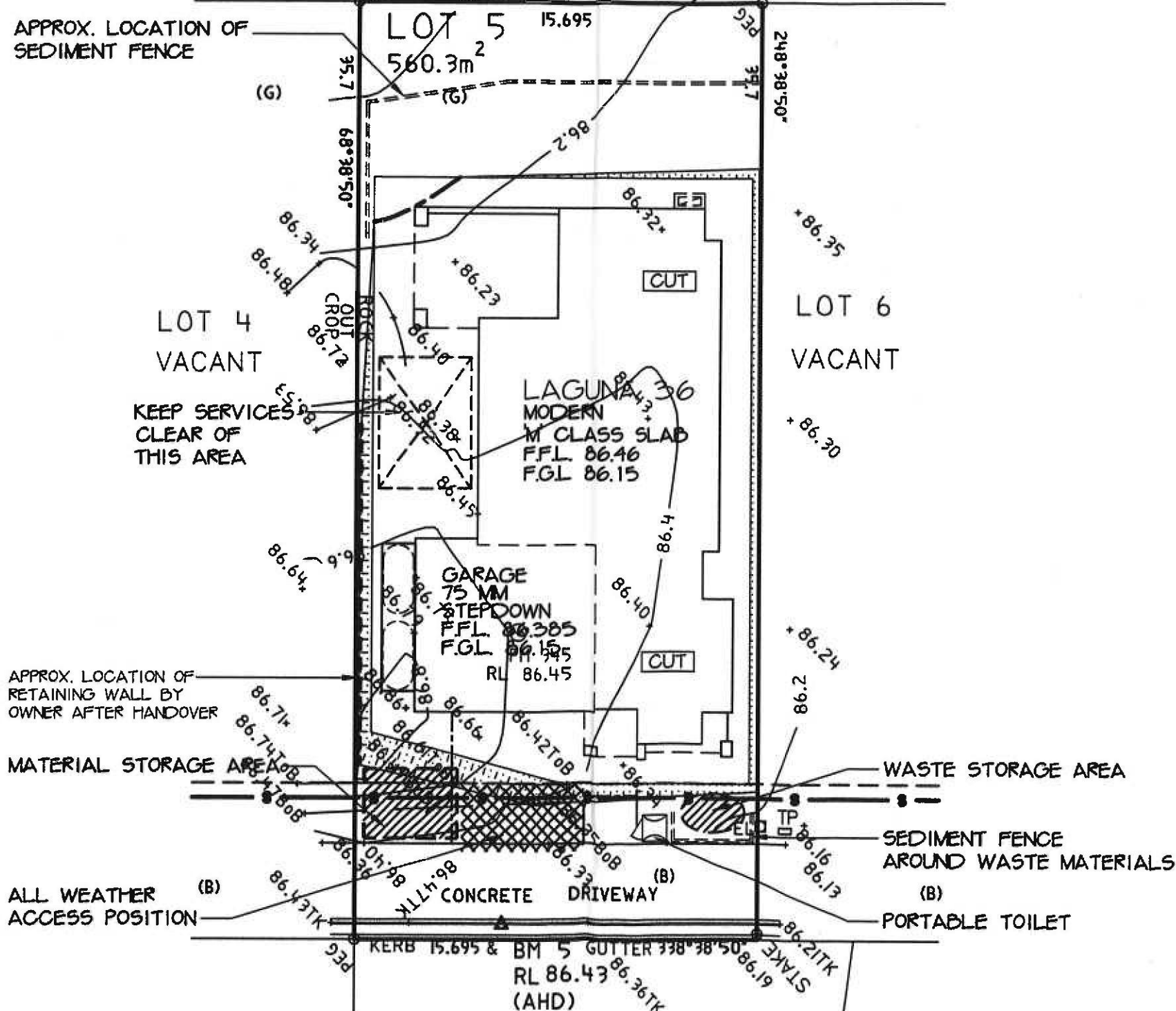
JOB: 628981

DATE: 18/01/11 DRAWN: BZ/MC

SCALE: 1:200 SHEET: 1A OF 10

UDO REF: STD 197 A6

APPROX. LOCATION OF
SEDIMENT FENCE



Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 3 star (> 4.5 but <= 6 L/min) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 3 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 1100 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 236 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• all toilets in the development		✓	✓
• the cold water tap that supplies each clothes washer in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

Thermal Comfort Commitments

Simulation Method

The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.

The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.

The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.

The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.

The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.

The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.

Floor and wall construction	Area
Floor - concrete slab on ground	All or part of floor area square metres
Floor - suspended floor above garage	All or part of floor area

Energy Commitments

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas storage with a performance of 5 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: air conditioning ducting only; Energy rating: n/a		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: air conditioning ducting only; Energy rating: n/a		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: air conditioning ducting only; Energy rating: n/a		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: air conditioning ducting only; Energy rating: n/a		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Laundry: natural ventilation only, or no laundry; Operation control: n/a		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 4 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

LOT NO:

5

DEPOSITED PLAN

1112545

COUNCIL / LGA:

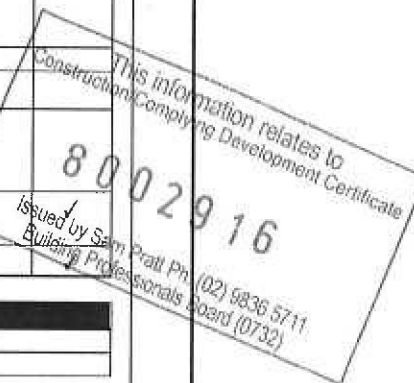
MANLY

SLAB CLASS

M

WIND SPEED

N2



ASPECT SURVEY DATE: 26/05/10

CONTOUR INTERVALS: 200MM

LEVELS TO: AHD DATUM

BASIX COMMITMENTS

metricon

Bldg. E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153
P.O. Box 7510, Norwest Business Park NSW 2153
Telephone 02 8887 9000 Fax 02 8079 5901

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MR WATSON
LOT 5 WAKEHURST PARKWAY
SEAFORTH

JOB: 628981

DATE: 18/01/11

DRAWN: MC

SCALE: -

SHEET: 10 OF 10

UBD REF: SYD 197 A6



APPROX. LOCATION OF FUTURE
AIR-CONDITIONING UNIT BY
OWNER AFTER HANDOVER —

230MM THICK BRICK WALL WITH
HEADER COURSE ON TOP
OVERALL HEIGHT 1044MM

DIRECTION OF
TAS. OAK LINING BOARDS
TO
OUTDOOR CEILING

GROUND FLOOR
PLAN 1:100

PROVIDE SQUARE SET CORNERS TO

- ENTRY / GALLERY
- KITCHEN / PANTRY
- FAMILY/DINING
- LIVING
- STUDY
- POWDER
- LAUNDRY

This information relates to Construction/Complying Development Certificate

002916

02916
Pratt Ph: (02) 9836
Professionals Board (0722)

—LOCATION OF 2 X 4000L
SLIMLINE ABOVE GROUND
RAINWATER TANKS
(2600L X 1150W X 1480H)

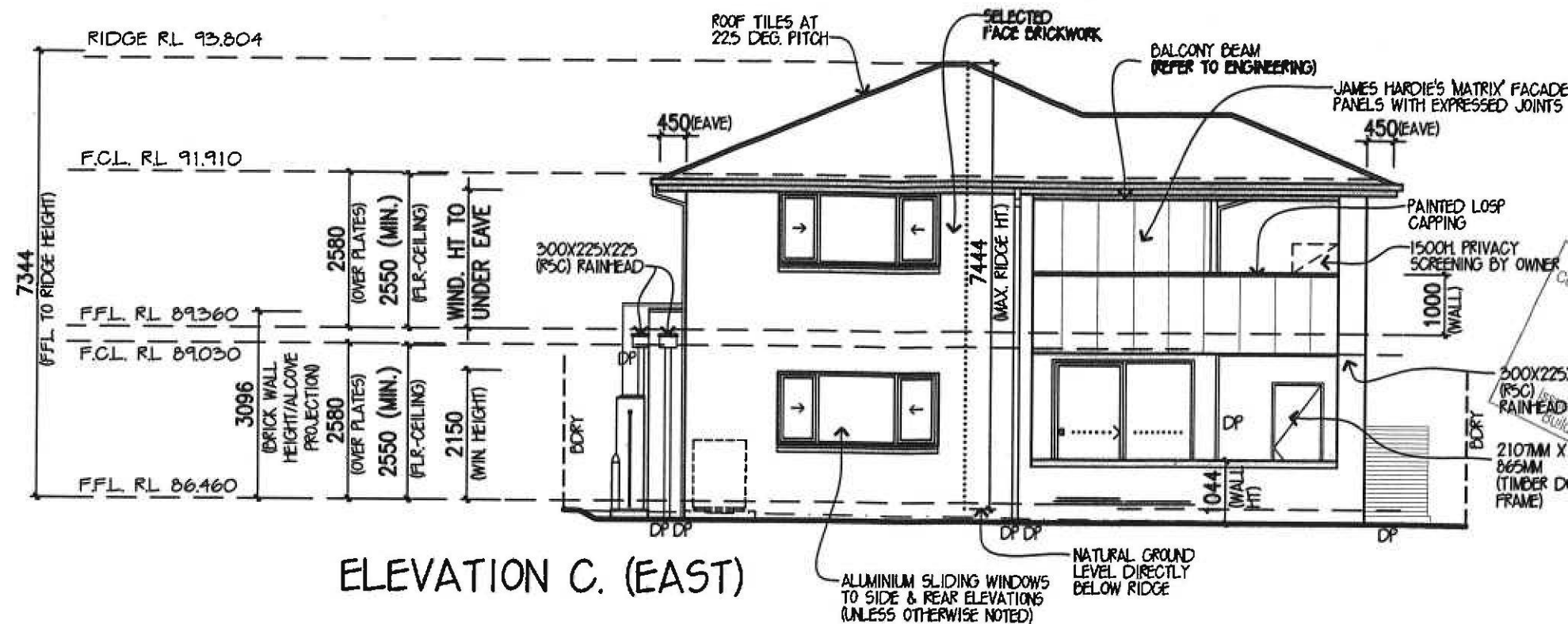
- * NOTES:
WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. FLOOR PLAN DIMENSIONS ARE TO FRAME SIZE ONLY.
- * WINDOW SIZES SHOWN ARE SUPPLIERS FRAME SIZES.
- * ALL GLAZING TO COMPLY WITH A.S. 1288-2006 GLASS IN BUILDINGS, & WITH A.S. 4055-1992 FOR WINDLOADING.
- * WINDOW SUPPLIER TO PROVIDE COVER BOARDS TO ALL CORNER WINDOWS U.N.O.
- * GARAGE ROOF TO BE TIED DOWN MIN. 1200 INTO BRICKWORK WITH HOOP IRON STRAPS.
- * ALL WATER CLOSET DOORS TO BE REMOVABLE IN ACCORDANCE WITH B.C.A.3.8.3.

VARIATIONS(V), RE-PREPS(R), AMENDMENTS(A):					AREAS:	
No:	Date:	Drawn:	Chkd:	Comment:	GRD FLR:	GARAGE:
VO1	08.11.10	MC	-	CONTRACT VAR. 1 & 2	146.70 SQM	45.47 SQM
VO2	14.12.10	JN	YD	HOUSE REDUCED	144.75 SQM	628 SQM
VO3	24.02.11	BG	JJ	RE-SITE & PRIV. SCREEN		2466 SQM
VOX	--/--	XX	XX	COM.		
VOX	--/--	XX	XX	COM.		
					SUBTOTAL:	390.75 SQM
						4215 SQM

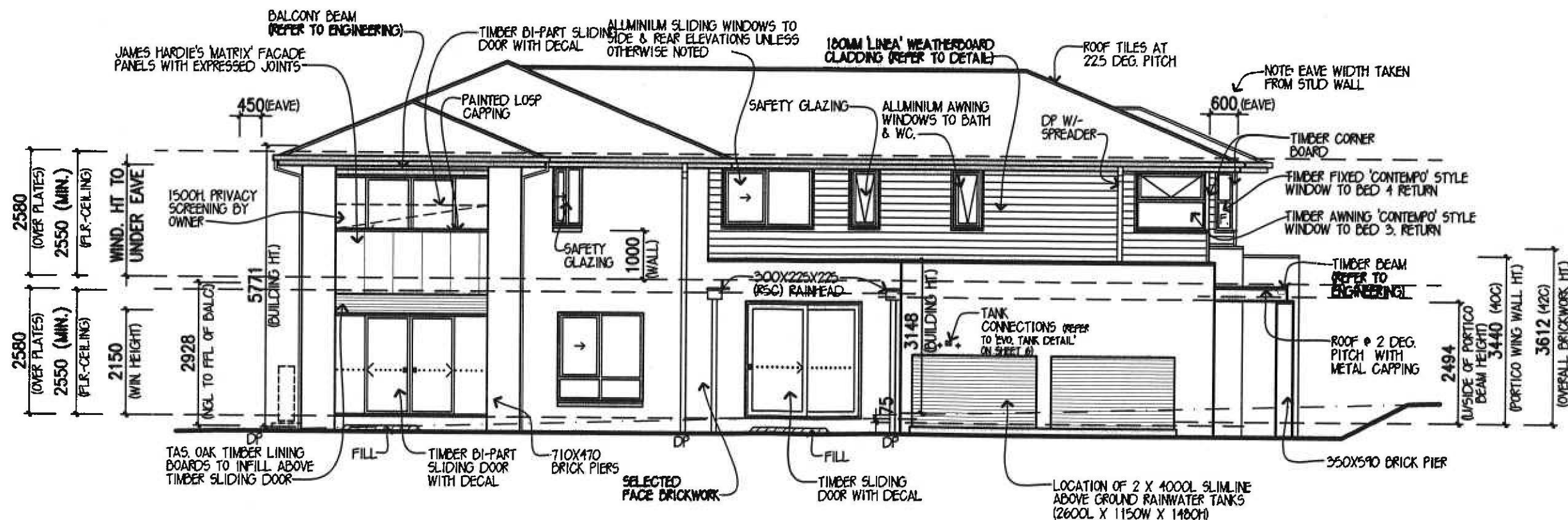
DESIGN:	LAGUNA 36		
FACADE:	MODERN	CEILING:	25. R
GARAGE:	DOUBLE	LOCATION:	F
FLOOR PLAN			
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metricon
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P.O. Box 7510, Norwest Business Park NSW 2153
Telephone 02 8887 9000 Fax 02 8079 5901
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OWNER: MR WATSON		
LOT 5 WAKEHURST PARKWAY		
SEAFORTH		
JOB NO: 628981	DATE: 11.10.10	
F.C.DATE:	MST VER: 26 NOV 2007	
PERMIT No:		
DRAWN: AA	CHECKED: BG	SHEET: 2 of 10



ELEVATION C. (EAST)



ELEVATION D. (NORTH)

ELEVATIONS 1:100

- NOTES:**
- * WINDOW SUPPLIER TO SUPPLY COVER BOARDS TO ALL CORNER WINDOWS U.N.O.
 - * ALL GLAZING TO COMPLY WITH A.S. 1288 - 2006 GLASS IN BUILDINGS, & WITH A.S. 4055 - 1992 FOR WINDLOADING.
 - * WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST CORRESPONDING BRICK COURSE.

DESIGN: LAGUNA 36

FACADE: MODERN CEILING: Z, R

GARAGE: DOUBLE LOCATION: F

ELEVATIONS

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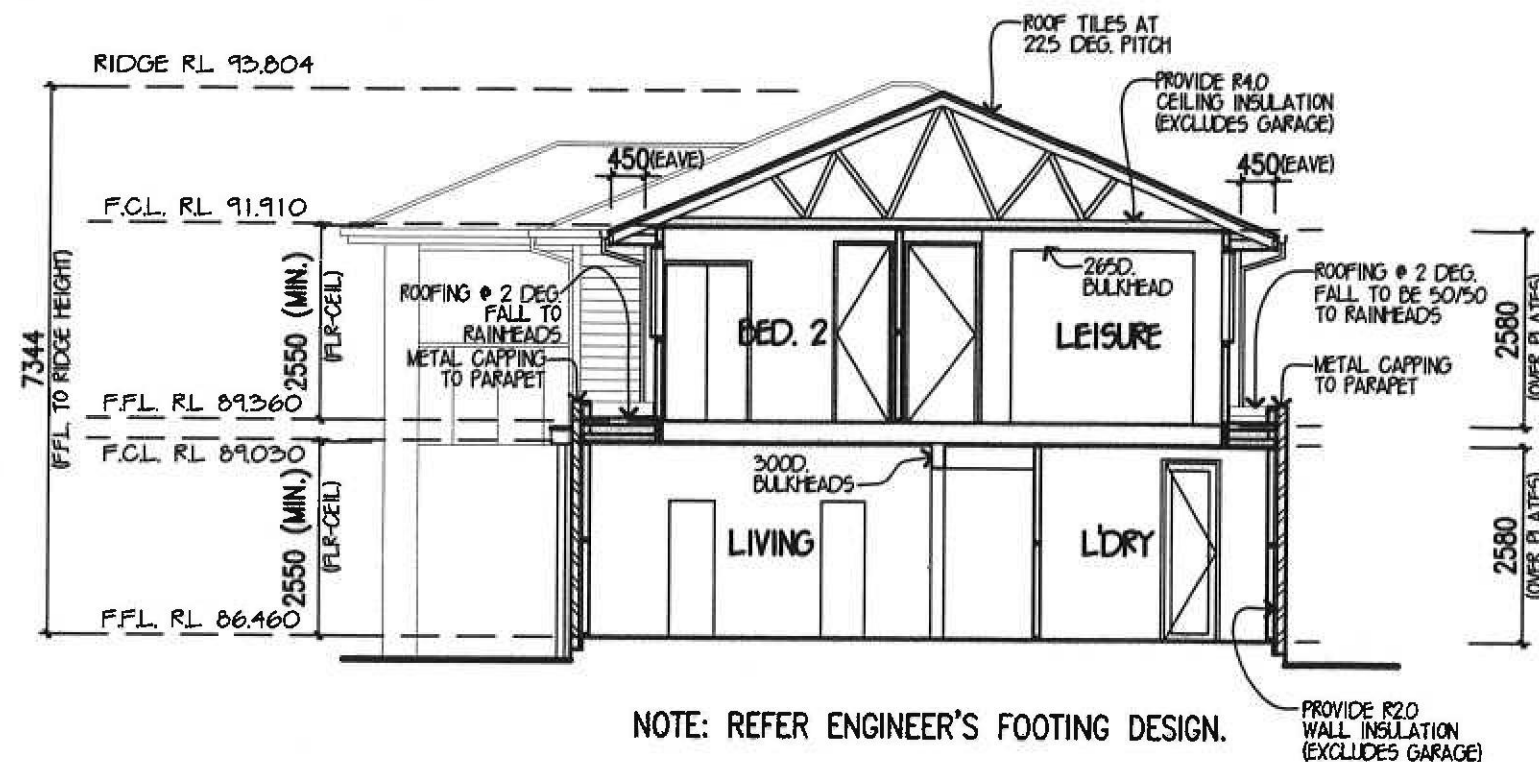
OWNER: MR WATSON
LOT 5 WAKEHURST PARKWAY
SEAFORTH

JOB NO: 628981 DATE: 11.10.10

F.C. DATE: MST VER: 26 NOV 2007

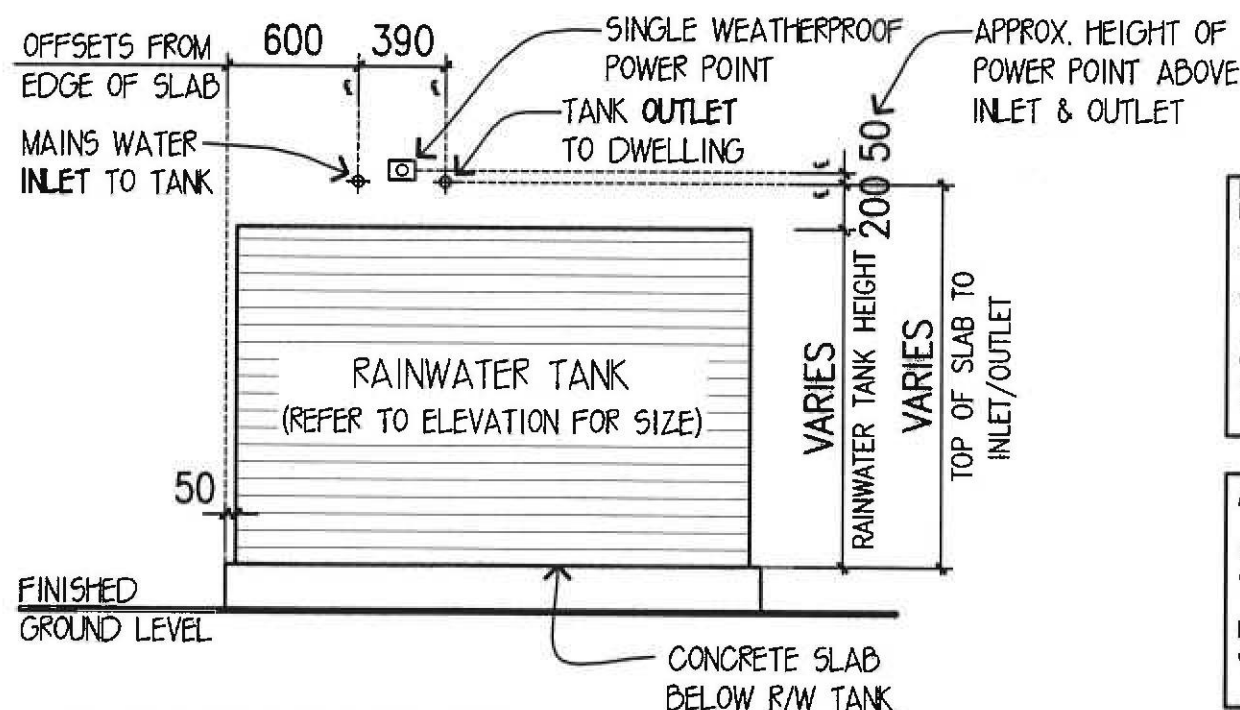
PERMIT No:

DRAWN: AA CHKD: BG SHEET: 5 of 10



NOTE: REFER ENGINEER'S FOOTING DESIGN.

SECTION X-X



PROVIDE THE FOLLOWING BASIX REQUIREMENTS:

- 3 STAR RATED SHOWER HEADS (4.5 BUT < 6 L/MIN)
- 3 STAR RATED TAP FITTINGS TO BASINS AND KITCHEN TAPS
- 3 STAR TOILET FLUSHING SYSTEM
- R4.0 CEILING INSULATION
- R2.0 EXTERNAL WALL INSULATION
- KITCHEN RANGEHOOD DUCTED DIRECTLY THROUGH EXTERNAL WALL

AIR CONDITIONING

COOLING SYSTEM

- TO AT LEAST ONE LIVING AREA AND ONE BEDROOM, AIR CONDITIONING DUCTING ONLY

HEATING SYSTEM

- TO AT LEAST ONE LIVING AREA AND ONE BEDROOM, AIR CONDITIONING DUCTING ONLY

HOT WATER SYSTEM

- GAS STORAGE, WITH PERFORMANCE OF 5 STARS

COOKING

- GAS COOKTOP WITH ELECTRIC OVEN

RAINWATER TANK MUST CONNECT TO ALL TOILETS IN THE DEVELOPMENT, WATER TAP THAT SUPPLIES WASHING MACHINE AND ONE GARDEN TAP

MEDIUM EXTERNAL WALL COLOUR
DARK EXTERNAL ROOF COLOUR

OWNER TO PROVIDE THE FOLLOWING BASIX REQUIREMENTS:

- WEATHER SEALS/STRIPS TO EXTERNAL HINGED DOORS
- EXTERNAL CLOTHES DRYING LINE

**PROVIDE WHITE ANT
TREATED FRAME**

STAIRCASE UPGRADES - REFER TO CONTRACT

PROVIDE P35 CONTROL JOINT TO STAIRWELL

**PROVIDE 2340MM (H) INTERNAL DOORS
TO THE GROUND FLOOR AND FIRST FLOOR
(EXCLUDING ROBE DOORS)**

**PROVIDE DUCTS AND OUTLETS ONLY TO THE
GROUND FLOOR AND FIRST FLOOR FOR FUTURE
AIR-CONDITIONING BY OWNER**

**PROVIDE SQUARE
SET CORNERS TO**

- ENTRY / GALLERY
- KITCHEN / PANTRY
- FAMILY/DINING
- LIVING
- STUDY
- POWDER
- LAUNDRY

GENERAL NOTES:

- * ALL STEPS & STAIRS TO HAVE A 240mm MIN. & 355mm MAX. TREAD WIDTH, 115mm MIN. & 190mm MAX. RISER HEIGHT & MUST COMPLY WITH B.C.A. 3.9.1.
- * BALUSTRADE IN ACCORDANCE WITH B.C.A. 3.9.2. TO BE INSTALLED WHERE INTERNAL & EXTERNAL LANDINGS EXCEED 1000mm ABOVE FINISHED GROUND LEVEL.
- * PROVIDE CAVITY FLASHING & WEEP HOLES ABOVE LOWER STOREY OPENINGS.
- * WATERPROOFING OF WET AREAS TO COMPLY WITH A.S. 3740 &/OR B.C.A. 3.8.1.0

Information relates to
Construction/Complying Development Certificate
Issued by Sam Pratt Pty (02) 9836 5711
Building Professionals Board (0732)
8002916

- * ALL STRUCTURAL TIMBER FRAMING SIZES TO BE IN ACCORDANCE WITH A.S. 1684 - 2006 NATIONAL TIMBER FRAMING CODE & OR ENGINEERS STRUCTURAL COMPUTATIONS.

DESIGN: **LAGUNA 36**

FACADE: **MODERN** CEILING: **25 R**

SECTION

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LOT 5 WAKEHURST PARKWAY
SEAFORTH

JOB NO: **628981** DATE: **11.10.10**

F.C. DATE: **MST VER: 26 NOV 2007**

PERMIT No:

DRAWN: **AA** CHKED: **BG** SHEET: **6 of 10**

SECTION 1:100