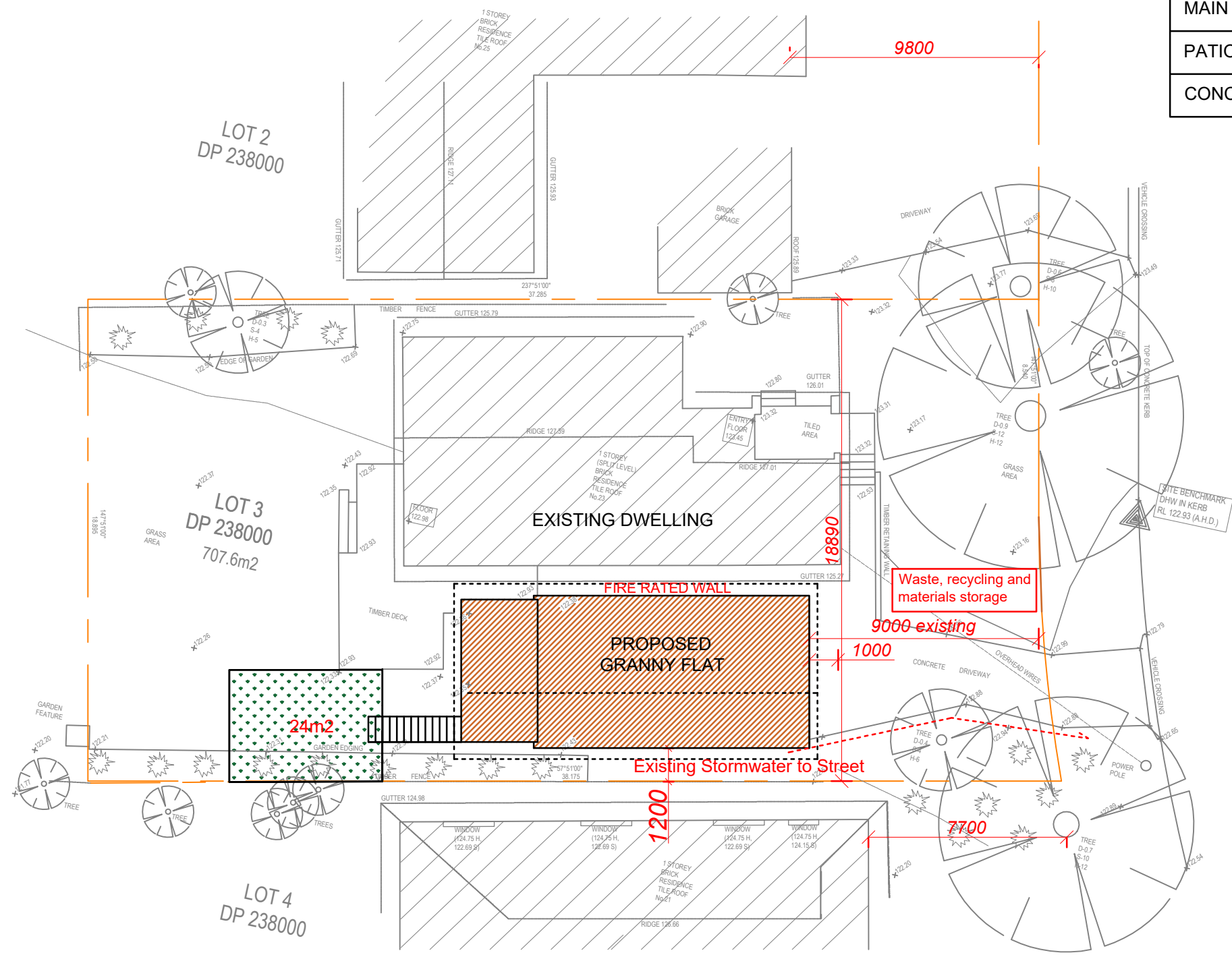


SEDIMENT FENCE DETAIL
NOT TO SCALE



CALOOL CRESCENT

TOTAL SITE AREA - m2 approx	707.60
EXISTING DWELLING	132.00
EXISTING OTHER STRUCTURES	54.70
EXISTING DRIVEWAY/PATHS	102.00
TOTAL EXISTING IMPERVIOUS	288.70
EXISTING HARD SURFACE BUILT OVER	45.00
BALANCE IMPERVIOUS AREA	243.70
PROPOSED GRANNY FLAT	60.00
PROPOSED BALCONY	16.20
PROPOSED GARAGE ADDITION	36.00
TOTAL PROPOSED IMPERVIOUS AREA	279.70
TOTAL PROPOSED LANDSCAPE AREA	427.90

	39.53	%
	60.47	%

Site Plan / Site Analysis

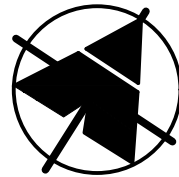
Site Plan: 1 : 200

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AMENDMENT	ISSUE	PROPOSED	FOR
12/02/20	PRELIMINARY ISSUE	GRANNY FLAT/GARAGE	GLEN CAIRNCROSS
		AT SITE ADDRESS	
		23 CALOOL CRESCENT, BELROSE	
		DRAWING	
		SITE PLAN/SITE ANALYSIS	
		LOT NO	DP
		3	238000
		DATE	SCALE
		12/02/20	1 : 200
		PROJECT NO	DRAWING NO
		CD-280/19	CD-280/19-V1
		SHEET NO	
		1 OF 6	

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BASIX INFORMATION

All Proposed Construction works shall be in accordance with Basix Certificate Issued

Note : Refer to BASIX drawing page for details

ALL WORK TO BE CARRIED OUT IN ACCORDANCE

WITH THE "BUILDING CODE OF AUSTRALIA - VOLUME 2" & TO COMPLY WITH THE FOLLOWING & ANY OTHER RELEVANT AUSTRALIAN STANDARD ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT

TERMITE TREATMENT - Carried out in accordance with **AS 3660.1 - 2000**

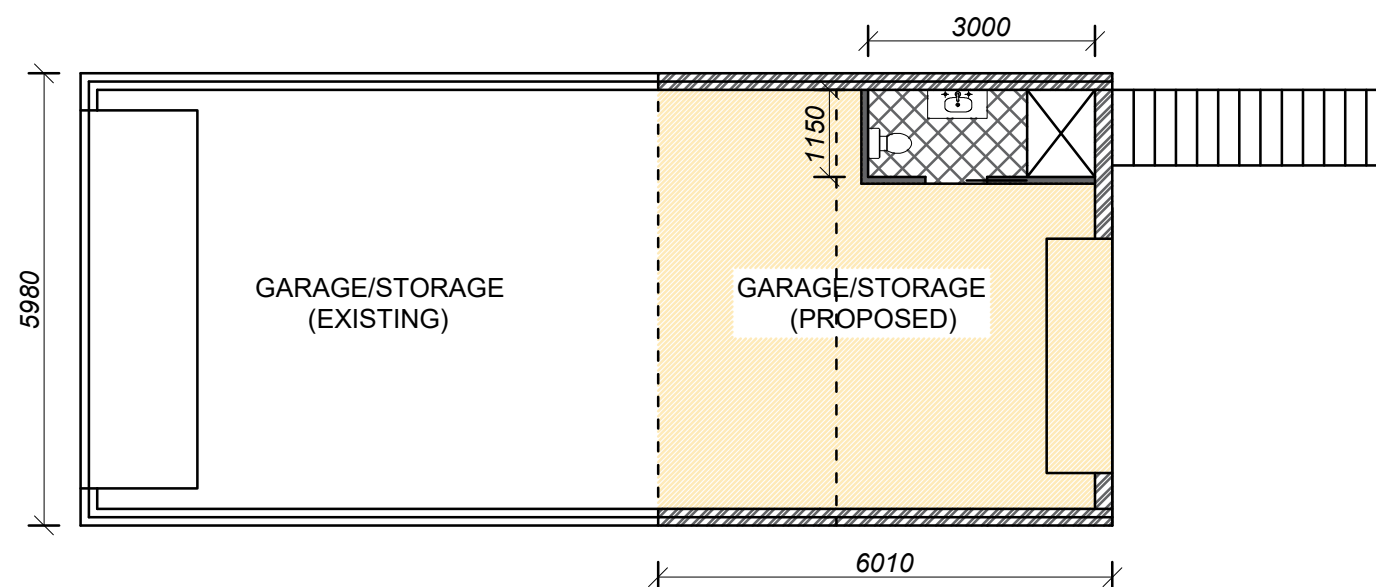
TIMBER FRAMING - Carried out in accordance with **AS 1684**

STORMWATER - Carried out in accordance with **AS/NZ 3500.3 - 2015**

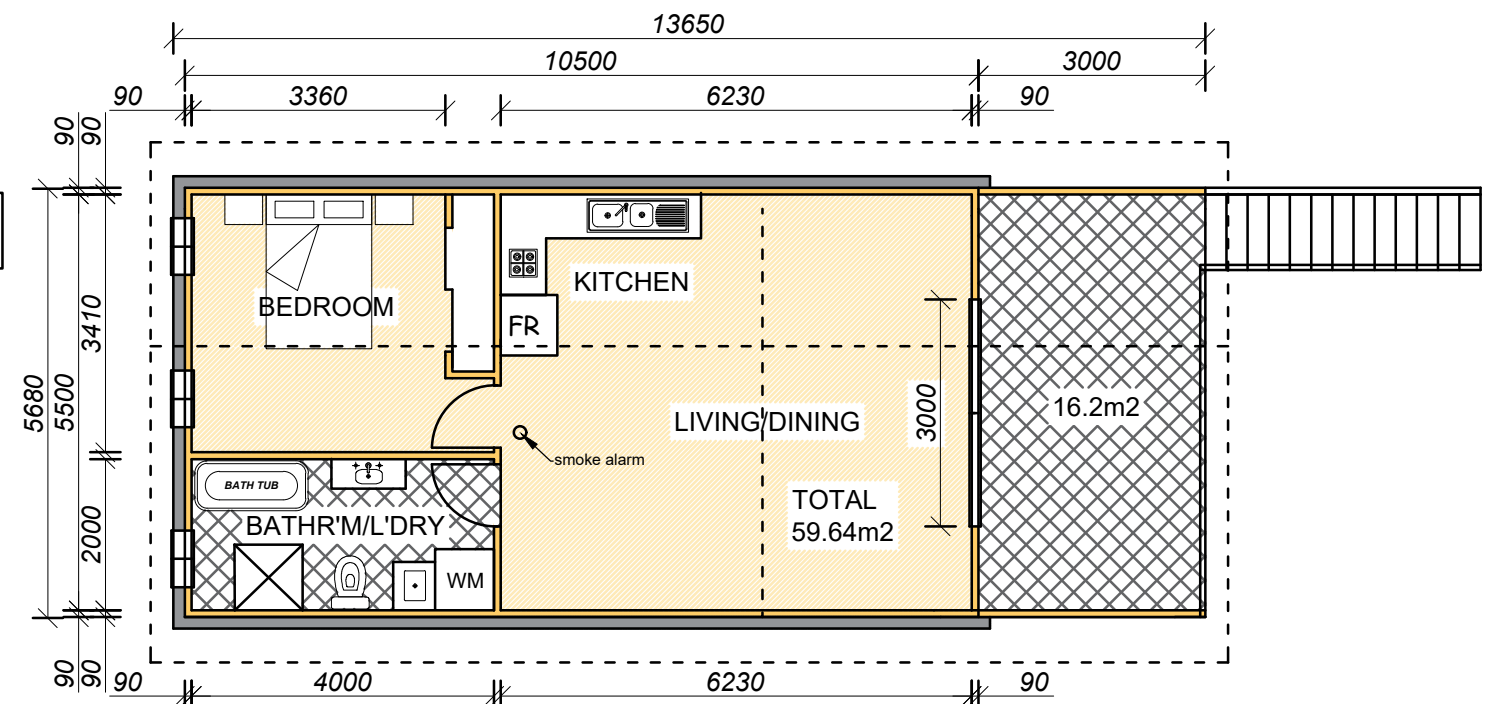
WINDOWS/GLAZED DOORS - Supplied/Installed in accordance with **AS 2047 - 2014**

SMOKE ALARMS - Supplied/Installed in accordance with **AS 3786 - 1993**

CONCRETE - Supplied/Installed in accordance with **AS 2870**



FLOOR PLAN-LOWER



FLOOR PLAN-UPPER

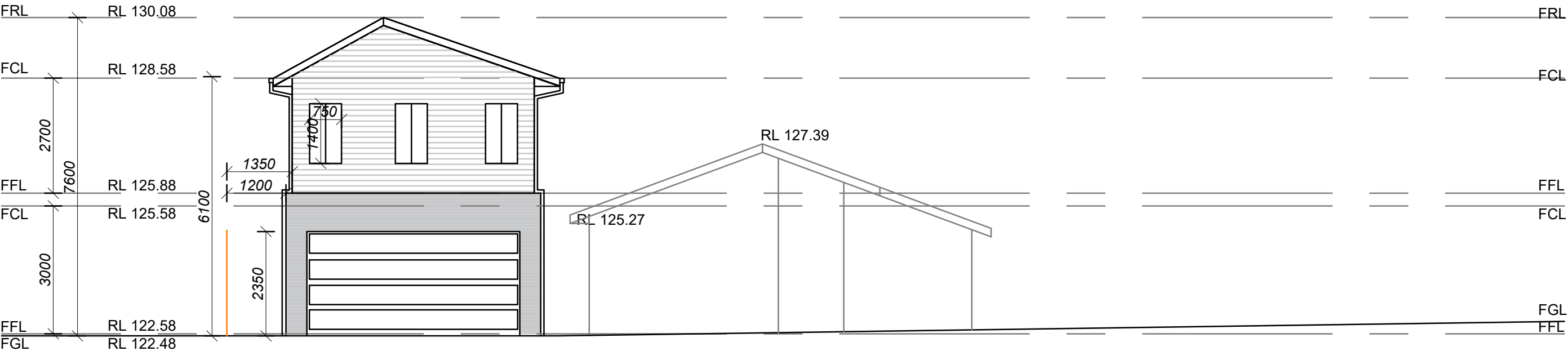
NOTE : ALL CONSTRUCTION/MATERIALS TO MEET THE REQUIREMENTS FOR BAL CONSTRUCTION

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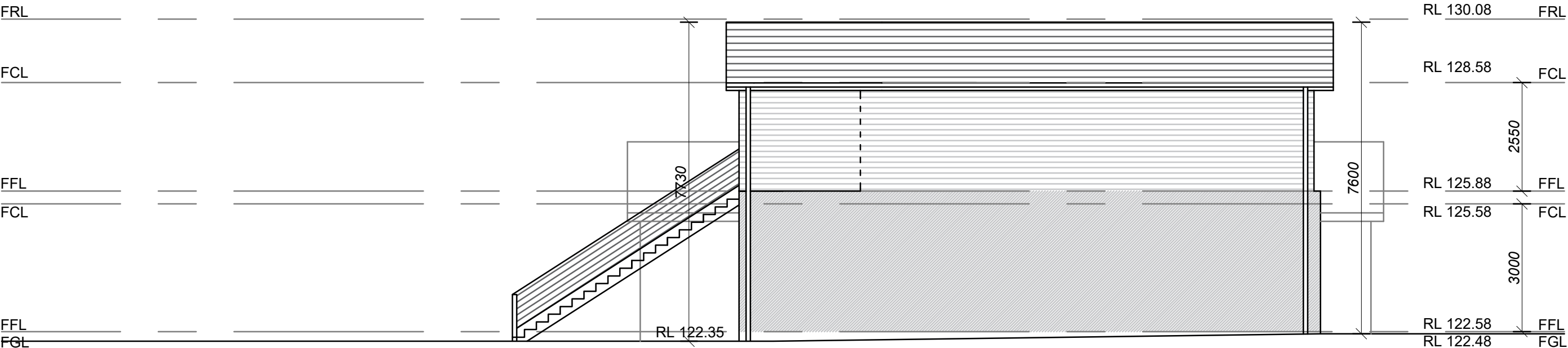
12/02/20	PRELIMINARY ISSUE	A	PROPOSED	GRANNY FLAT/GARAGE	FOR	GLEN CAIRNCROSS
DATE	FINAL ISSUE		AT SITE ADDRESS	23 CALOOL CRESCENT, BELROSE		
NOTE : ALL MEASUREMENTS ARE TO BE CONFIRMED ON SITE PRIOR TO ORDERING/CONSTRUCTION ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODES DIAL BEFORE YOU DIG IS RECOMMENDED			DRAWING	FLOOR PLAN	LOT NO	3
			DATE	12/02/20	SCALE	1:100
			PROJECT NO	CD-280/19	DRAWING NO	CD-280/19-V1
			DP	238000	SHEET NO	2 OF 6

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EAST ELEVATION



SOUTH ELEVATION

BASIX INFORMATION

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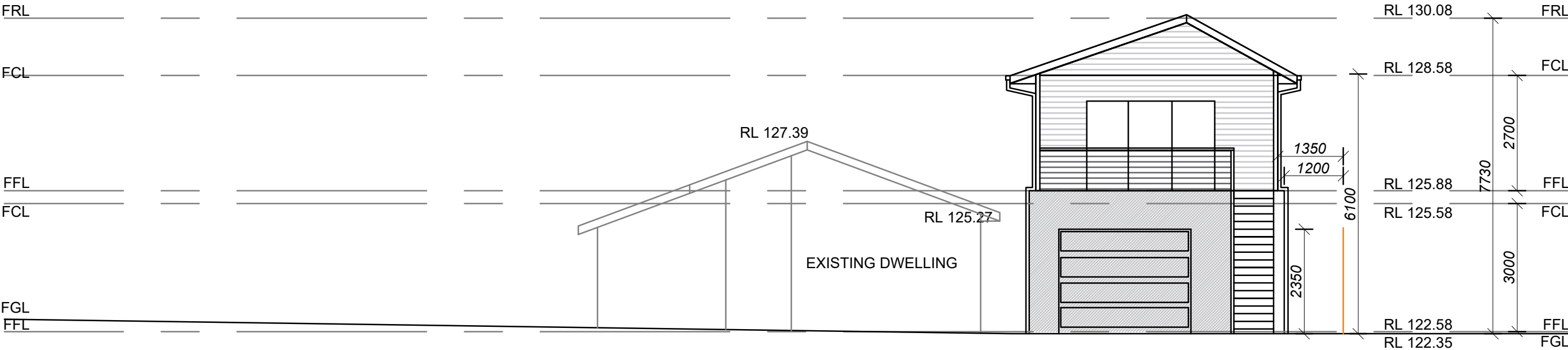
Note : Refer to BASIX drawing page for details

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14/02/18	PRELIMINARY ISSUE	A	PROPOSED	FOR		
DATE	FINAL ISSUE		GRANNY FLAT/GARAGE	GLEN CAIRNCROSS		
			AT SITE ADDRESS	23 CALOOL CRESCENT, BELROSE		
			DRAWING	LOT NO	DP	
			ELEVATIONS-1	3	238000	
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			12/02/20	1:100	CD-280/19	CD-280/19-V1
					SHEET NO	3 OF 6

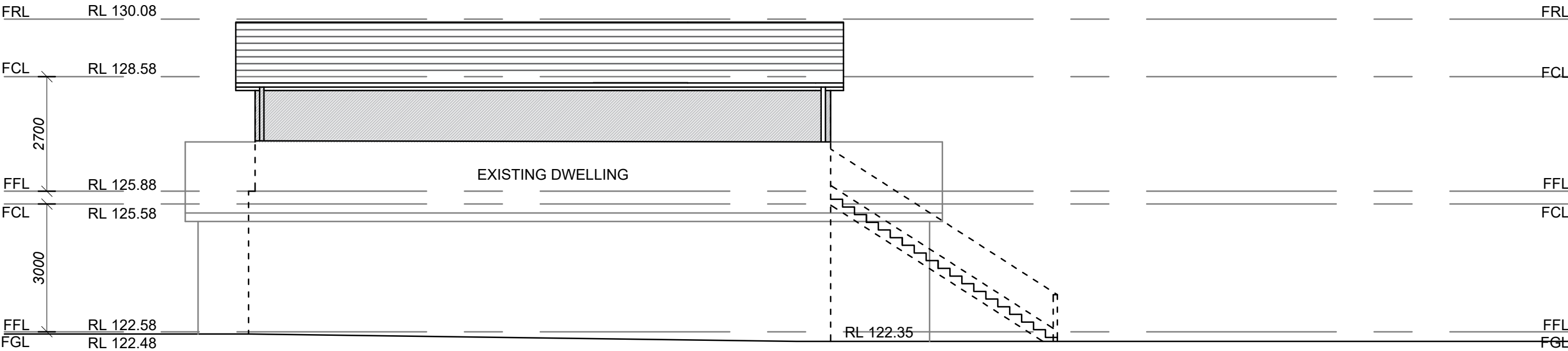
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WEST ELEVATION



NORTH ELEVATION

BASIX INFORMATION

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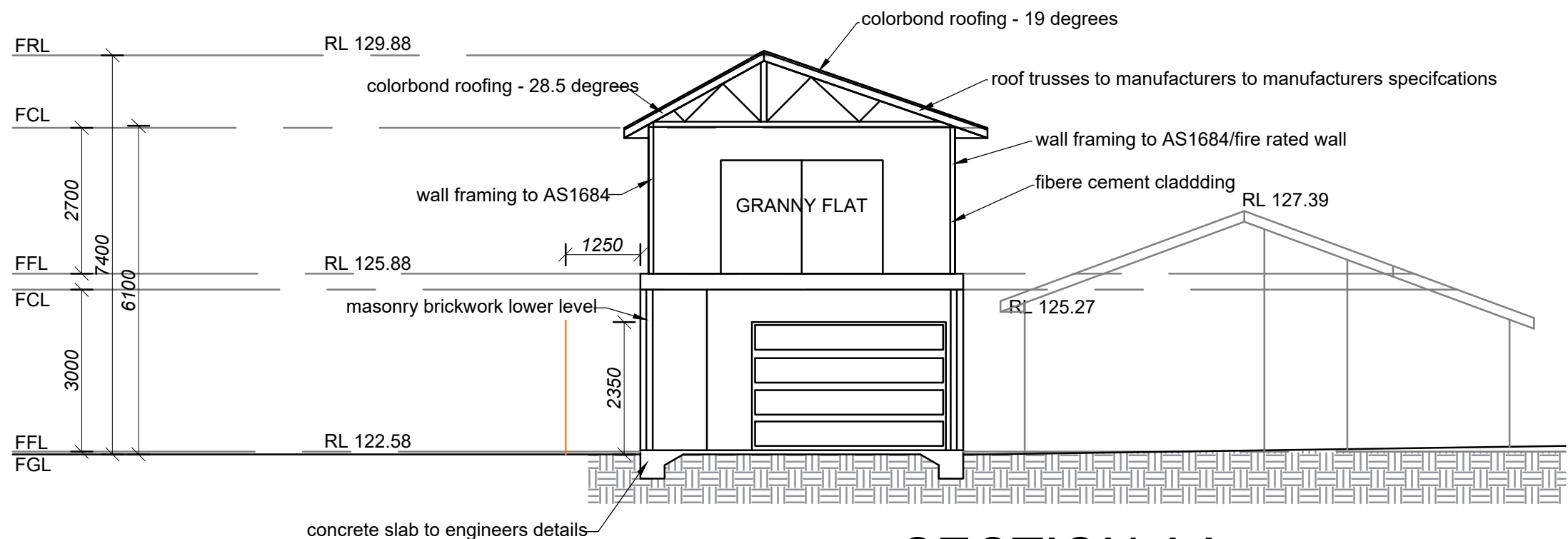
Note : Refer to BASIX drawing page for details

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14/02/18	PRELIMINARY ISSUE	A	PROPOSED	FOR
DATE	FINAL ISSUE		GRANNY FLAT/GARAGE	GLEN CAIRNCROSS
AT SITE ADDRESS				
23 CALOOL CRESCENT, BELROSE				
DRAWING			LOT NO	DP
ELEVATIONS-2			3	238000
DATE	SCALE	PROJECT NO	DRAWING NO	SHEET NO
12/02/20	1:100	CD-280/19	CD-280/19-V1	3 OF 6

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SECTION AA

BASIX INFORMATION

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Note : Refer to BASIX drawing page for details

NOTE : ALL CONSTRUCTION/MATERIALS TO MEET THE REQUIREMENTS FOR BAL CONSTRUCTION

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14/02/18	PRELIMINARY ISSUE	A	PROPOSED	FOR
DATE	FINAL ISSUE		GRANNY FLAT/GARAGE	GLEN CAIRNCROSS
AT SITE ADDRESS				
23 CALOOL CRESCENT, BELROSE				
DRAWING			LOT NO	DP
SECTION			3	238000
DATE	SCALE	PROJECT NO	DRAWING NO	SHEET NO
12/02/20	1:100	CD-280/19	CD-280/19-V1	5 OF 6

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Description of project

Project address	
Project name	BELROSE
Street address	23 CALOOL Crescent BELROSE 2085
Local Government Area	Northern Beaches Council
Plan type and plan number	Deposited Plan 238000
Lot no.	3
Section no.	-
Project type	
Project type	unit
No. of bedrooms	1
Site details	
Site area (m²)	850
Roof area (m²)	75
Conditioned floor area (m2)	55.0
Unconditioned floor area (m2)	5.0
Total area of garden and lawn (m2)	100

Assessor details and thermal loads			
Assessor number	n/a		
Certificate number	n/a		
Climate zone	n/a		
Area adjusted cooling load (MJ/m².year)	n/a		
Area adjusted heating load (MJ/m².year)	n/a		
Project score			
Water	✔ 40	Target 40	
Thermal Comfort	✔ Pass	Target Pass	
Energy	✔ 99	Target 50	

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 4000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 80 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• all toilets in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
General features			
The dwelling must not have more than 2 storeys.	✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.	✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✓	✓	✓
The dwelling must not contain third level habitable attic room.	✓	✓	✓
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓

Construction	Additional insulation required (R-Value)	Other specifications
floor - suspended floor above garage, framed	nil	
external wall - framed (weatherboard, fibre cement, metal clad)	3.00 (or 3.40 including construction)	
ceiling and roof - flat ceiling / pitched roof	ceiling: 4.5 (up), roof: foil/sarking	unventilated; medium (solar absorptance 0.475-0.70)

Note	• Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.
Note	• In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Windows, glazed doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:	✓	✓	✓
• For the following glass and frame types, the certifier check can be performed by visual inspection.			✓
• Aluminium single clear			
• Aluminium double (air) clear			
• Timber/uPVC/fibreglass single clear			
• Timber/uPVC/fibreglass double (air) clear			

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
East facing					
W01	1400	750	aluminium, single, clear	none	not overshadowed
W02	1400	750	aluminium, single, clear	none	not overshadowed
W03	1400	750	aluminium, single, clear	none	not overshadowed
West facing					
W04	2100	3000	aluminium, single, clear	verandah 2500 mm, 2400 mm above base of window or glazed door	not overshadowed

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric storage.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 5 Star (old label)		✓	✓
The bedrooms must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 5 Star (old label)		✓	✓
The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: n/a		✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Laundry: natural ventilation only, or no laundry; Operation control: n/a		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
• at least 1 of the bedrooms / study; dedicated		✓	✓
• at least 1 of the living / dining rooms; dedicated		✓	✓
• the kitchen; dedicated		✓	✓

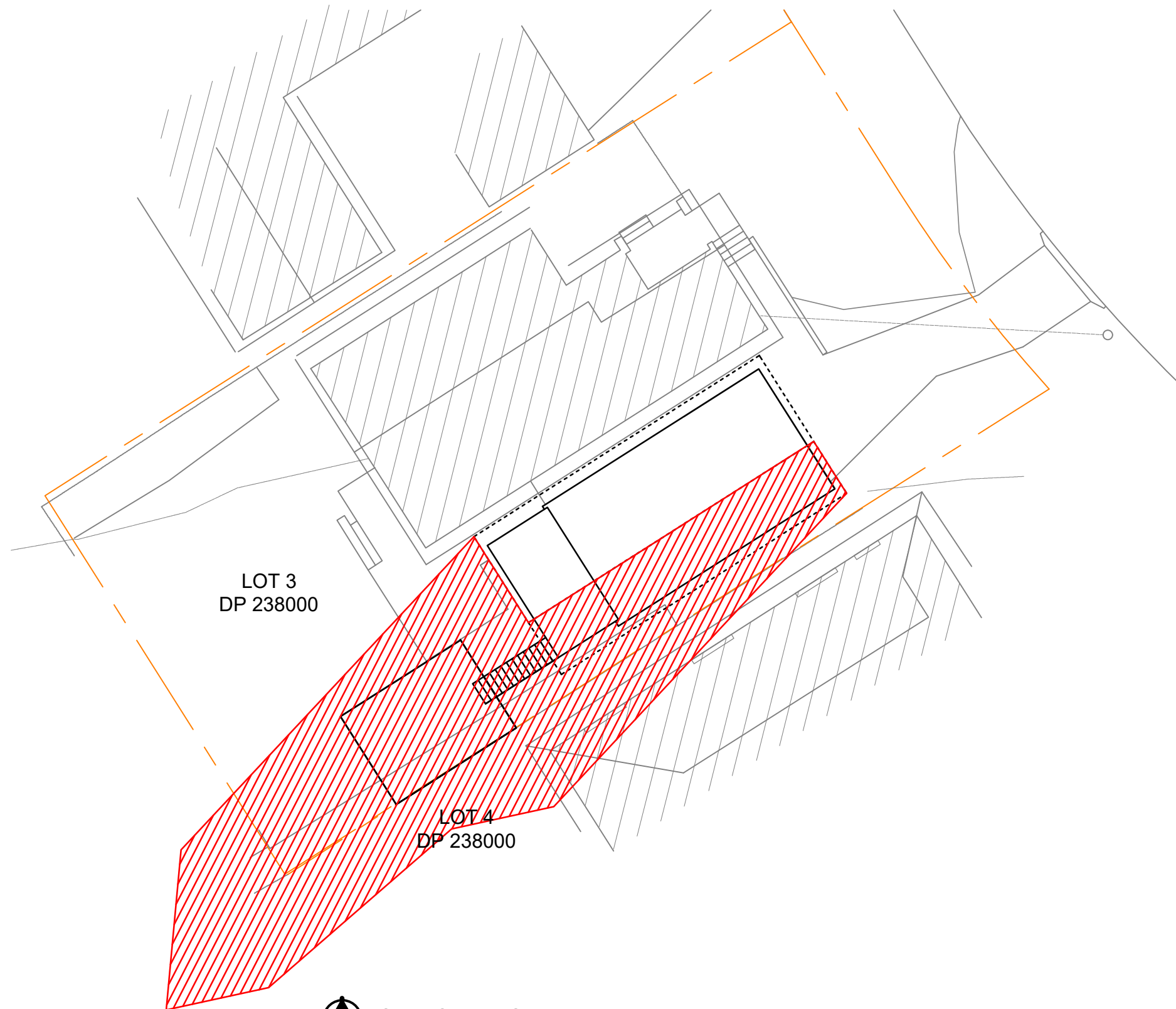
Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
• all bathrooms/toilets; dedicated		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Alternative energy			
The applicant must install a photovoltaic system with the capacity to generate at least 3 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.	✓	✓	✓
Other			
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	
The applicant must install a fixed indoor or sheltered clothes drying line as part of the development.		✓	

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DATE	FINAL ISSUE		GRANNY FLAT/GARAGE			GLEN CAIRNCROSS						
NOTE : ALL MEASUREMENTS ARE TO BE CONFIRMED ON SITE PRIOR TO ORDERING/CONSTRUCTION ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODES DIAL BEFORE YOU DIG IS RECOMMENDED			AT SITE ADDRESS									
			23 CALOOL CRESCENT, BELROSE									
			DRAWING				LOT NO		DP			
			BASIX				3		238000			
			DATE		SCALE		PROJECT NO		DRAWING NO		SHEET NO	
			12/02/20		1:100		CD-280/19		CD-280/19-V1		6 OF 6	

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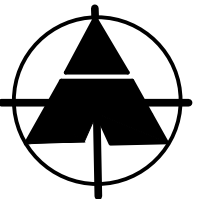


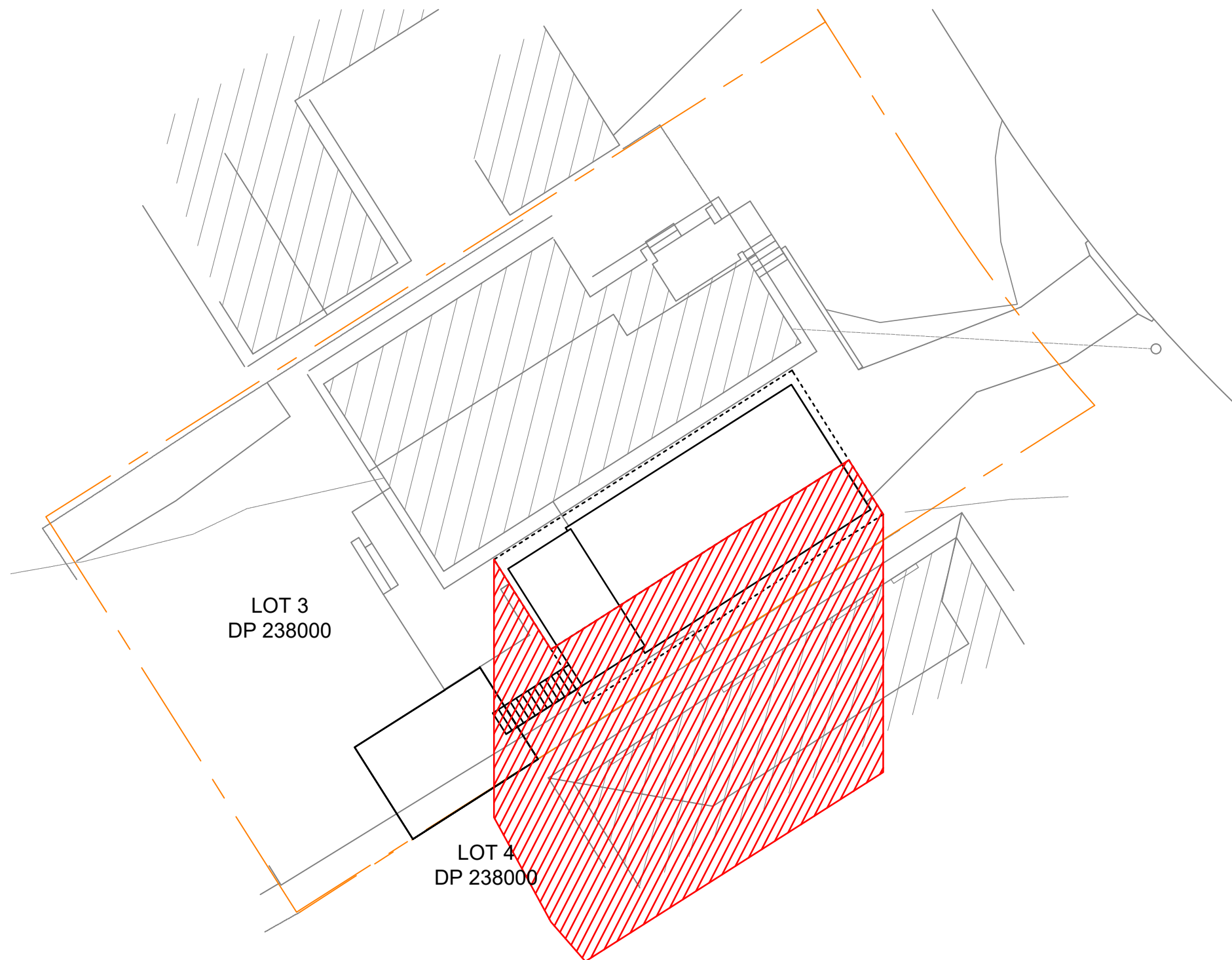
SHADOW DIAGRAM: 9 AM
Site Plan: 1 : 200

	AMENDMENT	ISSUE	PROPOSED			FOR	
12/09/20	PRELIMINARY ISSUE	A	GRANNY FLAT/GARAGE			GLEN CAIRNCROSS	
			AT SITE ADDRESS				
			23 CALOOL CRESCENT, BELROSE				
			DRAWING			LOT NO	DP
			SITE PLAN/SITE ANALYSIS			3	238000
			DATE	SCALE	PROJECT NO	DRAWING NO	SHEET NO
			12/09/20	1 : 200	CD-280/19	CD-280/19-V1	1 OF 3

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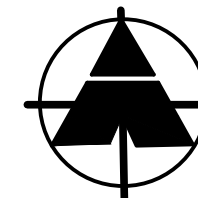
SHADOW DIAGRAM: 12 NN

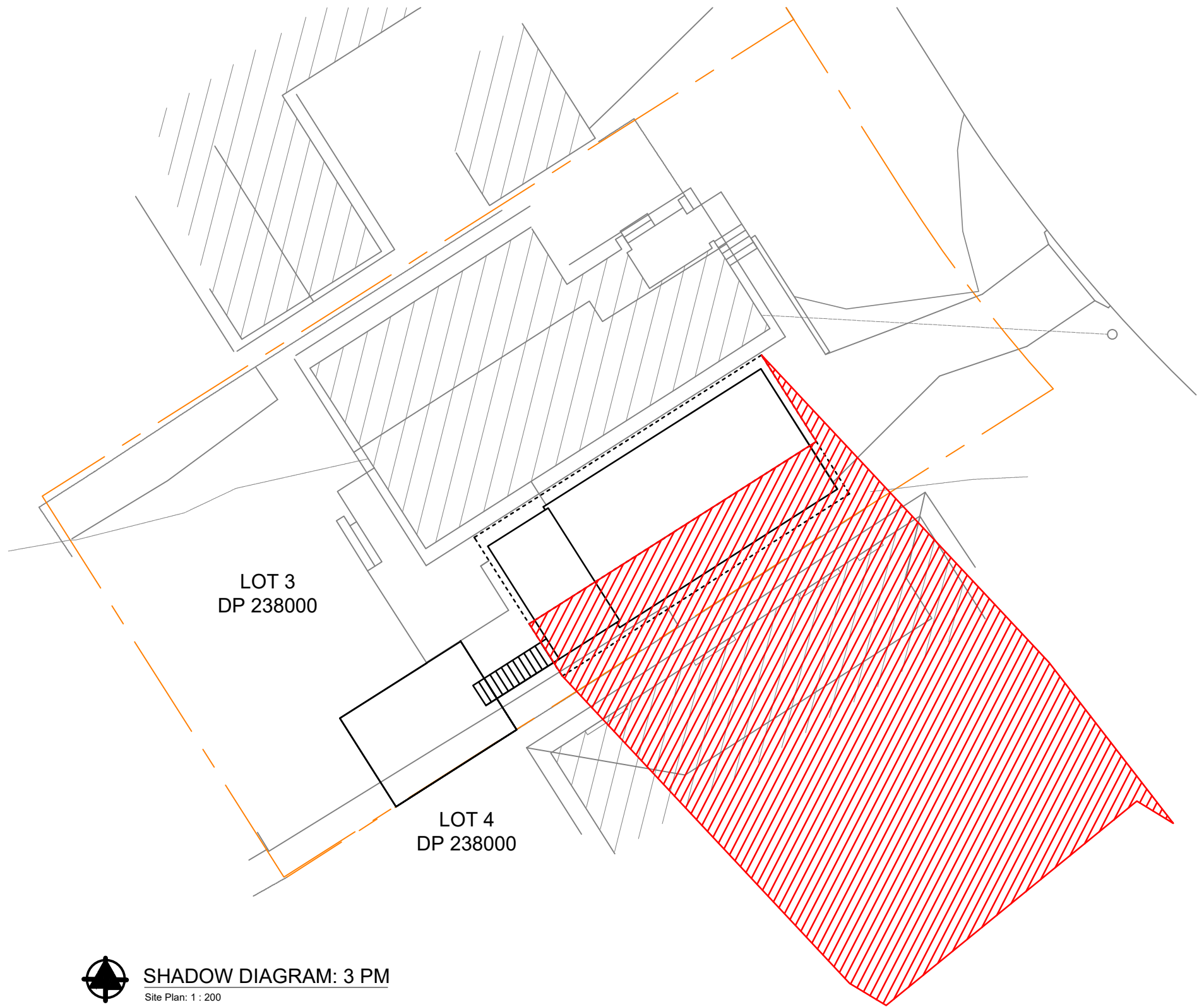
Site Plan: 1 : 200

	AMENDMENT	ISSUE	PROPOSED			FOR	
12/09/20	PRELIMINARY ISSUE	A	GRANNY FLAT/GARAGE			GLEN CAIRNCROSS	
			AT SITE ADDRESS				
			23 CALOOL CRESCENT, BELROSE				
			DRAWING			LOT NO	DP
			SHADOW DIAGRAM - 12NN			3	238000
			DATE	SCALE	PROJECT NO	DRAWING NO	SHEET NO
			12/09/20	1 : 200	CD-280/19	CD-280/19-V1	2 OF 3

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SHADOW DIAGRAM: 3 PM

Site Plan: 1 : 200

	AMENDMENT	ISSUE	PROPOSED			FOR	
12/09/20	PRELIMINARY ISSUE	A	GRANNY FLAT/GARAGE			GLEN CAIRNCROSS	
			AT SITE ADDRESS				
			23 CALOOL CRESCENT, BELROSE				
			DRAWING			LOT NO	DP
			SHADOW DIAGRAM - 3PM			3	238000
			DATE	SCALE	PROJECT NO	DRAWING NO	SHEET NO
			12/09/20	1 : 200	CD-280/19	CD-280/19-V1	3 OF 3

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