

5 COMMONWEALTH PARADE, MANLY

ARCHITECTURAL SERVICES

DRAWING LIST

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A1.00	BASEMENT FLOOR PLAN
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REFERENCES

	WALL TYPE - REFER TO WALL TYPE DRAWING
	WINDOW NO - REFER TO WINDOW SCHEDULE
	DOOR NO - REFER TO DOOR SCHEDULE
	SECTION / ELEVATION / CROSS REFERENCE
	FILE DETAIL / CROSS REFERENCE
	GRID LINE

ABBREVIATIONS

AB	ABOVE BENCH	LT	LAUNDRY TUB
A/C	AIR-CONDITIONING UNITS	M	MIXER
AH	ACCESS HATCH	MT G	GAS METRES
AW	AWNING WINDOW	MT W	WATER METRES
AS	ADJUSTABLE SHELF	MW	MICROWAVE OVEN
CB	CUPBOARD	NW	NEW WINDOW
CL	AUTOMATIC CLOSING WINDOW WITH FUSIBLE LINK	O	OVEN
COS	CHECK ON SITE	OF	OVERFLOW
CT	COOKTOP	OB	OBSCURE
CW	CASEMENT WINDOW	PEL	PELMET
D	DIMMER SWITCH	PL	PLANTER BOX
DH	DOUBLE HUNG	PM	PROJECT MANAGER
DP	DOWN PIPE	PO	PULL OUT CABINET
DR	CLOTHES DRYER	PTY	PANTRY
DRW	DRAWER	RB	BUILT-IN ROBE
DSK	DESK	RBH	ROBE HOOK
DW	DISH WASHER	RCP	REFLECTED CEILING PLAN
EQ	EQUAL	RH	RANGE HOOD
EX	FIRE EXTINGUISHER	RL	REDUCED LEVEL
EXG	EXISTING	RWT	RAIN WATER TANK
F	FRIDGE/FREEZER	RWH	RAIN WATER HEAD
FAS	FIRE ATTENUATION SCREEN	RWO	RAIN WATER OUTLET
FE	FIRE EXTINGUISHER	SC	SENSOR CONTROL
FFL	FINISHED FLOOR LEVEL	SCD	SCUPPER DRAIN
FIP	FIRE INDICATOR PANEL	SD	STRIP DRAIN
FS	FIXED SHELF	SG	SPANDREL GLASS PANEL
FW	FLOOR WASTE	SH	SINGLE HUNG
FX	FIXED	SL	SKY LIGHT
FRW	FIRE RATED WINDOW - /60/-	SLV	SKY LIGHT- VENTILATED
GD	GRATED DRAIN	SLW	SLIDING WINDOW
HC	HOSE COCK	SR	SERVICE RISER
HTR	HEATED TOWEL RAIL	SW	STORMWATER
HWU	GAS INSTANTANEOUS HOT WATER UNIT	SWO	STORMWATER OUTLET
HYD	FIRE HYDRANT	SSL	STRUCTURAL SLAB LEVEL
HYDB	HYDRANT BOOSTER	TOW	TOP OF WALL RL
LN	VALVE LINEN CB	TP	TELSTRA PIT
		V	VENTILATION DUCT
		VIS	VISIBILITY STRIP
		WD	COMBINED WASHER DRYER
		WM	WASHING MACHINE
		UB	UNDER BENCH

LEVELS

	EXISTING RL TO BE MAINTAINED
	EXISTING RL TO BE AMENDED
	EXISTING RL TO BE AMENDED
	EXISTING RL TO BE AMENDED
FFL 11.704	FINISHED FLOOR LEVEL
SSL11.704	STRUCTURAL SLAB LEVEL
RL 11.704	PROPOSED RL
CL 2400	FINISHED CEILING LEVEL IN MM ABOVE FFL

	FINISHED CEILING LEVEL APPROX 2400, SEE NOMINATED LEVEL ON RCP
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REVISIONS

	REVISION FROM PREVIOUS ISSUE
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FINISHES

	METAL PRIVACY BLADES
	CONCRETE
	CLADDING KERLITE
	CLADDING, ALUMINIUM TO MATCH WINDOWS
	CEMENT RENDER - OFF WHITE
	FIBRE CEMENT CLADDING
	CARPET
	HARDWOOD TIMBER DECK
	FRAMELESS CURVED GLASS BALUSTRADE
	GLAZING
	GLAZING - FROSTED
	METAL BALUSTRADE & FENCE
	METAL CLADDING
	METAL ROOFING
	MIRRORED CABINET
	OFF FORM CONCRETE - SMOOTH
	PEBBLES
	SANDSTONE CLADDING
	NATURAL STONE TILES- INTERNAL
	NATURAL STONE TILES L. - EXTERNAL FINISH
	NATURAL STONE TILES S. - EXTERNAL FINISH
	NATURAL STONE BENCHTOP
	ENGINEERED STONE BENCHTOP
	TIMBER CLADDING
	TIMBER FLOOR BOARDS
	FLOOR TILES - WET AREA

NOTES:

- TAGS ON DRAWINGS ARE INDICATIVE ONLY, PLEASE REFER TO FINISHES SCHEDULE AND INTERIOR ARCHITECTS DRAWINGS AND SPECIFICATIONS

HATCHING

	NEW LIGHT-WEIGHT METAL STUD WALL
	NEW BRICK WALL
	NEW CONCRETE BLOCK WALL
	NEW AFS WALL - REDIWALL BELOW GROUND LEVEL, LOGICWALL ABOVE
	NEW CONCRETE STRUCTURE
	NEW TIMBER SUBFLOOR, FRL 90/90/90
	INDICATES ROCK/IN GROUND
	INDICATES SOIL/FILL
	STRUCTURE/NEIGHBOURING STRUCTURE TO BE RETAINED

NOTES:

- ALL NEW WORKS SHALL COMPLY WITH THE NOMINATED ISSUE OF THE BUILDING CODE OF AUSTRALIA. IF ANY INCONSISTENCIES ARE FOUND, NOTIFY ARCHITECT IMMEDIATELY.

MECHANICAL & ELECTRICAL FIXTURES

	ONE WAY SINGLE POLE LIGHT SWITCH
	TWO WAY LIGHT SWITCH
	RECESSED DOWNLIGHTS- UNITS
	RECESSED DOWNLIGHTS- WET AREA
	RECESSED DOWNLIGHTS- COMMON AREA
	RECESSED DOWNLIGHTS- EXTERNAL
	FEATURE TRACK LIGHTS
	PENDANT LIGHT
	PENDANT LIGHT - LOBBY
	WALL MOUNTED LIGHT
	WALL MOUNTED LIGHT-WET AREA
	EXTERNAL WALL LIGHT
	LED STRIP - CABINET MOUNTED
	LED STRIP - CEILING MOUNTED
	WEATHERPROOF LUMINAIRE
	LUMINAIRE
	DOUBLE SOCKET OUTLET
	SERVICE PANEL - COAXIAL TV CABLE
	SERVICE PANEL - DATA AND TELECOM CABLE
	VIDEO INTERCOM INTERFACE -
	HARD-WIRED HEATED TOWEL RAIL
	DISTRIBUTION BOARD
	WET AREA EXHAUST GRILLE WITH ASSOCIATED FAN AND DUCTWORK
	EMERGENCY LIGHT
	SMOKE ALARM SYSTEM TO FIRE ENG.'S REPORT
	THERMAL DETECTOR TO FIRE ENG.'S REPORT
	EXIT LIGHT
	GAS CONNECTION
	FIRE INDICATOR PANEL
	VIDEO INTERCOM
	NBN CONNECTION PANEL
	DRENCHER
	CURTAIN TRACK
	WALL MOUNTED APPROVED LINEAR BAR GRILLE TO INVERTER SPLIT DUCTED AIRCON UNITS W/ SMARTZONE CONTROL SYSTEM: TO RUN THE FULL LENGTH OF BULKHEAD
	CEILING MOUNTED APPROVED LINEAR BAR GRILLE TO INVERTER SPLIT DUCTED AIRCON UNITS W/ SMARTZONE CONTROL SYSTEM

NOTES:

- REFER TO INTERIOR ARCHITECTS DRAWINGS AND SPECIFICATIONS
- LIGHT SWITCHES SHALL BE LOCATED BETWEEN 900mm AND 1100mm ABOVE FLOOR LEVEL.
- POWER SOCKETS OUTLETS SHALL BE LOCATED 200mm ABOVE FLOOR LEVEL UNLESS NOTED OTHERWISE EXTERNAL GPO WHEN LOCATED OUTSIDE
- ILLUMINATION LEVELS TO BE TO AS4299 - FINAL QUANTITIES AND PLACEMENT OF LIGHT FITTINGS TO BE CONFIRMED
- EXIT SIGNS, SMOKE DETECTORS AND EMERGENCY LIGHTING TO COMPLY WITH REGULATIONS
- REFER TO KITCHEN & WET AREA DRAWINGS FOR MORE DETAILS
- DIMMER SWITCHES TO LIVING/ DINING
- REFER TO BASIX FOR MINIMUM RATING OF APPLIANCES

FIXTURES/ FITTINGS/APPLIANCES

	PARISI WALL HUNG TOILET
	PARISI WALL FACED PAN
	PARISI ROUND BASIN
	VEROTTI ROUND BASIN
	LAUNDRY TUB
	KITCHEN MIXER
	WALL MOUNTED BASIN MIXER
	LAUNDRY TAP
	BENCH MOUNTED BASIN MIXER
	COLUMN SHOWER
	SHOWER MIXER
	KITCHEN SINK
	MIELE FULLY INTEGRATED DISHWASHER 1
	MIELE FULLY INTEGRATED DISHWASHER 2
	MIELE WASHING MACHINE/DRYER COMBO
	MIELE GAS COOK TOP 4 BURNER
	MIELE GAS COOK TOP 5 BURNER
	MIELE ELECTRIC OVEN 600MM
	MIELE ELECTRIC OVEN 900MM
	MIELE MICROWAVE 1
	SMEG CYLINDRICAL RANGEHOOD
	MIELE INTEGRATED RANGEHOOD
	FISHER & PAYKEL INTEGRATED FRIDGE
	TOILET PAPER HOLDER
	BOTTLE TRAP
	BOTTLE TRAP
	FLUSH BUTTON
	HEATED TOWEL RAIL
	ROBE HOOK
	SHOWER TRAY
	SLIDING RAIL
	PULL HANDLE 1

S4.55 LIST OF AMENDMENTS:

- BUILDING RAISED 170MM TO ALIGN WITH EXISTING RIDGE LEVEL TO INCREASE CEILING HEIGHTS AND IMPROVE AMENITY OF UNITS, NEGLIGIBLE IMPACTS ON NEIGHBOURS' VIEWS
- CAR STACKER REMOVED AND REPLACED BY TANDEM CAR SPACES TO REDUCE EXCAVATION AND IMPACT ON NEIGHBOURS
- RAMP ADJUSTED TO ADDRESS COUNCIL CONDITION OF EXTENDED MEDIAN STRIP
- LAY-OUT OF UNIT 1 AMENDED TO SUIT REMOVAL OF CAR STACKER AND IMPROVE ACCESS TO DAYLIGHT AND NATURAL VENTILATION, RESULTING IN NO INCREASE IN FSR NOR ANY IMPACT TO NEIGHBOURS
- ENTRY STAIR REALIGNED TO IMPROVE PRIVACY TO UNIT 1, SUBSEQUENT CHANGES TO BALCONY OF UNIT 1
- BALCONY SOFFITS LOWERED TO 2400MM ABOVE FFL TO HIDE DRAINAGE AND STRUCTURE
- ADJUSTMENTS TO EXTERNAL FINISHES AND MINOR ADJUSTMENTS TO WINDOWS
- CAR PARK EXHAUST REDESIGNED TO BE INCORPORATED IN THE REAR FENCE AS PER COUNCIL'S AND NEIGHBOURS' WISHES
- CLERESTORY TO UNIT 1 REPLACED BY A SKYLIGHT FOR IMPROVED ACCESS TO DAYLIGHT
- OSD TANK RELOCATED TO SUIT NEW ENTRY STAIR DESIGN
- SKY LIGHT ADDED TO ENSUITE ON LEVEL 3

IMPORTANT NOTES:
Do not scale from drawings. Use figured dimensions only. Ensure that the drawings used carry the latest revision no. Read in conjunction with consultant engineers drawings - refer contract drawing list.

- All dimensions to be checked on site before commencement of work.
- All discrepancies to be brought to the attention of the Architect.
- Larger scale drawings and written dimensions take precedence.
- The Estuarine Planning Level is min 3.1m AHD. All levels to AHD.

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REVISION	DATE	DESCRIPTION	BY	REVISION	DATE	DESCRIPTION	BY
PR1	2019.07.08	PRELIMINARY	FB				
PR2	2019.10.31	PRELIMINARY	FB				
S4.55	2020.03.13	S4.55 APPLICATION	FB				

REVISION NOTES

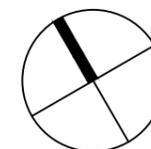


Suite 503/39 East Esplanade, Manly 2095
p. 02 9976 6666 obrn. 74602856157
nominated architect Bride Gough Reg No. 8280

PROJECT
THREE STOREY RESIDENTIAL FLAT BUILDING
WITH BASEMENT CAR PARK AT:

5 COMMONWEALTH PDE,
MANLY, NSW

CLIENT
C.G. & I.B. KOUTSOS



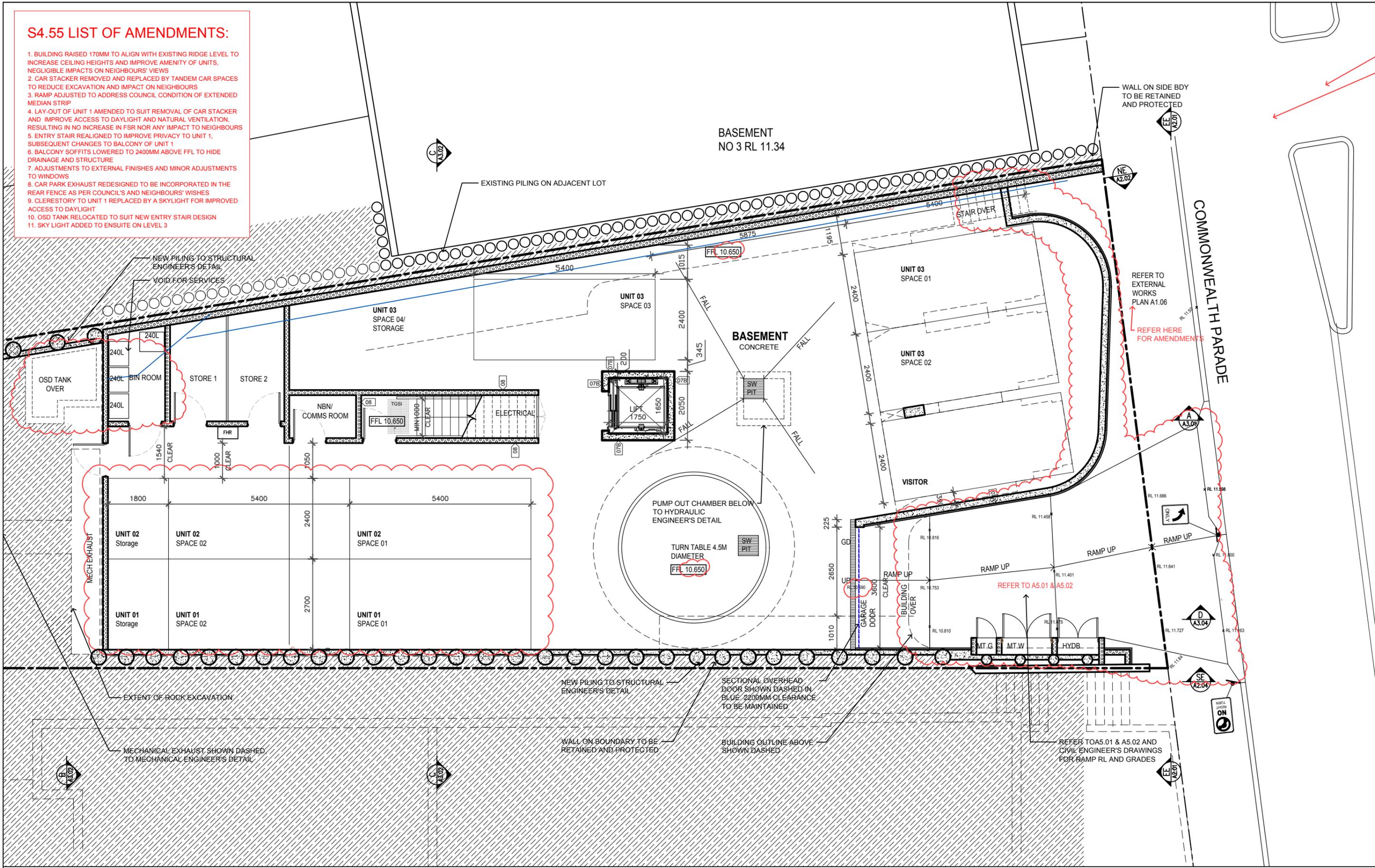
DRAWING TITLE
COVER PAGE

PROJECT
CPM

SCALE	STATUS	NUMBER	REVISION
N.T.S.	S4.55	A0.00	s4.55

S4.55 LIST OF AMENDMENTS:

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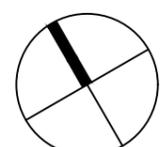
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PR	2019.05.16	PRELIMINARY	FB	PR6	2019.07.12	PRELIMINARY	FB
PR1	2019.05.30	PRELIMINARY	FB	PR7	2019.10.31	PRELIMINARY	FB
PR2	2019.06.12	PRELIMINARY	FB	PR8	2020.01.14	PRELIMINARY s4.55	FB
PR3	2019.06.18	PRELIMINARY	FB	PR9	2020.02.14	PRELIMINARY s4.55	FB
PR4	2019.07.02	PRELIMINARY	FB	PR10	2020.02.20	PRELIMINARY s4.55	FB
PR5	2019.07.04	PRELIMINARY	FB	S4.55	2020.03.13	s4.55 APPLICATION	FB

REVISION NOTES



PROJECT
 THREE STOREY RESIDENTIAL FLAT BUILDING WITH BASEMENT CAR PARK AT:
5 COMMONWEALTH PDE, MANLY, NSW
 CLIENT
 C.G. & I.B. KOUTSOS



DRAWING TITLE
BASEMENT PLAN
 PROJECT
CPM
 SCALE
1:100 @A3
 STATUS
S4.55
 NUMBER
A1.00
 REVISION
s4.55

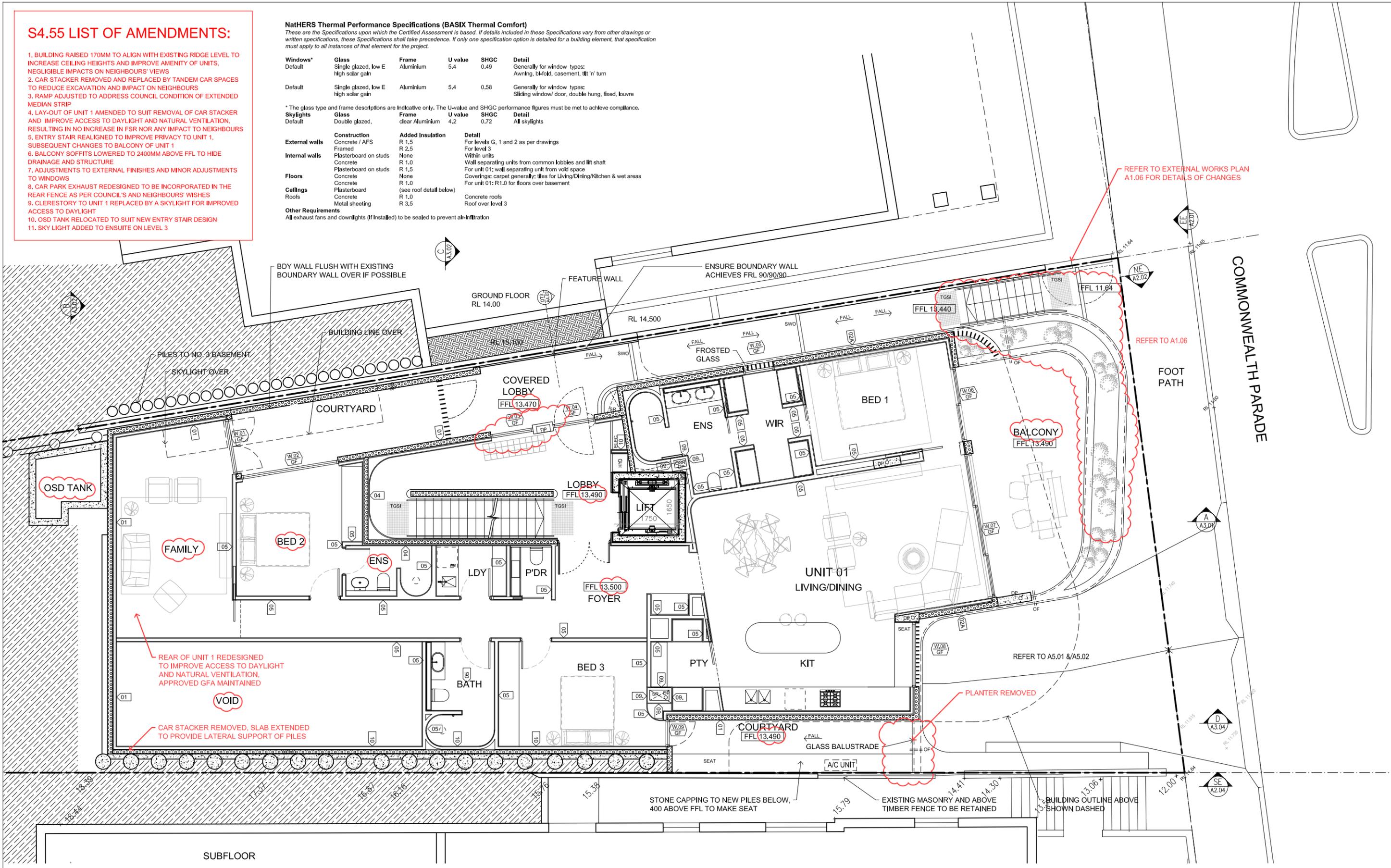
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NATHERS Thermal Performance Specifications (BASIX Thermal Comfort)

These are the Specifications upon which the Certified Assessment is based. If details included in these Specifications vary from other drawings or written specifications, these Specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the project.

Windows*	Glass	Frame	U value	SHGC	Detail
Default	Single glazed, low E High solar gain	Aluminium	5.4	0.49	Generally for window types: Awning, bi-fold, casement, tilt 'n' turn
Default	Single glazed, low E High solar gain	Aluminium	5.4	0.58	Generally for window types: Sliding window/door, double hung, fixed, louvre
Skylights	Glass	Frame	U value	SHGC	Detail
Default	Double glazed,	clear Aluminium	4.2	0.72	All skylights
* The glass type and frame descriptions are indicative only. The U-value and SHGC performance figures must be met to achieve compliance.					
External walls	Construction	Added Insulation	Detail		
	Concrete / AFS	R 1.5	For levels G, 1 and 2 as per drawings		
	Framed	R 2.5	For level 3		
Internal walls	Construction	Added Insulation	Detail		
	Plasterboard on studs	None	Within units		
	Concrete	R 1.0	Wall separating units from common lobbies and lift shaft		
	Plasterboard on studs	R 1.5	For unit 01: wall separating unit from void space		
Floors	Construction	Added Insulation	Detail		
	Concrete	None	Coverings: carpet generally; tiles for Living/Dining/Kitchen & wet areas		
	Concrete	R 1.0	For unit 01: R1.0 for floors over basement		
Ceilings	Construction	Added Insulation	Detail		
	Plasterboard	(see roof detail below)			
Roofs	Construction	Added Insulation	Detail		
	Concrete	R 1.0	Concrete roofs		
	Metal sheeting	R 3.5	Roof over level 3		
Other Requirements	All exhaust fans and downlights (if installed) to be sealed to prevent air infiltration				



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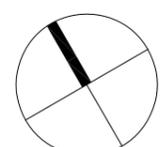
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PR4	2019.07.02	PRELIMINARY	FB				
PR5	2019.07.06	PRELIMINARY	FB				

REVISION NOTES



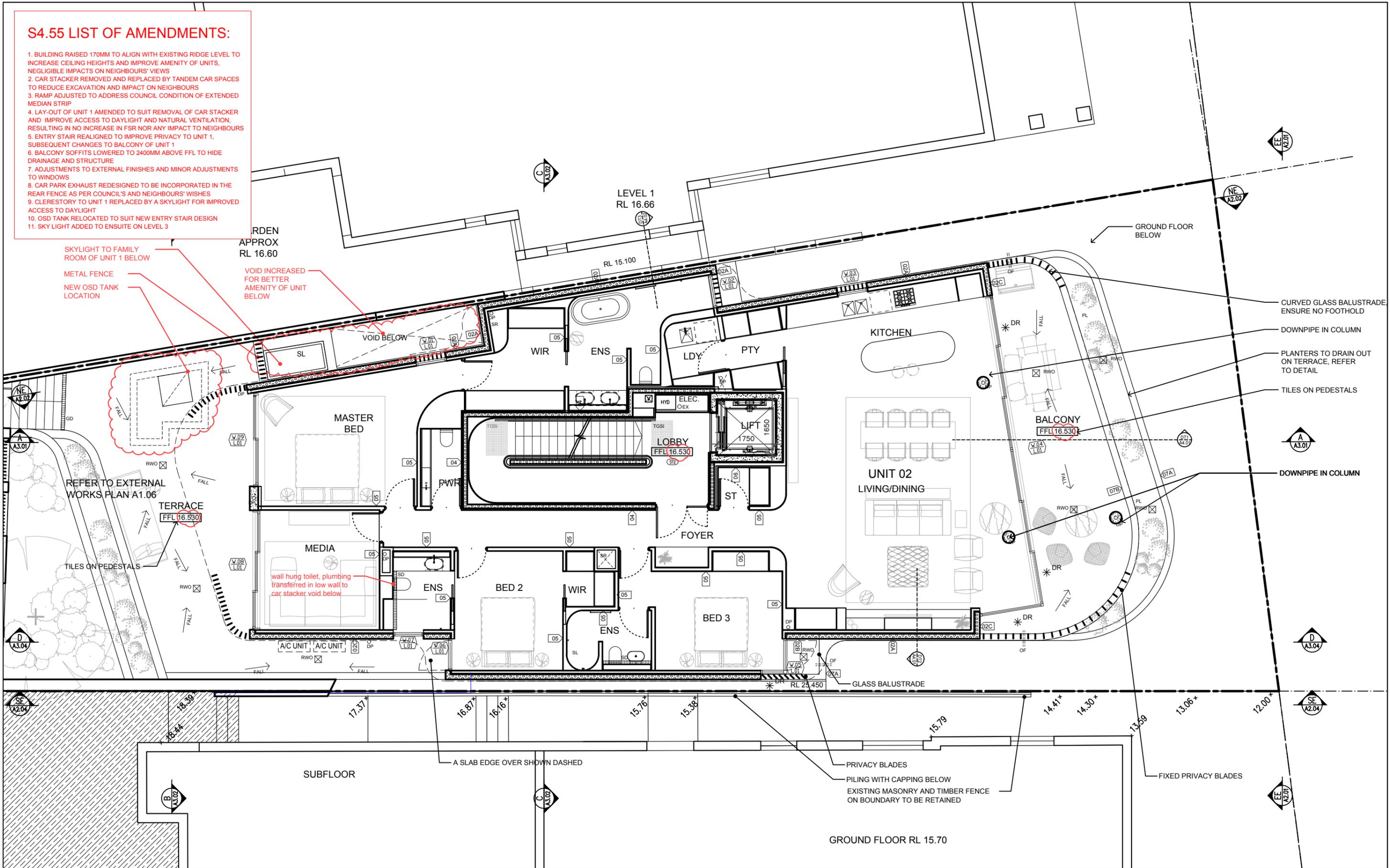
PROJECT
THREE STOREY RESIDENTIAL FLAT BUILDING WITH BASEMENT CAR PARK AT:
5 COMMONWEALTH PDE, MANLY, NSW
CLIENT
C.G. & I.B. KOUTSOS



DRAWING TITLE
GROUND FLOOR PLAN
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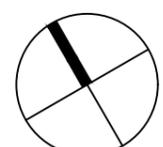
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PR5	2019.07.06	PRELIMINARY	FB				

REVISION NOTES



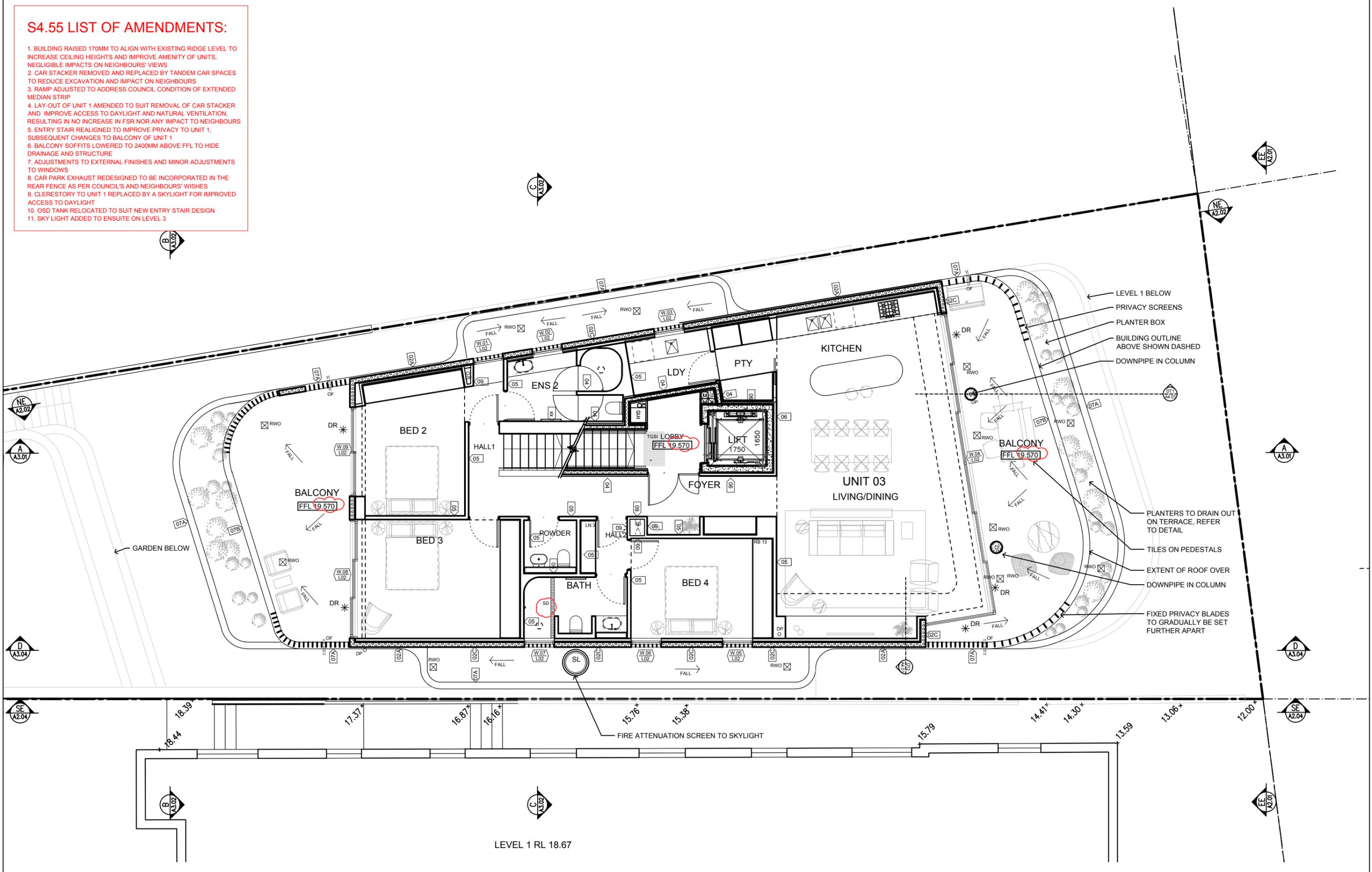
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DRAWING TITLE
LEVEL 1 PLAN
 SCALE
 1:100
 @A3
 STATUS
 S4.55
 NUMBER
 A1.02
 REVISION
 s4.55
 PROJECT
 CPM

S4.55 LIST OF AMENDMENTS:

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10. OSD TANK RELOCATED TO SUIT NEW ENTRY STAIR DESIGN
11. SKY LIGHT ADDED TO ENSUITE ON LEVEL 3



- LEVEL 1 BELOW
- PRIVACY SCREENS
- PLANTER BOX
- BUILDING OUTLINE ABOVE SHOWN DASHED
- DOWNPIPE IN COLUMN
- PLANTERS TO DRAIN OUT ON TERRACE, REFER TO DETAIL
- TILES ON PEDESTALS
- EXTENT OF ROOF OVER DOWNPIPE IN COLUMN
- FIXED PRIVACY BLADES TO GRADUALLY BE SET FURTHER APART

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REVISION	DATE	DESCRIPTION	BY	REVISION	DATE	DESCRIPTION	BY
PR	2019.05.16	PRELIMINARY	FB	PR6	2019.07.12	PRELIMINARY	FB
PR1	2019.05.30	PRELIMINARY	FB	PR7	2019.10.31	PRELIMINARY	FB
PR2	2019.06.12	PRELIMINARY	FB	PR8	2020.01.14	PRELIMINARY S4.55	FB
PR3	2019.06.18	PRELIMINARY	FB	S4.55	2020.03.13	S4.55 APPLICATION	FB
PR4	2019.07.02	PRELIMINARY	FB				
PR5	2019.07.06	PRELIMINARY	FB				

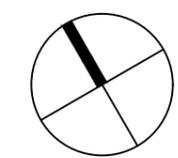
REVISION NOTES

platform
ARCHITECTS

Suite 503/39 East Esplanade, Manly 2095
p. 02 9976 6666 abn. 74602856157
nominated architect Bride Gough Reg No. 8280

PROJECT
 THREE STOREY RESIDENTIAL FLAT BUILDING WITH BASEMENT CAR PARK AT:
5 COMMONWEALTH PDE, MANLY, NSW

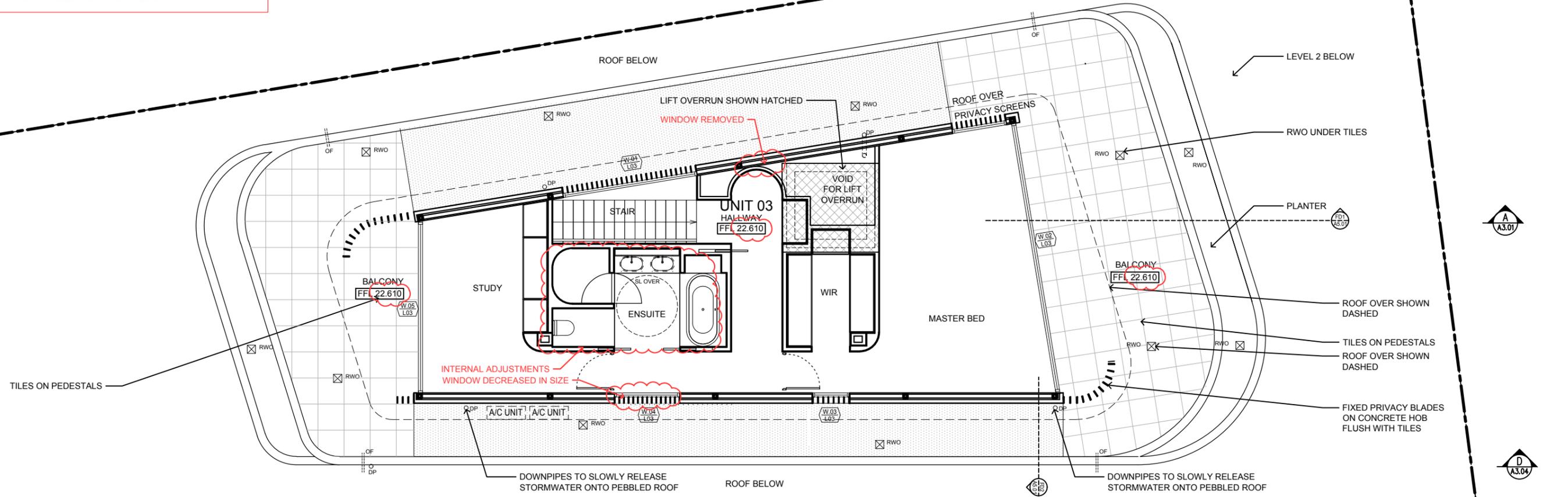
CLIENT
 C.G. & I.B. KOUTSOS



DRAWING TITLE	STATUS	NUMBER	REVISION	PROJECT
LEVEL 2 PLAN	S4.55	A1.03	s4.55	CPM
SCALE	STATUS	NUMBER	REVISION	
1:100 @A3	S4.55	A1.03	s4.55	

S4.55 LIST OF AMENDMENTS:

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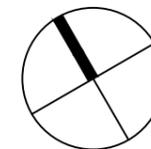
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PR	2019.05.16	PRELIMINARY	FB				
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PR4	2019.06.18	PRELIMINARY	FB				
PR5	2020.01.14	PRELIMINARY S4.55	FB				
S4.55	2020.03.13	S4.55 APPLICATION	FB				

REVISION NOTES



PROJECT
 THREE STOREY RESIDENTIAL FLAT BUILDING
 WITH BASEMENT CAR PARK AT:
**5 COMMONWEALTH PDE,
 MANLY, NSW**

CLIENT
 C.G. & I.B. KOUTSOS



DRAWING TITLE
LEVEL 3 PLAN

SCALE
 1:100
 @A3

STATUS
S4.55

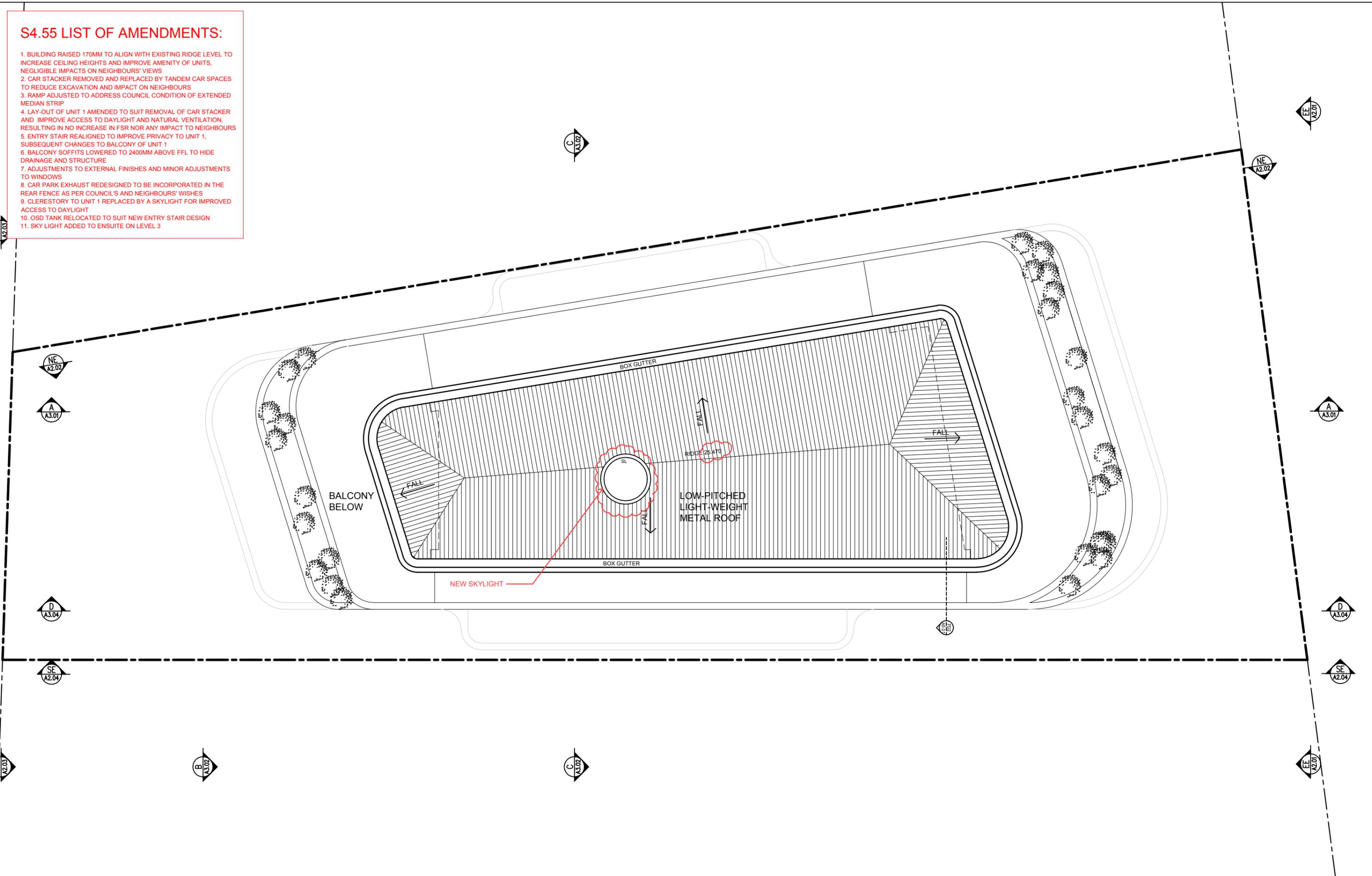
NUMBER
A1.04

REVISION
s4.55

PROJECT
CPM

S4.55 LIST OF AMENDMENTS:

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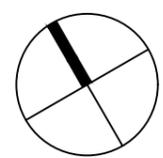


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PR	2019.05.16	CO-ORDINATION ISSUE	FB					
PR1	2020.01.16	PRELIMINARY s4.55	FB					
S4.55	2020.03.13	s4.55 APPLICATION	FB					



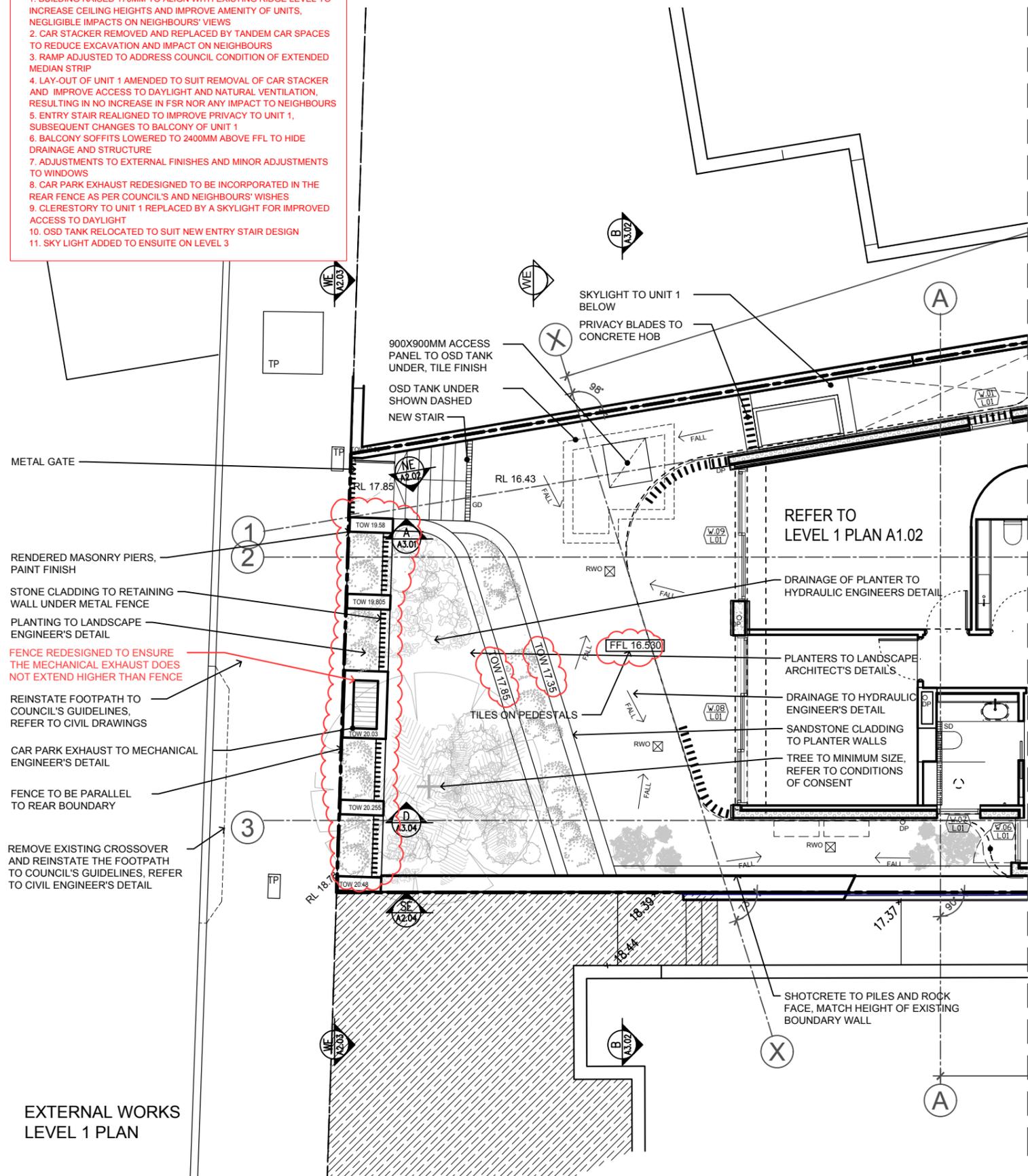
PROJECT
 THREE STOREY RESIDENTIAL FLAT BUILDING
 WITH BASEMENT CAR PARK AT:
**5 COMMONWEALTH PDE,
 MANLY, NSW**
 CLIENT
 C.G. & I.B. KOUTSOS



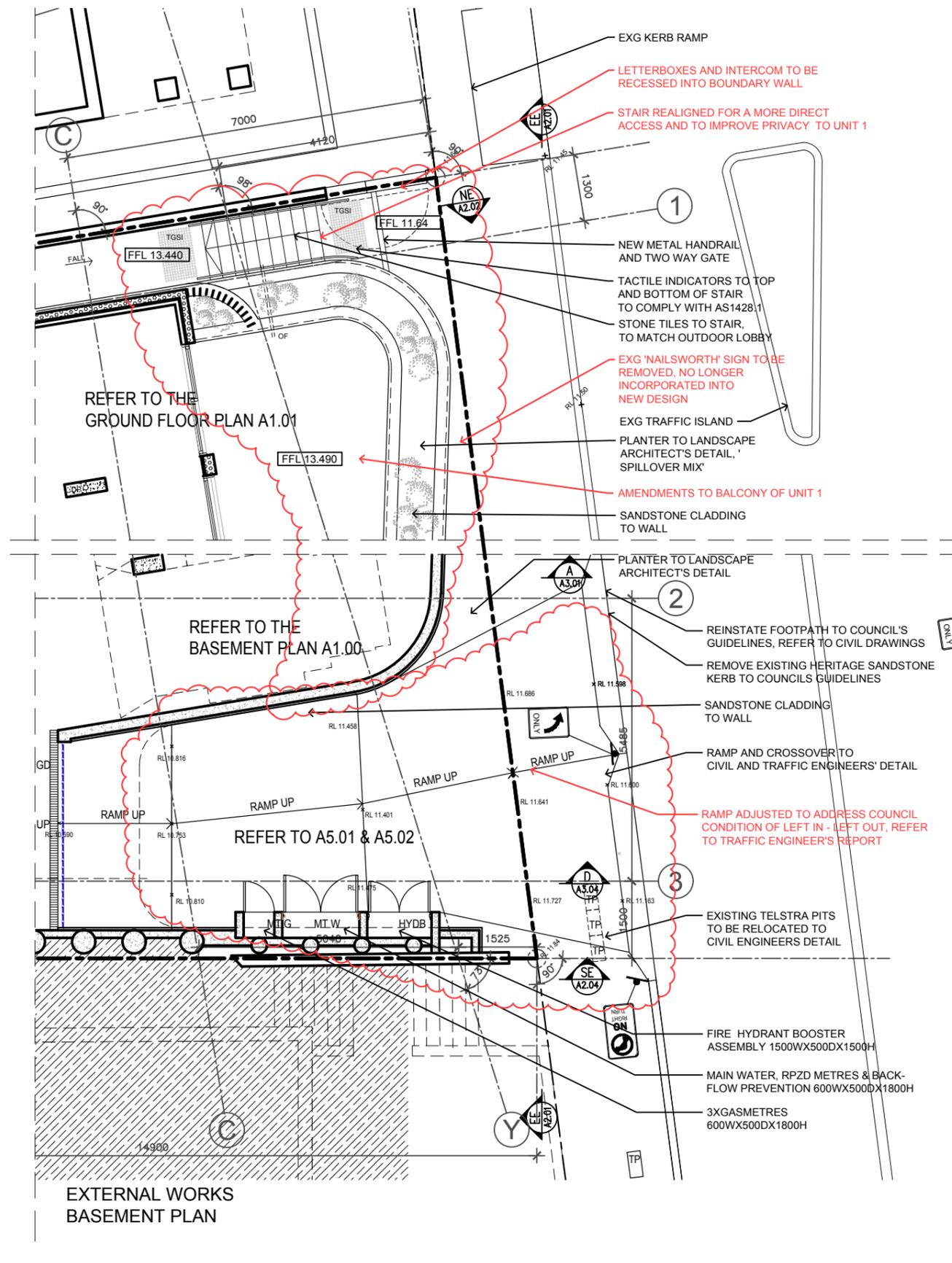
DRAWING TITLE	STATUS	NUMBER	REVISION	PROJECT
ROOF PLAN	S4.55	A1.05	s4.55	CPM
SCALE				
1:100 @A3				

S4.55 LIST OF AMENDMENTS:

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EXTERNAL WORKS
LEVEL 1 PLAN



EXTERNAL WORKS
BASEMENT PLAN

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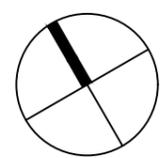
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REVISION	DATE	DESCRIPTION	BY	REVISION	DATE	DESCRIPTION	BY	REVISION NOTES
PR	2019.07.08	PRELIMINARY	FB					
S4.55	2020.03.13	S4.55 APPLICATION	FB					



PROJECT
THREE STOREY RESIDENTIAL FLAT BUILDING
WITH BASEMENT CAR PARK AT:
**5 COMMONWEALTH PDE,
MANLY, NSW**

CLIENT
C.G. & I.B. KOUTSOS



DRAWING TITLE	PROJECT	SCALE	STATUS	NUMBER	REVISION
EXTERNAL WORKS PLAN	CPM	1:100 @A3	S4.55	A1.06	S4.55

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NatHERS Thermal Performance Specifications (BASIX Thermal Comfort)

These are the Specifications upon which the Certified Assessment is based. If details included in these Specifications vary from other drawings or written specifications, these Specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the project.

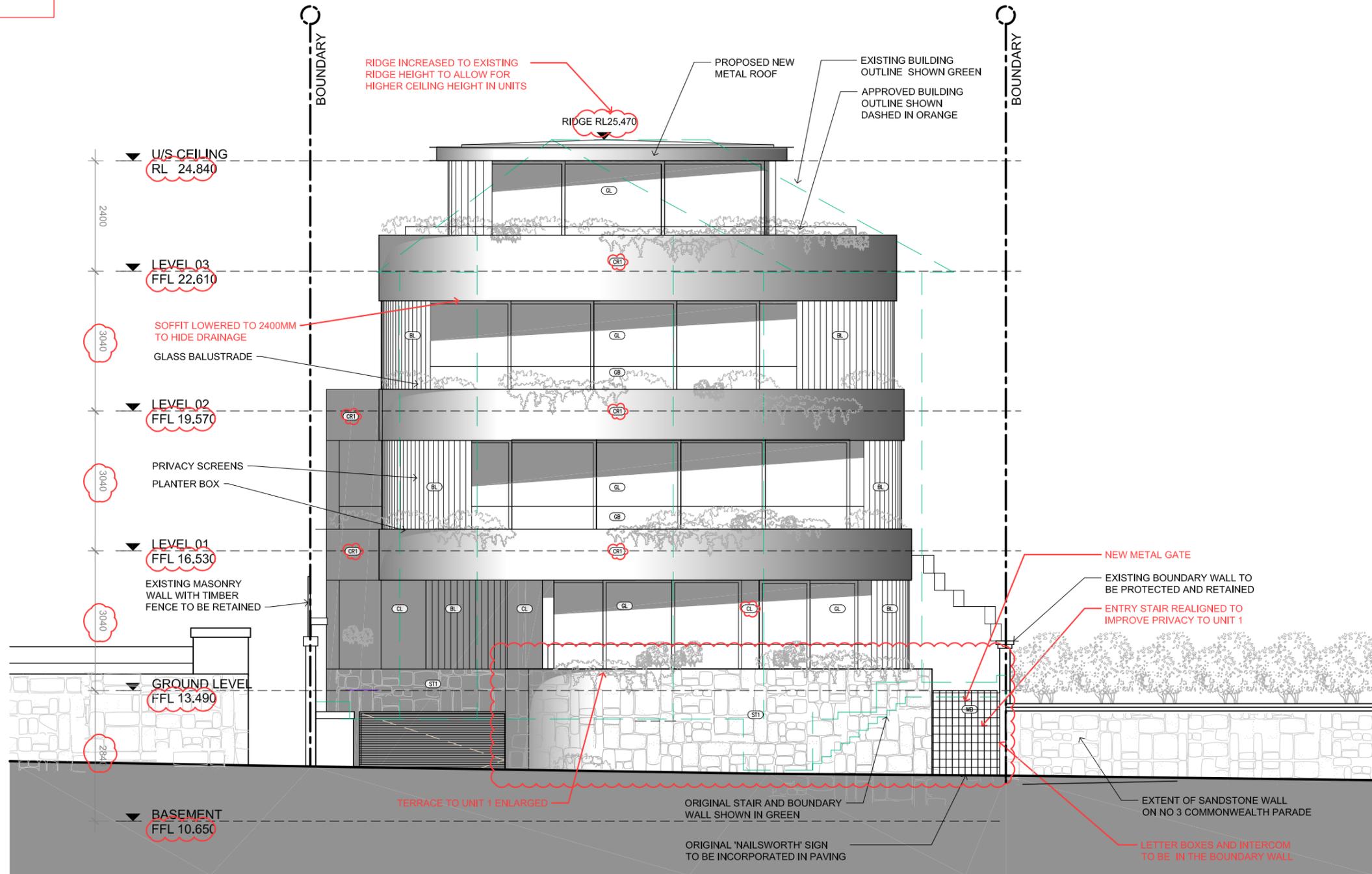
Windows*	Glass	Frame	U value	SHGC	Detail
Default	Single glazed, low E high solar gain	Aluminium	5,4	0,49	Generally for window types: Awning, bi-fold, casement, tilt 'n' turn
Default	Single glazed, low E high solar gain	Aluminium	5,4	0,58	Generally for window types: Sliding window/ door, double hung, fixed, louvre

Skylights	Glass	Frame	U value	SHGC	Detail
Default	Double glazed,	clear Aluminium	4,2	0,72	All skylights

* The glass type and frame descriptions are indicative only. The U-value and SHGC performance figures must be met to achieve compliance.

External walls	Construction	Added Insulation	Detail
Concrete / AFS	R 1,5	For levels G, 1 and 2 as per drawings	
Framed	R 2,5	For level 3	
Internal walls	Plasterboard on studs	None	Within units
Concrete	R 1,0	Wall separating units from common lobbies and lift shaft	
Plasterboard on studs	R 1,5	For unit 01: wall separating unit from void space	
Concrete	None	Coverings: carpet generally: tiles for Living/Dining/Kitchen & wet areas	
Floors	Concrete	R 1,0	For unit 01: R1.0 for floors over basement
Ceilings	Plasterboard	(see roof detail below)	
Roofs	Concrete	R 1,0	Concrete roofs
	Metal sheeting	R 3,5	Roof over level 3

Other Requirements
All exhaust fans and downlights (if installed) to be sealed to prevent air infiltration



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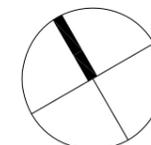
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PR	2019.05.16	PRELIMINARY	FB					
PR2	2019.05.16	PRELIMINARY	FB					
PR3	2020.01.17	PRELIMINARY S4.55	FB					
S4.55	2020.03.13	S4.55 APPLICATION	FB					



PROJECT
THREE STOREY RESIDENTIAL FLAT BUILDING
WITH BASEMENT CAR PARK AT:
**5 COMMONWEALTH PDE,
MANLY, NSW**
CLIENT
C.G. & I.B. KOUTSOS



DRAWING TITLE
EAST ELEVATION
SCALE
1:100
@A3

STATUS
S4.55

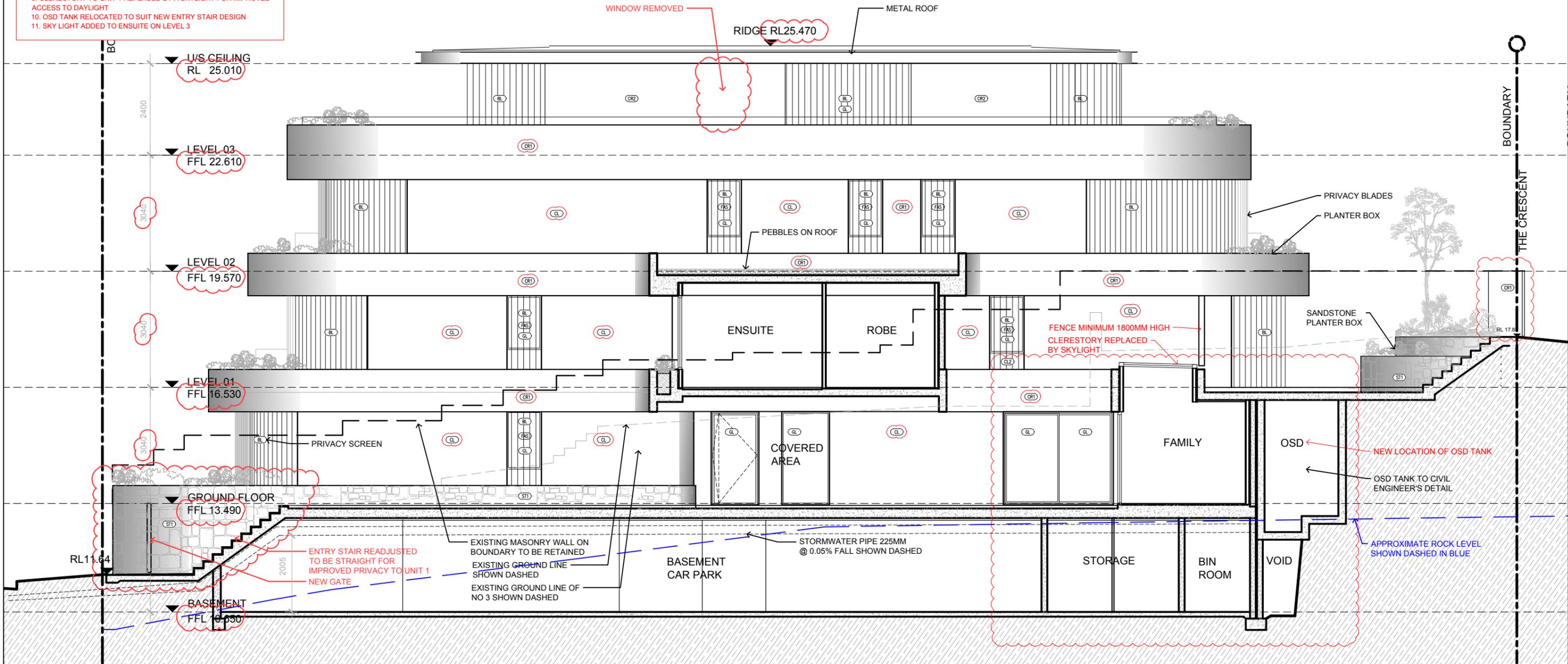
NUMBER
A2.01

REVISION
s4.55

PROJECT
CPM

S4.55 LIST OF AMENDMENTS:

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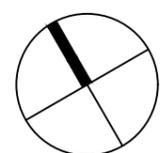


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PR	2019.05.16	PRELIMINARY	FB					
PR4	2019.07.02	PRELIMINARY	FB					
PR5	2020.01.14	PRELIMINARY s4.55	FB					
s4.55	2020.03.13	s4.55 APPLICATION	FB					

platform
 ARCHITECTS
 Suite 503/39 East Esplanade, Manly 2095
 p. 02 9976 6666 obrn. 74602856157
 nominated architect Bridge Gough Reg No. 8280

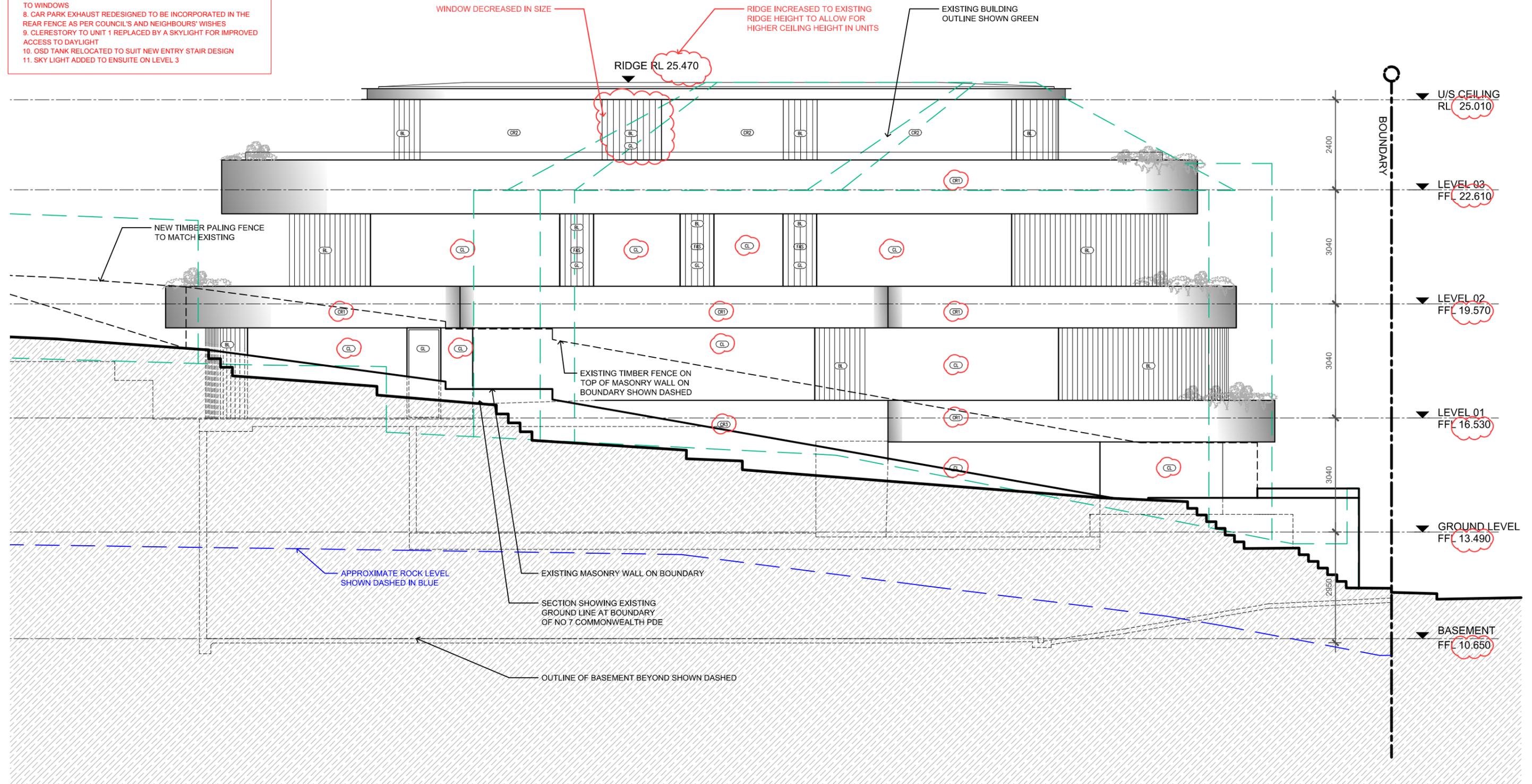
PROJECT
 THREE STOREY RESIDENTIAL FLAT BUILDING
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**5 COMMONWEALTH PDE,
 MANLY, NSW**
 CLIENT
 C.G. & I.B. KOUTSOS



DRAWING TITLE	PROJECT	SCALE	STATUS	NUMBER	REVISION
NORTH ELEVATION	CPM	1:100 @A3	S4.55	A2.02	s4.55

S4.55 LIST OF AMENDMENTS:

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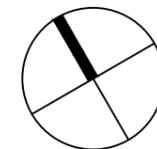


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PR1	2019.07.08	CO-ORDINATION ISSUE	FB					
PR2	2020.01.16	PRELIMINARY S4.55	FB					
S4.55	2020.03.13	S4.55 APPLICATION	FB					



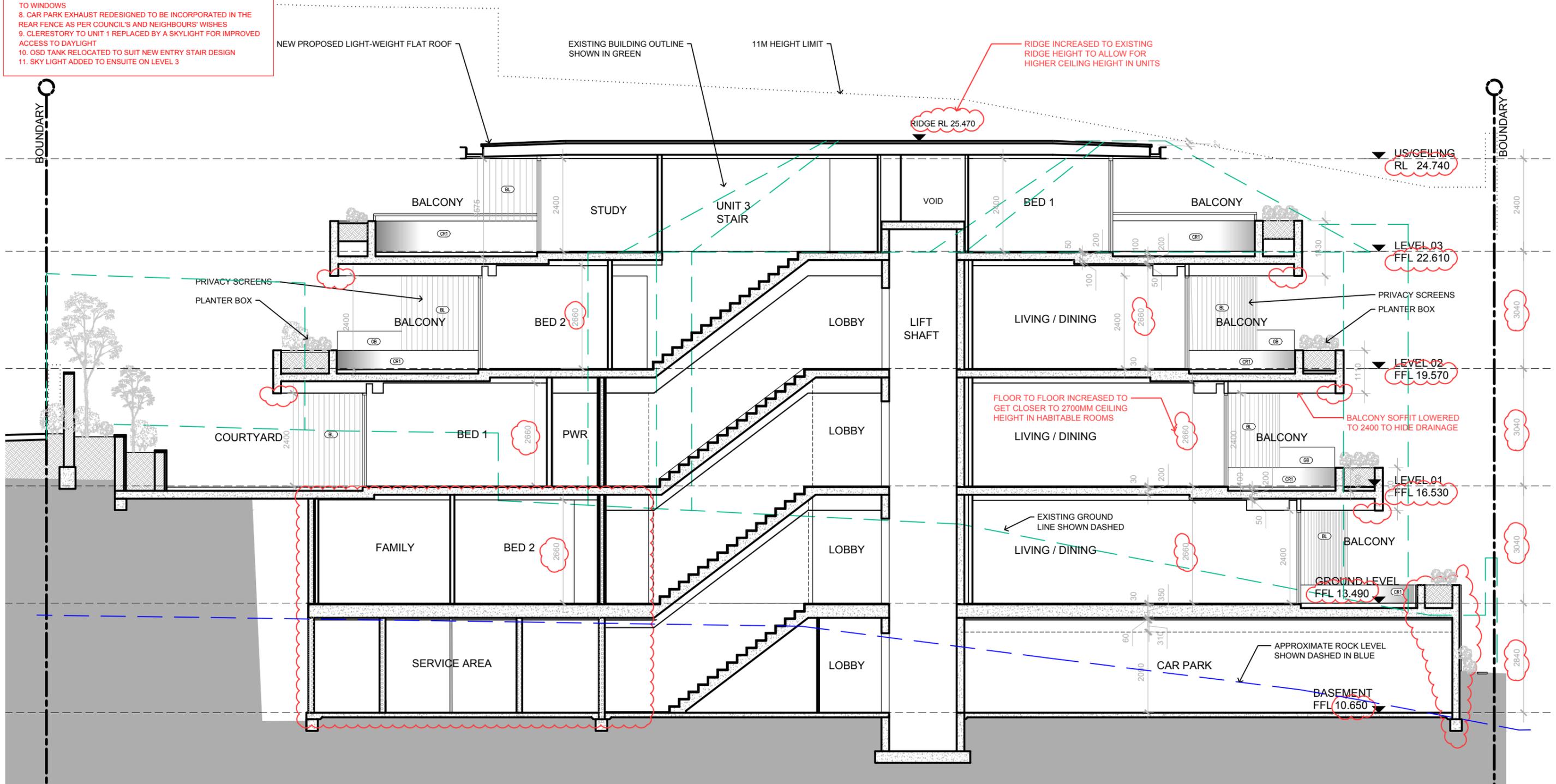
PROJECT
 THREE STOREY RESIDENTIAL FLAT BUILDING
 WITH BASEMENT CAR PARK AT:
**5 COMMONWEALTH PDE,
 MANLY, NSW**
 CLIENT
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DRAWING TITLE	STATUS	NUMBER	REVISION	PROJECT
SOUTH ELEVATION	S4.55	A2.04	s4.55	CPM
SCALE				
1:100 @A3				

S4.55 LIST OF AMENDMENTS:

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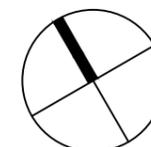
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PR2	2019.06.12	PRELIMINARY	FB				
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S4.55	2020.03.13	S4.55 APPLICATION	FB				

REVISION NOTES



PROJECT
THREE STOREY RESIDENTIAL FLAT BUILDING
WITH BASEMENT CAR PARK AT:
**5 COMMONWEALTH PDE,
MANLY, NSW**

CLIENT
C.G. & I.B. KOUTSOS



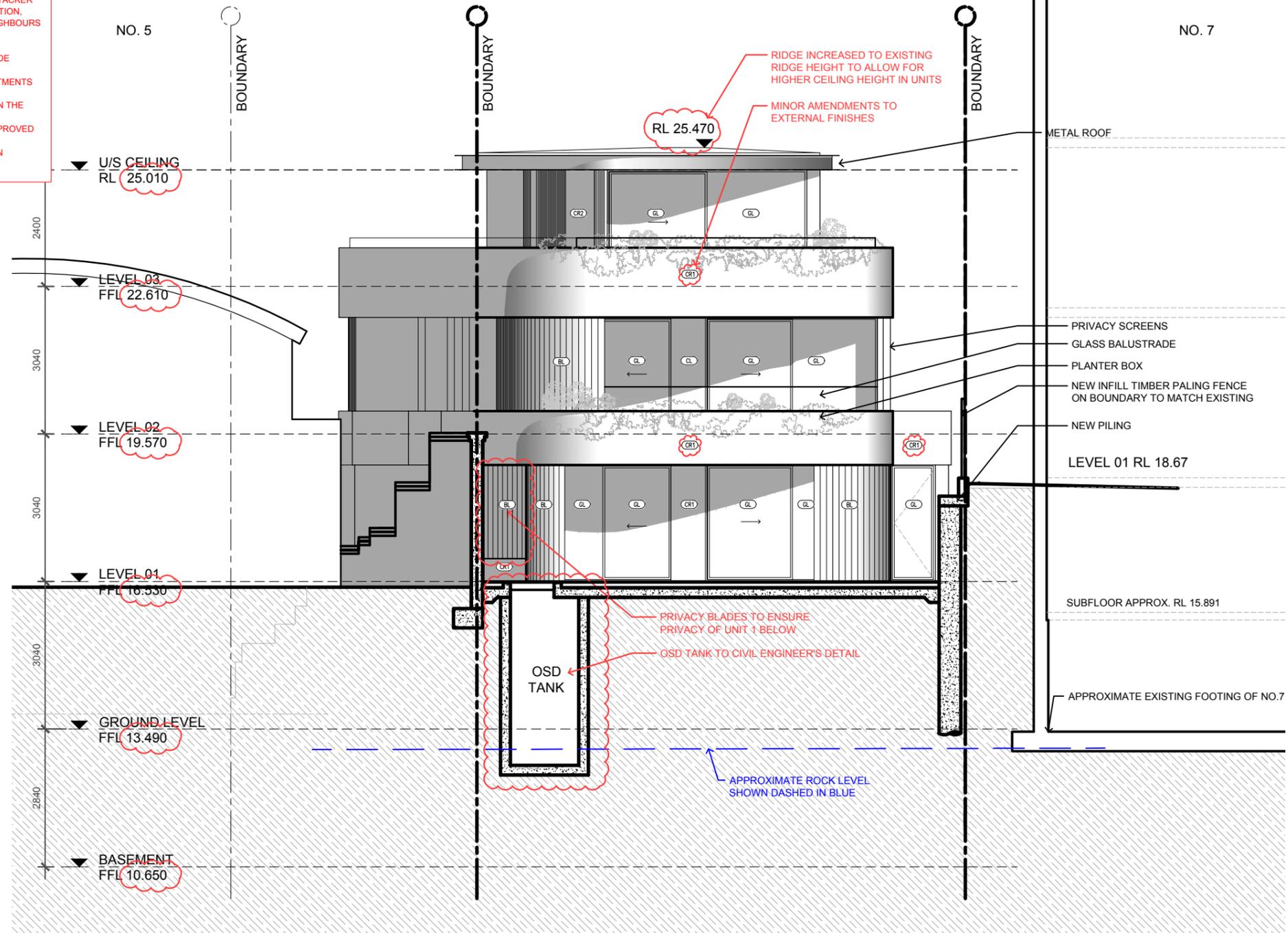
DRAWING TITLE
SECTION AA

PROJECT
CPM

SCALE	STATUS	NUMBER	REVISION
1:100 @A3	S4.55	A3.01	s4.55

S4.55 LIST OF AMENDMENTS:

1. BUILDING RAISED 170MM TO ALIGN WITH EXISTING RIDGE LEVEL TO INCREASE CEILING HEIGHTS AND IMPROVE AMENITY OF UNITS, NEGLIGIBLE IMPACTS ON NEIGHBOURS' VIEWS
2. CAR STACKER REMOVED AND REPLACED BY TANDEM CAR SPACES TO REDUCE EXCAVATION AND IMPACT ON NEIGHBOURS
3. RAMP ADJUSTED TO ADDRESS COUNCIL CONDITION OF EXTENDED MEDIAN STRIP
4. LAY-OUT OF UNIT 1 AMENDED TO SUIT REMOVAL OF CAR STACKER AND IMPROVE ACCESS TO DAYLIGHT AND NATURAL VENTILATION, RESULTING IN NO INCREASE IN FSR NOR ANY IMPACT TO NEIGHBOURS
5. ENTRY STAIR REALIGNED TO IMPROVE PRIVACY TO UNIT 1, SUBSEQUENT CHANGES TO BALCONY OF UNIT 1
6. BALCONY SOFFITS LOWERED TO 2400MM ABOVE FFL TO HIDE DRAINAGE AND STRUCTURE
7. ADJUSTMENTS TO EXTERNAL FINISHES AND MINOR ADJUSTMENTS TO WINDOWS
8. CAR PARK EXHAUST REDESIGNED TO BE INCORPORATED IN THE REAR FENCE AS PER COUNCIL'S AND NEIGHBOURS' WISHES
9. CLERESTORY TO UNIT 1 REPLACED BY A SKYLIGHT FOR IMPROVED ACCESS TO DAYLIGHT
10. OSD TANK RELOCATED TO SUIT NEW ENTRY STAIR DESIGN
11. SKY LIGHT ADDED TO ENSUITE ON LEVEL 3



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REVISION	DATE	DESCRIPTION	BY	REVISION	DATE	DESCRIPTION	BY
PR	2019.05.16	PRELIMINARY	FB				
PR2	2019.06.12	PRELIMINARY	FB				
PR3	2020.01.20	PRELIMINARY S4.5	FB				
S4.55	2020.03.13	S4.55 APPLICATION	FB				

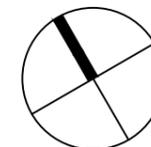
REVISION NOTES



Suite 503/39 East Esplanade, Manly 2095
p. 02 9976 6666 abn. 74602856157
nominated architect Bldg Gough Reg No. 8280

PROJECT
THREE STOREY RESIDENTIAL FLAT BUILDING
WITH BASEMENT CAR PARK AT:
**5 COMMONWEALTH PDE,
MANLY, NSW**

CLIENT
C.G. & I.B. KOUTSOS



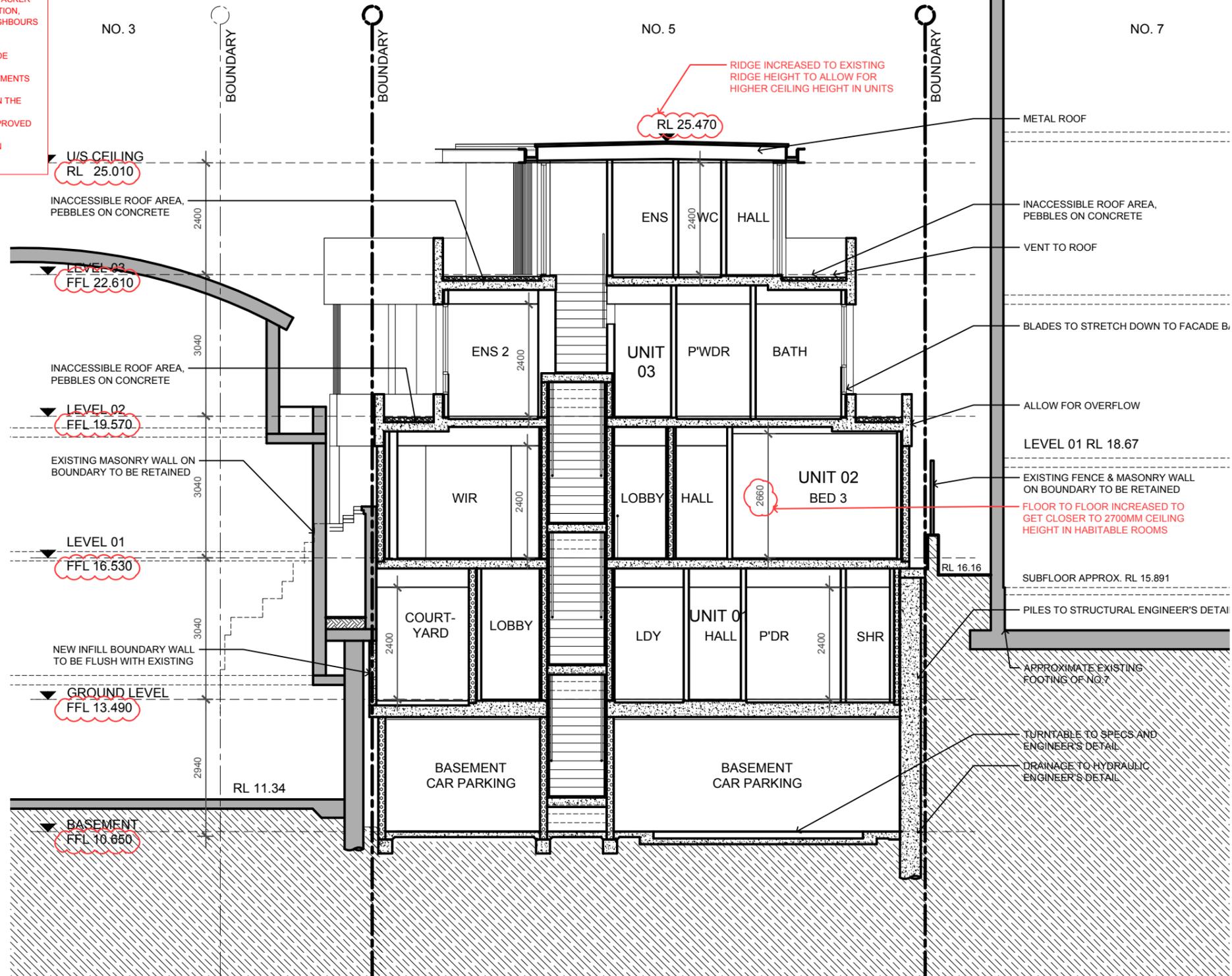
DRAWING TITLE
SECTION BB

PROJECT
CPM

SCALE	STATUS	NUMBER	REVISION
1:100 @A3	S4.55	A3.02	s4.55

S4.55 LIST OF AMENDMENTS:

1. BUILDING RAISED 170MM TO ALIGN WITH EXISTING RIDGE LEVEL TO INCREASE CEILING HEIGHTS AND IMPROVE AMENITY OF UNITS, NEGLIGIBLE IMPACTS ON NEIGHBOURS' VIEWS
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REVISION	DATE	DESCRIPTION	BY	REVISION	DATE	DESCRIPTION	BY
PR	2019.05.16	PRELIMINARY	FB				
PR4	2019.07.02	PRELIMINARY	FB				
PR5	2019.07.04	PRELIMINARY	FB				
PR6	2020.01.20	PRELIMINARY S4.55	FB				
S4.55	2020.03.13	S4.55 APPLICATION	FB				

REVISION NOTES

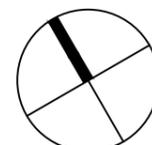
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ARCHITECTS

Suite 503/39 Ecol Espalanade, Manly 2095
p. 02 9976 6666 abn. 74402856157
nominated architect beside Gough Reg No. 6280

PROJECT
THREE STOREY RESIDENTIAL FLAT BUILDING
WITH BASEMENT CAR PARK AT:

5 COMMONWEALTH PDE,
MANLY, NSW

CLIENT
C.G. & I.B. KOUTSOS



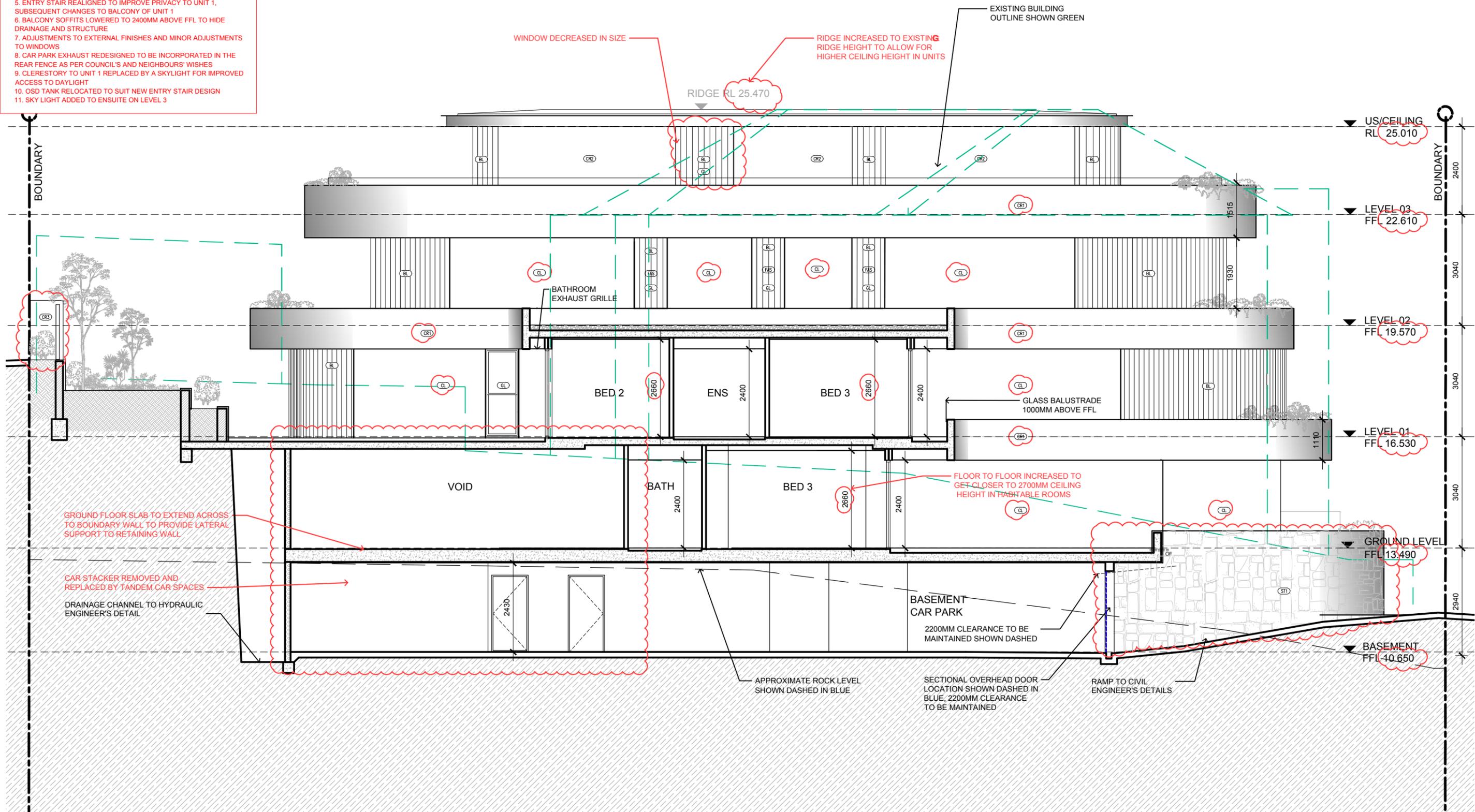
DRAWING TITLE
SECTION CC

PROJECT
CPM

SCALE	STATUS	NUMBER	REVISION
1:100 @A3	S4.55	A3.03	S4.55

S4.55 LIST OF AMENDMENTS:

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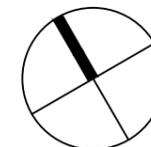
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REVISION	DATE	DESCRIPTION	BY	REVISION	DATE	DESCRIPTION	BY	REVISION NOTES
PR1	2019.07.08	CO-ORDINATION ISSUE	FB					
PR2	2020.01.16	PRELIMINARY S4.55	FB					
S4.55	2020.03.13	S4.55 APPLICATION	FB					



PROJECT
 THREE STOREY RESIDENTIAL FLAT BUILDING
 WITH BASEMENT CAR PARK AT:
**5 COMMONWEALTH PDE,
 MANLY, NSW**
 CLIENT
 C.G. & I.B. KOUTSOS

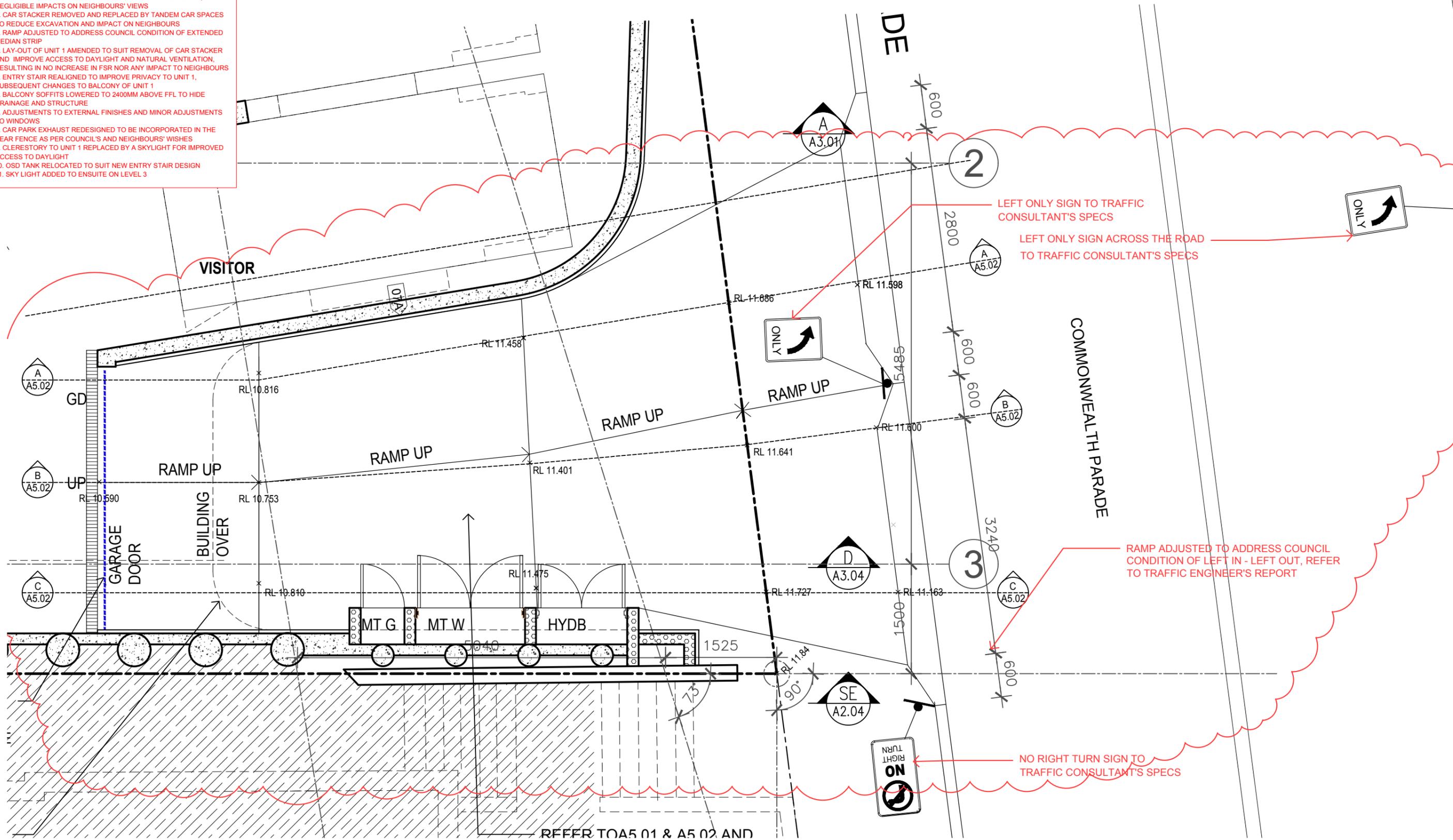


DRAWING TITLE	STATUS	NUMBER	REVISION
SECTION DD	S4.55	A3.04	s4.55

SCALE: 1:100 @A3

S4.55 LIST OF AMENDMENTS:

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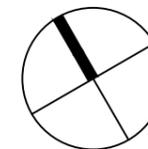
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REVISION	DATE	DESCRIPTION	BY	REVISION	DATE	DESCRIPTION	BY
PR1	2020.02.20	PRELIMINARY S4.55	FB				
S4.55	2020.03.13	S4.55 APPLICATION	FB				

REVISION NOTES

platform
 ARCHITECTS
 Suite 503/39 East Esplanade, Manly 2095
 p. 02 9976 6666 abn. 7460285157
 nominated architect Bride Gough Reg No. 8280

PROJECT
 THREE STOREY RESIDENTIAL FLAT BUILDING
 WITH BASEMENT CAR PARK AT:
**5 COMMONWEALTH PDE,
 MANLY, NSW**
 CLIENT
 C.G. & I.B. KOUTSOS

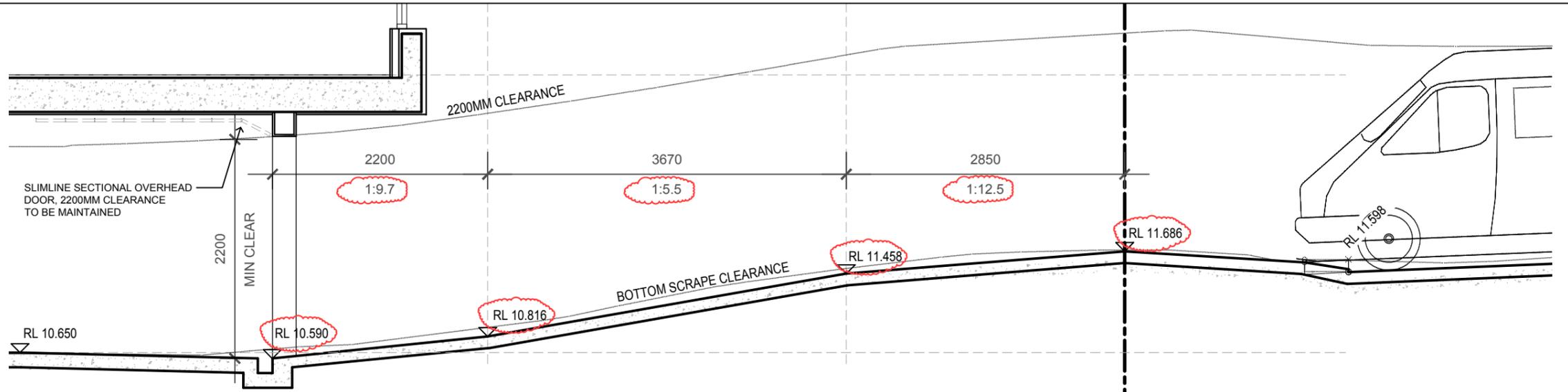


DRAWING TITLE	SCALE	STATUS	NUMBER	REVISION	PROJECT
DRIVEWAY PLAN	1:50 @A3	S4.55	A5.01	s4.55	CPM

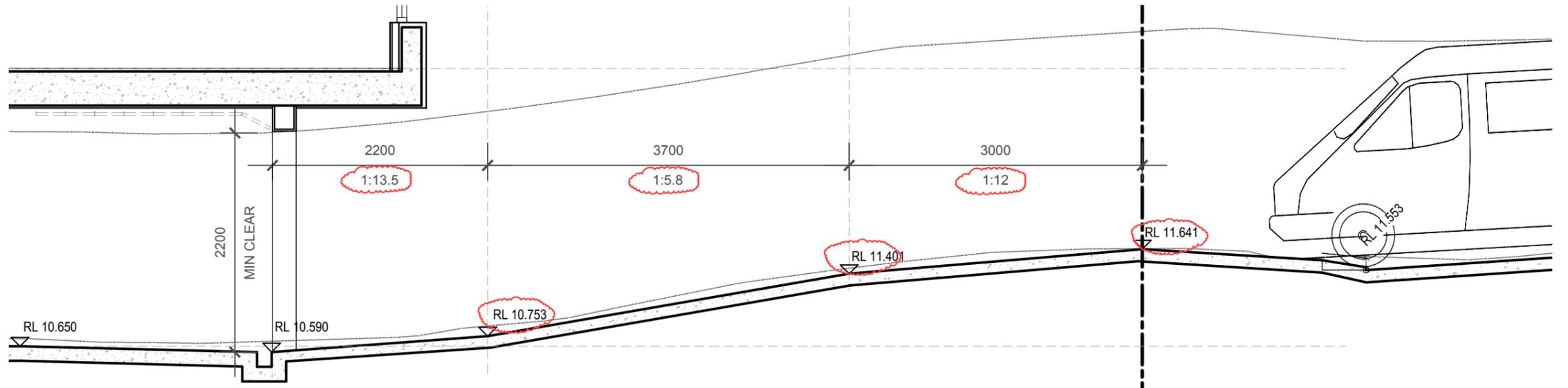
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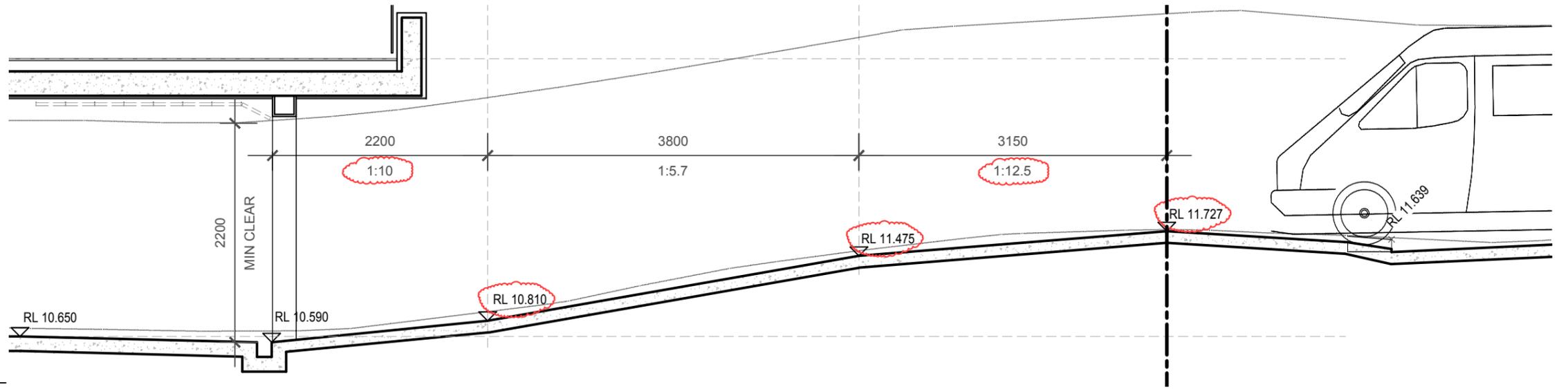
AA SECTION AA
A5.01 SCALE 1:50



BB SECTION BB
A5.01 SCALE 1:50



CC SECTION CC
A5.01 SCALE 1:50



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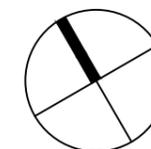
REVISION	DATE	DESCRIPTION	BY	REVISION	DATE	DESCRIPTION	BY	REVISION NOTES
PR1	2020.02.20	PRELIMINARY S4.55	FB					
S4.55	2020.03.19	S4.55 APPLICATION	FB					

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ARCHITECTS

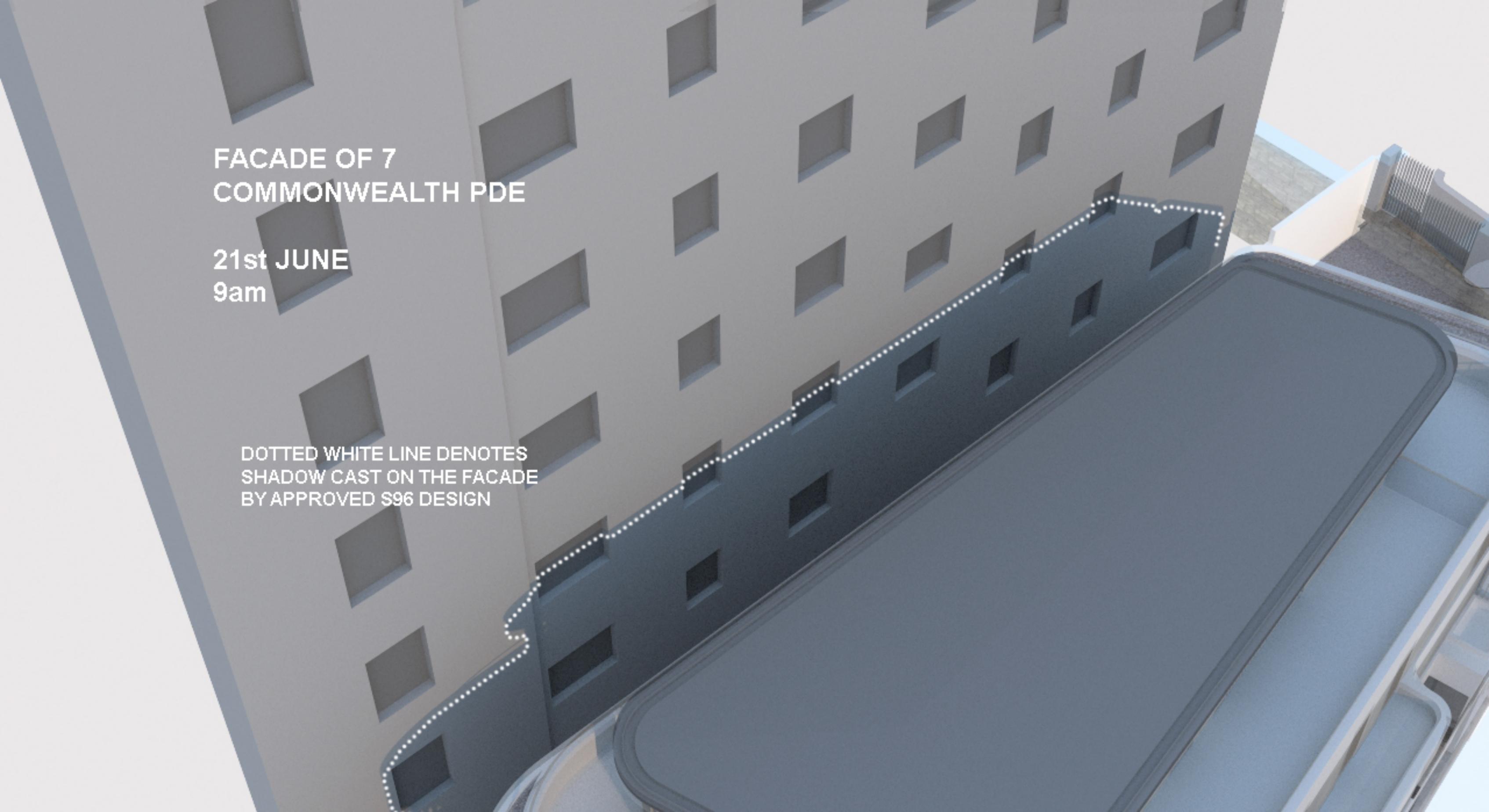
Suite 503/39 East Esplanade, Manly 2095
p. 02 9976 6666 obrn. 74602856157
nominated architect Bride Gough Reg No. 8280

PROJECT
THREE STOREY RESIDENTIAL FLAT BUILDING
WITH BASEMENT CAR PARK AT:
**5 COMMONWEALTH PDE,
MANLY, NSW**

CLIENT
C.G. & I.B. KOUTSOS



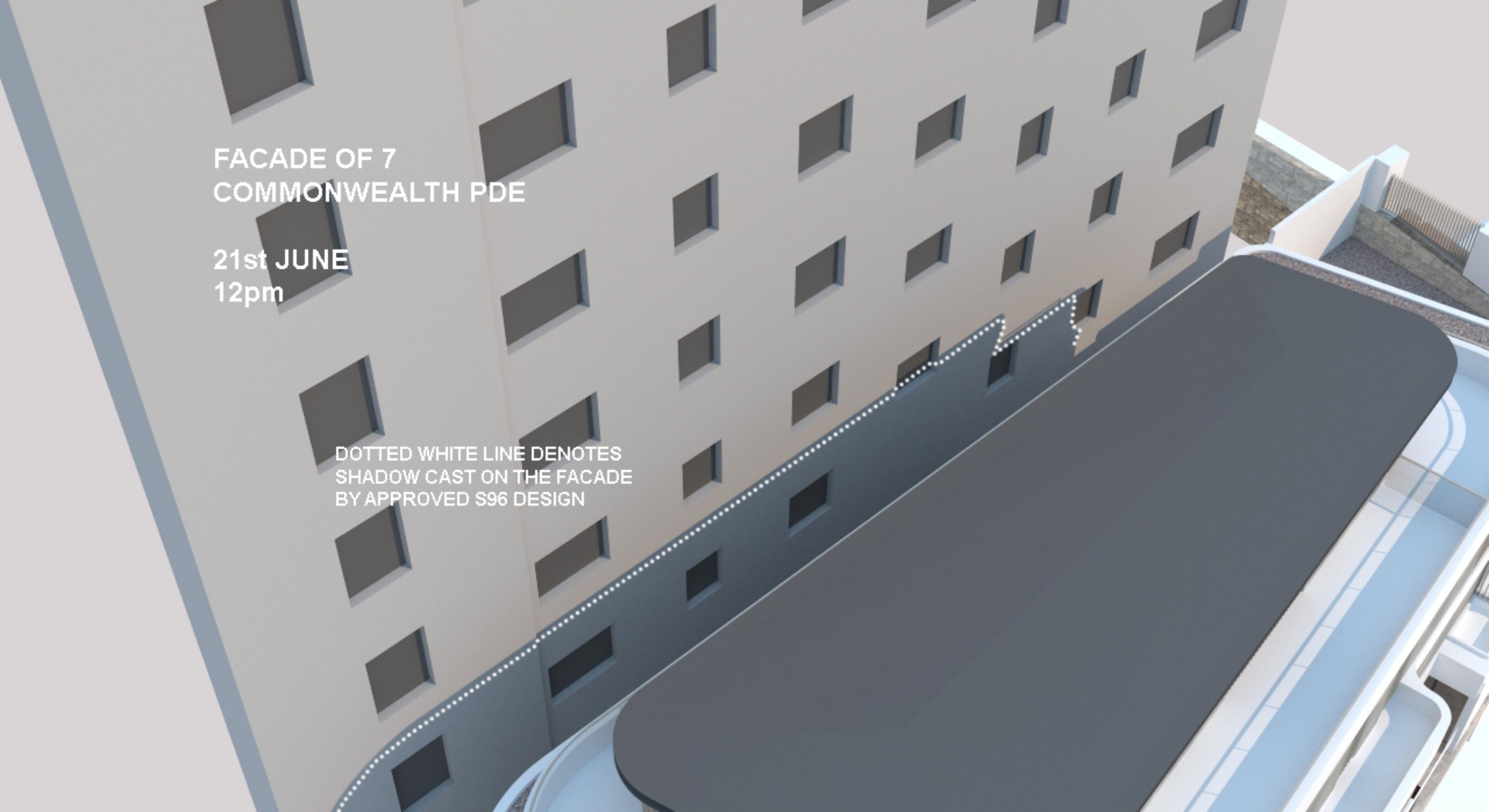
DRAWING TITLE	SCALE	STATUS	NUMBER	REVISION	PROJECT
DRIVEWAY SECTIONS	1:50 @A3	S4.55	A5.02	S4.55	CPM

An architectural rendering of a building facade. The building is light grey with a grid of rectangular windows. A dark grey, semi-transparent volume is shown in the foreground, representing a shadow cast onto the building. A dotted white line traces the boundary of this shadow on the building's surface. The scene is set against a clear sky.

FACADE OF 7
COMMONWEALTH PDE

21st JUNE
9am

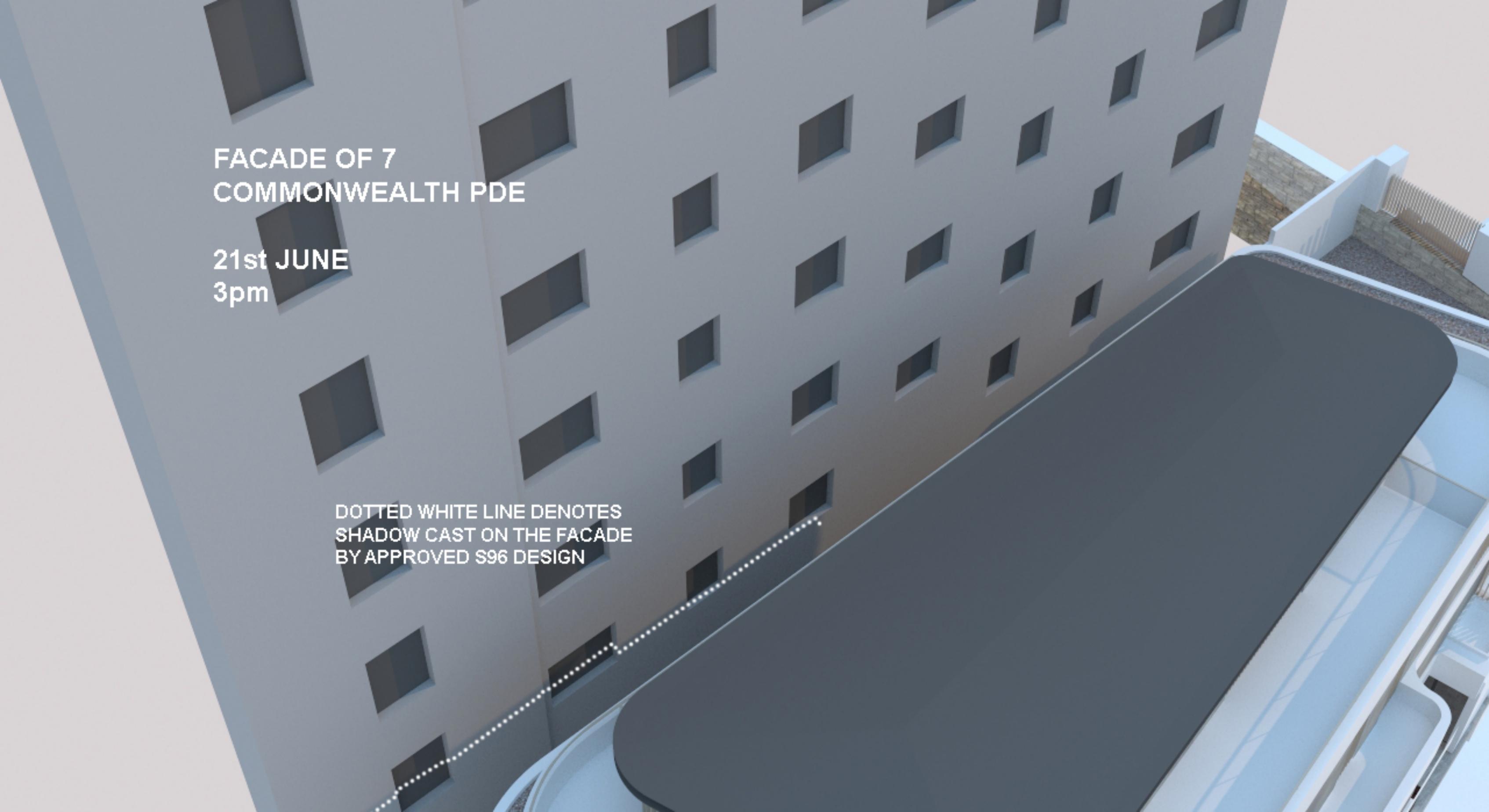
DOTTED WHITE LINE DENOTES
SHADOW CAST ON THE FACADE
BY APPROVED S96 DESIGN

An architectural rendering of a building facade. The building is light grey with a grid of rectangular windows. A dark grey, semi-transparent volume is shown in the foreground, representing a shadow cast onto the building. A dotted white line traces the top edge of this shadow volume. The scene is set against a light sky, and a portion of another building is visible in the background.

FACADE OF 7
COMMONWEALTH PDE

21st JUNE
12pm

DOTTED WHITE LINE DENOTES
SHADOW CAST ON THE FACADE
BY APPROVED S96 DESIGN

An architectural rendering of a building facade. The building is light grey with a grid of dark rectangular windows. A dark grey, rounded rectangular shape is cast onto the facade, representing a shadow. A dotted white line follows the top edge of this shadow. The scene is set against a light blue sky.

FACADE OF 7
COMMONWEALTH PDE

21st JUNE
3pm

DOTTED WHITE LINE DENOTES
SHADOW CAST ON THE FACADE
BY APPROVED S96 DESIGN

5 COMMONWEALTH PARADE, MANLY NSW 2095

CIVIL WORKS
FOR S4.55 SUBMISSION
LGA NORTHERN BEACHES COUNCIL



LOCALITY PLAN
SCALE 1:1000

DRAWING INDEX

DRAWING No.	DESCRIPTION
C-1000	COVER SHEET AND LOCALITY PLAN
C-1010	GENERAL ARRANGEMENT PLAN
C-1200	SITWORKS AND DRAINAGE PLAN SHEET 1 OF 2
C-1201	SITWORKS AND DRAINAGE PLAN SHEET 2 OF 2
C-1350	OSD PLAN AND SECTION



REV	DATE	DESCRIPTION	REVISED BY	DATE	DESCRIPTION
B	30.03.20	ISSUED FOR S4.55 SUBMISSION	AW		
A	28.02.20	ISSUED FOR S4.55 SUBMISSION	AW		

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Sydney Office—
L2, 8 Windmill St
Sydney NSW 2000
P / +61 2 9770 3300 E / info@bgeeng.com
bgeeng.com—

PROJECT

5 COMMONWEALTH PARADE
MANLY, NSW 2095

STATUS

ISSUED FOR APPROVAL
NOT TO BE USED FOR CONSTRUCTION

DRAWN	DESIGNED	CHECKED	APPROVED
CB	SP	SP	AW

DATUM: AHD GRID: MGA SCALE: AS SHOWN AT: A1 SIZE

TITLE

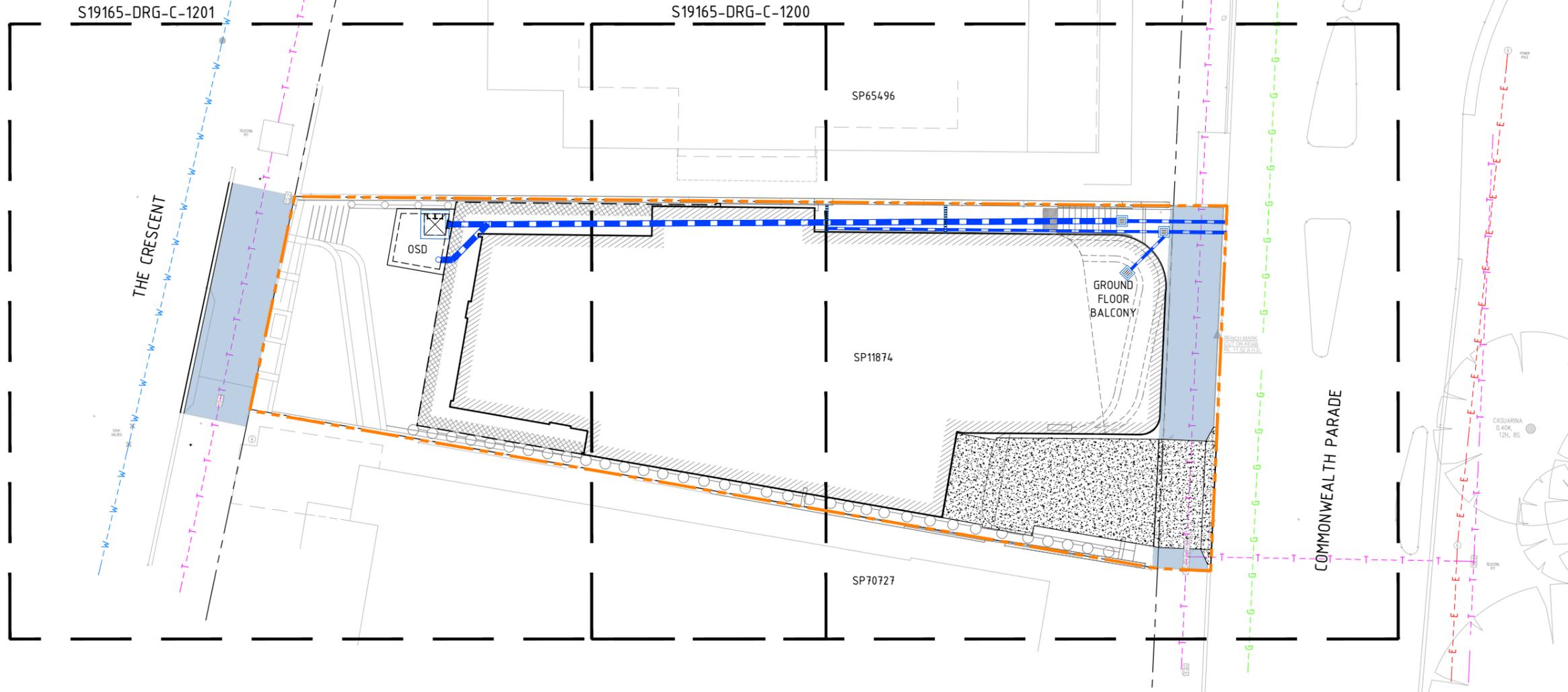
COVER SHEET
AND LOCALITY PLAN

PROJECT No.	DRAWING No.	REV
S19156	C-1000	B



- LEGEND**
- LIMIT OF WORKS
 - PROPOSED STORMWATER DRAINAGE PIPE
 - PROPOSED BUILDING EXTENT REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS
 - GROUND FLOOR BASEMENT WALL BELOW. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS
 - EX. KO EXISTING KERB ONLY
 - EX. VC EXISTING VEHICULAR CROSSING
 - EX. K&G EXISTING KERB & GUTTER
 - EX. STONE KERB EXISTING STONE KERB
 - PROPOSED FOOTPATH

- SERVICES**
- EXISTING SEWER
 - EXISTING TELECOM
 - EXISTING GAS
 - EXISTING WATER



0 1 2 3 4 5 6m
SCALE 1:100 AT A1 SIZE

REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION
B	30.03.20	ISSUED FOR S4.55 SUBMISSION	AW		
A	28.02.20	ISSUED FOR S4.55 SUBMISSION	AW		

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Sydney Office—
L2, 8 Windmill St
Sydney NSW 2000
P / +61 2 9770 3300 E / info@bgeeng.com
bgeeng.com—

PROJECT

5 COMMONWEALTH PARADE
MANLY, NSW 2095

STATUS

ISSUED FOR APPROVAL
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DRAWN	DESIGNED	CHECKED	APPROVED
CB	SP	SP	AW

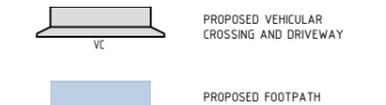
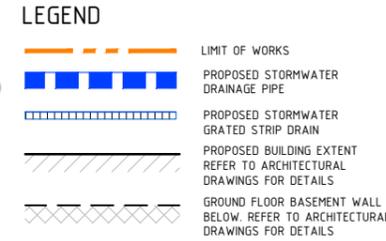
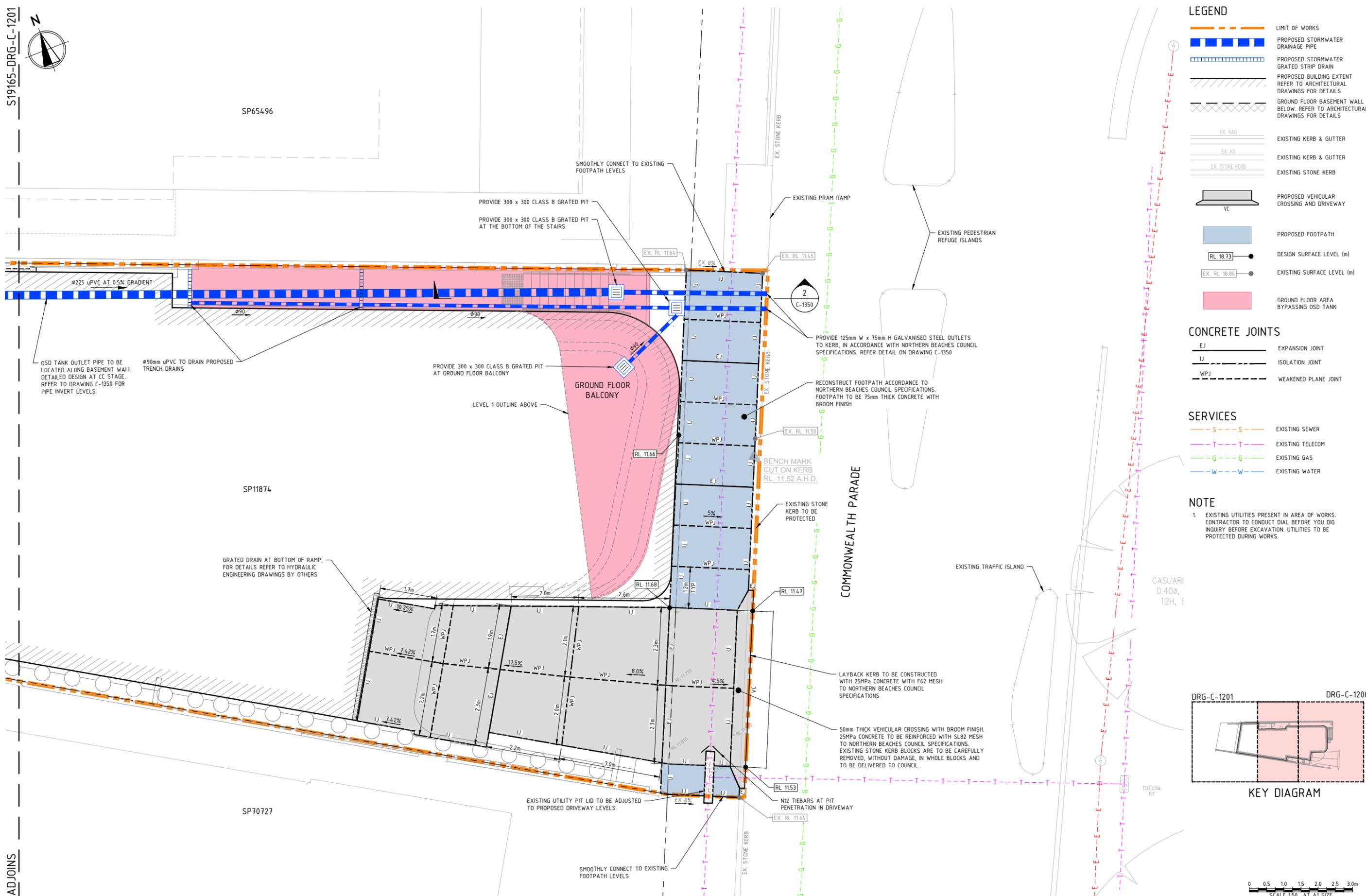
DATUM: AHD GRID: MGA SCALE: 1:100 AT A1 SIZE

TITLE

GENERAL ARRANGEMENT PLAN

PROJECT No: S19156 DRAWING No: C-1010 REV: B

30/03/2020 6:02:01 PM



NOTE
1. EXISTING UTILITIES PRESENT IN AREA OF WORKS. CONTRACTOR TO CONDUCT DIAL BEFORE YOU DIG INQUIRY BEFORE EXCAVATION. UTILITIES TO BE PROTECTED DURING WORKS.



REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION
B	30.03.20	ISSUED FOR S4.55 SUBMISSION	AW		
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L2, 8 Windmill St
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P / +61 2 9770 3300 E / info@bgeeng.com
bgeeng.com—

5 COMMONWEALTH PARADE
MANLY, NSW 2095

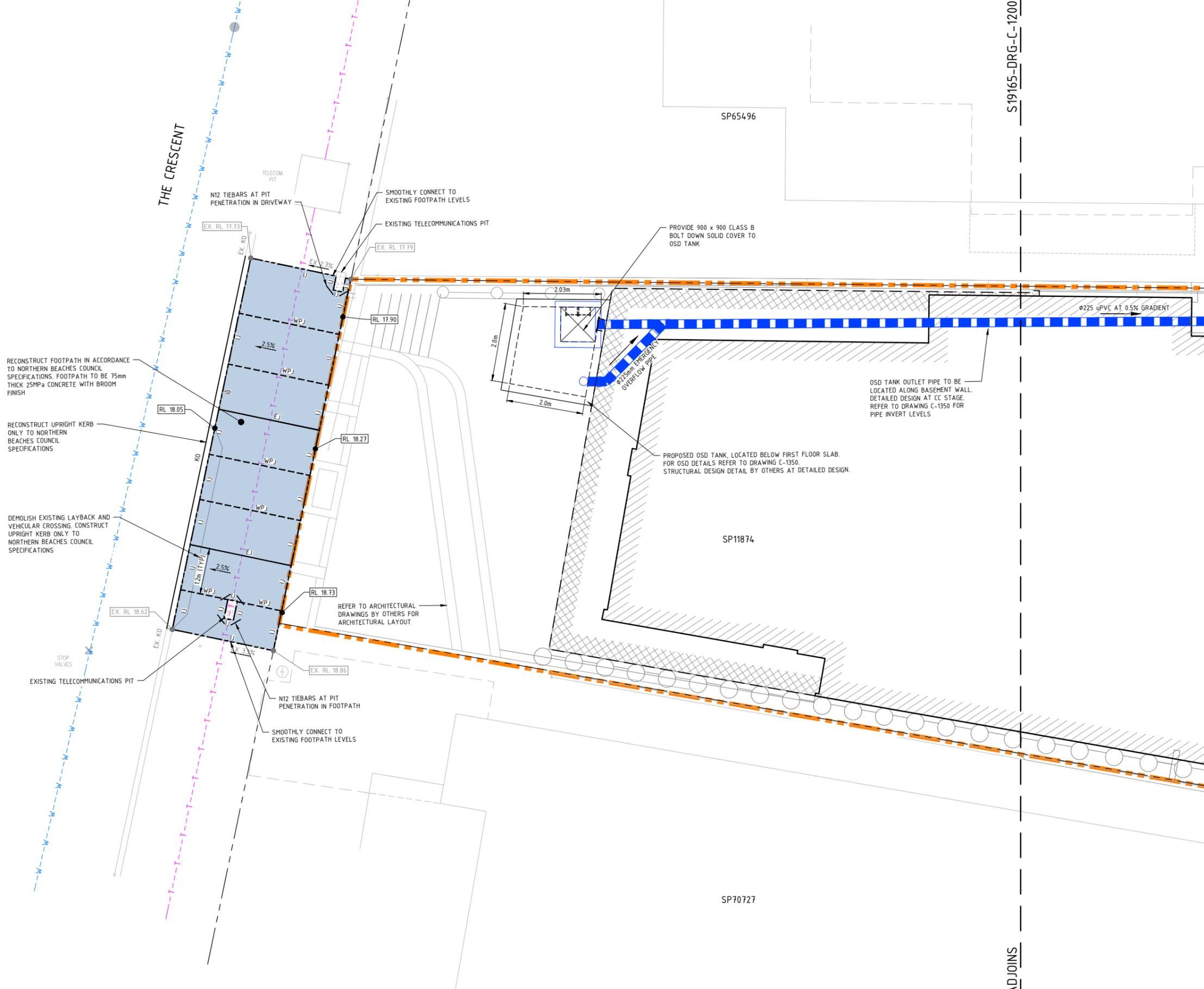
STATUS
ISSUED FOR APPROVAL
NOT TO BE USED FOR CONSTRUCTION

DRAWN	DESIGNED	CHECKED	APPROVED
CB	SP	SP	AW

DATUM: AHD GRID: MGA SCALE: 1:50 AT A1 SIZE

TITLE
SITWORKS AND DRAINAGE PLAN SHEET 1 OF 2

PROJECT No.	DRAWING No.	REV
S19156	C-1200	B



LEGEND

- LIMIT OF WORKS
- PROPOSED STORMWATER DRAINAGE PIPE
- PROPOSED STORMWATER GRATED STRIP DRAIN
- PROPOSED BUILDING EXTENT REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS
- GROUND FLOOR BASEMENT WALL BELOW. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS
- EX. K&G EXISTING KERB & GUTTER
- EX. K&G EXISTING KERB & GUTTER
- EX. STONE KERB EXISTING STONE KERB
- VC PROPOSED VEHICULAR CROSSING AND DRIVEWAY
- PROPOSED FOOTPATH
- RL 18.73 DESIGN SURFACE LEVEL (m)
- EX. RL 18.86 EXISTING SURFACE LEVEL (m)

CONCRETE JOINTS

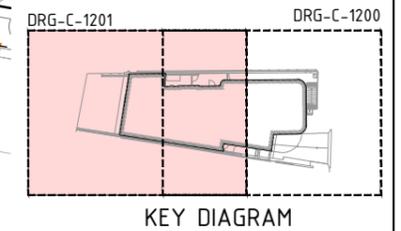
- EJ EXPANSION JOINT
- IJ ISOLATION JOINT
- WPJ WEAKENED PLANE JOINT

SERVICES

- S --- EXISTING SEWER
- T --- EXISTING TELECOM
- G --- EXISTING GAS
- W --- EXISTING WATER

NOTE

1. EXISTING UTILITIES PRESENT IN AREA OF WORKS. CONTRACTOR TO CONDUCT DIAL BEFORE YOU DIG INQUIRY BEFORE EXCAVATION. UTILITIES TO BE PROTECTED DURING WORKS.



REV	DATE	DESCRIPTION	RVD	REV	DATE	DESCRIPTION	RVD
B	30.03.20	ISSUED FOR S4.55 SUBMISSION	AW				
A	28.02.20	ISSUED FOR S4.55 SUBMISSION	AW				

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Sydney Office --
L2, 8 Windmill St
Sydney NSW 2000
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PROJECT

5 COMMONWEALTH PARADE
MANLY, NSW 2095

STATUS

ISSUED FOR APPROVAL
NOT TO BE USED FOR CONSTRUCTION

DRAWN	DESIGNED	CHECKED	APPROVED
CB	SP	SP	AW

DATUM: AHD GRID: MGA SCALE: 1:50 AT: A1 SIZE

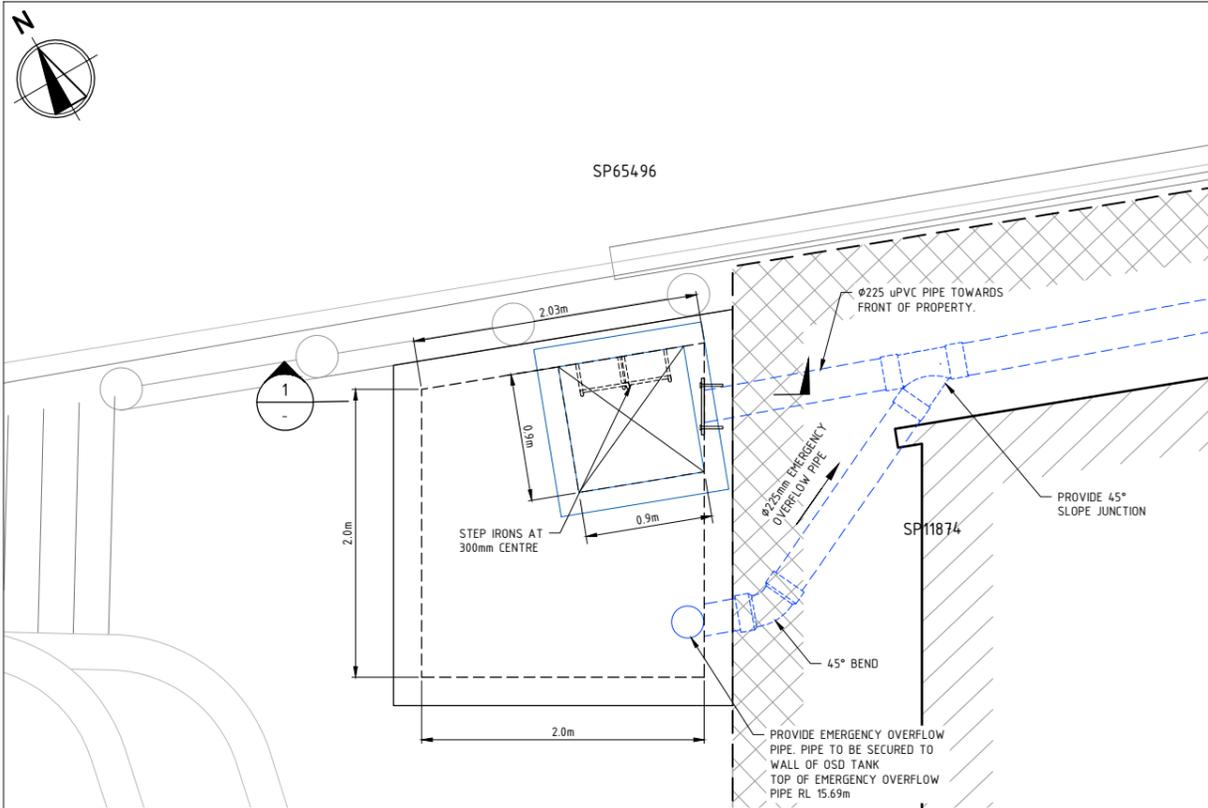
TITLE

SITWORKS AND DRAINAGE PLAN
SHEET 2 OF 2

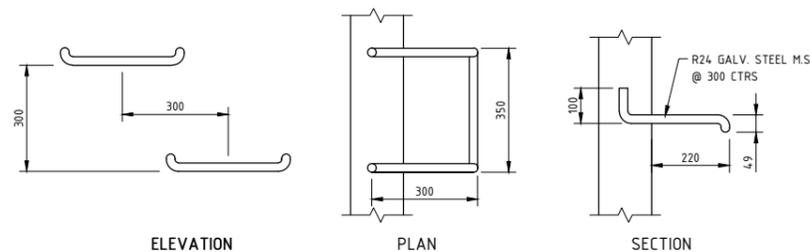
PROJECT No: S19156 DRAWING No: C-1201 REV: B

30/03/2020 6:43:34 PM

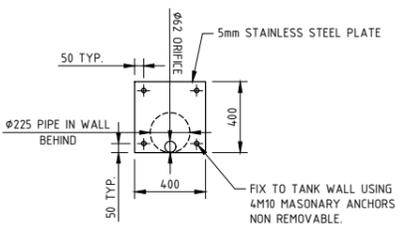
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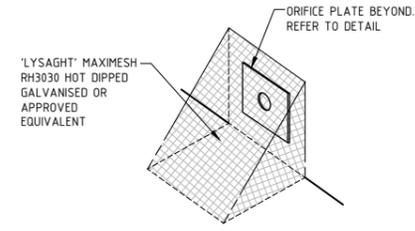
OSD PLAN
SCALE 1:25



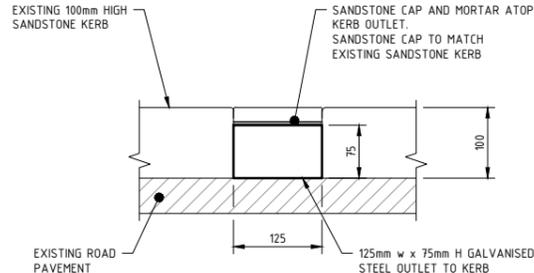
TYPICAL STEP IRON DETAILS
SCALE 1:10



ORIFICE PLATE DETAIL
SCALE 1:20



TRASH SCREEN DETAIL
N.T.S

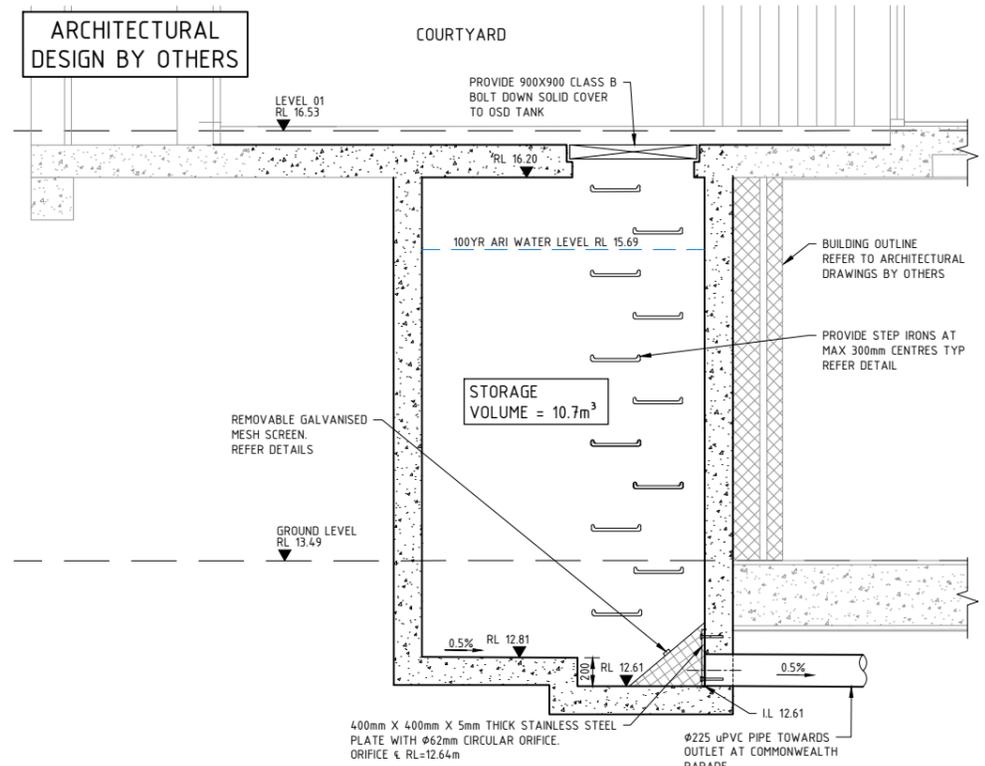


KERB OUTLET DETAIL
SCALE 1:5

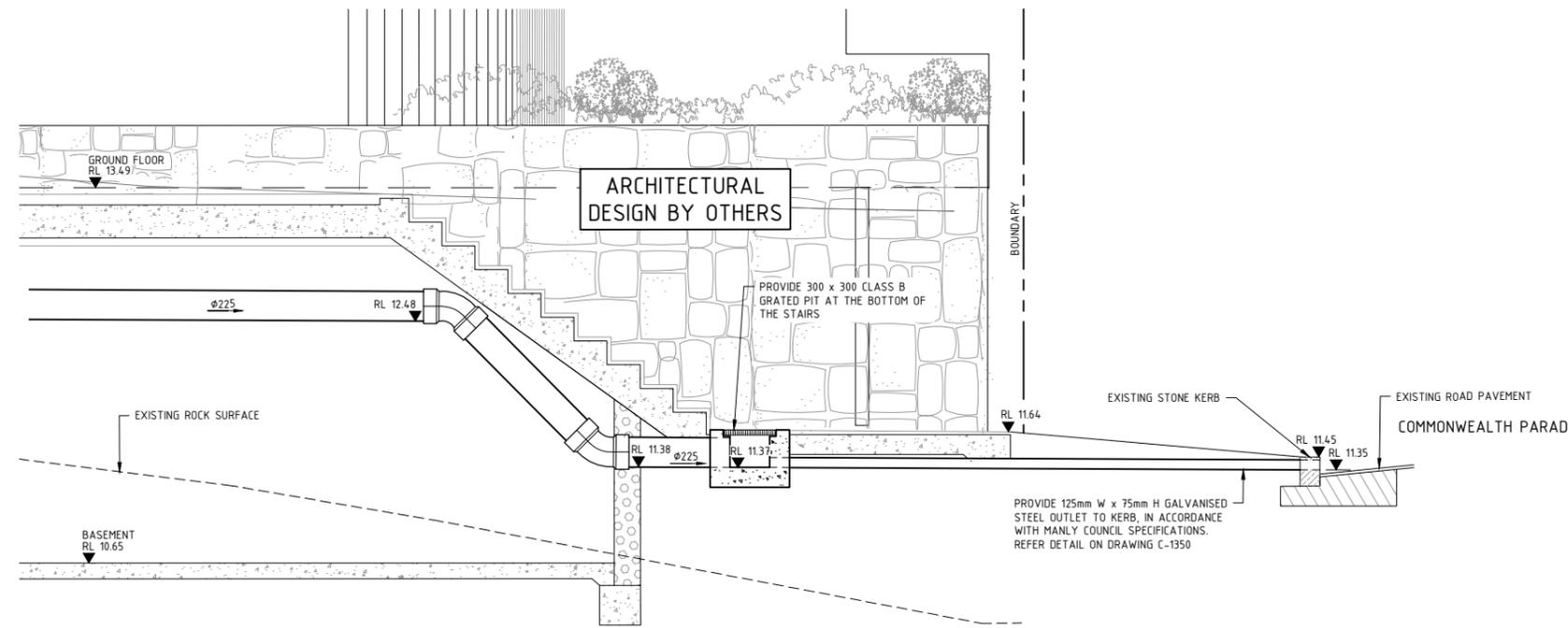
SITE DISCHARGE CALCULATIONS	
SITE PSD (L/s):	14
POST-DEVELOPMENT SITE DISCHARGE	
ARI (years)	OSD (L/s)
5	10
100	14

EMERGENCY OVERFLOW WEIR CALCULATIONS (Q=CxwxH ^{1.5})	
DISCHARGE, Q (L/s)	34
DISCHARGE COEFFICIENT, C	1.74
WEIR WIDTH, w (m)	0.71
FLOW DEPTH, m	0.091

- LEGEND**
- SITE BOUNDARY
 - PROPOSED BUILDING EXTENT REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS
 - GROUND FLOOR BASEMENT WALL BELOW. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS
- NOTES**
- ALL DIMENSIONS ARE IN METRES U.N.O.
 - ALL WORKS ARE TO BE CONDUCTED IN ACCORDANCE TO NORTHERN BEACHES COUNCIL'S SPECIFICATION FOR ON-SITE STORMWATER MANAGEMENT AND SPECIFICATION FOR STORMWATER DRAINAGE.
 - STRUCTURAL DESIGN DETAILS BY OTHERS AT DETAILED DESIGN.

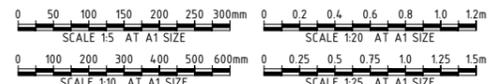


SECTION 1
SCALE 1:25



SECTION 2
SCALE 1:25

OUTLET SECTION
SCALE 1:25



REV	DATE	DESCRIPTION	RVD	REV	DATE	DESCRIPTION	RVD
B	30/03/20	ISSUED FOR S4.55 SUBMISSION	AW				
A	28/02/20	ISSUED FOR S4.55 SUBMISSION	AW				

CLIENT
MP
Momentum Projects
YOUR VISION - OUR PROJECT

ARCHITECT
platform
ARCHITECTS

Sydney Office -
L2, 8 Windmill St
Sydney NSW 2000
P / +61 2 9770 3300 E / info@bgeeng.com
bgeeng.com

PROJECT
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OSD PLAN AND SECTION

PROJECT No.	DRAWING No.	REV
S19156	C-1350	B



KEEP LEFT



EXTERNAL FINISHES BOARD

5 Commonwealth Parade, Manly

Platform Architects

2020.03.13

Roof cover
ROUNDED PEBBLES



Terrace flooring
NATURAL STONE



To lower floors
CONCRETE LOOK CLADDING



To upper floor
DARK CLADDING



ARTIST'S IMPRESSION



Planters with
CASCADING PLANTS & GREENERY



Privacy blades and fencing in
CHAMPAGNE POWDERCOAT



Champagne aluminium
WINDOW FRAMES



Charcoal
AWNING



Light-coloured
SANDSTONE BASE



Off-white or light grey
RENDERED BANDS



EXTERNAL FINISHES BOARD

5 Commonwealth Parade, Manly
Platform Architects
2018.09.06

Artist impression



Charcoal powdercoated
WINDOW FRAMES & ROOF



Light-coloured
SANDSTONE BASE



Off-white or light grey
CURVED BRICKWORK OR TILES



Planters with
CASCADING PLANTS & GREENERY



Privacy blades and fencing in
REDDISH BROWN METAL or CORTEN



Roof cover
ROUNDED PEBBLES



Terrace flooring
NATURAL STONE



To lower floors
LIGHT RENDER



To upper floor
DARK RENDER



INSPIRATION



INSPIRATION

EXTERNAL FINISHES BOARD

5 Commonwealth Parade, Manly
Platform Architects
2018.09.06

Soft edge
CASCADING PLANTING



Reddish brown metal or corten
PRIVACY BLADES & FENCING



Roof cover
ROUNDED PEBBLES



Off-white or light grey
CURVED BRICK WORK OR TILES



light-coloured
SANDSTONE BASE



Charcoal
METAL ROOF



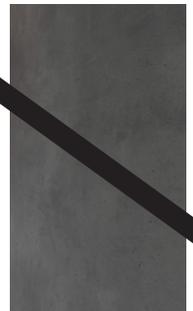
Flooring
NATURAL STONE



To lower floors
LIGHT RENDER



To upper floor
DARK RENDER



Soft edge
CASCADING PLANTING



Reddish brown metal or corten
PRIVACY BLADES & FENCING



Roof cover
ROUNDED PEBBLES



Off-white or light grey
CURVED BRICK WORK OR TILES



light-coloured
SANDSTONE BASE



Charcoal
METAL ROOF



Flooring
NATURAL STONE



To lower floors
LIGHT RENDER



To upper floor
DARK RENDER

