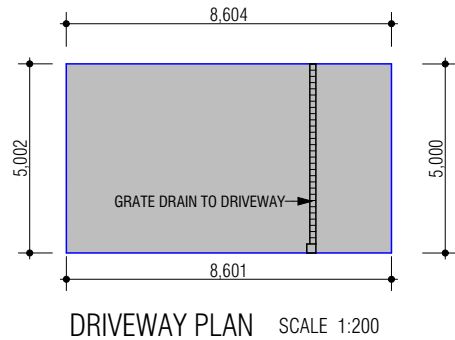
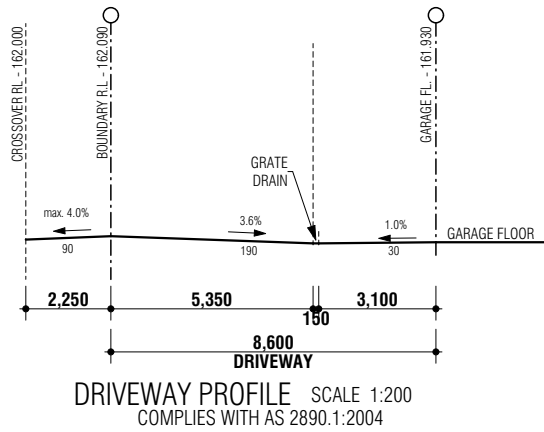


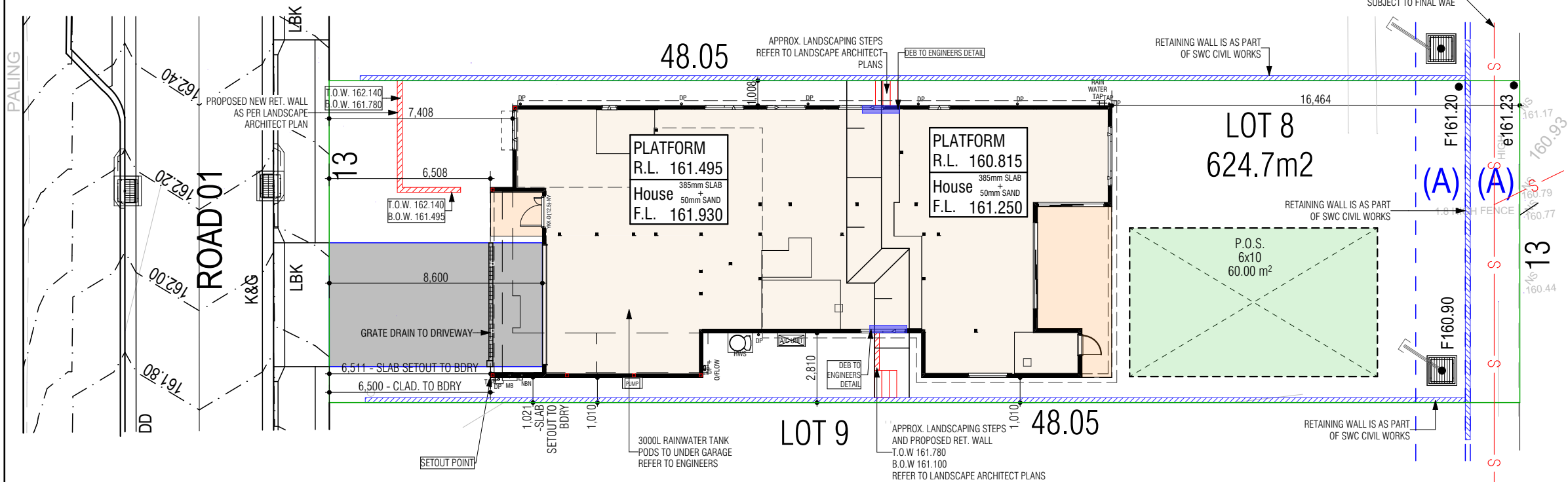
LOT NUMBER : 8	
SITE AREA :	624.7m <sup>2</sup>
DRIVEWAY AREA :	43.01m <sup>2</sup>
LANDSCAPED OPEN SPACE (MIN 40% OF SITE AREA) SITE AREA EXCL. DRIVEWAY, PAVEMENT PATHS, HOUSE & OPEN AREA <2m WIDE):	285.41m <sup>2</sup> - 45.69%
PRIVATE OPEN SPACE (MIN 60m <sup>2</sup> (MIN DIM. 5m) :	241.11 m <sup>2</sup>
SITE COVERAGE	(46.10%) - 287.95 m <sup>2</sup>
GF Total : (incl. driveway & path):	(9.80%) - 61.26 m <sup>2</sup>
FF Total :	



## (A) EASEMENT TO DRAIN WATER 2 WIDE



LOT 7



BASIX INFORMATION		The items shown here are the minimums required to pass BASIX. Should the Specification nominate a better performing item then use that item instead.	
Soft Landscaping area	285.41 sqm	Roof area total	279.2 sqm
Glazing	Wideline Aluminium framed windows	Window performance values as per NatHERS certificate	
Doors/windows/ clerestory	Default/Proxy values used for windows not available in HERO library	Given values are AFRC, total window system values (glass and frame)	
Window restrictors	Window restrictors are modelled in accordance with NCC 2022		
Roof	Metal roof & builders blanket, R value as per NatHERS Certificate		
Ceiling	Ceiling insulation value and locations as per NatHERS certificate.	Ceiling insulation must extend to the external wall.	
Wall & roof frames	120mm untreated softwood timber frames		
External Walls	External wall insulation values and locations as per NatHERS certificate		
Internal walls	Plasterboard on studs, insulation values and locations as per NatHERS certificate		
Floors	Concrete slab on ground with 225mm waffle pods	LVL timber floor between levels	
Ventilation	All external doors have draft protection and weather seals	All exhaust fans to have dampers	All downlights IC rated, maximum 1 per 5m2
Ceiling fans	Size and location as per NatHERS certificate		
General notes	Insulation Note: All insulations listed are product only values. All insulation and vapour membranes must be installed in accordance with ABCB Housing provisions Part 10.8 and Part 13.		
BASIX Water Commitments	Alternative Water		
Alternative Water	Tank size and connections as per BASIX certificate		
BASIX Energy Commitments	Hot water System		
Hot water System	Electric Heat Pump - 5.2 c.o.p. rating		
Heating system	1 phase air conditioning to living areas and bedrooms: EER 3.5-4.0		
Cooling system	1 phase air conditioning to living areas and bedrooms: EER 3.0-3.5		
Ventilation	Kitchen - Individual fan, externally ducted, manual on/off switch		
Other	Bathrooms - with window = Naturally vented, - without window = Fan externally ducted with switch interlocked with light & run-on timer.		
Alternative Energy	Laundry - With wind or door = Naturally Ventilated, otherwise ext ducted ex/fan		
Other	Induction cooktop & electric oven		
Alternative Energy	Outdoor clothes drying line		
Alternative Energy	PV system size as per BASIX certificate		
Alternative Energy	PV connected to the developments electrical system		

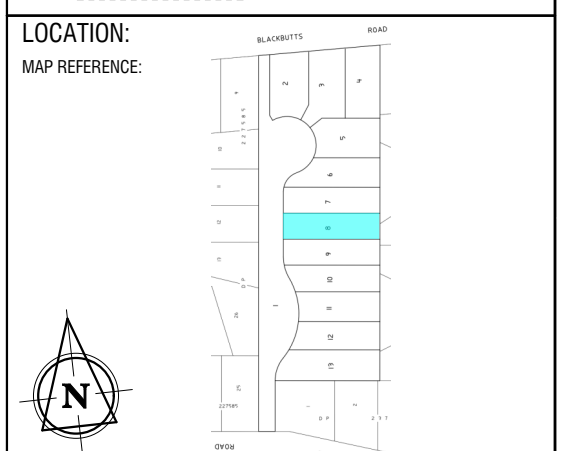
LEGEND		Trees to be removed prior to commencement of building operations.	
Existing Trees	○	New Trees	⊗
Stormwater Main	—	A.G. Drain	—
Stormwater Disposal	---	Sewer Pipe	— S —
Existing Fencing		Fencing by Contractor	—
Underground Power	— e —	Grated Drain	—
Overhead Power	— E —		
Stormwater to tank	---		
Stormwater disposal	---		

NOTE: MIN 200mm FREEBOARD  
SITE CUT & FILL LEVELS MAY VARY DUE TO SITE CONDITIONS.

### DETAILS

**DATUM:** RL Levels to AHD  
**CONTOUR INTERVALS:** 0.20 Metres  
**WATER CONNECTION:** (BY THE BUILDER)  
20mm line from water meter to entry point.  
**WASTE DISPOSAL:** (BY THE BUILDER)  
Connection to mains sewer in accordance with local authority requirements.  
**ROOFWATER DISPOSAL:** (BY THE BUILDER)  
Connection of downpipes to water tank and underground drain. Position of roofwater lines are indicative only and may vary depending on site.  
**POWER CONNECTION:**  
Installation to underground line by the builder. Connection of power to main line by Electricity Authority.  
**EARTHWORKS:** (BY THE BUILDER) AG Drains: 0 Metres  
Site scrape to remove vegetation / fill to create level building platform. Remove spoil from site. Earthworks indicated on the plan are for construction purposes only.  
**GAS CONNECTION:**  
Installation of underground line to mains by the builder. connection to mains by gas authority upon application by the owner.

LOCAL AUTHORITY: Northern Beaches Council	
TITLE PARTICULARS:	
LOT: 8	DIA/PLAN: -
VOL: -	PARISH: -
FOL: -	COUNTY: -

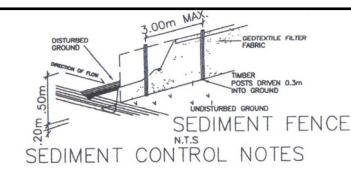


REV	AMENDMENT	BY	DATE
05	WO PLANS	MSS	24.01.2025
06	AMENDED DA, NEW SITE APPLIED LEVELS ADJUSTED AS PER SWC	MSS	25.02.2025
07	PCV#2 - GARAGE DOOR HEIGHT REDUCTION	SA	14.03.2025
08	PCV#3 - AC ROOF UNIT RELOCATION, TO MEET TRUSS DESIGN REQUIREMENTS	MSS	17.03.2025
09	HWS & AC SYSTEM SWAPPED, RTRN AIR MOVED AND R/A ADDED TO GF CEILING, FF AC VOID RED. DELETION OF PRINCIPAL AC VOID	MSS	17.03.2025
10	DA Rfis + PCV#4: COUNCIL REQUIREMENTS	SA	29.04.2025
11	SITE PLAN HAS DA APPROVED CIVILS APPLIED + FLOOR WASTES REMOVED FROM ALL WET AREAS EXCL. SHOWERS	SA	12.05.2025
12	DA PLAN AMENDED AS PER SWC CIVILS DATED 6.05.25	SA	20.05.2025

ADDRESS: LOT 8 ROAD NO.1 FRENCHS FOREST NSW	
SHAWOOD	
68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 02 8817 1400	
Sekisui House Services (NSW) Pty Limited	
ABN: 42119550220. BL: 226045C.	

SITE PLAN			
FR03		F02	ALTERATION ISSUE
TYPE	ACCOM	FACADE	GENERAL ISSUE
CONTRACT No: NM105567			23
MASTER DESIGN			ISSUE
MSS			NA
PAGE: 29			DA-1
SCALE: 1:200, 1:1			





- SEDIMENT CONTROL NOTES**
1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW
  2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
  3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE X 300mm DEEP TRENCH.
  4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60 % FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
  5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
  6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.
  7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.

**LEGEND**

Existing Trees	New Trees	Trees to be removed prior to commencement of building operations.
Stormwater Main	Stormwater Disposal	A.G. Drain
Existing Fencing	Underground Power	Sewer Pipe
Overhead Power	Stormwater to tank	Fencing by Contractor
Stormwater disposal		Grated Drain

NOTE: MIN 200mm FREEBOARD  
SITE CUT & FILL LEVELS MAY VARY DUE TO SITE CONDITIONS.

**DETAILS**

**DATUM:** RL Levels to AHD

**CONTOUR INTERVALS:** 0.20 Metres

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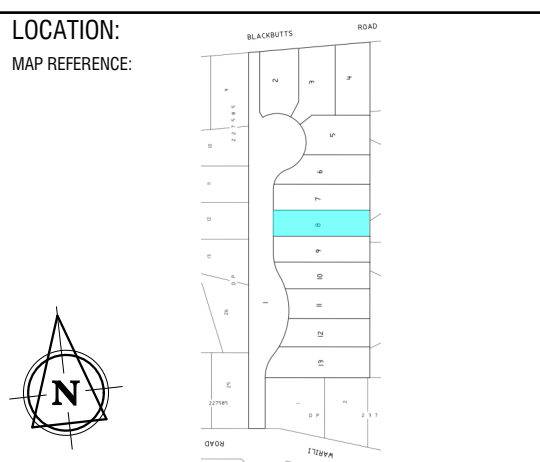
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**GAS CONNECTION:**  
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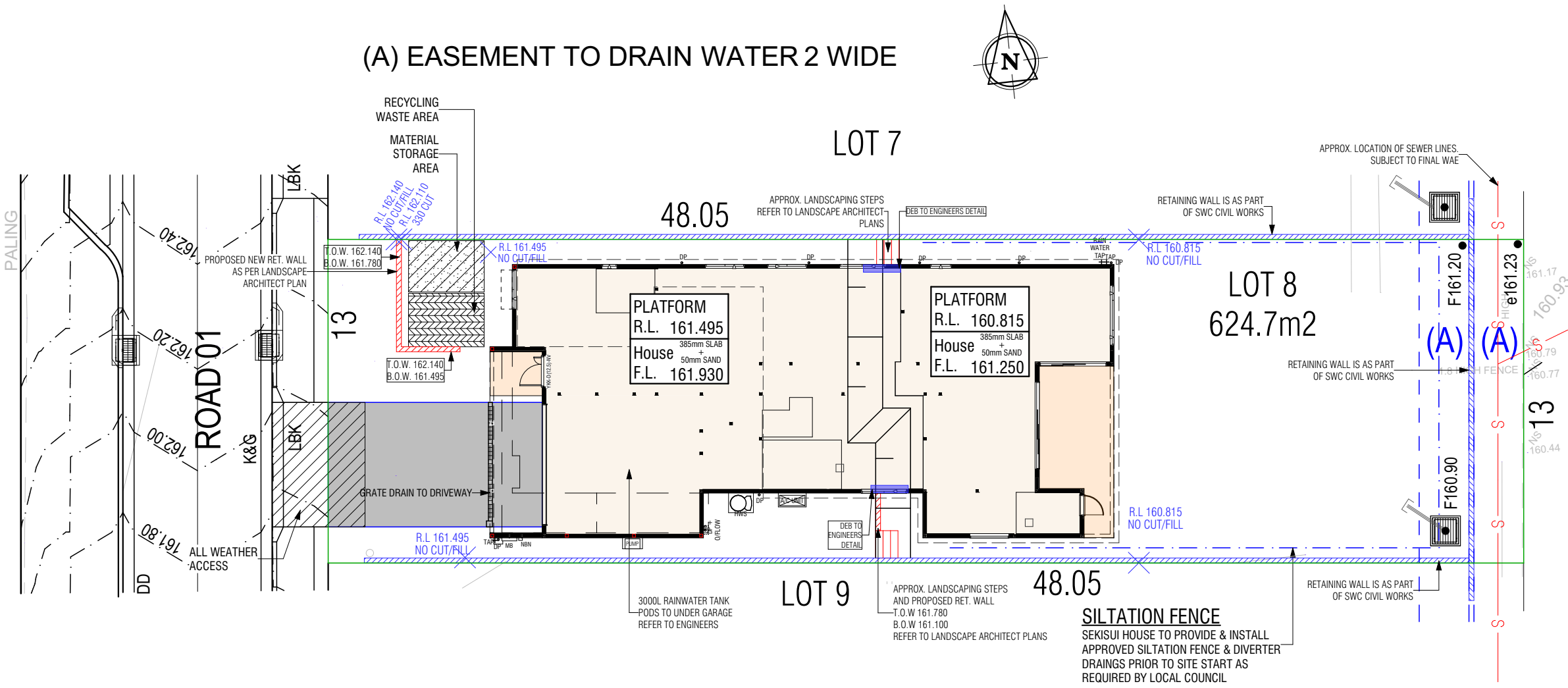
**LOCAL AUTHORITY:** Northern Beaches Council

**TITLE PARTICULARS:**

LOT: 8 DIA/PLAN: -  
VOL: - PARISH: -  
FOL: - COUNTY: -



(A) EASEMENT TO DRAIN WATER 2 WIDE



REV	AMENDMENT	BY	DATE
05	WO PLANS	MSS	24.01.2025
06	AMENDED DA, NEW SITE APPLIED LEVELS ADJUSTED AS PER SWC	MSS	25.02.2025
07	PCV#2 - GARAGE DOOR HEIGHT REDUCTION	SA	14.03.2025
08	PCV#3 - AC ROOF UNIT RELOCATION, TO MEET TRUSS DESIGN REQUIREMENTS	MSS	17.03.2025
09	HWS & AC SYSTEM SWAPPED, RTRN AIR MOVED AND R/A ADDED TO GF CEILING, FF AC VOID RED. DELETION OF PRINCIPAL AC VOID	MSS	17.03.2025
10	DA RfIs + PCV#4: COUNCIL REQUIREMENTS	SA	29.04.2025
11	SITE PLAN HAS DA APPROVED CIVILS APPLIED + FLOOR WASTES REMOVED FROM ALL WET AREAS EXCL. SHOWERS	SA	12.05.2025
12	DA PLAN AMENDED AS PER SWC CIVILS DATED 6.05.25	SA	20.05.2025

ADDRESS: LOT 8 ROAD NO.1  
FRENCHS FOREST NSW

**SHAWOOD**

68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 02 8817 1400  
Sekisui House Services (NSW) Pty Limited  
ABN: 42119550220. BL: 226045C.

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**SITE WORKS PLAN**

FR03		F02	ALTERATION ISSUE
TYPE	ACCOM	FACADE	GENERAL ISSUE
CONTRACT No:	NM105567		23 DESIGN ISSUE
MASTER DESIGN	MASTER CHECKED		NA
MSS	-		

SHEET: DA-2  
PAGE: 30  
SCALE: 1:200

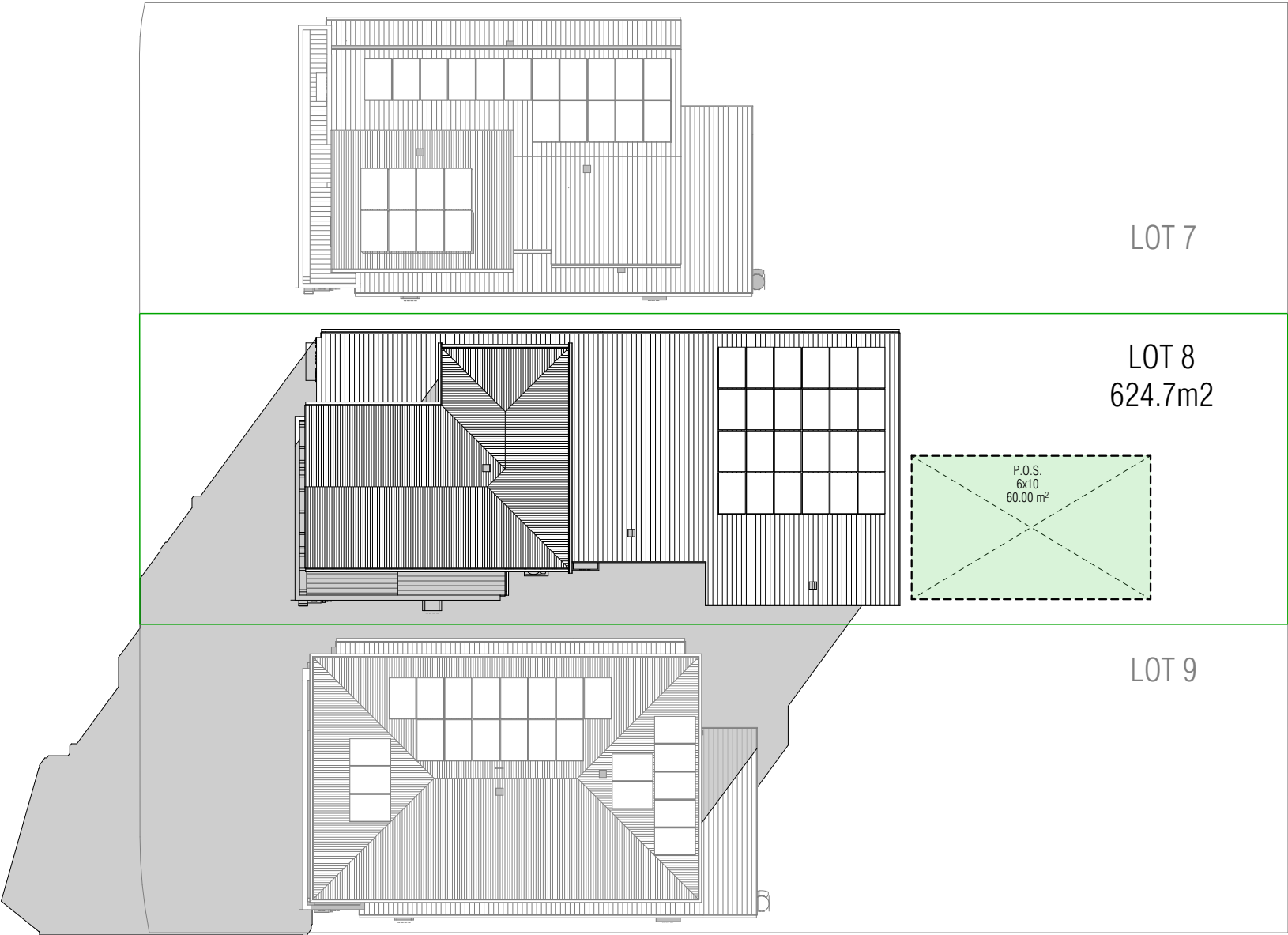


LANDSCAPE OPEN SPACE AS PER WARRINGAH DCP -  
D1 LANDSCAPED OPEN SPACE & BUSHLAND SETTING.  
AREAS >2m WIDE



REV	AMENDMENT	BY	DATE	ADDRESS:  LOT 8 ROAD NO.1 FRENCHS FOREST NSW    68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 02 8817 1400  Sekisui House Services (NSW) Pty Limited ABN: 42119550220. BL: 226045C. <div><div>©</div><div>COPYRIGHT 2024 REPRODUCTION IN PART OR WHOLE FORBIDDEN</div></div>	SITE ANALYSIS PLAN							
05	WO PLANS	MSS	24.01.2025		FR03		F02		ALTERATION ISSUE			
06	AMENDED DA, NEW SITE APPLIED LEVELS ADJUSTED AS PER SWC	MSS	25.02.2025		TYPE	ACCOM	FACADE	GENERAL ISSUE	23	DESIGN ISSUE	NA	
07	PCV#2 - GARAGE DOOR HEIGHT REDUCTION	SA	14.03.2025									
08	PCV#3 - AC ROOF UNIT RELOCATION, TO MEET TRUSS DESIGN REQUIREMENTS	MSS	17.03.2025		CONTRACT No: NM105567						SHEET	DA-3
09	HWS & AC SYSTEM SWAPPED, RTPN AIR MOVED AND R/A ADDED TO GF CEILING, FF AC VOID RED. DELETION OF PRINCIPAL AC VOID	MSS	17.03.2025		MASTER DESIGN						MASTER CHECKED	PAGE: 31
10	DA RFIS + PCV#4: COUNCIL REQUIREMENTS	SA	29.04.2025		MSS						-	SCALE:
11	SITE PLAN HAS DA APPROVED CIVILS APPLIED + FLOOR WASTES REMOVED FROM ALL WET AREAS EXCL. SHOWERS	SA	12.05.2025									
12	DA PLAN AMENDED AS PER SWC CIVILS DATED 6.05.25	SA	20.05.2025									



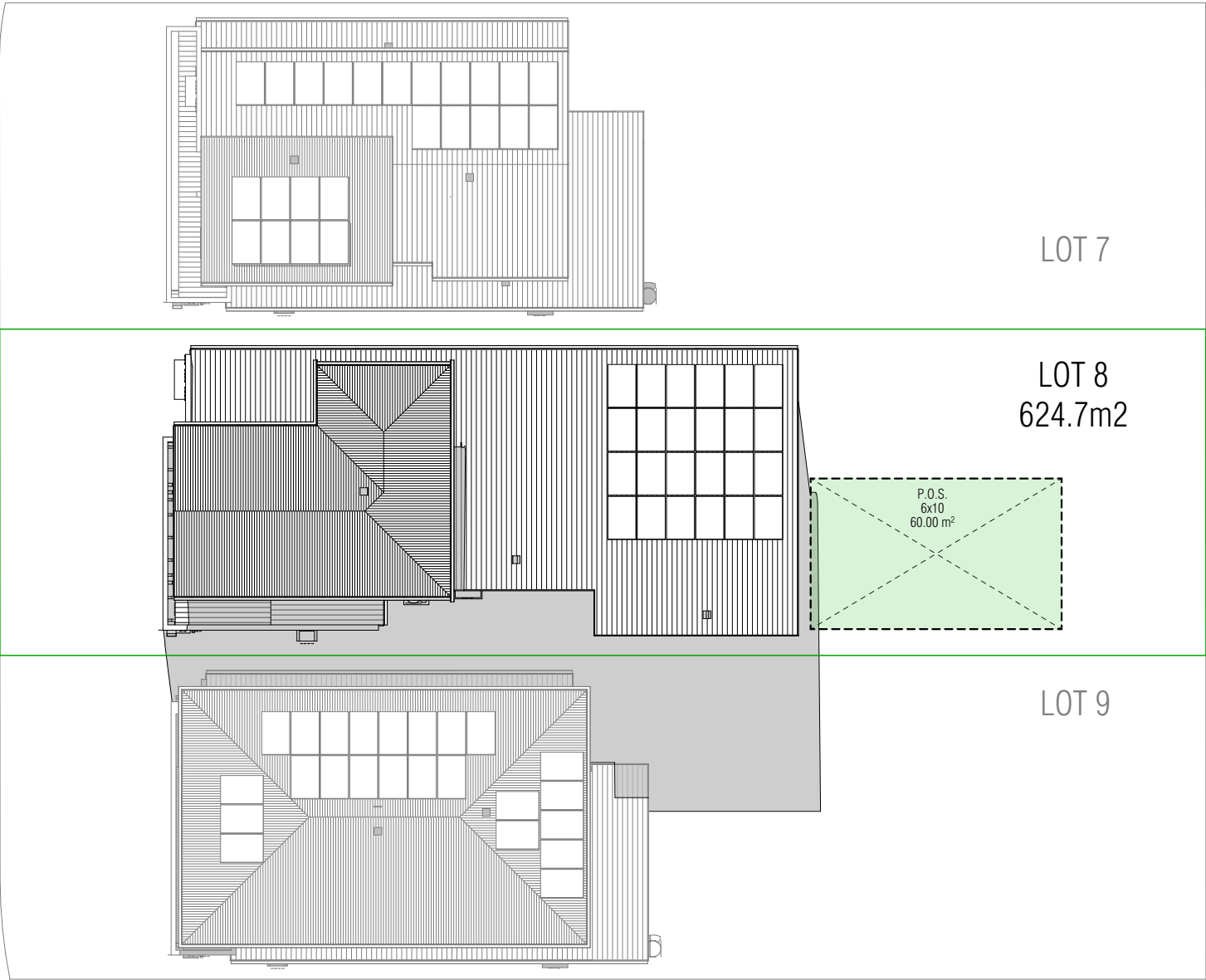


June 21st 9am



REV	AMENDMENT	BY	DATE	ADDRESS:  LOT 8 ROAD NO.1 FRENCHS FOREST NSW    68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 02 8817 1400  Sekisui House Services (NSW) Pty Limited ABN: 42119550220. BL: 226045C.  COPYRIGHT 2024 REPRODUCTION IN PART OR WHOLE FORBIDDEN		SHADOWS DIAGRAMS							
05	WO PLANS	MSS	24.01.2025			FR03		F02	ALTERATION ISSUE				
06	AMENDED DA, NEW SITE APPLIED LEVELS ADJUSTED AS PER SWC	MSS	25.02.2025			TYPE	ACCOM	FACADE	GENERAL ISSUE	23	DESIGN ISSUE	NA	
07	PCV#2 - GARAGE DOOR HEIGHT REDUCTION	SA	14.03.2025			CONTRACT No: NM105567						SHEET	DA-4
08	PCV#3 - AC ROOF UNIT RELOCATION, TO MEET TRUSS DESIGN REQUIREMENTS	MSS	17.03.2025	MASTER DESIGN						PAGE:	32		
09	HWS & AC SYSTEM SWAPPED, RTRN AIR MOVED AND R/A ADDED TO GF CEILING, FF AC VOID RED. DELETION OF PRINCIPAL AC VOID	MSS	17.03.2025	MASTER CHECKED						SCALE:	1:250		
10	DA RfIs + PCV#4: COUNCIL REQUIREMENTS	SA	29.04.2025			MSS			-				
11	SITE PLAN HAS DA APPROVED CIVILS APPLIED + FLOOR WASTES REMOVED FROM ALL WET AREAS EXCL. SHOWERS	SA	12.05.2025										
12	DA PLAN AMENDED AS PER SWC CIVILS DATED 6.05.25	SA	20.05.2025										



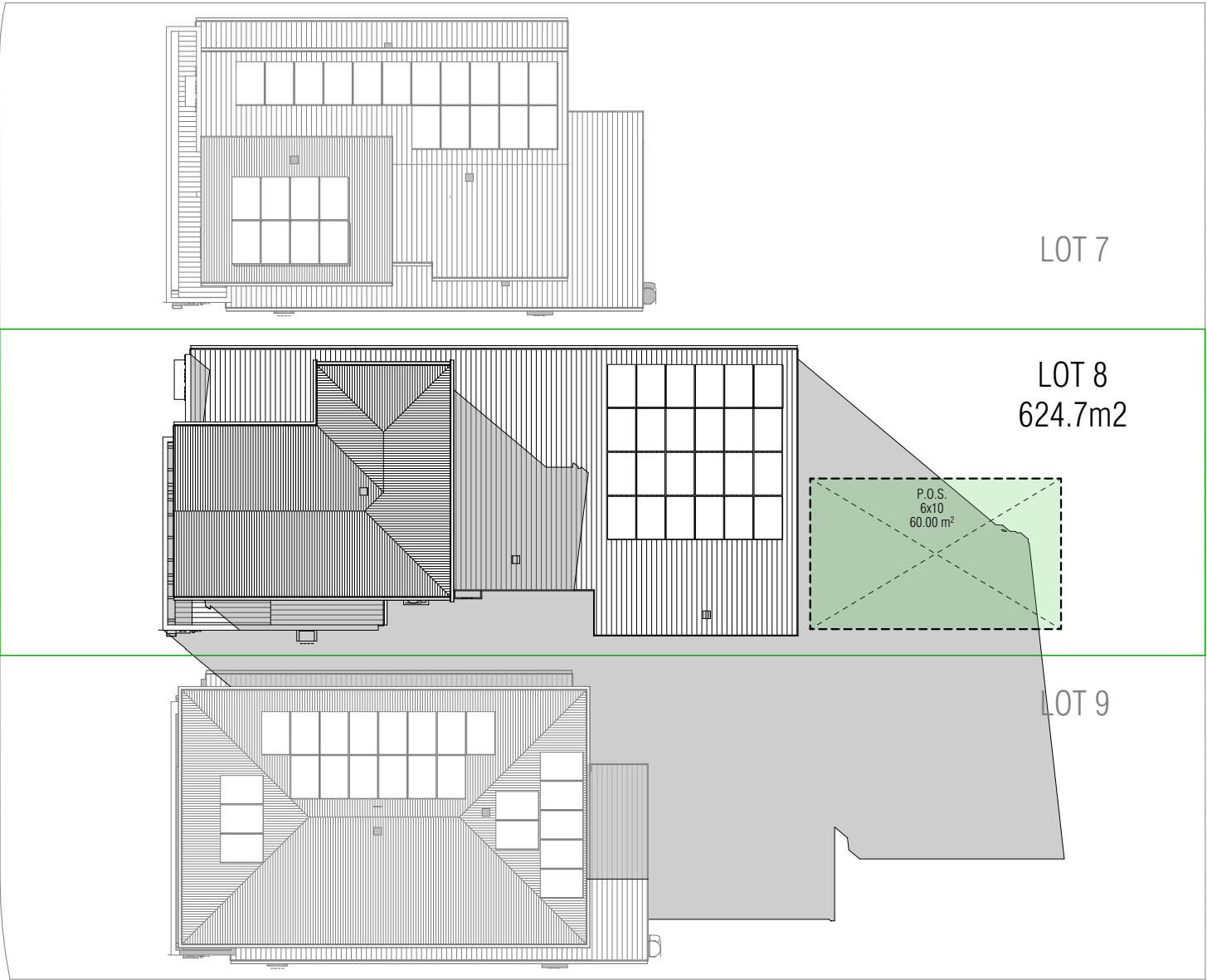


June 21st 12pm



REV	AMENDMENT	BY	DATE	ADDRESS:  LOT 8 ROAD NO.1 FRENCHS FOREST NSW    68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 02 8817 1400 Sekisui House Services (NSW) Pty Limited ABN: 42119550220. BL: 226045C.  COPYRIGHT 2024 REPRODUCTION IN PART OR WHOLE FORBIDDEN		SHADOWS DIAGRAMS					
05	WO PLANS	MSS	24.01.2025			FR03		F02	ALTERATION ISSUE		
06	AMENDED DA, NEW SITE APPLIED LEVELS ADJUSTED AS PER SWC	MSS	25.02.2025			TYPE	ACCOM	FACADE	GENERAL ISSUE	23	DESIGN ISSUE NA
07	PCV#2 - GARAGE DOOR HEIGHT REDUCTION	SA	14.03.2025			CONTRACT No: NM105567					SHEET
08	PCV#3 - AC ROOF UNIT RELOCATION, TO MEET TRUSS DESIGN REQUIREMENTS	MSS	17.03.2025	MASTER DESIGN					PAGE: 33		
09	HWS & AC SYSTEM SWAPPED, RTRN AIR MOVED AND R/A ADDED TO GF CEILING, FF AC VOID RED. DELETION OF PRINCIPAL AC VOID	MSS	17.03.2025	MASTER CHECKED					SCALE: 1:250		
10	DA RfIs + PCV#4: COUNCIL REQUIREMENTS	SA	29.04.2025			MSS					
11	SITE PLAN HAS DA APPROVED CIVILS APPLIED + FLOOR WASTES REMOVED FROM ALL WET AREAS EXCL. SHOWERS	SA	12.05.2025								
12	DA PLAN AMENDED AS PER SWC CIVILS DATED 6.05.25	SA	20.05.2025								





June 21st 3pm



REV	AMENDMENT	BY	DATE	ADDRESS:  LOT 8 ROAD NO.1 FRENCHS FOREST NSW    68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 02 8817 1400  Sekisui House Services (NSW) Pty Limited ABN: 42119550220. BL: 226045C.  COPYRIGHT 2024 REPRODUCTION IN PART OR WHOLE FORBIDDEN		SHADOWS DIAGRAMS							
05	WO PLANS	MSS	24.01.2025			FR03		F02	ALTERATION ISSUE				
06	AMENDED DA, NEW SITE APPLIED LEVELS ADJUSTED AS PER SWC	MSS	25.02.2025			TYPE	ACCOM	FACADE	GENERAL ISSUE	23	DESIGN ISSUE	NA	
07	PCV#2 - GARAGE DOOR HEIGHT REDUCTION	SA	14.03.2025			CONTRACT No: NM105567						SHEET	DA-6
08	PCV#3 - AC ROOF UNIT RELOCATION, TO MEET TRUSS DESIGN REQUIREMENTS	MSS	17.03.2025			MASTER DESIGN						PAGE:	34
09	HWS & AC SYSTEM SWAPPED, RTRN AIR MOVED AND R/A ADDED TO GF CEILING, FF AC VOID RED. DELETION OF PRINCIPAL AC VOID	MSS	17.03.2025	MASTER CHECKED						SCALE:	1:250		
10	DA RfIs + PCV#4: COUNCIL REQUIREMENTS	SA	29.04.2025										
11	SITE PLAN HAS DA APPROVED CIVILS APPLIED + FLOOR WASTES REMOVED FROM ALL WET AREAS EXCL. SHOWERS	SA	12.05.2025										
12	DA PLAN AMENDED AS PER SWC CIVILS DATED 6.05.25	SA	20.05.2025										



GENERAL NOTES

- DROP SLAB 60MM TO WET AREAS.
- DROP SLAB 70mm TO PORCH AND OUTDOOR LIVING U.N.O.
- WET AREAS IN ACCORDANCE WITH NCC REQUIREMENTS
- WC DOOR REMOVABLE WHERE REQUIRED AND FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH NCC VOL2 PART H4
- MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH NCC VOL2 PART H4
- WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE.
- REFER ENGINEER'S DRAWING FOR BRACING WALLS INFORMATION.
- REF, FRE, W.M AND C.D SYMBOLS INDICATE POSITION ONLY
- SQUARE SET CORNICE TO CEILING THROUGHOUT.
- "GRID" = CENTER OF SHAWOOD FRAME
- GF CEILING HEIGHT = 2510 UNLESS NOTED OTHERWISE
- FF CEILING HEIGHT = 2510 UNLESS NOTED OTHERWISE
- EXTERNAL WINDOW HEAD HEIGHT UNLESS NOTED OTHERWISE
  - GROUND FLOOR (MEASURE FROM TOP OF SLAB) = 2375mm
  - FIRST FLOOR (MEASURE FROM TOP OF PARTICLE BOARD) = 2296mm
- EXTERNAL DOOR HEAD HEIGHT UNLESS OTHERWISE NOTED = 2375mm (MEASURE FROM TOP OF SLAB)
- ALL HEIGHTS NOMINATED ARE FROM THE STRUCTURAL SLAB BELOW EXCEPT PORCH AND ALFRESCO
- UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:
  - EXT 151mm=16 CLADDING +15 CAVITY+ 120 STUD
  - INTERNAL = 90mm STUD AND 120mm STUD
  - WALL CLADDING OVERHANGS THE SLAB EDGE BY 11mm
- PROVIDE WEATHERTIGHT WINDOW FLASHING TO THE SILL OF ALL WINDOWS AS PER STANDARD DETAIL 4.20-4.22
- STANDARD DETAIL VERSION: 2025-05

PROVIDE PLYWOOD LINING TO THE ROOF STRUCTURE AS PER STANDARD DETAILS 5.3-2 to 5.3-5

CONDENSATION MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH PART 10.8 OF THE HOUSING PROVISIONS.

LEGEND

- N1 - STANDARD FUGE
- N2 - FEATURE FUGE
- R1 - RENDERED

LEGEND

- DP - DOWNPIPE. REFER TO STORMWATER MANAGEMENT PLAN FOR CONNECTION TO TANK
- RA - ROOF ACCESS
- RA - RETURN AIR CEILING GRILL
- CV - CEILING VENTS
- SA - DENOTES SHAWOOD POST
- SA - SMOKE ALARM (DIRECT WIRED)
- 120mm WALL
- 90mm WALL

DIMENSIONS SHOWN ON PLAN ARE TAKEN FROM WALL FRAME, NOT FINISHED PLASTER  
REFER TO ENGINEER'S DRAWING FOR BRACING DETAILS

- WINDOW GLAZING CODES (OBS) : OBSCURED, (SP10) : SMART GLASS SP10 CLEAR (DG) : DOUBLE GLAZED (DG-OBS) : DOUBLE GLAZED OBSCURE (DG-LowE) : DOUBLE GLAZED WITH LowE (DG-LowE+) : DOUBLE GLAZED WITH LowE PLUS
- WINDOW AND DOOR CODES ASW : ALUM SLIDING WINDOW, ABW : ALUM BI-FOLD WINDOW AAW : ALUM AWNING WINDOW, AFW : ALUM FIXED WINDOW ASD : ALUM SLIDING DOOR, AST : ALUM STACKER DOOR AFD : ALUM FRENCH DOOR, ABD : ALUM BIFOLD DOOR

Floor Areas	REV	AMENDMENT	BY	DATE
First flr.	05	WO PLANS	MSS	24.01.2025
Garage	06	AMENDED DA, NEW SITE APPLIED LEVELS ADJUSTED AS PER SWC	MSS	25.02.2025
Ground flr.	07	PCV#2 - GARAGE DOOR HEIGHT REDUCTION	SA	14.03.2025
Total	08	PCV#3 - AC ROOF UNIT RELOCATION, TO MEET TRUSS DESIGN REQUIREMENTS	MSS	17.03.2025
Alfresco	09	HWS & AC SYSTEM SWAPPED, RTRN AIR MOVED AND R/A ADDED TO GF CEILING, FF AC VOID RED. DELETION OF PRINCIPAL AC VOID	MSS	17.03.2025
Pier	10	DA RfIs + PCV#4: COUNCIL REQUIREMENTS	SA	29.04.2025
Porch	11	SITE PLAN HAS DA APPROVED CIVILS APPLIED + FLOOR WASTES REMOVED FROM ALL WET AREAS EXCL. SHOWERS	SA	12.05.2025
S. Void	12	DA PLAN AMENDED AS PER SWC CIVILS DATED 6.05.25	SA	20.05.2025
Void				
Total				

ADDRESS: LOT 8 ROAD NO.1  
FRENCHS FOREST NSW

**SHAWOOD**

68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 02 8817 1400  
Sekisui House Services (NSW) Pty Limited  
ABN: 42119550220. BL: 226045C.

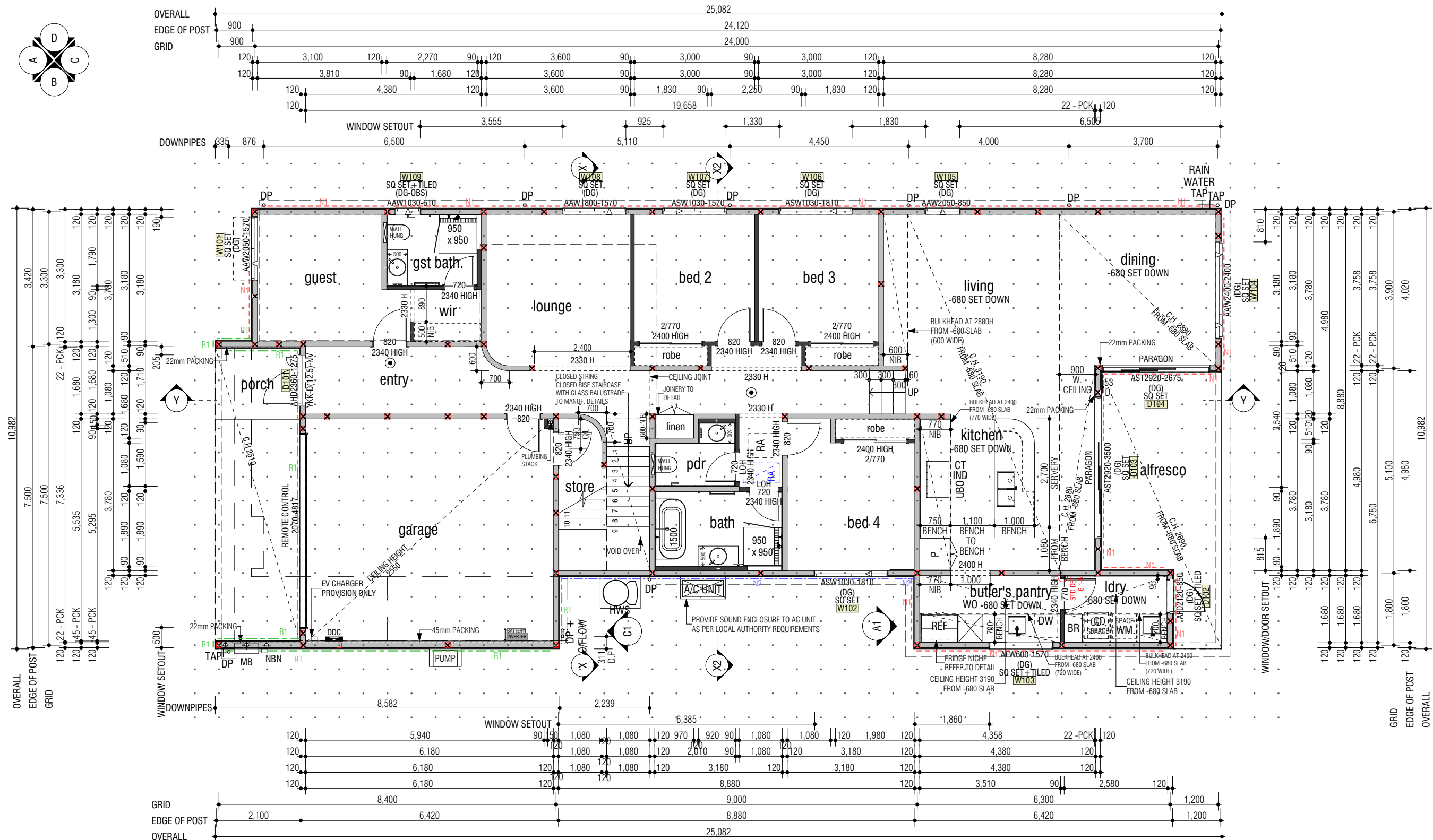
REPRODUCTION IN PART OR WHOLE FORBIDDEN

GROUND FLOOR PLAN

FR03	F02	ALTERATION ISSUE
TYPE	ACCOM	FACADE
CONTRACT No:	MASTER DESIGN	MASTER CHECKED
MASTER DESIGN	MSS	-

SHEET **DA-7**  
PAGE **35**  
SCALE: 1:110, 1:2





Floor Areas	REV	AMENDMENT	BY	DATE
First flr.	05	WO PLANS	MSS	24.01.2025
Garage	06	AMENDED DA, NEW SITE APPLIED LEVELS ADJUSTED AS PER SWC	MSS	25.02.2025
Ground flr.	07	PCV#2 - GARAGE DOOR HEIGHT REDUCTION	SA	14.03.2025
Total	08	PCV#3 - AC ROOF UNIT RELOCATION, TO MEET TRUSS DESIGN REQUIREMENTS	MSS	17.03.2025
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S. Void	12	DA PLAN AMENDED AS PER SWC CIVILS DATED 6.05.25	SA	20.05.2025
Void				
Total				

ADDRESS:	LOT 8 ROAD NO.1 FRENCHS FOREST NSW
	<b>SHAWOOD</b>
	68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 02 8817 1400
	Sekisui House Services (NSW) Pty Limited
	ABN: 42119550220. BL: 226045C.

GROUND FLOOR PLAN (P.1)			
FR03		F02	ALTERATION ISSUE
TYPE	ACCOM	FACADE	GENERAL ISSUE
CONTRACT No:	NM105567		23
MASTER DESIGN		MASTER CHECKED	DA-8
MSS		-	36
			SCALE: 1:100, 1:2



GENERAL NOTES

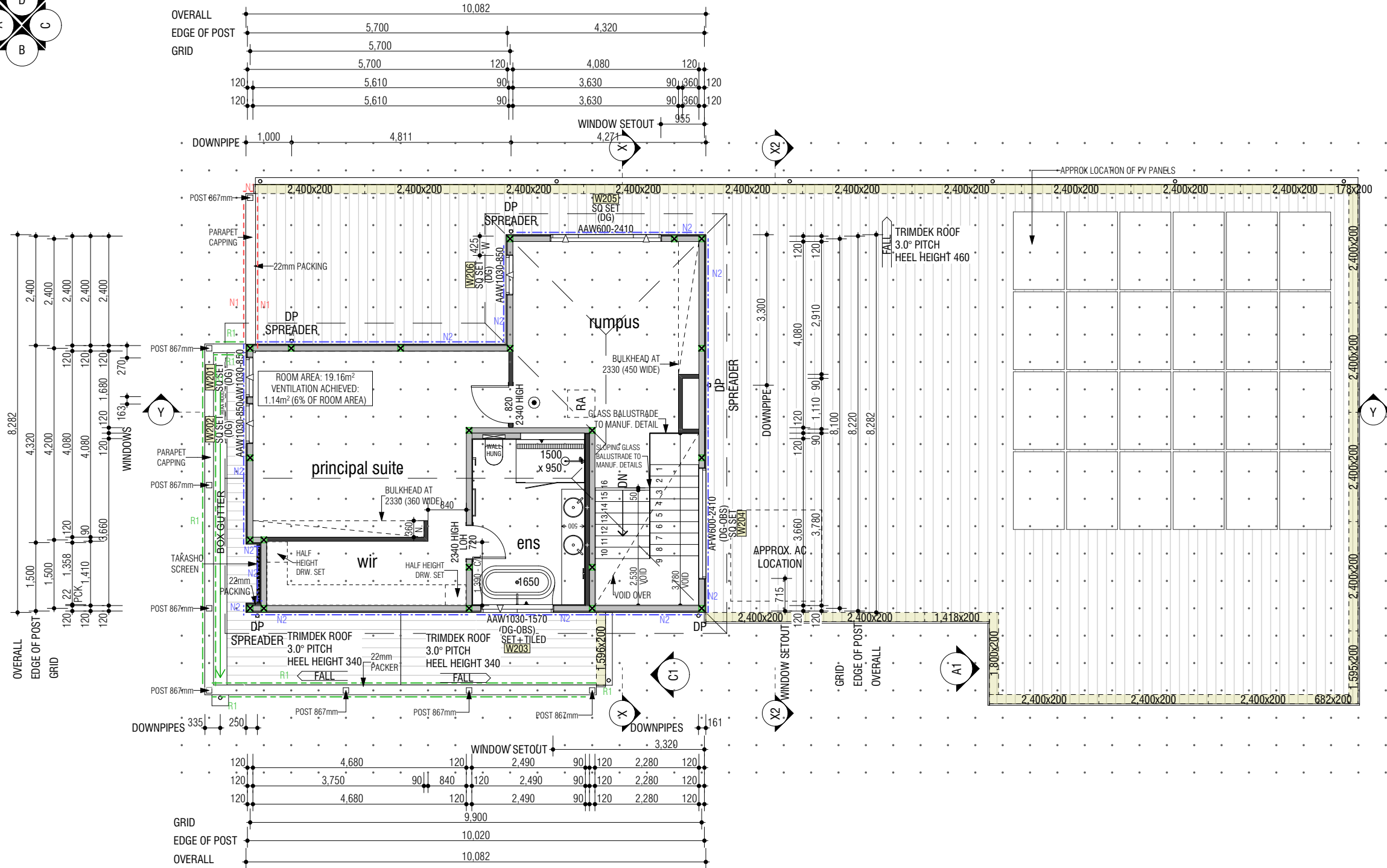
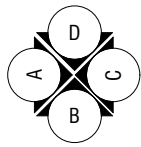
- DROP SLAB 60mm TO WET AREAS.
- DROP SLAB 70mm TO PORCH AND OUTDOOR LIVING U.N.O.
- WET AREAS IN ACCORDANCE WITH NCC REQUIREMENTS
- WC DOOR REMOVABLE WHERE REQUIRED AND FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH NCC VOL2 PART H4
- MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH NCC VOL2 PART H4
- WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE.
- REFER ENGINEER'S DRAWING FOR BRACING WALLS INFORMATION.
- REF, FRE, W.M AND C.D SYMBOLS INDICATE POSITION ONLY
- SQUARE SET CORNICE TO CEILING THROUGHOUT.
- "GRID" = CENTER OF SHAWOOD FRAME
- GF CEILING HEIGHT = 2510 UNLESS NOTED OTHERWISE
- FF CEILING HEIGHT = 2510 UNLESS NOTED OTHERWISE
- EXTERNAL WINDOW HEAD HEIGHT UNLESS NOTED OTHERWISE
  - GROUND FLOOR (MEASURE FROM TOP OF SLAB) = 2375mm
  - FIRST FLOOR (MEASURE FROM TOP OF PARTICLE BOARD) = 2296mm
- EXTERNAL DOOR HEAD HEIGHT UNLESS OTHERWISE NOTED = 2375mm (MEASURE FROM TOP OF SLAB)
- ALL HEIGHTS NOMINATED ARE FROM THE STRUCTURAL SLAB BELOW EXCEPT PORCH AND ALFRESCO
- UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:
  - EXT 151mm=16 CLADDING +15 CAVITY +120 STUD
  - INTERNAL = 90mm STUD AND 120mm STUD
  - WALL CLADDING OVERHANGS THE SLAB EDGE BY 11mm
- PROVIDE WEATHERTIGHT WINDOW FLASHING TO THE SILL OF ALL WINDOWS AS PER STANDARD DETAIL 4.20-4.22
- STANDARD DETAIL VERSION: 2025-05

PROVIDE PLYWOOD LINING TO THE ROOF STRUCTURE AS PER STANDARD DETAILS 5.3-2 to 5.3-5

CONDENSATION MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH PART 10.8 OF THE HOUSING PROVISIONS.

LEGEND

- N1 - STANDARD FUGE
- N2 - FEATURE FUGE
- R1 - RENDERED



LEGEND

- DP - DOWNPIPE. REFER TO STORMWATER MANAGEMENT PLAN FOR CONNECTION TO TANK
- [RA] - ROOF ACCESS [RA] - RETURN AIR CEILING GRILL
- ⌈ ⌋ - CEILING VENTS ⌈ ⌋ - DENOTES SHAWOOD POST
- - SMOKE ALARM (DIRECT WIRED)
- 120mm WALL
- 90mm WALL

- WINDOW GLAZING CODES (OBS) : OBSCURED, (SP10) : SMART GLASS SP10 CLEAR (DG) : DOUBLE GLAZED (DG-OBS) : DOUBLE GLAZED OBSCURE (DG-LowE) : DOUBLE GLAZED WITH LowE (DG-LowE+) : DOUBLE GLAZED WITH LowE PLUS
- WINDOW AND DOOR CODES ASW : ALUM SLIDING WINDOW, ABW : ALUM BI-FOLD WINDOW AAW : ALUM AWNING WINDOW, AFW : ALUM FIXED WINDOW ASD : ALUM SLIDING DOOR, AST : ALUM STACKER DOOR AFD : ALUM FRENCH DOOR, ABD : ALUM BIFOLD DOOR

DIMENSIONS SHOWN ON PLAN ARE TAKEN FROM WALL FRAME, NOT FINISHED PLASTER  
REFER TO ENGINEER'S DRAWING FOR BRACING DETAILS

Floor Areas	REV	AMENDMENT	BY	DATE
First fir.	05	WO PLANS	MSS	24.01.2025
Garage	06	AMENDED DA, NEW SITE APPLIED LEVELS ADJUSTED AS PER SWC	MSS	25.02.2025
	07	PCV#2 - GARAGE DOOR HEIGHT REDUCTION	SA	14.03.2025
Ground fir.	08	PCV#3 - AC ROOF UNIT RELOCATION, TO MEET TRUSS DESIGN REQUIREMENTS	MSS	17.03.2025
Total	09	HWS & AC SYSTEM SWAPPED, RTRN AIR MOVED AND R/A ADDED TO GF CEILING, FF AC VOID RED. DELETION OF PRINCIPAL AC VOID	MSS	17.03.2025
Alfresco	10	DA RfIs + PCV#4: COUNCIL REQUIREMENTS	SA	29.04.2025
Pier	11	SITE PLAN HAS DA APPROVED CIVILS APPLIED + FLOOR WASTES REMOVED FROM ALL WET AREAS EXCL. SHOWERS	SA	12.05.2025
S. Void	12	DA PLAN AMENDED AS PER SWC CIVILS DATED 6.05.25	SA	20.05.2025
Void				
Total				

ADDRESS:	LOT 8 ROAD NO.1 FRENCHS FOREST NSW
	68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 02 8817 1400
	Sekisui House Services (NSW) Pty Limited
	ABN: 42119550220. BL: 226045C.
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FIRST FLOOR PLAN			
FR03		F02	ALTERATION ISSUE
TYPE	ACCOM	FACADE	GENERAL ISSUE 23 DESIGN ISSUE NA
CONTRACT No: NM105567			SHEET DA-9
MASTER DESIGN			PAGE 37
MASTER CHECKED			SCALE: 1:100, 1:2
MSS			



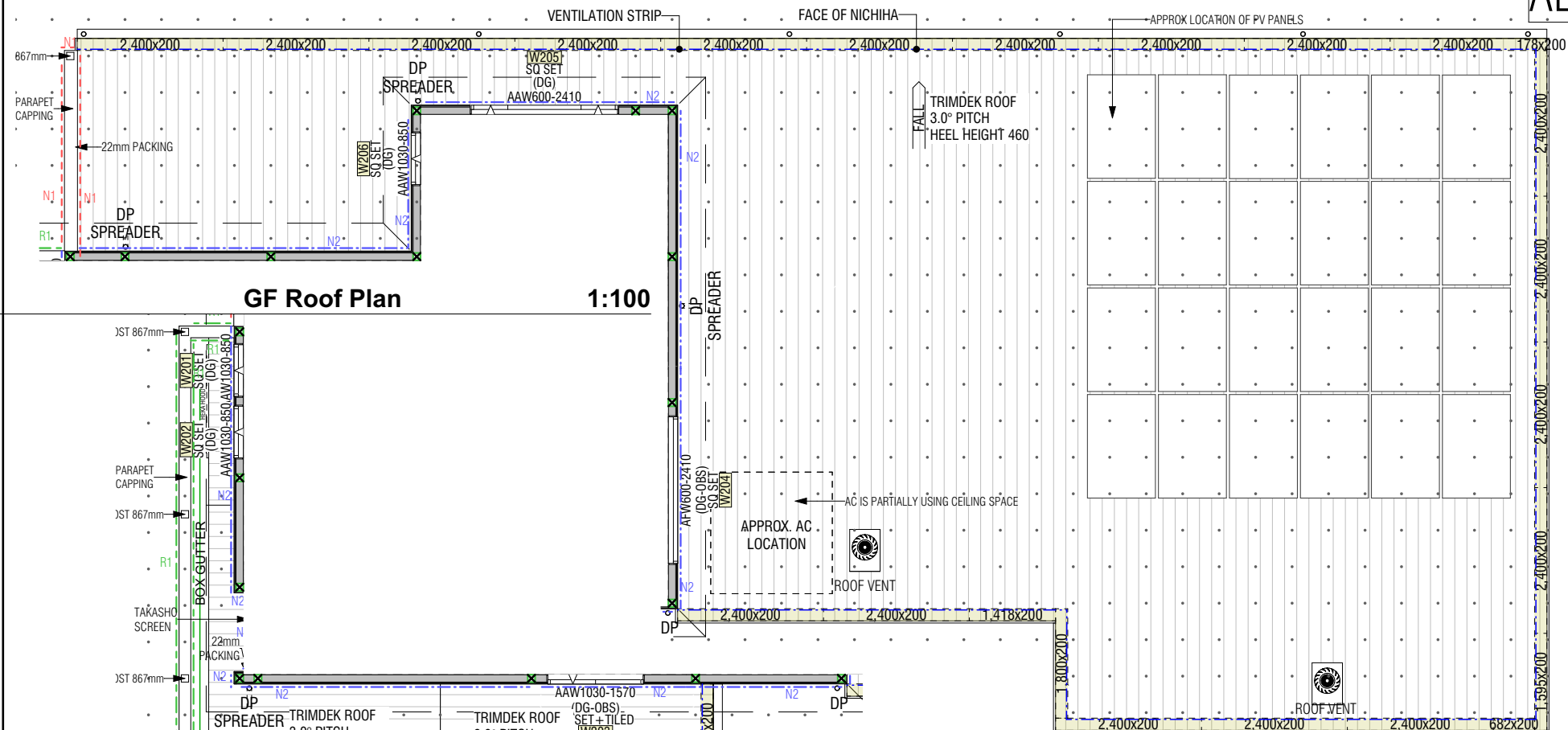
Window Schedule														
Element ID	Window Code Parameter	Paragon	Height	Width	Reveal Thickness	Square Set 2mm gap	Tiled Reveal 6mm gap	View from Opening Side	Special Note	Glazing	BOTTOM Sash	werslink	Uvalue	SHGC
W101	AAW2050-1570	<input type="checkbox"/>	2,050	1,570	117	<input checked="" type="checkbox"/>	<input type="checkbox"/>			DG:- Double Glass	--	WID-101-032	4.00	0.58
W102	ASW1030-1810	<input type="checkbox"/>	1,030	1,810	117	<input checked="" type="checkbox"/>	<input type="checkbox"/>			DG:- Double Glass	--	WID-102-018	4.00	0.61
W103	AFW600-1570	<input type="checkbox"/>	600	1,570	117	<input checked="" type="checkbox"/>	<input type="checkbox"/>			DG:- Double Glass	--	WID-106-017	3.10	0.71
W104	AAW2400-2400	<input type="checkbox"/>	2,400	2,400	117	<input checked="" type="checkbox"/>	<input type="checkbox"/>			DG:- Double Glass	--	WID-101-032	4.00	0.58
W105	AAW2050-850	<input type="checkbox"/>	2,050	850	117	<input checked="" type="checkbox"/>	<input type="checkbox"/>			DG:- Double Glass	--	WID-101-032	4.00	0.58
W106	ASW1030-1810	<input type="checkbox"/>	1,030	1,810	117	<input checked="" type="checkbox"/>	<input type="checkbox"/>			DG:- Double Glass	--	WID-102-018	4.00	0.61
W107	ASW1030-1570	<input type="checkbox"/>	1,030	1,570	117	<input checked="" type="checkbox"/>	<input type="checkbox"/>			DG:- Double Glass	--	WID-102-018	4.00	0.61
W108	AAW1800-1570	<input type="checkbox"/>	1,800	1,570	117	<input checked="" type="checkbox"/>	<input type="checkbox"/>			DG:- Double Glass	--	WID-101-032	4.00	0.58
W109	AAW1030-610	<input type="checkbox"/>	1,030	610	117	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>			DG-OBS:- Double Glass Obscure	--	WID-101-032	4.00	0.58
W201	AAW1030-850	<input type="checkbox"/>	1,030	850	117	<input checked="" type="checkbox"/>	<input type="checkbox"/>			DG:- Double Glass	--	WID-101-032	4.00	0.58
W202	AAW1030-850	<input type="checkbox"/>	1,030	850	117	<input checked="" type="checkbox"/>	<input type="checkbox"/>			DG:- Double Glass	--	WID-101-032	4.00	0.58
W203	AAW1030-1570	<input type="checkbox"/>	1,030	1,570	117	<input checked="" type="checkbox"/>	<input type="checkbox"/>			DG-OBS:- Double Glass Obscure	--	WID-101-032	4.00	0.58
W204	AFW600-2410	<input type="checkbox"/>	600	2,410	117	<input checked="" type="checkbox"/>	<input type="checkbox"/>			DG-OBS:- Double Glass Obscure	--	WID-106-017	3.10	0.71
W205	AAW600-2410	<input type="checkbox"/>	600	2,410	117	<input checked="" type="checkbox"/>	<input type="checkbox"/>			DG:- Double Glass	--	WID-101-032	4.00	0.58
W206	AAW1030-850	<input type="checkbox"/>	1,030	850	117	<input checked="" type="checkbox"/>	<input type="checkbox"/>			DG:- Double Glass	--	WID-101-032	4.00	0.58
15														

Door Schedule												
Element ID	DoorCodeParam	Paragon	Height	Width	Reveal Thickness	Square Set 2mm gap	View from Opening Side	Glazing	Special Note	werslink	Uvalue	SHGC
D102	AFD2120-850	<input checked="" type="checkbox"/>	2,120	850	117	<input checked="" type="checkbox"/>		DG:- Double Glass		WID-122-017	3.90	0.51
D103	AST2920-3500	<input checked="" type="checkbox"/>	2,920	3,500	139	<input checked="" type="checkbox"/>		DG:- Double Glass		WID-124-018	4.10	0.58
D104	AST2920-2675	<input checked="" type="checkbox"/>	2,920	2,675	139	<input checked="" type="checkbox"/>		DG:- Double Glass		WID-124-018	4.10	0.58
3												

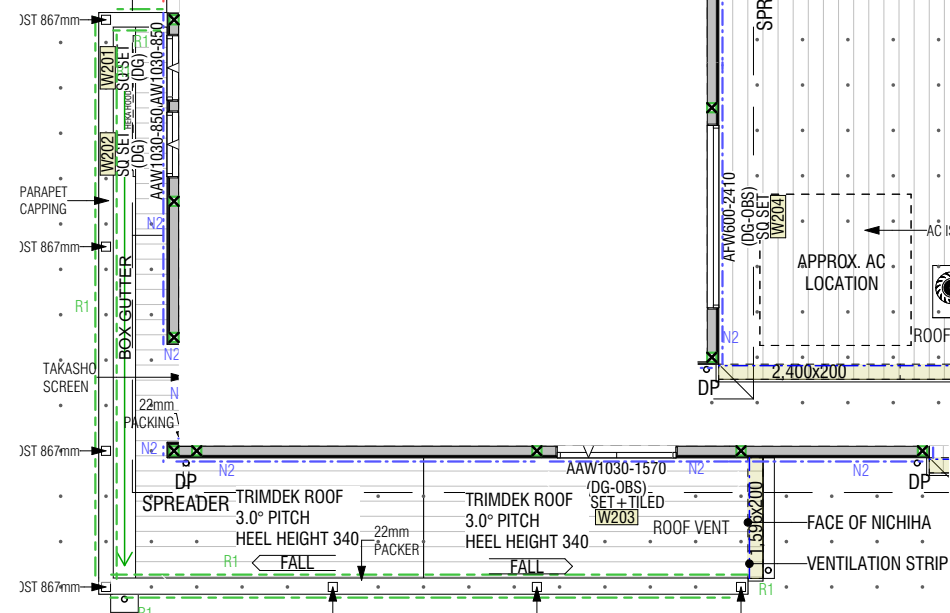
REV	AMENDMENT	BY	DATE	ADDRESS:  LOT 8 ROAD NO.1 FRENCHS FOREST NSW    68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 02 8817 1400 Sekisui House Services (NSW) Pty Limited ABN: 42119550220. BL: 226045C. 	WINDOW & DOOR SCHEDULE						
05	WO PLANS	MSS	24.01.2025		FR03		F02	ALTERATION ISSUE			
06	AMENDED DA, NEW SITE APPLIED LEVELS ADJUSTED AS PER SWC	MSS	25.02.2025		TYPE	ACCOM	FACADE	GENERAL ISSUE	23	DESIGN ISSUE NA	
07	PCV#2 - GARAGE DOOR HEIGHT REDUCTION	SA	14.03.2025		CONTRACT No: NM105567						SHEET DA-10
08	PCV#3 - AC ROOF UNIT RELOCATION, TO MEET TRUSS DESIGN REQUIREMENTS	MSS	17.03.2025		MASTER DESIGN						PAGE: 38
09	HWS & AC SYSTEM SWAPPED, RTRN AIR MOVED AND R/A ADDED TO GF CEILING, FF AC VOID RED. DELETION OF PRINCIPAL AC VOID	MSS	17.03.2025		MASTER CHECKED						SCALE:
10	DA RFIs + PCV#4: COUNCIL REQUIREMENTS	SA	29.04.2025		MSS						
11	SITE PLAN HAS DA APPROVED CIVILS APPLIED + FLOOR WASTES REMOVED FROM ALL WET AREAS EXCL. SHOWERS	SA	12.05.2025								
12	DA PLAN AMENDED AS PER SWC CIVILS DATED 6.05.25	SA	20.05.2025								



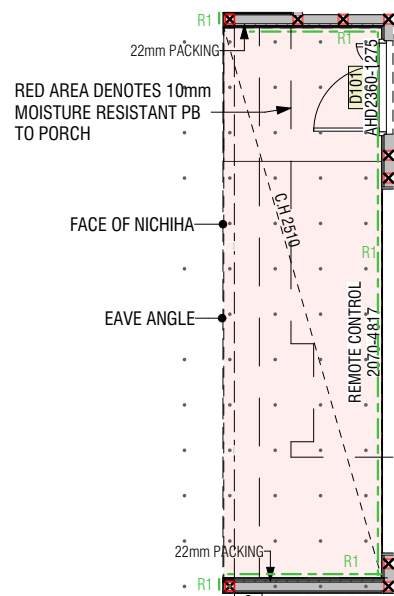
ALL EAVES RAKED UNLESS NOTED OTHERWISE



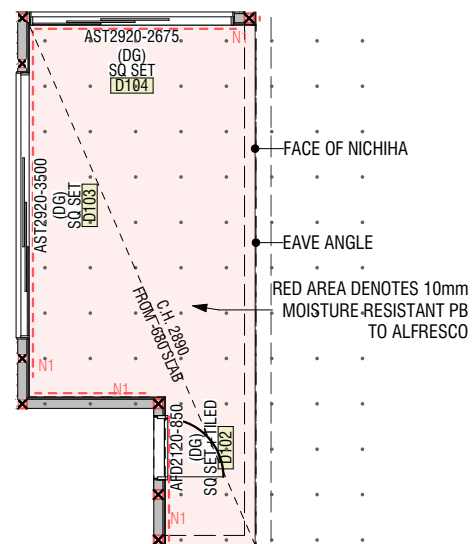
**GF Roof Plan** **1:100**



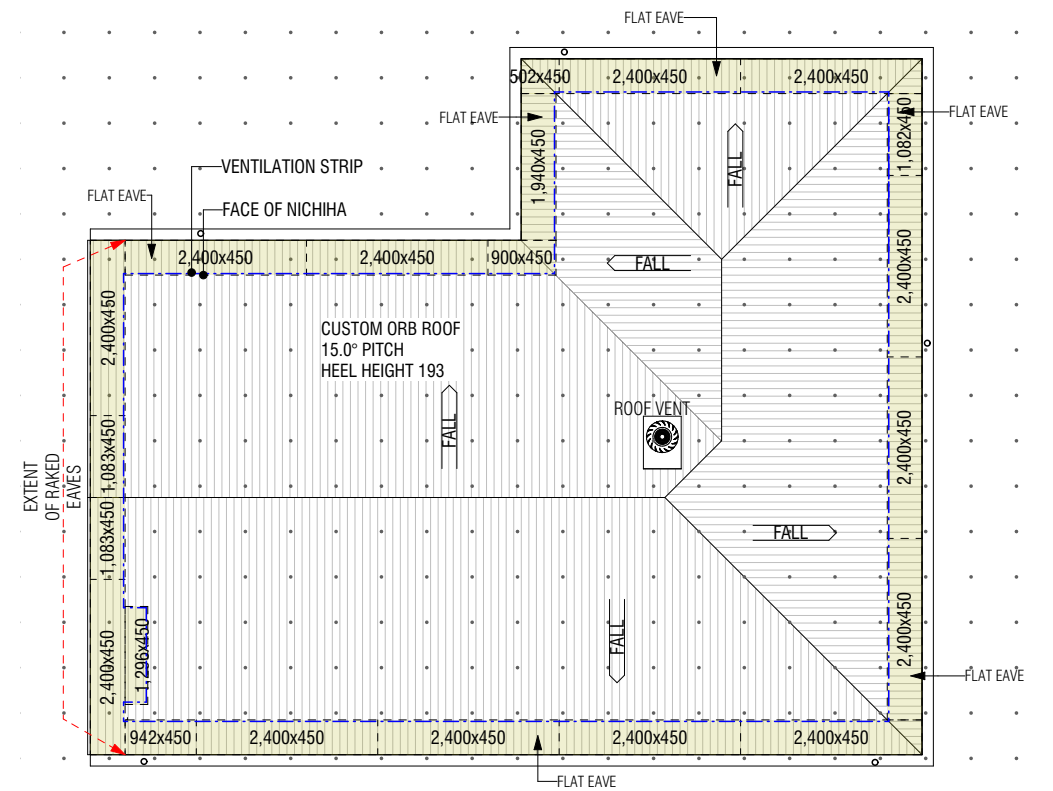
**GF Roof Plan** **1:100**



**GF Roof Plan (Lower) 1:100**



**GF Roof Plan (Lower) 1:100**



**FF Roof Plan** **1:100**

REV	AMENDMENT	BY	DATE
05	WO PLANS	MSS	24.01.2023
06	AMENDED DA, NEW SITE APPLIED LEVELS ADJUSTED AS PER SWC	MSS	25.02.2023
07	PCV#2 - GARAGE DOOR HEIGHT REDUCTION	SA	14.03.2023
08	PCV#3 - AC ROOF UNIT RELOCATION, TO MEET TRUSS DESIGN REQUIREMENTS	MSS	17.03.2023
09	HWS & AC SYSTEM SWAPPED, RTRN AIR MOVED AND R/A ADDED TO GF CEILING, FF AC VOID RED. DELETION OF PRINCIPAL AC VOID	MSS	17.03.2023
10	DA RFIs ÷ PCV#4: COUNCIL REQUIREMENTS	SA	29.04.2023
11	SITE PLAN HAS DA APPROVED CIVILS APPLIED + FLOOR WASTES REMOVED FROM ALL WET AREAS EXCL. SHOWERS	SA	12.05.2023
12	DA PLAN AMENDED AS PER SWC CIVILS DATED 6.05.25	SA	20.05.2023

E	ADDRESS:
---	----------

LOT 8 ROAD NO.1  
FRENCHS FOREST NSW

SHAWWOOD

68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 02 8817 1400

Sekisui House Services (NSW) Pty Limited  
ABN: 42119550220. BL: 226045C.

## ROOF PLAN

FR03		F02	ALTERATION ISSUE			
TYPE	ACCOM	FACADE	GENERAL ISSUE	23	DESIGN ISSUE	NA
CONTRACT No: NM105567				SHEET <b>DA-11</b>		
MASTER DESIGN		MASTER CHECKED		PAGE: <b>39</b>		
MSS		-		SCALE:		

## ROOF PLAN NOTES

○ DP - DOWNPIPE

 - EAVE VENT

\* PROVIDE PLYWOOD LINING TO THE ROOF STRUCTURE STANDARD DETAILS 5.3-2 to 5.3-5

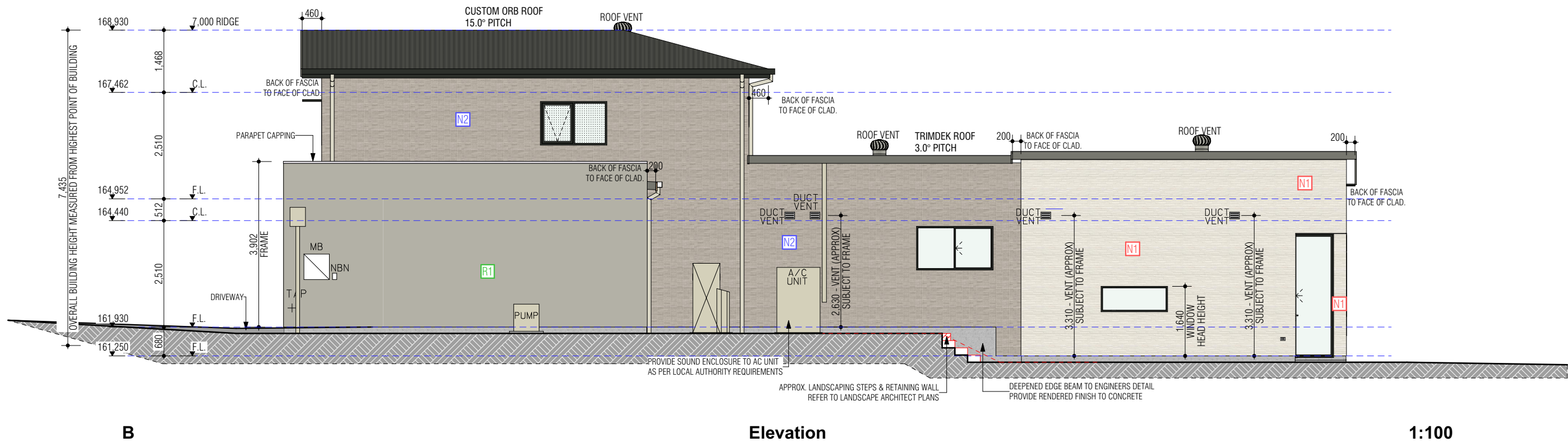
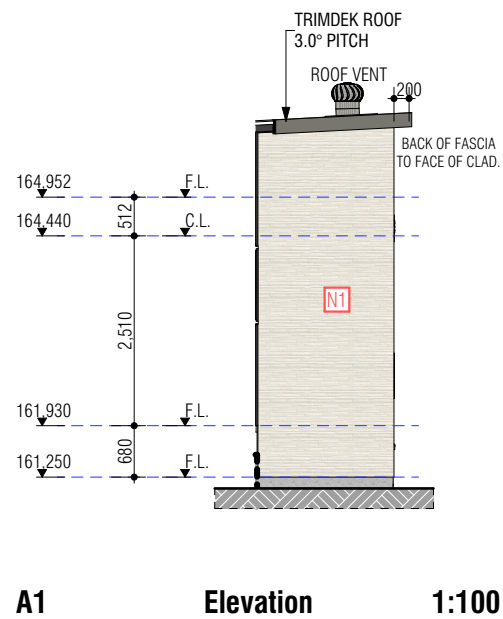
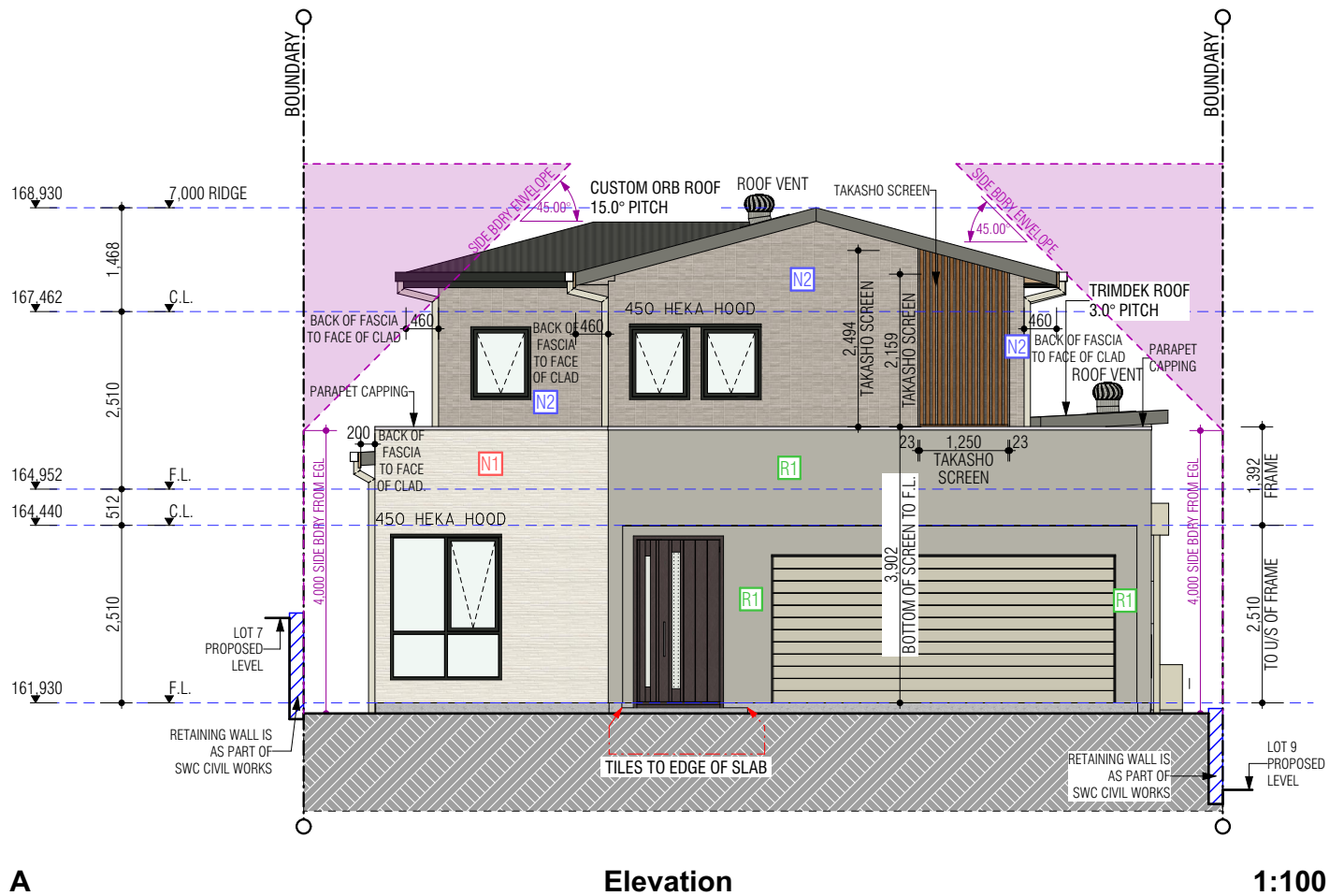
\* THE NUMBER OF PHOTOVOLTAIC PANELS SHOWN HERE IS APPROX. THE QUANTITY AND LOCATION CAN VARY WHEN INSTALLED



LEGEND

	- OBSCURE GLASS
	- STANDARD FUGE
	- FEATURE FUGE
	- RENDERED

ALL COLOURS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO THE EXTERIOR COLOUR SELECTION FOR CORRECT COLOURS



REV	AMENDMENT	BY	DATE
05	WO PLANS	MSS	24.01.2025
06	AMENDED DA, NEW SITE APPLIED LEVELS ADJUSTED AS PER SWC	MSS	25.02.2025
07	PCV#2 - GARAGE DOOR HEIGHT REDUCTION	SA	14.03.2025
08	PCV#3 - AC ROOF UNIT RELOCATION, TO MEET TRUSS DESIGN REQUIREMENTS	MSS	17.03.2025
09	HWS & AC SYSTEM SWAPPED, RTRN AIR MOVED AND R/A ADDED TO GF CEILING, FF AC VOID RED. DELETION OF PRINCIPAL AC VOID	MSS	17.03.2025
10	DA RfIs + PCV#4: COUNCIL REQUIREMENTS	SA	29.04.2025
11	SITE PLAN HAS DA APPROVED CIVILS APPLIED + FLOOR WASTES REMOVED FROM ALL WET AREAS EXCL. SHOWERS	SA	12.05.2025
12	DA PLAN AMENDED AS PER SWC CIVILS DATED 6.05.25	SA	20.05.2025

ADDRESS:	LOT 8 ROAD NO.1 FRENCHS FOREST NSW
	<b>SHAWOOD</b>
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	Sekisui House Services (NSW) Pty Limited ABN: 42119550220. BL: 226045C.

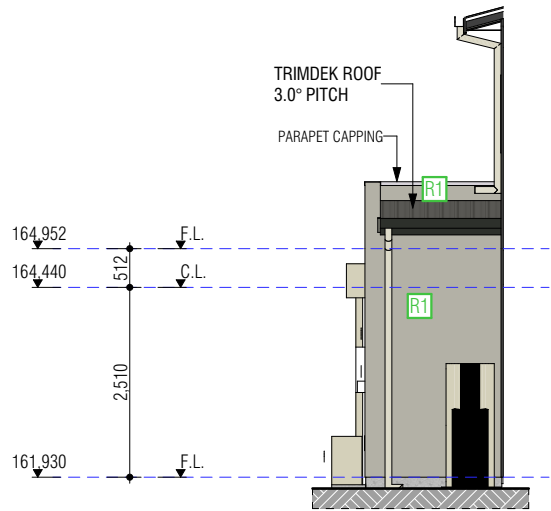
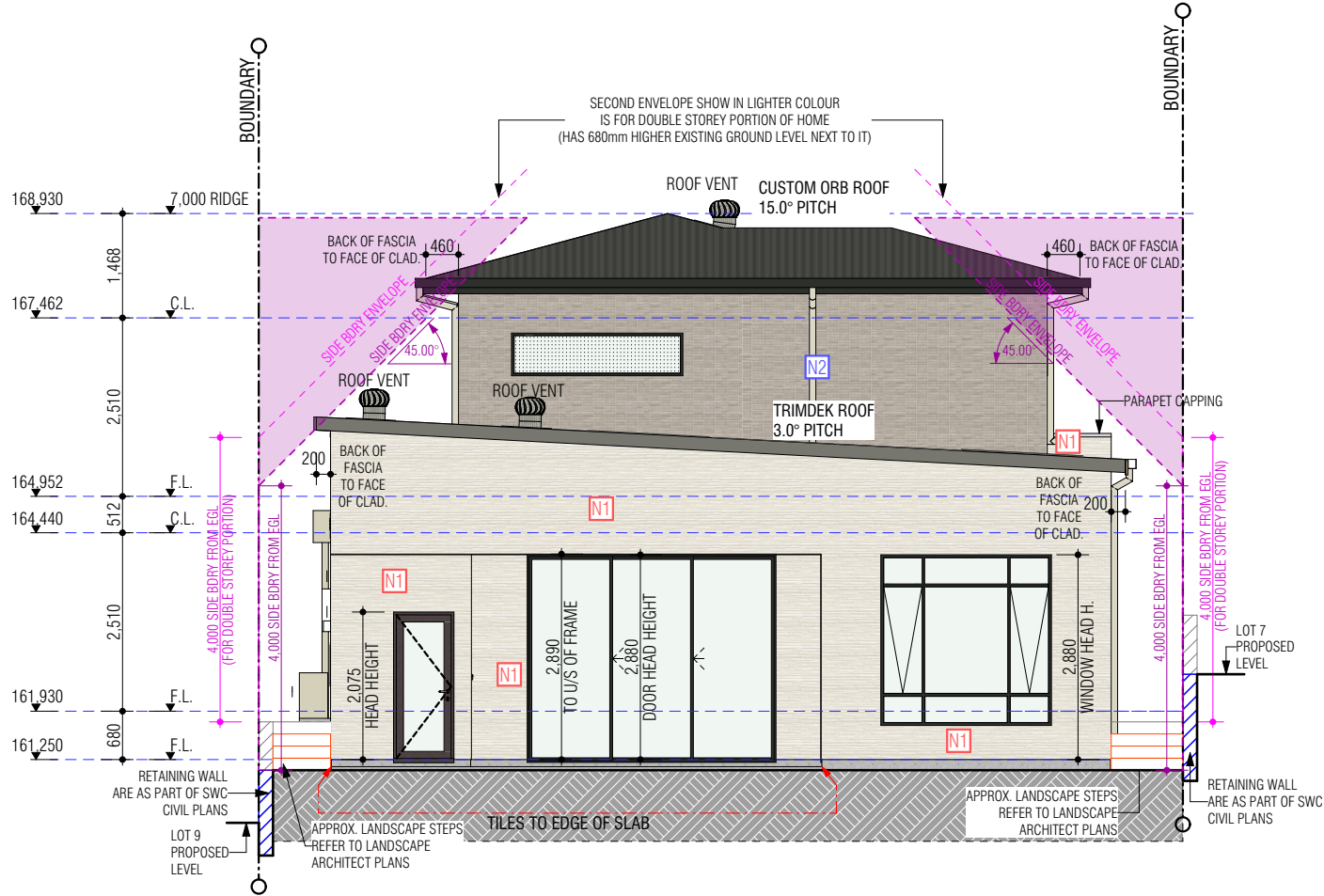
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CONTRACT No: NM105567			SHEET DA-12		
MASTER DESIGN			PAGE: 40		
MSS			SCALE: 1:100		



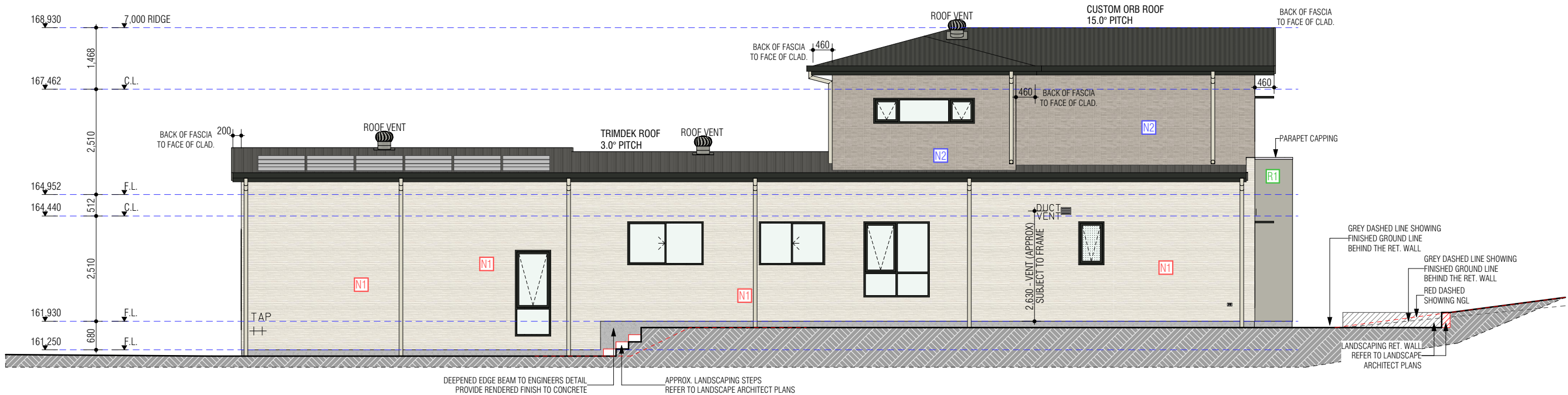
LEGEND

	- OBSCURE GLASS
	- STANDARD FUGE
	- FEATURE FUGE
	- RENDERED

ALL COLOURS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO THE EXTERIOR COLOUR SELECTION FOR CORRECT COLOURS



C1 Elevation 1:100



REV	AMENDMENT	BY	DATE
05	WO PLANS	MSS	24.01.2025
06	AMENDED DA, NEW SITE APPLIED LEVELS ADJUSTED AS PER SWC	MSS	25.02.2025
07	PCV#2 - GARAGE DOOR HEIGHT REDUCTION	SA	14.03.2025
08	PCV#3 - AC ROOF UNIT RELOCATION, TO MEET TRUSS DESIGN REQUIREMENTS	MSS	17.03.2025
09	HWS & AC SYSTEM SWAPPED, RTRN AIR MOVED AND R/A ADDED TO GF CEILING, FF AC VOID RED. DELETION OF PRINCIPAL AC VOID	MSS	17.03.2025
10	DA RfIs + PCV#4: COUNCIL REQUIREMENTS	SA	29.04.2025
11	SITE PLAN HAS DA APPROVED CIVILS APPLIED + FLOOR WASTES REMOVED FROM ALL WET AREAS EXCL. SHOWERS	SA	12.05.2025
12	DA PLAN AMENDED AS PER SWC CIVILS DATED 6.05.25	SA	20.05.2025

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EXTERNAL ELEVATIONS					
FR03		F02	ALTERATION ISSUE		
TYPE	ACCOM	FACADE	GENERAL ISSUE	23	DESIGN ISSUE NA
CONTRACT No: NM105567			SHEET DA-13		
MASTER DESIGN		MASTER CHECKED		PAGE: 41	
MSS		-		SCALE: 1:100	



**LEGEND**

- OBSCURE GLASS
- STANDARD FUGE
- FEATURE FUGE
- RENDERED

ALL COLOURS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO THE EXTERIOR COLOUR SELECTION FOR CORRECT COLOURS

**Section X**

TRUSSES ARE DRAWN APPROX. ONLY  
TRUSSES WILL BE AS PER MANUF. SPECIFICATION/DETAIL

CUSTOM ORB ROOF  
15.0° PITCH

TRIMDEK ROOF  
3.0° PITCH

TRIMDEK ROOF  
3.0° PITCH

5,930 TOP OF SHAWOOD BEAM

3,000 TOP OF SHAWOOD BEAM

4,000 SIDE BODY FROM EGL

R.C. SLAB AND FOOTINGS TO ENGINEERS DETAIL

**Section X2**

TRUSSES ARE DRAWN APPROX. ONLY  
TRUSSES WILL BE AS PER MANUF. SPECIFICATION/DETAIL

AC IS PARTIALLY USING CEILING SPACE

4,000 SIDE BODY FROM EGL

R.C. SLAB AND FOOTINGS TO ENGINEERS DETAIL

1:100

Section Y

1:100

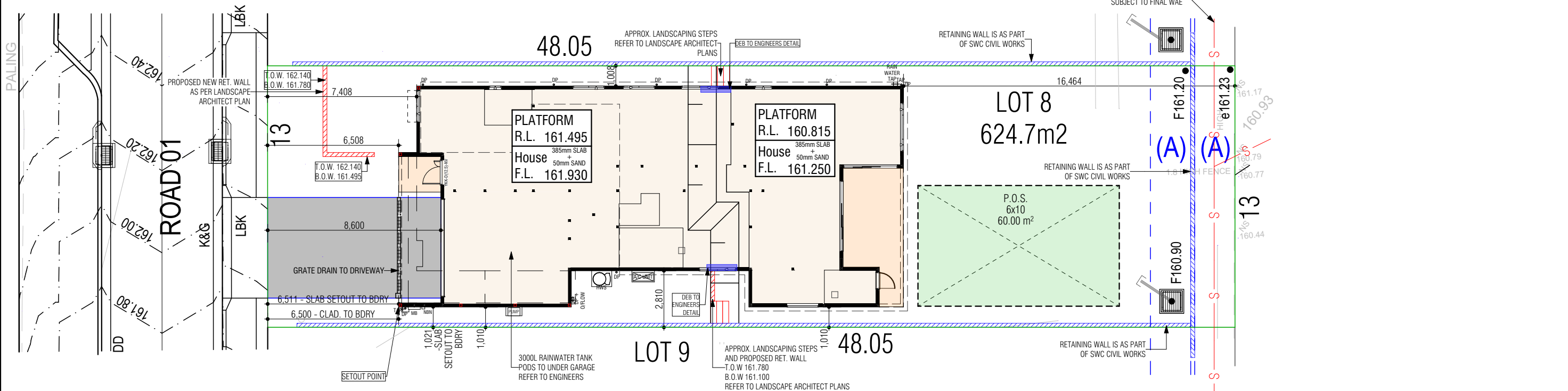
REV	AMENDMENT	BY	DATE	<div>ADDRESS:</div> <div>LOT 8 ROAD NO.1</div> <div>FRENCHS FOREST NSW</div> <div>SHAW WOOD</div> <div>68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 02 8817 1400</div> <div>Sekisui House Services (NSW) Pty Limited</div> <div>ABN: 42119550220. BL: 226045C.</div> <div><div>COPYRIGHT 2024</div><div>REPRODUCTION IN PART</div><div>OR WHOLE FORBIDDEN</div></div> <div>SECTIONS</div>							
05	WO PLANS	MSS	24.01.2025		FR03		F02	ALTERATION ISSUE			
06	AMENDED DA, NEW SITE APPLIED LEVELS ADJUSTED AS PER SWC	MSS	25.02.2025		TYPE	ACCOM	FACADE	GENERAL ISSUE	23	DESIGN ISSUE	NA
07	PCV#2 - GARAGE DOOR HEIGHT REDUCTION	SA	14.03.2025		CONTRACT No: NM105567				SHEET DA-14		
08	PCV#3 - AC ROOF UNIT RELOCATION, TO MEET TRUSS DESIGN REQUIREMENTS	MSS	17.03.2025		MASTER DESIGN				MASTER CHECKED		
09	HWS & AC SYSTEM SWAPPED, RTRN AIR MOVED AND R/A ADDED TO GF CEILING, FF AC VOID RED. DELETION OF PRINCIPAL AC VOID	MSS	17.03.2025		MSS				-		
10	DA RFIs + PCV#4: COUNCIL REQUIREMENTS	SA	29.04.2025						PAGE: 42		
11	SITE PLAN HAS DA APPROVED CIVLS APPLIED + FLOOR WASTES REMOVED FROM ALL WET AREAS EXCL. SHOWERS	SA	12.05.2025						SCALE: 1:100		
12	DA PLAN AMENDED AS PER SWC CIVLS DATED 6.05.25	SA	20.05.2025								



(A) EASEMENT TO DRAIN WATER 2 WIDE



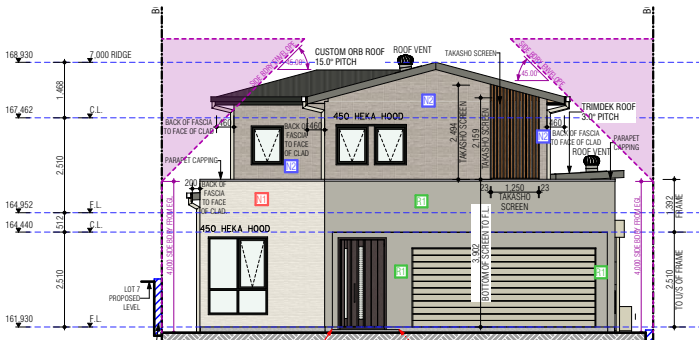
LOT 7



A

Elevation

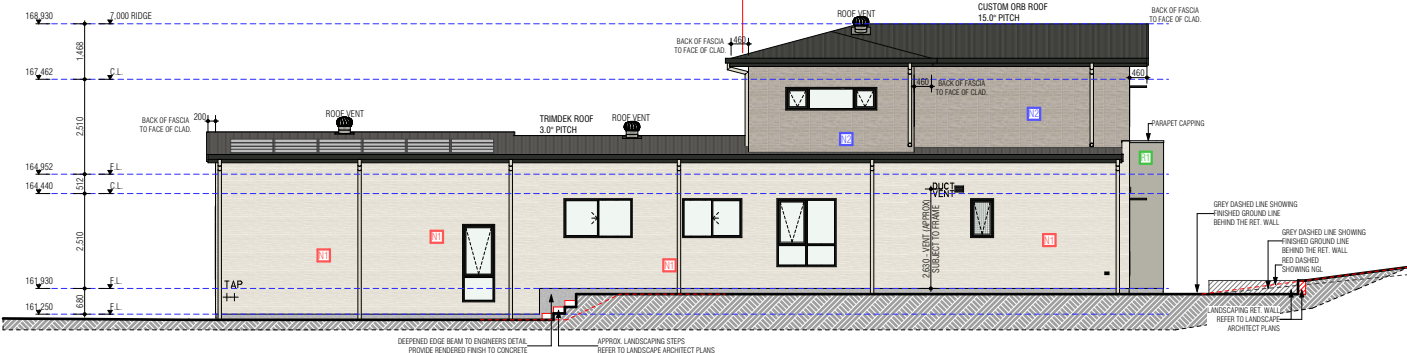
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D

Elevation

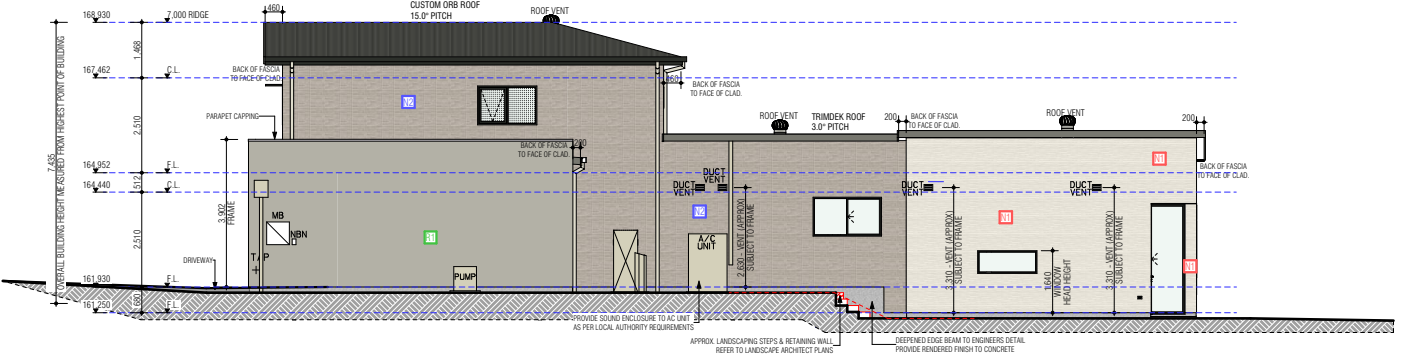
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B

Elevation

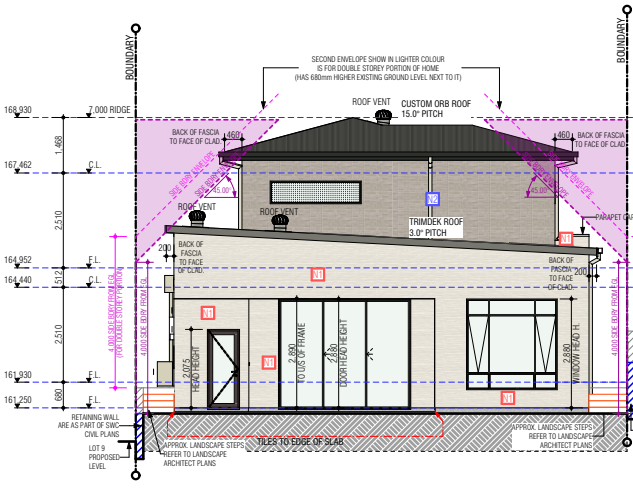
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C

Elevation

1:200



REV	AMENDMENT	BY	DATE
05	WO PLANS	MSS	24.01.2025
06	AMENDED DA, NEW SITE APPLIED LEVELS ADJUSTED AS PER SWC	MSS	25.02.2025
07	PCV#2 - GARAGE DOOR HEIGHT REDUCTION	SA	14.03.2025
08	PCV#3 - AC ROOF UNIT RELOCATION, TO MEET TRUSS DESIGN REQUIREMENTS	MSS	17.03.2025
09	HWS & AC SYSTEM SWAPPED, RTRN AIR MOVED AND R/A ADDED TO GF CEILING, FF AC VOID RED. DELETION OF PRINCIPAL AC VOID	MSS	17.03.2025
10	DA RfIs + PCV#4: COUNCIL REQUIREMENTS	SA	29.04.2025
11	SITE PLAN HAS DA APPROVED CIVILS APPLIED + FLOOR WASTES REMOVED FROM ALL WET AREAS EXCL. SHOWERS	SA	12.05.2025
12	DA PLAN AMENDED AS PER SWC CIVILS DATED 6.05.25	SA	20.05.2025

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	Sekisui House Services (NSW) Pty Limited
	ABN: 42119550220. BL: 226045C.

NOTIFICATION PLAN

FR03	F02	ALTERATION ISSUE
TYPE	ACCOM	GENERAL ISSUE
CONTRACT No:	MASTER DESIGN	MASTER CHECKED
NM105567	MSS	-
SHEET	DA-15	SCALE:
ISSUE	23	NA
DESIGN	ISSUE	43
PAGE		