




Reference number 4911

Member of the Fire Protection Association of Australia

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## **Lot 2, DP 27009, 44 Campbell Parade, Manly Vale, NSW 2093.**

Monday, 20 January 2025

Prepared and certified by:	Matthew Willis <b>BPAD – Level 3 Certified Practitioner</b> Certification No: BPD-PA 09337		20/01/2025 15/05/2025
Can this proposal comply with AS3959-2018 (inc section 7.5, 7.5.1, 7.5.2, 7.5.3, 7.5.4 (where applicable) of the Rural Fire Services document Planning for Bushfire Protection 2019)?	Yes		
What is the recommended AS 3959-2018 level of compliance?	BAL-FZ		
Can this development comply with the requirements of PBP?	Yes		
Plans by "Breakspear Architects" (Appendix 1) dated.	14/5/2025		

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# **Bushfire Risk Assessment**

***Monday, 20 January 2025***

### **Contact**

*Robyn Storer*

*44 Campbell Parade*

*Manly Vale NSW 2093*

*0456492543*

### **Subject Property**

*Lot 2, DP 27009*

*44 Campbell Parade*

*Manly Vale NSW 2093*

## **BUSHFIRE RISK ASSESSMENT CERTIFICATE**

**THIS FORM IS TO BE COMPLETED BY A RECOGNISED CONSULTANT IN BUSHFIRE RISK ASSESSMENT IN ACCORDANCE WITH SECTION 4.14 OF THE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT.**

Property Address	Lot 2, DP 27009, number 44 Campbell Parade Manly Vale
Description of the Proposal	Construction of a new dwelling
Plan Reference	14/5/2025
BAL Rating	BAL-FZ

**I, Matthew Willis of Bushfire Planning Services Pty Ltd** have carried out a bushfire risk assessment on the above-mentioned proposal and property. A detailed Bushfire Assessment Report is attached which includes the submission requirements set out in Planning for Bushfire Protection 2019 together with recommendations as to how the relevant Specifications and requirements are to be achieved.

I hereby advise, in accordance with Section 4.14 of the Environmental Planning and Assessment Act 1979 No 203:

1. That I am a person recognised by the NSW Rural Fire Service as a qualified consultant in bushfire risk assessment; and
2. That subject to the recommendations contained in the attached Bushfire Risk Assessment Report the proposed development conforms to the relevant specifications and requirements\*

\*The relevant specifications and requirements being specifications and requirements of the document entitled Planning for Bush Fire Protection prepared by the NSW Rural Fire Service in co-operation with the Department of Planning and any other document as prescribed by Section 4.14 of the Environmental Planning and Assessment Act 1979 No 203.

I am aware that the Bushfire Assessment Report, prepared for the above-mentioned site is to be submitted in support of a development application for this site and will be relied upon by Northern Beaches Council as the basis for ensuring that the bushfire risk management aspects of the proposed development have been addressed in accordance with Planning for Bushfire Protection 2019.

<b>REPORT REFERENCE</b>	<i>Monday, 20 January 2025</i>
<b>REPORT DATE</b>	<i>Monday, 20 January 2025</i>
<b>CERTIFICATION NO/ACCREDITED SCHEME</b>	<i>FPAA BPAD A BPD-PA 09337</i>

### **Attachments:**

- Bushfire Risk Assessment Report
- Recommendations

**SIGNATURE:** ---  ----- **DATE:** -----Monday, 20 January 2025

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# 1 Executive Summary.

Bushfire Planning Services has been requested to supply a bushfire compliance report on lot 2, DP 27009, 44 Campbell Parade, Manly Vale.

The works proposed for the subject lot are for the construction of a new dwelling, see attached plans for details.

The subject lot is on the northern side of Campbell Parade and at its closest point to the hazard the proposed new work has a separation distance to the north of approximately 5m.

The vegetation that is considered to be the hazard to this proposal is situated on land that slopes down slope away from the property at an angle of approximately 11.31°.

For the purposes of this assessment this vegetation is considered to be Forest.

The remaining vegetation within the study area is contained within the boundaries of established allotments and is managed land and of low threat to this proposal.

The calculations and assumptions outlined in this report show that the development will be required to comply with the construction requirements of AS 3959-2018 BAL-FZ and any additional construction requirements contained within section 7.5, 7.5.1, 7.5.2, 7.5.3, 7.5.4 (where applicable) of the Rural Fire Services document Planning for Bushfire Protection 2019.

The following table is a summary of the pertinent findings of this assessment.

Aspect	North	East	South	West
<b>Vegetation type</b>	Forest	Managed land	Managed land	Managed land
<b>Slope</b>	10-15 degrees downslope	N/A	N/A	N/A
<b>Setback within lot 2</b>	5m	N/A	N/A	N/A
<b>Setback outside lot 2</b>	0m	N/A	N/A	N/A
<b>Total setback</b>	5m	N/A	N/A	N/A
<b>Bal level</b>	BAL-FZ	N/A	N/A	N/A

*Note: The above table is a summary of the significant variables used to determine the highest BAL for this proposal. THIS TABLE IS NOT INTENDED FOR CONSTRUCTION! Only the highest BAL level is shown, aspects marked as N/A will still have a BAL. Refer to section 11 for construction requirements for these other aspects.*

## 2 General.

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This proposal relates to the construction of a new dwelling on the subject lot and its ability to comply with the rules and regulations for building in a bushfire prone area.

The methodology used on this report is based on Planning for Bushfire Protection 2019 (PBP) as published by the New South Wales Rural Fire Service.

Any wording that appears in *blue italics* is quotes from Planning for Bushfire Protection 2019. Some of the measurements used in this report have been taken from aerial photographs and as such are approximate only.

## 3 Block Description.

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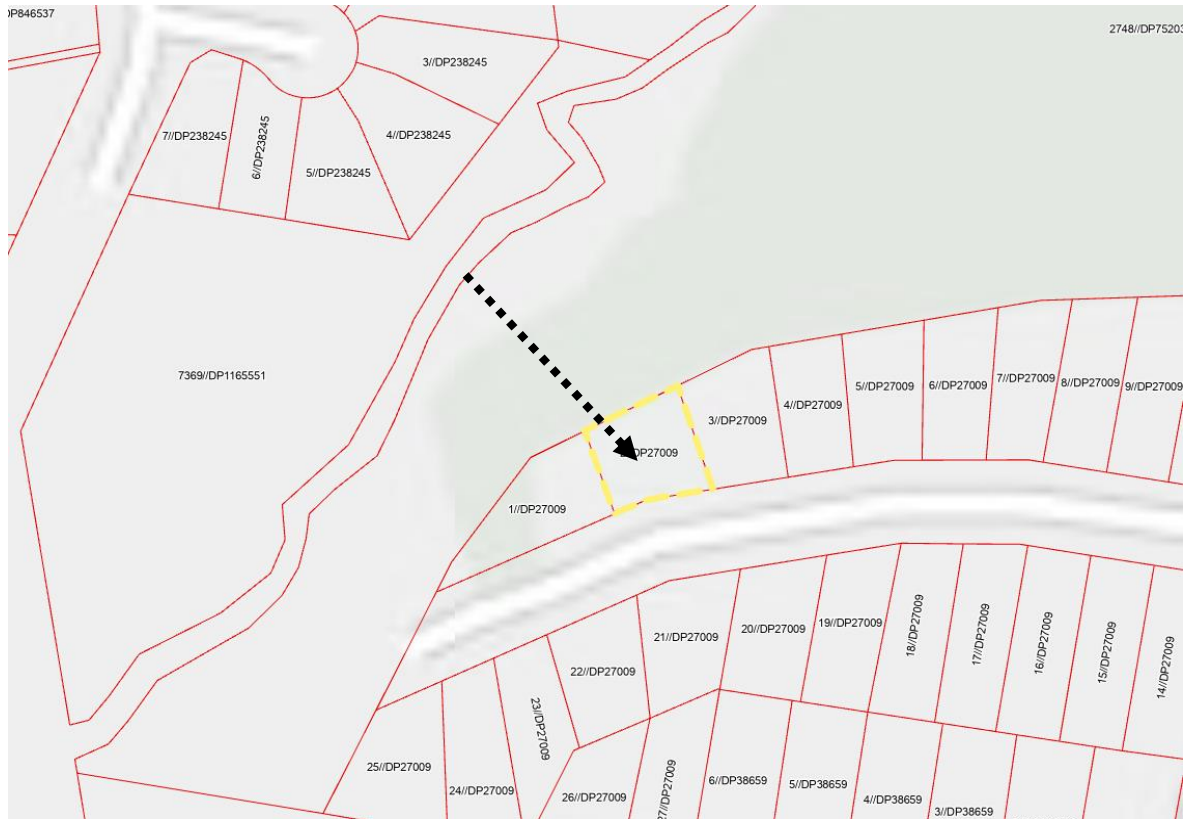
The subject block is situated on the northern side of Campbell Parade in an established area of Manly Vale.

The lot currently contains a multi-level class 1 dwelling.

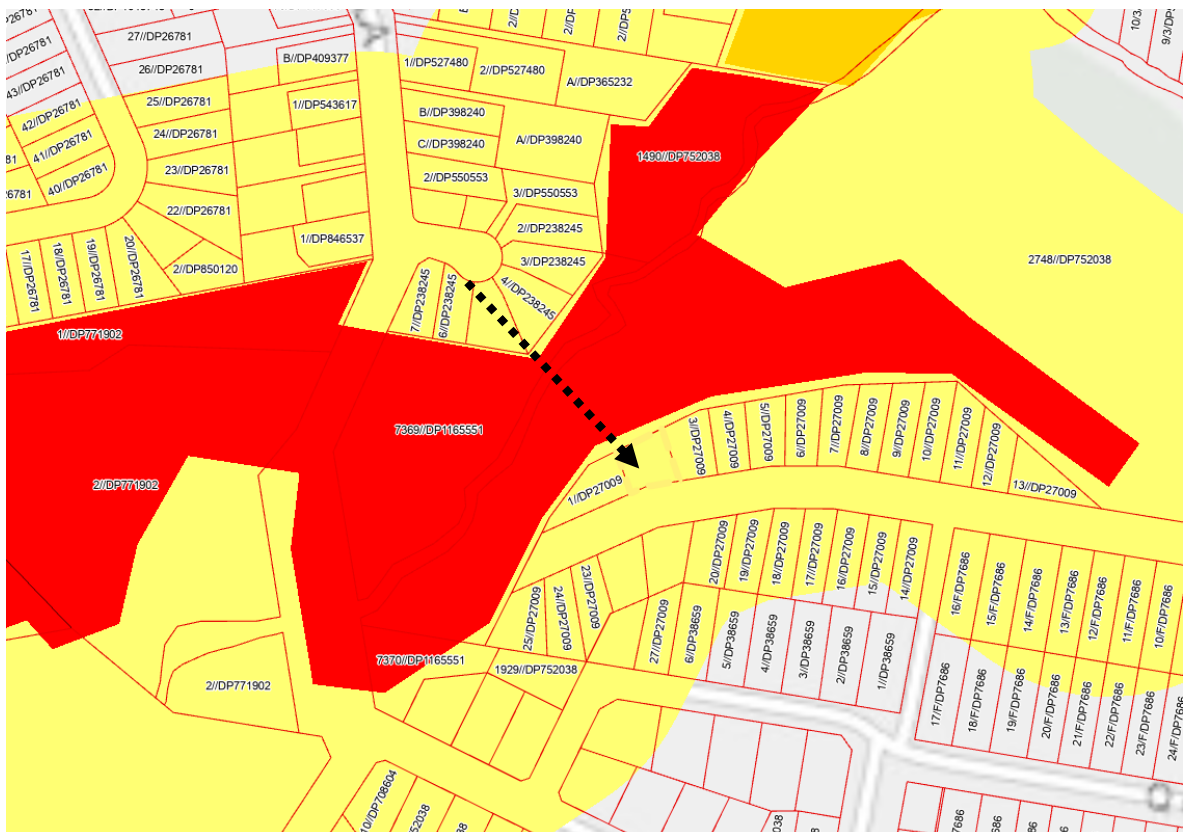
The lands surrounding the proposed site on the subject lot to a distance of at least 5m contain existing development or land that is otherwise not considered to be a significant bushfire hazard.

- Lot; 2
- DP; 27009.
- LGA; Northern Beaches.
- Area; 563.7m<sup>2</sup>.
- Address; 44 Campbell Parade, Manly Vale.

*This section has been left blank.*



Map 1 shows the cadastral layout around the subject lot.



Map 2 is an extract from the councils' bushfire prone land map. The map shows lot 2 to be within the buffer zone of category 1 bushfire vegetation.



## 4 Vegetation.

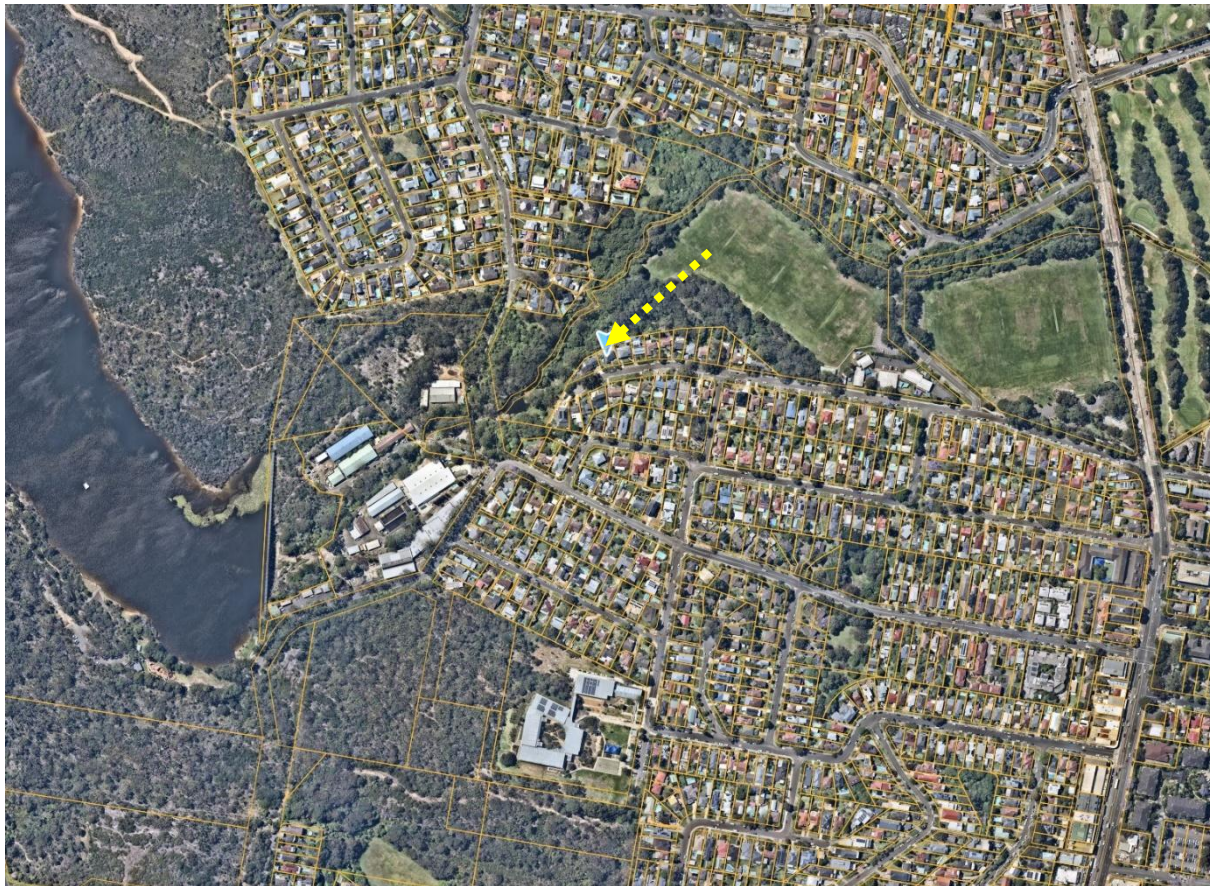
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The study area for the vegetation is 140m surrounding the subject block.

The vegetation within the study area for this development is considered to be largely managed land.

The major potential hazard to this development is the vegetation within an area of undeveloped land to the north.

For the purpose of this assessment and compliance with Planning for Bushfire Protection this area of undeveloped land is considered to be Forest and is the hazard to this proposal.



*Photo 1 - An overview of the vegetation within the general area.*

*This area has been left intentionally blank.*





*Photo 2 is a closer view of the vegetation in the area.*

Table 1 outlines the vegetation orientation and distance from the development area.

Aspect	North	East	South	West
<b>Vegetation type</b>	Forest	Managed land	Managed land	Managed land
<b>Setback within lot 2</b>	5m	N/A	N/A	N/A
<b>Off-site setback</b>	0m	N/A	N/A	N/A
<b>Total setback</b>	5m	N/A	N/A	N/A

*Table 1 - Any aspect marked with "N/A" in the table above indicates that it is considered there is none or only a secondary hazard in that direction.*

*This area has been left intentionally blank.*

## 5 Known constraints on subject block.

I have not been informed or know of any places of cultural or environmental significance within the boundaries of the subject block.

Given the nature of the surrounding land it is considered highly unlikely that anything of significance will be affected by this development.

## 6 Slope.

The slope of the land beneath the hazard that is most likely to influence bushfire behaviour has been calculated by topographical map analysis to a distance of 100m from the subject lot.

An extract of the topographical map for the area is shown below and the relevant slope analysis is shown in Table 2.

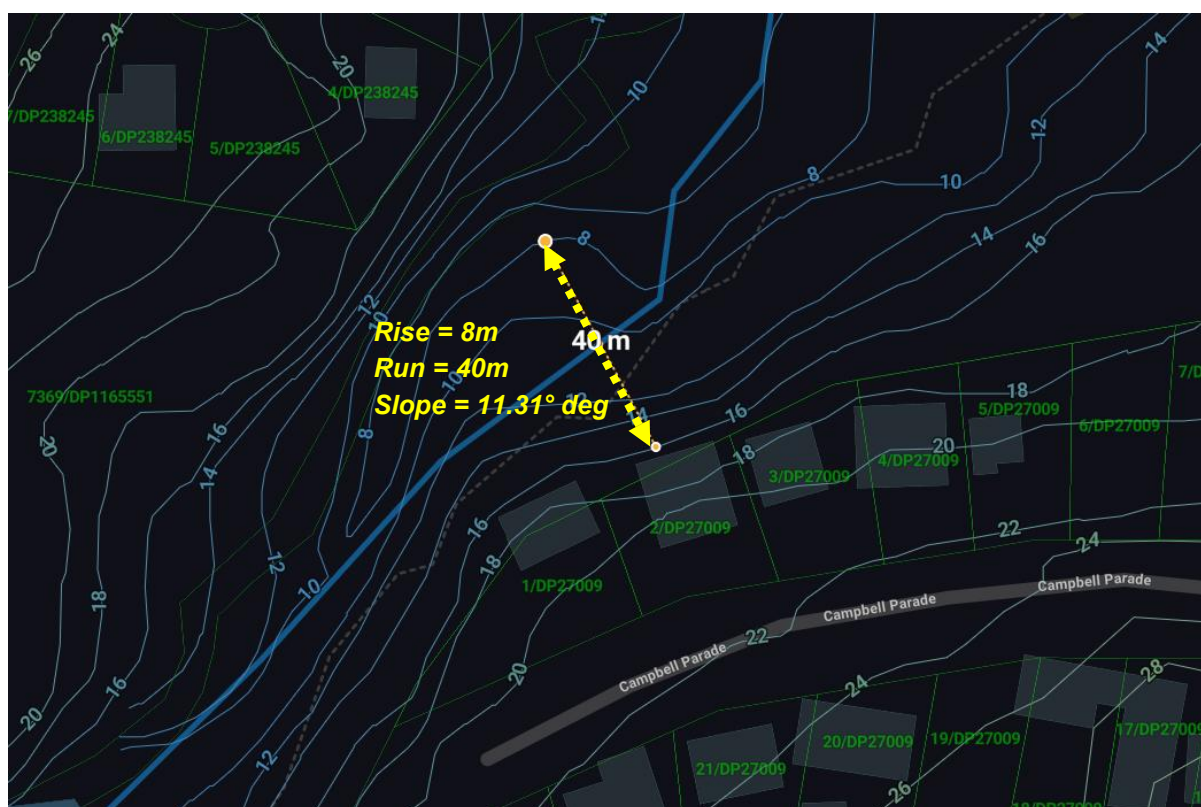


Table 2 shows the slope beneath the hazard.

Aspect	North	East	South	West
Slope	10-15 degrees downslope	N/A	N/A	N/A

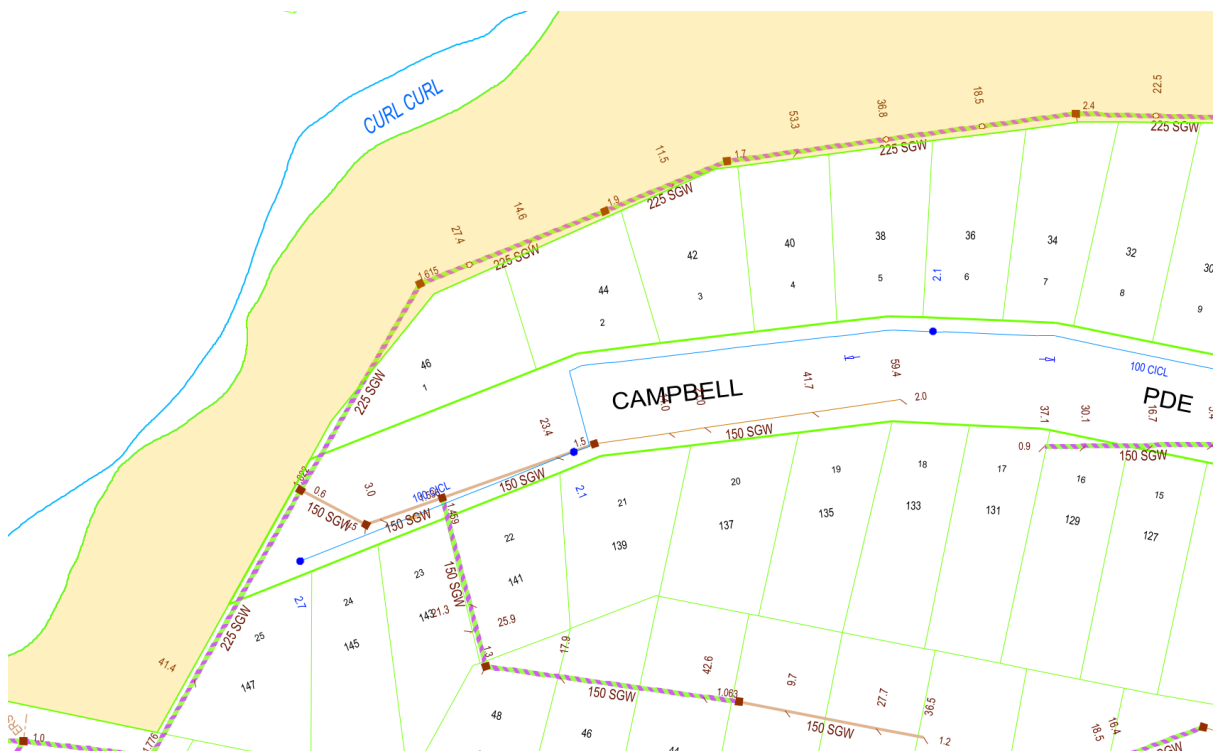
*Table 2 - Any aspect marked with "N/A" in the table above indicates that it is considered there is no hazard in that direction.*

## 7 Utilities.

### 7.1 Water.

The subject block will be serviced by a reticulated water supply.

The following map is an extract from Sydney waters hydrant map. Hydrants are indicated by a blue dot on a blue line. As can be seen there is at least one hydrant point indicated within close proximity of the property.



### 7.2 Electricity

Main's electricity is available to the block.

### 7.3 Gas

It is unknown if gas is to be installed in this proposal.

## 8 Access/Egress.

Access to the development site will be via a short private driveway from Campbell Parade.

All roads in the vicinity are considered to be capable of carrying emergency services vehicles and pedestrian access onto the lot is also considered to be adequate.



## *Analysis of development and recommendation.*

### **9 Compliance with Planning for Bushfire Protection setbacks.**

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Based on the development design, vegetation classification, effective slope estimates and setback distance already outlined in this report the subject development will be required to comply with the deemed to satisfy construction requirements of AS 3959-2018 BAL-FZ and the RFS requirements on all fire prone aspects.

### **10 Siting.**

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**Recommendation;**

Nil.

### **11 Construction and design.**

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All new work is to be undertaken in accordance with the relevant requirements of the NCC and AS3959 2018. The following recommendations are a minimum level of construction. Constructing the proposal to a higher level than that recommended is allowable under AS3959.

**Recommendation; all new work.**

1. New construction shall comply with the requirements of section 3 of Australian Standard AS3959-2018 "Construction of buildings in bush fire-prone areas" and,
  2. New construction shall also comply with the requirements of BAL-FZ Australian Standard AS3959-2018 "Construction of buildings in bush fire-prone areas" or NASH Standard "National Standard Steel Framed Construction in Bushfire Areas" and any additional construction requirements contained within section 7.5, 7.5.1, 7.5.2, 7.5.3, 7.5.4 (where applicable) of the Rural Fire Services document Planning for Bushfire Protection 2019.
  3. New roofing valleys and guttering should be fitted with a non-combustible leaf protection to stop the accumulation of debris.
- Or,
4. Construction to comply with NCC 2022 on a performance basis, in accordance with the building approvals regulatory framework NSW (i.e. via a performance solution)

*AS-3959 2018 is available as PDF from;*

[https://infostore.saiglobal.com/en-au/standards/as-3959-2018-122340\\_saig\\_as\\_as\\_2685241/](https://infostore.saiglobal.com/en-au/standards/as-3959-2018-122340_saig_as_as_2685241/)

**Note. Attention should be paid to section 9.1 of AS3959.**

## 12 Utilities.

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### 12.1 Water.

The proposed development will have access to a reticulated water supply. There is at least one hydrant indicated within the required distance from the dwelling.

#### Recommendation;

Nil.

### 12.2 Electricity and Gas.

#### Recommendation;

5. Any new electricity or gas connections are to comply with the requirements of table 7.4a of Planning for Bushfire Protection.

## 13 Asset Protection Zone (APZ).

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The Asset Protection Zone is *“An area surrounding a development managed to reduce the bushfire hazard to an acceptable level. The width of an APZ will vary with slope, vegetation and construction level”*.

#### Recommendation;

6. At the commencement of building works and in perpetuity the entire property shall be managed as an Asset Protection Zone in accordance with the requirements of Planning for Bushfire Protection, the RFS document Standards for Asset Protection Zones and in a manner that does not create a bushfire hazard to the property.

## 14 Landscaping.

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#### Recommendation;

7. Any new fencing is to be constructed in accordance with section 7.6 of Planning for Bushfire Protection 2019.
8. Any new landscaping to the site is to comply with the principles of Appendix 4 and section 3.7 of Planning for Bush Fire Protection 2019. In this regard the following landscaping principles are, where applicable, to be incorporated into the development<sup>1</sup>:
  - Suitable impervious areas being provided immediately surrounding the building such as courtyards, paths and driveways;

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<sup>1</sup>Refer to referenced documents for a complete description.



- Grassed areas/mowed lawns/ or ground cover plantings being provided in close proximity to the building;
- Restrict planting in the immediate vicinity of the building which may over time and if not properly maintained come in contact with the building;
- Maximum tree cover should be less than 30%, and maximum shrub cover less than 20%;
- Planting should not provide a continuous canopy to the building (i.e. trees or shrubs should be isolated or located in small clusters);
- When considering landscape species consideration needs to be given to estimated size of the plant at maturity;
- Avoid species with rough fibrous bark, or which retain/shed bark in long strips or retain dead material in their canopies;
- Use smooth bark species of trees species which generally do not carry a fire up the bark into the crown;
- Avoid planting of deciduous species that may increase fuel at surface/ ground level (i.e. leaf litter);
- Avoid climbing species to walls and pergolas;
- Locate combustible materials such as woodchips/mulch, flammable fuel stores away from the building;
- Locate combustible structures such as garden sheds, pergolas and materials such timber garden furniture way from the building; and
- Use of low flammability vegetation species.

## 15 Constraints on the subject block.

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None known.

Recommendation;

Nil

## 16 Access/Egress.

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All roads in the area are considered to be capable of handling emergency service vehicles. Access from the roadway onto the property is also considered to be adequate for firefighting purposes.

Recommendation

Nil

## 17 Compliance or non compliance with the specifications and requirements for bushfire protection measures.

<b>APZ</b> A defensible space is provided onsite. An APZ is provided and maintained for the life of the development.	Achievable with the implementation of the recommendations in section 13
<b>SITING AND DESIGN:</b> Buildings are sited and designed to minimise the risk of bush fire attack.	Achievable with the implementation of the recommendations in section 10
<b>CONSTRUCTION STANDARDS:</b> It is demonstrated that the proposed building can withstand bush fire attack in the form of wind, smoke, embers, radiant heat and flame contact.	Achievable with the implementation of the recommendations in section 11
<b>ACCESS</b> Safe, operational access is provided (and maintained) for emergency services personnel in suppressing a bush fire while residents are seeking to relocate, in advance of a bush fire, (satisfying the intent and performance criteria for access roads in sections 4.1.3 and 4.2.7).	Achievable with the implementation of the recommendations in section 16
<b>WATER AND UTILITY SERVICES:</b> <ul style="list-style-type: none"> <li>adequate water and electricity services are provided for firefighting operations</li> <li>Gas and electricity services are located so as not to contribute to the risk of fire to a building.</li> </ul>	Achievable with the implementation of the recommendations in section 12
<b>LANDSCAPING:</b> <ul style="list-style-type: none"> <li>it is designed and managed to minimise flame contact and radiant heat to buildings, and the potential for wind driven embers to cause Ignitions.</li> </ul>	Achievable with the implementation of the recommendations in section 14

## 18 Conclusions.

Based on the above report and with the implementation of the recommendation contained within this report the consent authority should determine that this development can comply with the requirements of AS 3959-2018 and 'Planning for Bushfire Protection' guidelines.

The recommendations contained within this report are to be implemented in their entirety. Changing one aspect may have an adverse effect on the rest of the recommendations.

Bushfires are affected by many external influences such as climactic conditions, vegetation type, moisture content of the fuel, slope of the land and human intervention to name a few and are difficult to predict.

This report does not intend to provide a guarantee that the subject property will survive if a bushfire should impact the surrounding area. The purpose of this report is to show the developments level of compliance or in some cases non-compliance with the New South Wales legislation regarding building in bushfire prone areas.

Where non-compliance is found measures will be suggested that should make the building less susceptible to the various attack mechanisms of a bushfire and comply with the performance requirements of the Building Code of Australia.

The opinions expressed in this report are based on the writers' experience and interpretation of the relevant guidelines and standards. Notwithstanding the above, these guidelines and standards are open to interpretation. All care has been taken to ensure that the opinions expressed in this report are consistent with past successful outcomes.

Some of the information used in the compilation of this assessment has been provided by the proponent or the proponent's representatives. While we believe this information to be true and have accepted the information in good faith however this company or its representatives will not accept any responsibility if the provided information is determined to be incorrect.

This document is to assist the consenting authorities with their assessment of this proposal. The recommendations contained in this assessment reflect the normal conditions that are typically applied by the consent authority for a proposal such as this however the conditions of consent for the proposal will be supplied by the certifying authority on approval of the development and may not necessarily be the same as the recommendations of this assessment.

The recommendations in this assessment are for planning guidance only, construction details and compliance with all building requirements are the responsibility of the Architect/Designer, Builder and Certifier.

To avoid confusion, unless specifically referenced by the consenting authority, it is strongly recommended that once this proposal has been approved that this document is no longer referenced and that only the official conditions of consent as reflected in documentation by the certifying body are used for construction guidance.

If any further clarification is required for this report, please do not hesitate to contact me using the details above.

Yours Sincerely



**Matthew Willis**  
*Grad Dip Planning for Bushfire Prone Areas*  
*Bushfire Planning Services Pty Limited*

## 19 References.

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- *Australian Building Codes Board (2019). National Construction Code Volume One - Building Code of Australia. ABCB*
- *Australian Building Codes Board (2019). National Construction Code Volume two - Building Code of Australia. ABCB.*
- *Keith, D.A. (2004). Ocean Shores to Desert Dunes: The Native Vegetation of New South Wales and the ACT. NSW Department of Environment and Conservation.*
- *National Association of Steel Framed Housing (2014). "Steel Framed Construction in Bush Fire Areas. NASH*
- *Ramsay, C and Rudolph, L (2003) "Landscape and Building Design for Bush fire Areas". CSIRO Publishing, Collingwood.*
- *Resources and Energy NSW (2016). ISSC 3 Guide for the Managing Vegetation in the Vicinity of Electrical Assets. NSW Government*
- *Rural Fire Service NSW (2005) "Standards for Asset Protection Zones"*
- *Standards Australia (2018). "AS 3959, Construction of buildings in bush fire prone areas".*
- *Standards Australia (2018). "AS/NZS 1530.8.1 Methods for fire tests on building materials, components and structures - Tests on elements of construction for buildings exposed to simulated bush fire attack - Radiant heat and small flaming sources".*
- *Standards Australia (2018). "AS/NZS 1530.8.2 Methods for fire tests on building materials, components and structures - Tests on elements of construction for buildings exposed to simulated bush fire attack - Large flaming sources".*
- *Standards Australia (2014). "AS/NZS 1596 The storage and handling of LP Gas".*

## 20 Appendix 1 - Plans .

## Page 18 of 31



#### Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CCODC plans & specs	Certifier check
<b>Landscape</b>			
The applicant must plant indigenous or low water use species or vegetation throughout 100 square metres of the site.	✓	✓	
<b>Fences</b>			
The applicant must install streetfences with a minimum rating of 4 star or 9 joule m <sup>2</sup> 7.5 L/m <sup>2</sup> plus spray foam and/or coverage less than 10% of the fence line.		✓	✓
The applicant must install a water banking system with a minimum rating of 4 star in each lot in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	✓
The applicant must install water taps with a minimum rating of 4 star in each bathroom in the development.		✓	✓
<b>Alternative water</b>			
<b>Waterwise tank</b>			
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 30 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or gully drain).		✓	✓
The applicant must connect the rainwater tank to:			
• the cold water tap that supplies each clothes washer in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with public water supply.)		✓	✓
<b>Water Commitments</b>			
<b>Swimming Pool</b>			
The swimming pool must not have a volume greater than 26 kilolitres.	✓	✓	
The swimming pool must be outdoors.	✓	✓	

Thermal Performance and Materials commitments	Show on DA plans	Show on CCODC plans & specs	Certifier check
<b>Glazing</b>			
The applicant must install windows, glazed doors and skylights as described in the table below, in accordance with the specifications listed in the table.	✓	✓	✓
<b>Framing</b>			
Maximum area - m <sup>2</sup>			
aluminium	50.0		
timber	0		
UPVC	0		
steel	0		
composit	0		
<b>Glazing</b>			
Maximum area - m <sup>2</sup>			
single	0		
double	50.0		
triple	0		

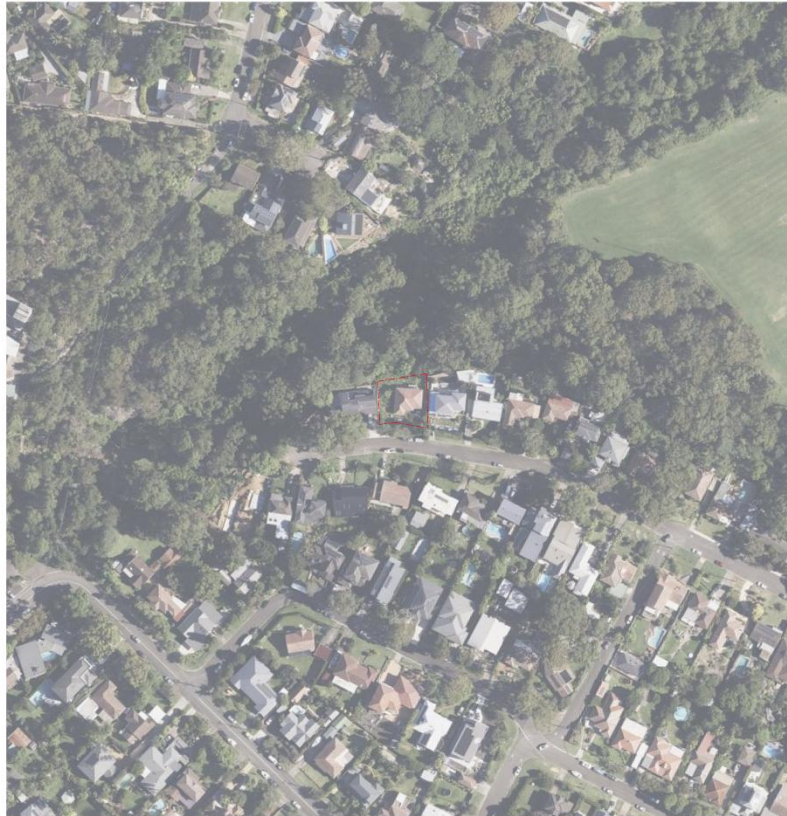
Thermal Performance and Materials commitments	Show on DA plans	Show on CCODC plans & specs	Certifier check
<b>Simulation Method</b>			
<b>Assessor details and thermal loads</b>			
The applicant must submit the certificate referred to under "Assessor Details" on the first page of this BASIX certificate (the "Assessor Certificate") to the development application or construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development in the Assessor Certificate must be consistent with the details shown in the BASIX certificate, including the cooling and heating loads shown on the first page of this certificate and the "Construction" and "Glazing" tables below.			
The applicant must show in the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown in those plans. Those plans must show a diagram of the environment that the Assessor Certificate requires to be shown in the plans. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable, all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must conduct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.	✓	✓	✓

Thermal Performance and Materials commitments	Show on DA plans	Show on CCODC plans & specs	Certifier check
<b>Construction</b>			
four - concrete slab on ground, conventional slab	100.0		
four - above ground masonry or masonry, concrete - suspended, frame no frame	177.000		
four - suspended floor above garage, concrete - suspended, frame no frame	4.48		
garage floor - concrete slab on ground	16.71		
external wall brick veneer, frame timber - uninsulated, rafterless	170.2		
external wall framed precast slab, frame timber - uninsulated, rafterless	6.6		
external garage wall brick veneer, frame timber - uninsulated, rafterless	27.66		
internal wall plasterboard, frame timber - uninsulated, rafterless	200.6		
internal wall, single skin masonry, frame, timber - uninsulated, rafterless	17.8		
ceiling and roof - hot ceiling, rafterless roof, frame - metal roof, timber - uninsulated, rafterless	100		

Energy Commitments	Show on DA plans	Show on CCODC plans & specs	Certifier check
<b>Hot water</b>			
The applicant must install the following hot water system in the development, or a system with a higher energy rating, electric heat pump with a performance of 28 to 30 STCo or better.	✓	✓	✓
<b>Cooling system</b>			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: Split-system air conditioning, Energy rating: EER 3.0 - 3.5		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: Split-system air conditioning, Energy rating: EER 3.0 - 3.5		✓	✓
<b>Heating system</b>			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: Split-system air conditioning, Energy rating: EER 3.0 - 3.5		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: Split-system air conditioning, Energy rating: EER 3.0 - 3.5		✓	✓
<b>Ventilation</b>			
The applicant must install the following ventilation system in the development:			
At least 1 Bathroom: Individual fan, ducted to façade or roof. Operation control: manual switch on/off		✓	✓
Kitchen: Individual fan, ducted to façade or roof. Operation control: manual switch on/off		✓	✓
Laundry: Individual fan, ducted to façade or roof. Operation control: manual switch on/off		✓	✓
<b>Artificial lighting</b>			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) tubes.		✓	✓
<b>Natural lighting</b>			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓

Energy Commitments	Show on DA plans	Show on CCODC plans & specs	Certifier check
<b>Hot water</b>			
The applicant must install a window and/or skylight in 2 bathrooms (bathrooms) in the development for natural lighting.	✓	✓	✓
<b>Swimming pool</b>			
The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any heating system for the swimming pool), electric heat pump.		✓	
The applicant must install the following pump for the swimming pool in the development, or a pump with a higher energy rating, dual speed with a performance of 4 stars.		✓	
The applicant must install a filter for the swimming pool pump in the development.		✓	
<b>Alternative energy</b>			
The applicant must install a photovoltaic system as part of the development. The applicant must connect this system to the development's electrical system.	✓	✓	✓
The photovoltaic system must consist of:			
• a photovoltaic collection with the capacity to generate at least 2.8 peak kilowatts of electricity, installed at an angle between 0 degrees and 10 degrees to the horizontal facing north-west	✓	✓	✓
<b>Other</b>			
The applicant must install an induction cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	
The applicant must install a fixed indoor or unbracketed clothes drying line as part of the development.		✓	





1 SITE PLAN - CONTEXT  
Scale: 1:1000 @ A1



2 SITE PLAN - EXISTING  
Scale: 1:250 @ A1

**BREAK  
SPEAR  
ARCHI  
TECTS**  
Breakspear Architects Pty Ltd.  
A: 214 Dengrave Street, Marry NSW 2095  
ABN 61 601 870 961 ARNS 8772  
E: studio@breakspear.com W: www.breakspear.com  
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**SCALE BAR**  
THE DRAFTER IS RESPONSIBLE FOR THE SETTING OUT OF THE WORKS, THE  
CHECKING OF ALL DIMENSIONS AND LEVELS ON SITE AND THE REPORTING OF  
ANY REQUIREMENTS TO THE RESPONDER PRIOR TO COMMENCEMENT OF  
WORK. DO NOT SCALE FROM DRAWINGS. ALL DIMENSIONS WORKS TO BE IN  
ACCORDANCE WITH THE 2007 AUST. STANDARD AS/NZS 1546:2007  
DEVELOPMENT CONSENT CONDITIONS.

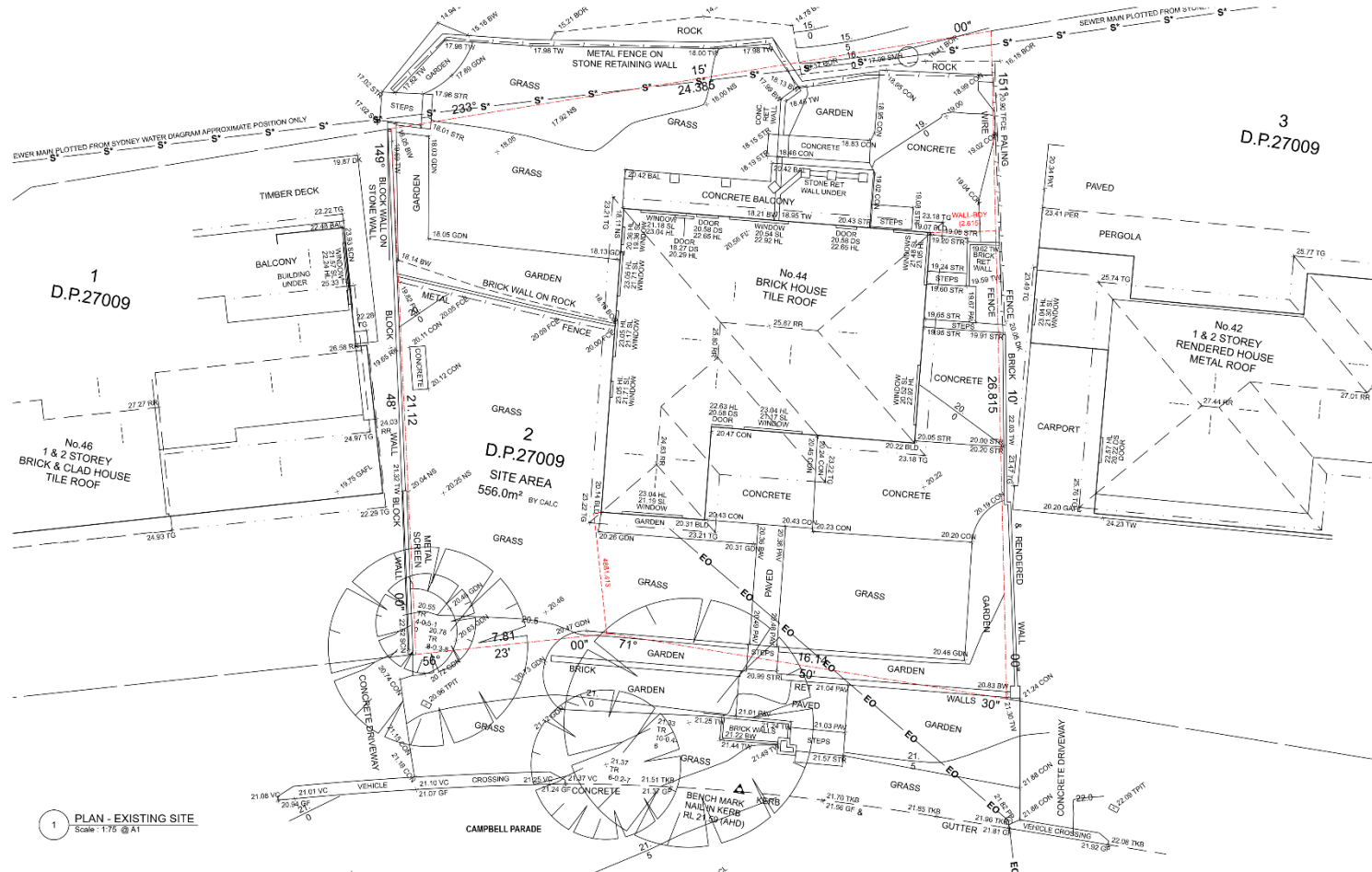


REV DATE DESCRIPTION  
A 16/05/2025 Preliminary DA  
B 14/02/2025 DA Submission

CLIENT  
Robyn Storer  
PROJECT  
Marilyn Vale

PROJECT ADDRESS  
44 Campbell Parade,  
Marilyn Vale

**SITE - CONTEXT PLAN**  
DWG NO. A101  
PROJECT NO. 2403  
SCALE @ A1 AS NOTED  
DESIGN MB  
CHECKED TB  
REV B



1 PLAN - EXISTING SITE  
Scale: 1:75 @ A1

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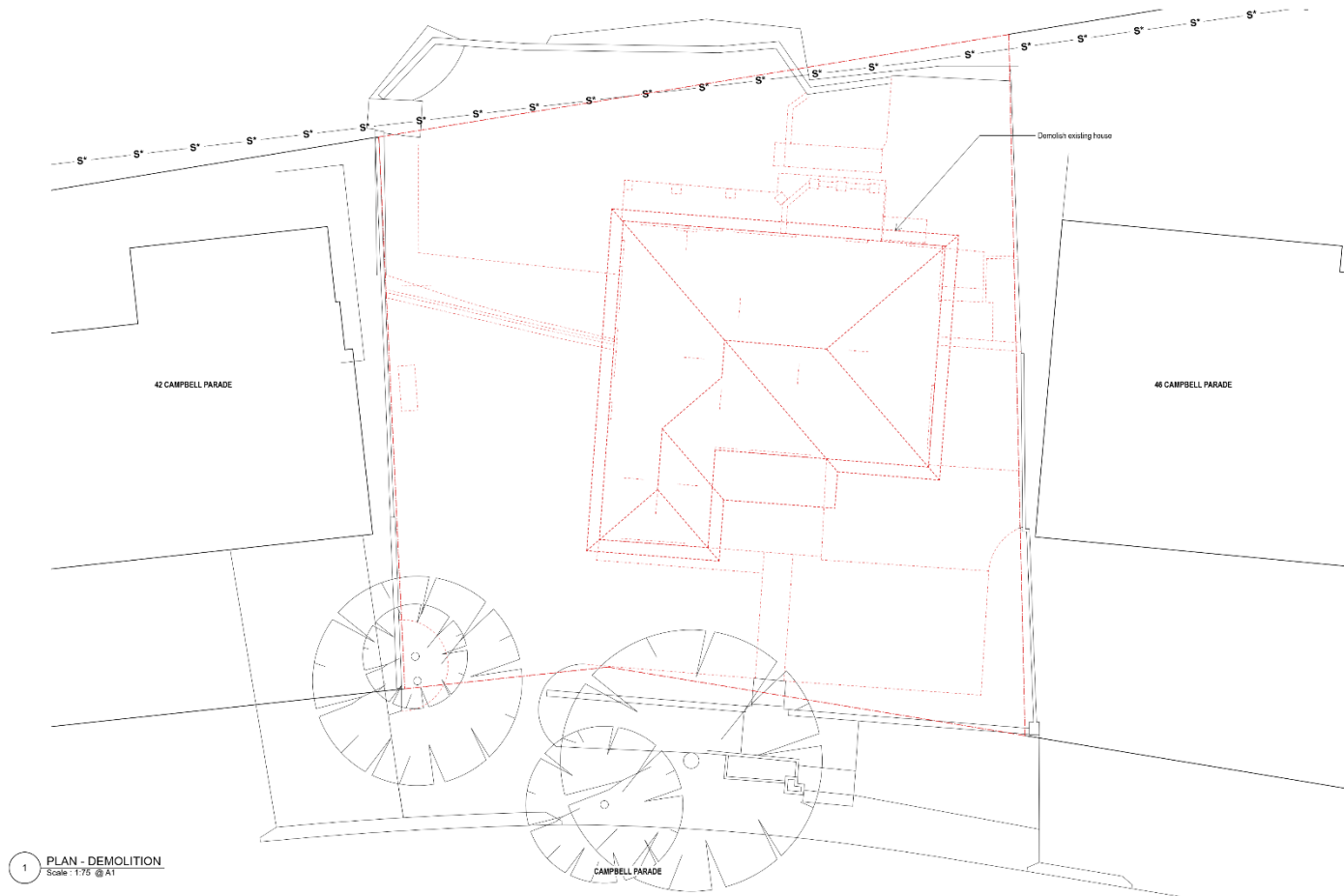
**SCALE BAR**  
THE BUILDER IS RESPONSIBLE FOR THE SETTING OUT OF THE WORKS. THE  
CHECKING OF ALL DIMENSIONS AND LEVELS ON SITE AND THE REPORTING OF  
ANY DISCREPANCIES TO THE PROPRIETOR PRIOR TO COMMENCEMENT OF  
WORK. DO NOT SCALE FROM DRAWING. ALL DIMENSIONS TO BE IN  
ACCORDANCE WITH THE AUSTRALIAN STANDARD FOR DIMENSIONS, ISO 9001:2008  
DEVELOPMENT CONSENT CONDITIONS.

REV DATE DESCRIPTION  
A 16/02/2025 Preliminary DA  
B 14/02/2025 DA Submission

DESIGNER  
Robyn Storer  
PROJECT  
Marly Vale

PROJECT ADDRESS  
44 Campbell Parade,  
Marly Vale

PLAN - EXISTING  
DWG NO  
A201  
PROJECT NO  
2403  
SCALE @ A1  
1:75  
DRAWN  
MB  
CHECKED  
TB  
REV  
B



1 PLAN - DEMOLITION  
Scale: 1:75 @ A1

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**SCALE BAR**

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ACCORDANCE WITH THE APPLICABLE NATIONAL STANDARDS, SPECIFIC  
DEVELOPMENT CONSENT CONDITIONS.



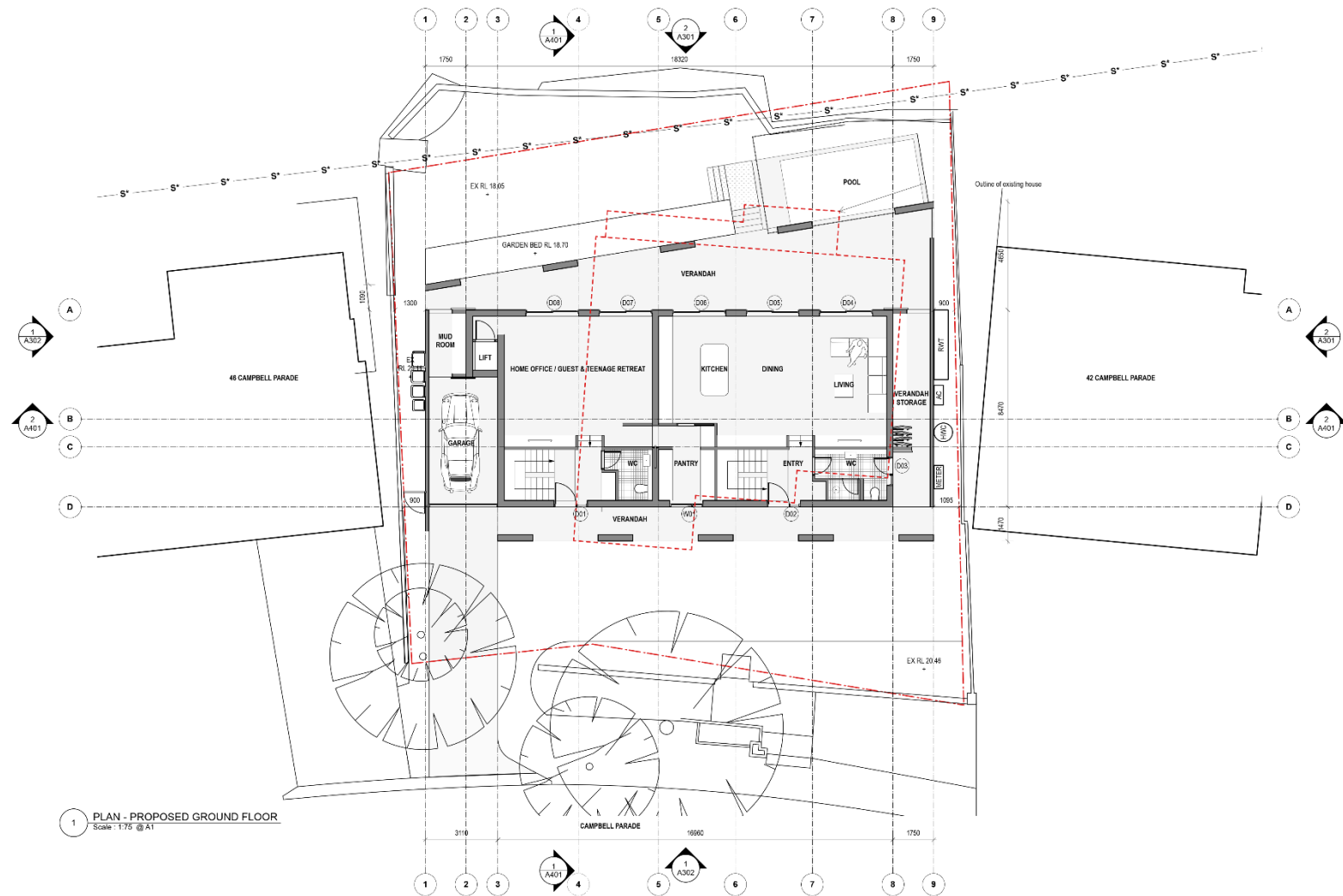
REV	DATE	DESCRIPTION
A	06/02/2025	Preliminary DA
B	14/02/2025	DA Submission

CLIENT
Robyn Storer
PROJECT
Manly Vale

PROJECT ADDRESS
44 Campbell Parade, Manly Vale

PLAN - DEMOLITION					
DWG NO	PROJECT NO	SCALE @ A1	DESIGN	CHECKED	REV
A202	2403	1:75	MB	TB	B





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**SCALE BAR**  
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AND DEVELOPMENT CONSENT CONDITIONS.



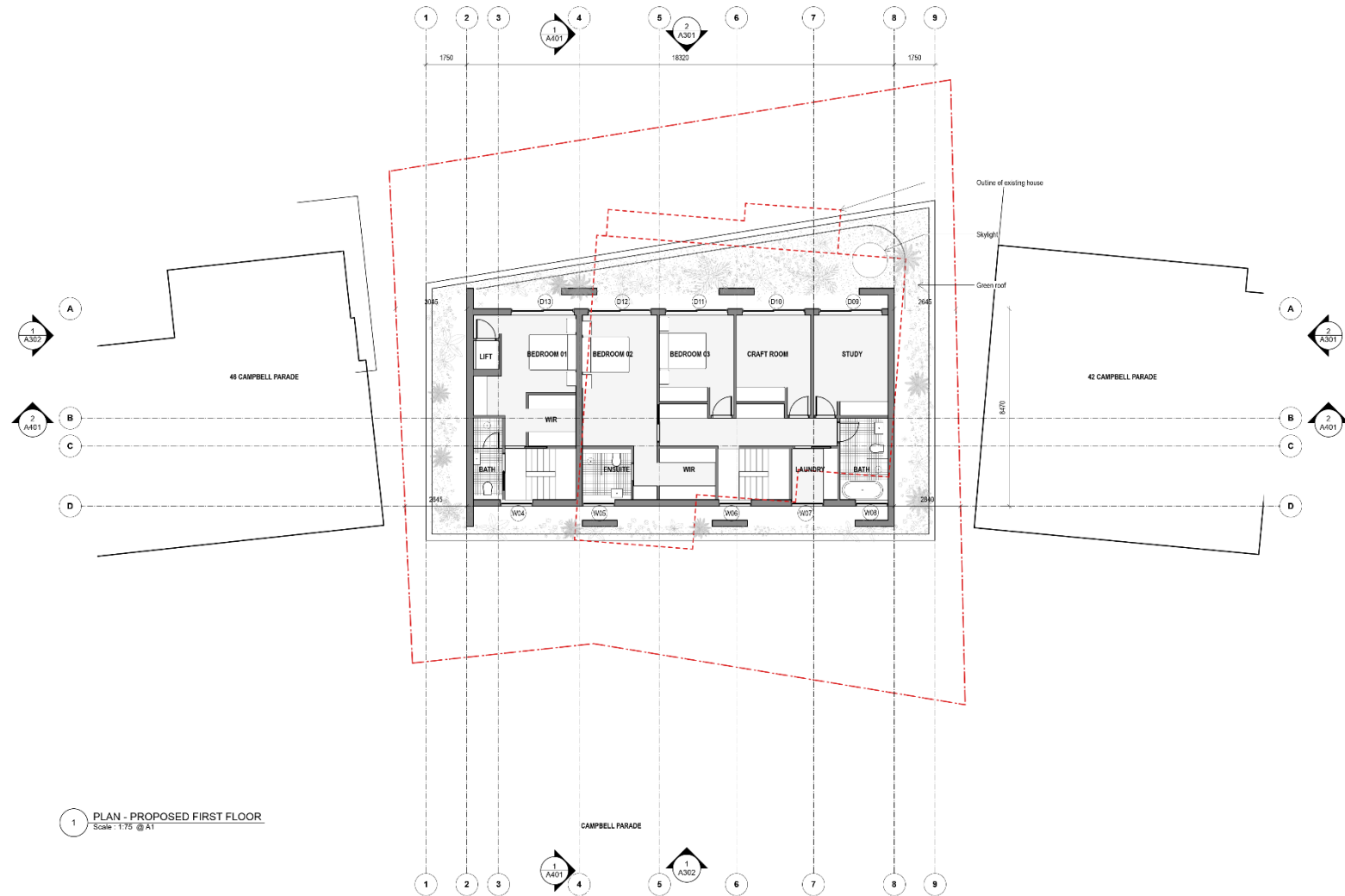
**REV** **DATE** **DESCRIPTION**  
A 06/02/2025 Preliminary DA  
B 14/02/2025 DA Submission

**DESIGNER**  
Robyn Storer  
**PROJECT**  
Marry Vale

**PROJECT ADDRESS**  
44 Campbell Parade,  
Marry Vale

**TITLE**  
PLAN - PROPOSED GROUND FLOOR  
**DWG NO** A210  
**PROJECT NO** 2403  
**SCALE** 1:75  
**DESIGN** MB  
**CHECKED** TB  
**REV** B





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DEVELOPMENT CONSENT CONDITIONS.



REV DATE DESCRIPTION  
A 05/02/25 Preliminary DA  
B 14/02/25 DA Submission

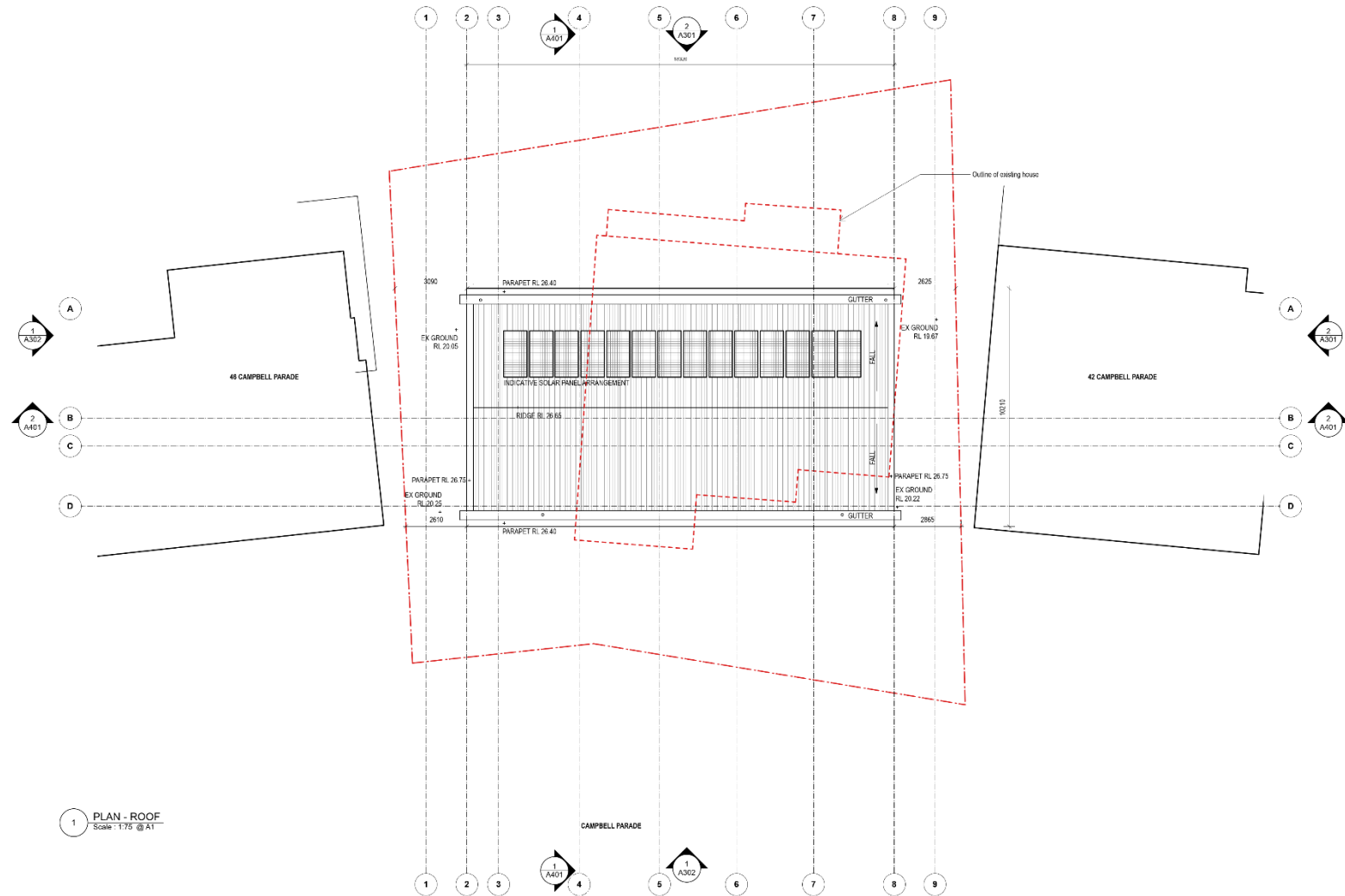
DESIGNER  
Robyn Storer

PROJECT  
Manly Vale

PROJECT ADDRESS  
44 Campbell Parade,  
Manly Vale

**PLAN - PROPOSED FIRST FLOOR**

DWG NO: A211 PROJECT NO: 2403 SCALE: 1:75 DRAWN: MB CHECKED: TB REV: B



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TECTS**

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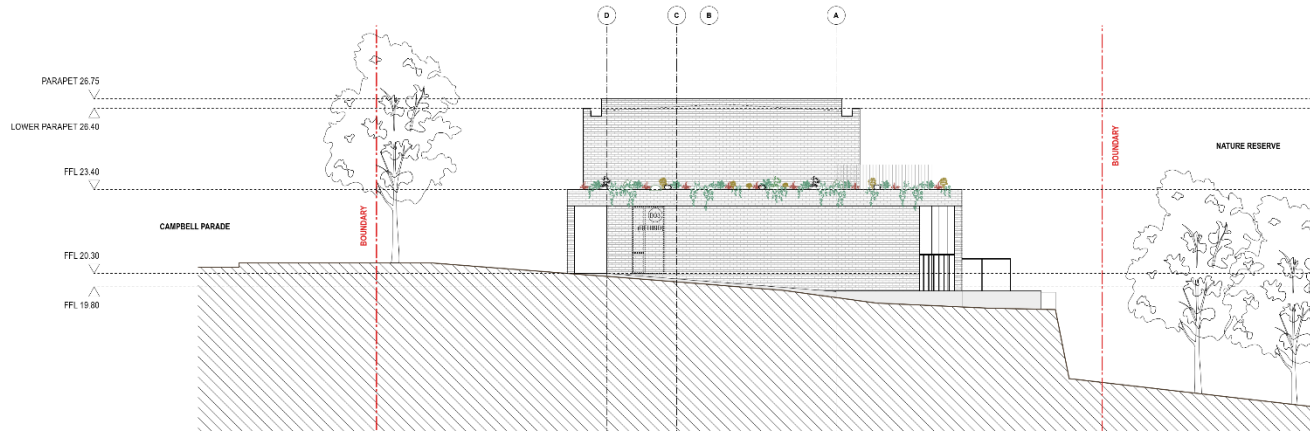


REV DATE DESCRIPTION  
A 06/02/25 Preliminary DA  
B 14/02/25 DA Submission

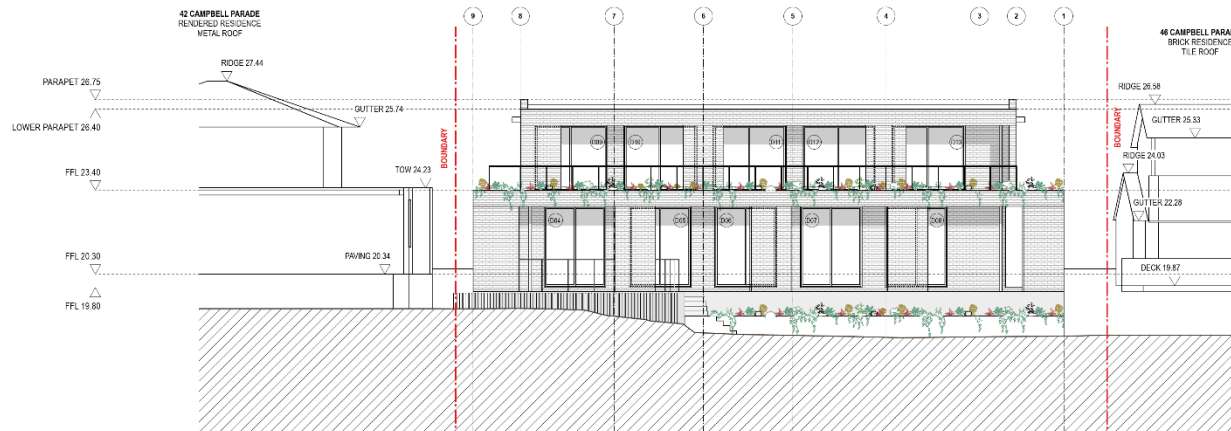
DESIGNER  
Robyn Storer  
PROJECT  
Manly Vale

PROJECT ADDRESS  
44 Campbell Parade,  
Manly Vale

TITLE  
PLAN - PROPOSED ROOF PLAN  
DRAWING  
A212  
PROJECT NO.  
2403  
SCALE @ A1  
1:75  
DESIGNER  
MB  
CHECKED  
TB  
REV  
B



1 PROPOSED ELEVATION - EAST  
Scale: 1:75 @ A1



2 PROPOSED ELEVATION - NORTH  
Scale: 1:75 @ A1

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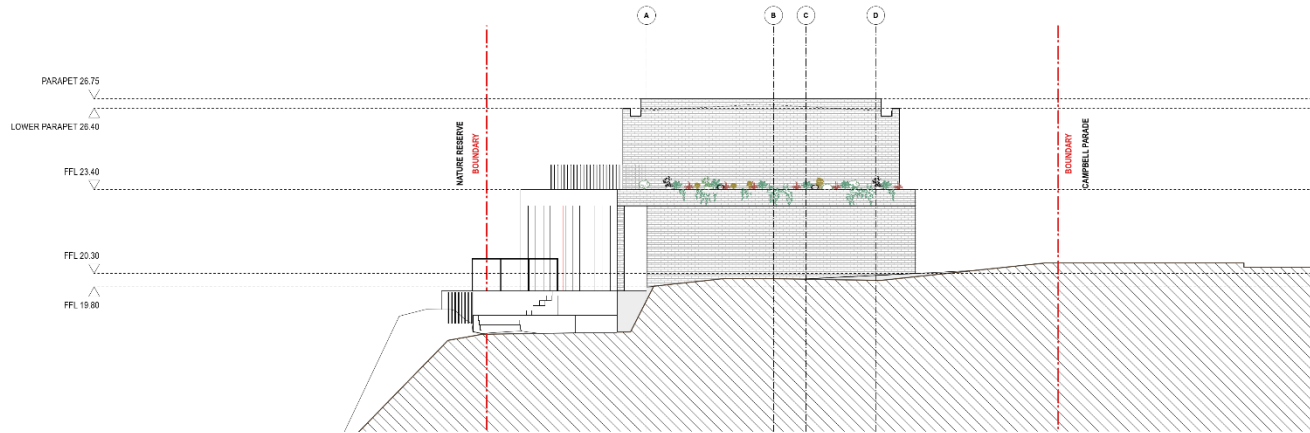


REV DATE DESCRIPTION  
A 08/02/25 Preliminary DA  
B 14/02/25 DA Submission

CLIENT  
Robyn Storer  
PROJECT  
Manly Vale

PROJECT ADDRESS  
44 Campbell Parade,  
Manly Vale

**ELEVATIONS - NORTH + EAST**  
DWG NO: A301  
PROJECT NO: 2403  
SCALE: 1:75  
DESIGN: MB  
CHECKED: TB  
REV: B



1 **PROPOSED ELEVATION - WEST**  
Scale: 1:75 @ A1



2 **PROPOSED ELEVATION - SOUTH**  
Scale: 1:75 @ A1

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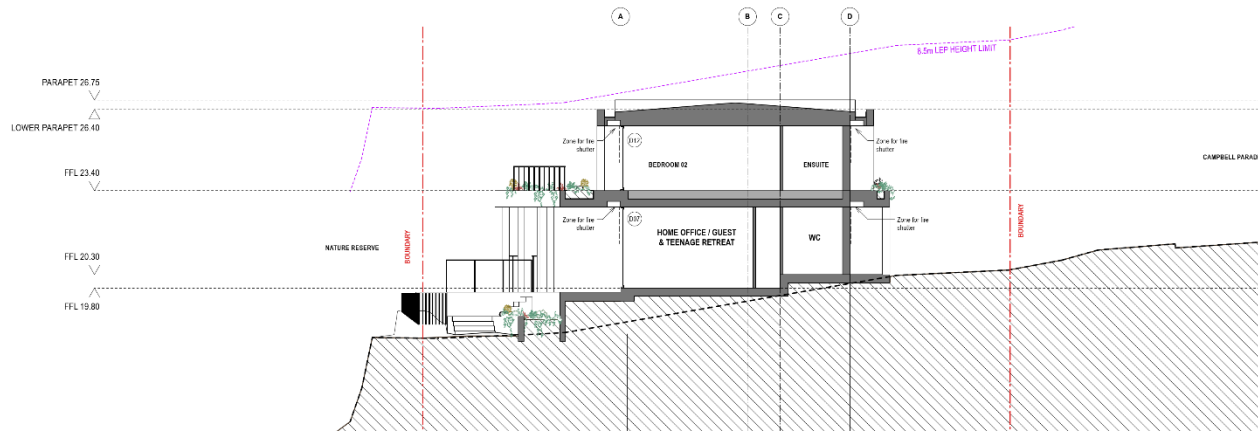


REV DATE DESCRIPTION  
A 18/02/2025 Preliminary DA  
B 14/02/2025 DA Submission

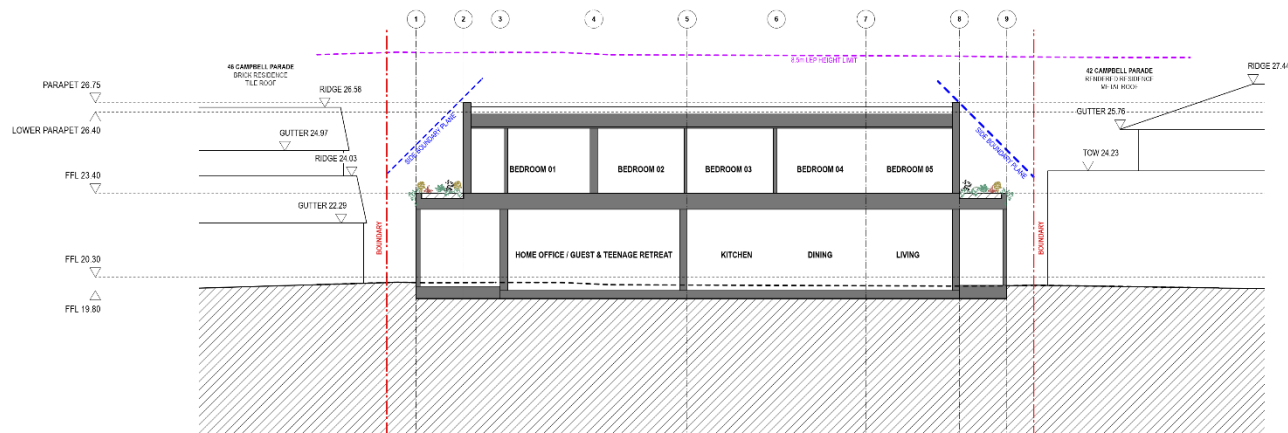
CLIENT  
Robyn Storer  
PROJECT  
Manly Vale

PROJECT ADDRESS  
44 Campbell Parade,  
Manly Vale

TITLE  
**ELEVATIONS - SOUTH + WEST**  
DWG NO  
A302  
PROJECT NO.  
2403  
SCALE @ A1  
1:75  
DESIGN  
MB  
CHECKED  
TB  
REV  
B



1 **PROPOSED SECTION - CROSS**  
Scale : 1:75 @ A1



2 **PROPOSED SECTION - LONG**  
Scale : 1:75 @ A1

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AND DEVELOPMENT CONSENT CONDITIONS.



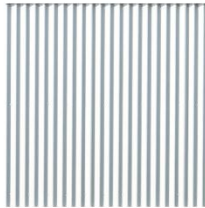
**REV** **DATE** **DESCRIPTION**  
A 16/03/2025 Preliminary DA  
B 14/02/2025 DA Submission

**TITLE**  
**Robyn Storer**  
**PROJECT**  
**Manly Vale**

**PROJECT ADDRESS**  
**44 Campbell Parade,**  
**Manly Vale**

**SECTIONS - PROPOSED**  
**DWG NO** **A401**  
**PROJECT NO** **2403**  
**SCALE** **1:75**  
**DESIGN** **MB**  
**CHECKED** **TB**  
**REV** **B**





**RFS-101**  
GREY METAL ROOF



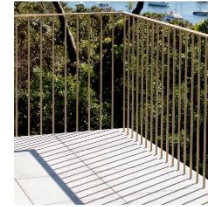
**BRK-101**  
LIGHT BRICK /  
LIGHT PAINTED BRICK



**WD-01**  
ALUMINIUM FRAMED GLASS  
WINDOWS & DOORS



**CON-101**  
GREY CONCRETE / RENDER  
or BRK-101



**AMW-101**  
METAL BALUSTRADE



**GREEN ROOF**  
THE GREEN WALL ECO PILLOW SYSTEM  
OR EQUIVALENT



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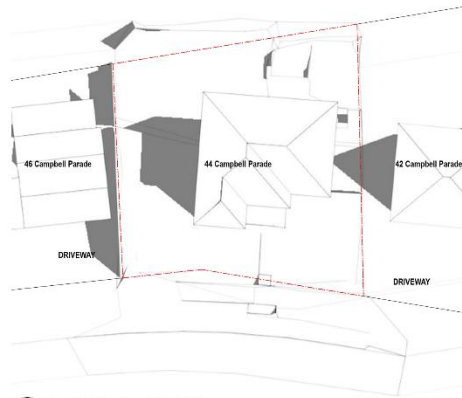


**REV** **DATE** **DESCRIPTION**  
A 16/03/2025 Preliminary DA  
B 14/02/2025 DA Submission

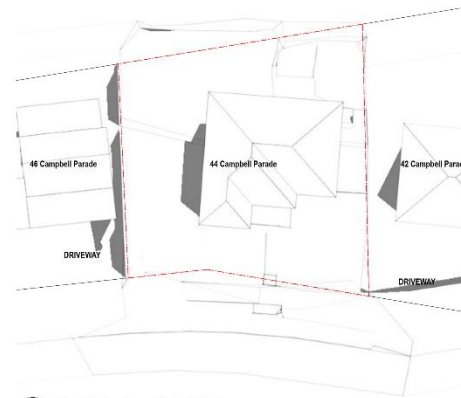
**CLIENT**  
Robyn Storer  
**PROJECT**  
Manly Vale

**PROJECT ADDRESS**  
44 Campbell Parade,  
Manly Vale

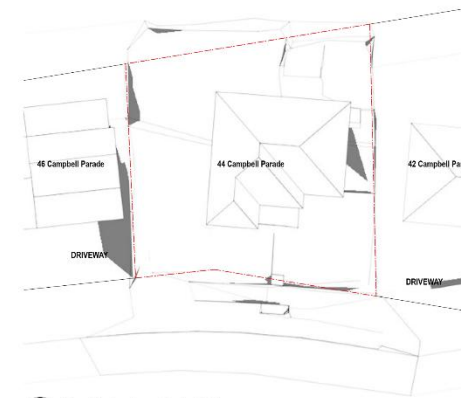
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**MATERIAL PALETTE**  
**DRWG NO.** A501 **PROJECT NO.** 2403 **SCALE 1:1** 1:50 **DESIGN** MB **CHECKED** TB **REV** B



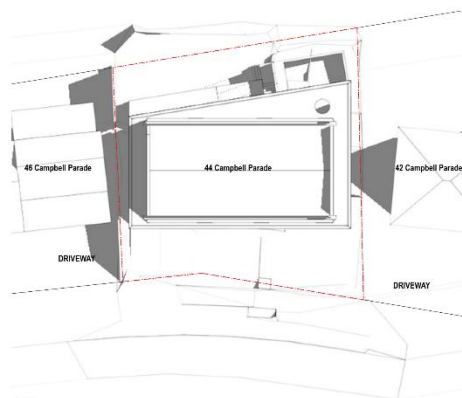
1 Sun Study - June 21st - 9:00am  
Scale: 1:200 @ A1



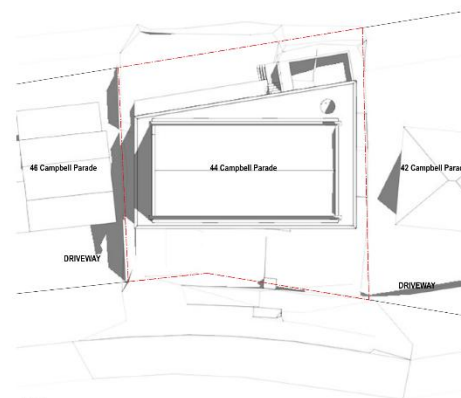
2 Sun Study - June 21st - 12:00pm  
Scale: 1:200 @ A1



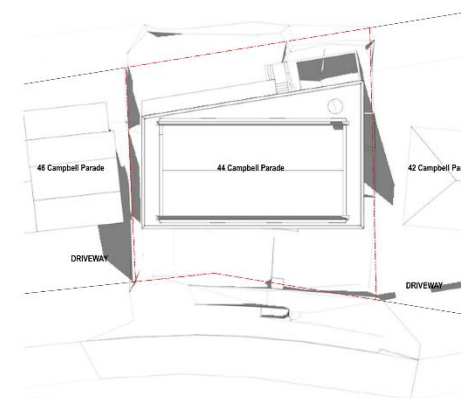
3 Sun Study - June 21st - 3:00pm  
Scale: 1:200 @ A1



4 Sun Study - June 21st - 9:00am  
Scale: 1:200 @ A1



5 Sun Study - June 21st - 12:00pm  
Scale: 1:200 @ A1



6 Sun Study - June 21st - 3:00pm  
Scale: 1:200 @ A1

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WORK. DO NOT SCALE FROM DRAWINGS. ALL DIMENSIONS WORKS TO BE IN  
ACCORDANCE WITH THE SWAY AND VOLUME 1 DIMENSIONS, 1000/000A  
DEVELOPMENT CONSENT CONDITIONS.

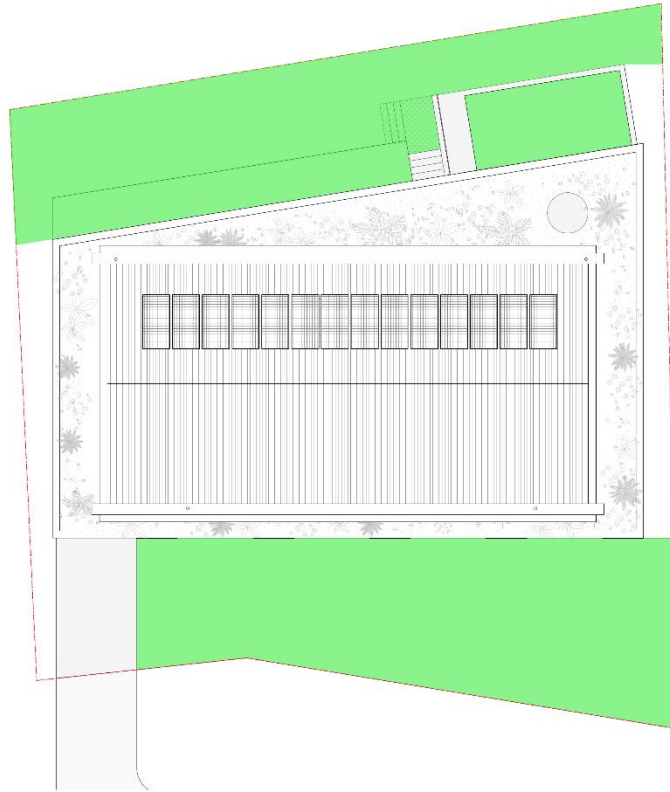


**REV** **DATE** **DESCRIPTION**  
A 16/05/2025 Preliminary DA  
B 14/05/2025 DA Submission

**TITLE**  
Robyn Storer  
**PROJECT**  
Manly Vale

**PROJECT ADDRESS**  
44 Campbell Parade,  
Manly Vale

**SHADOW DIAGRAMS**  
**DWG NO** A502  
**PROJECT NO** 2403  
**SCALE @ A1** 1:200  
**DESIGN** MB  
**CHECKED** TB  
**REV** B



1 PLAN - PROPOSED LANDSCAPE AREA  
Scale: 1:75 @ A1

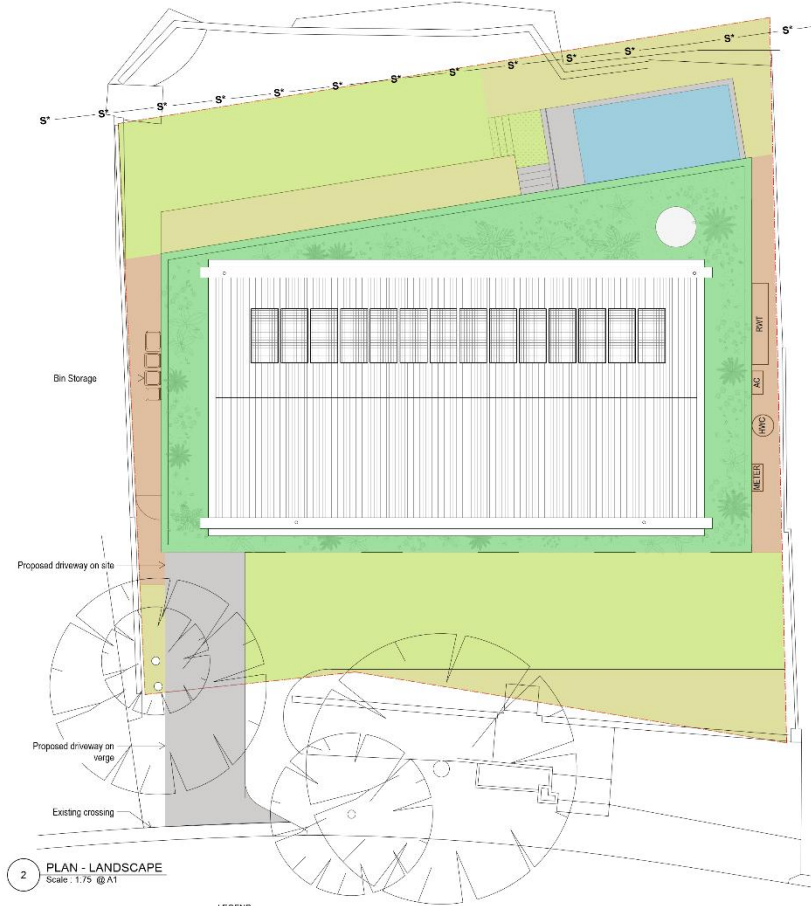
LEGEND

LANDSCAPE AREA >2M 221 sqm SITE AREA: 556 sqm  
LANDSCAPE AREA >2M 40% OF SITE AREA

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2 PLAN - LANDSCAPE  
Scale: 1:75 @ A1

LEGEND

POOL LAWN  
GRAVEL NATIVE LOW SHRUBS & GROUND COVERS (Species selected from NBC Native Planting Guide - Marry Ward)  
CONCRETE GREEN ROOF (Species selected from NBC Native Planting Guide - Marry Ward)

REV DATE DESCRIPTION  
A 16/03/2025 Preliminary DA  
B 14/02/2025 DA Submission

CLIENT  
Robyn Storer  
PROJECT  
Marry Vale

PROJECT ADDRESS  
44 Campbell Parade,  
Marry Vale

PROJECT  
PLAN - PROPOSED LANDSCAPE  
DRAWING NO. A503  
PROJECT NO. 2403  
SCALE @ A1 1:75  
DESIGNED BY MB  
CHECKED BY TB  
REV. BY B