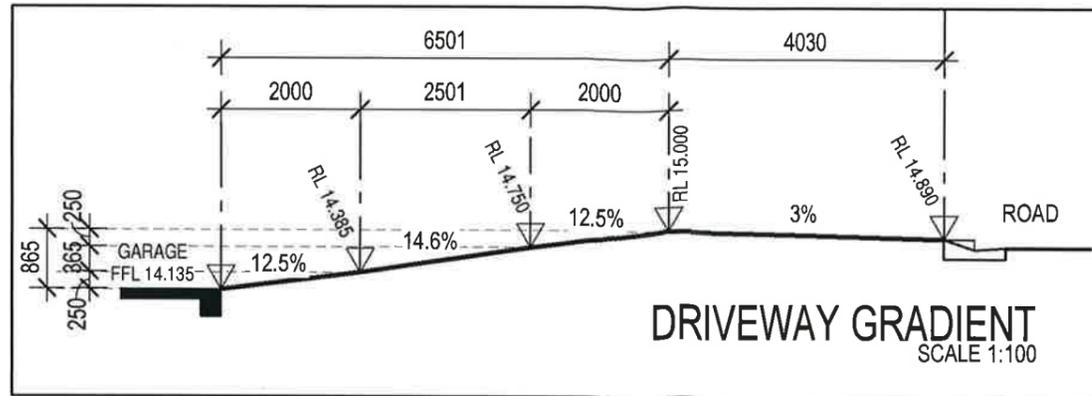


LEGEND	
WATER MAIN	SEWER VENT
TELSTRA PILLAR	SEWER LAMPPIOLE
TELSTRA MARKER POST	SEWER INSPECTION POINT
TELSTRA PIT	SUBSOIL DRAIN
TELEGRAPH POLE	STORMWATER GRATE
POWER POLE	STORMWATER PIT
ELECTRICAL PILLAR	SURFACE INLET PIT
POWER LIGHT POLE	LINTEL-KERB INLET PIT
LIGHT POLE	LINTEL-KERB INLET PIT WITH GRATE
HYDRANT	STORMWATER PIPE INCLUDING PIPE SIZE
RECYCLED WATER	HEADWALL
WATER METER	CLOTHES LINE
STOP VALVE	TRIE: D DIAMETER S SPREAD H HEIGHT
WATER TAP	
GAS METER	
GAS DIRECTION MARKER	
GAS INSPECTION POINT	
SEWER MANHOLE	
STREET SIGN	
FRAM CROSSING	
VEHICLE CROSSING	
E	OVERHEAD ELECTRICITY LINE
T	OVERHEAD TELECOM LINE
S	SEWER LINE

L.G.A. : NORTHERN BEACHES  
 PARISH : NARRABEEN  
 COUNTY : CUMBERLAND

AREA LOT 9  
 VIDE DP 1206507: 410.8 m<sup>2</sup>  
 BY CALC : 410.8 m<sup>2</sup>



### STORMWATER TO HYDRAULIC ENG'S DETAILS

**B.A.S**  
 POSSIBLE ENCASEMENT REQUIRED  
 ADDITIONAL SEWER INFO. REQUIRED

SITE DETAILS	
LOT NUMBER:	9
DP NUMBER:	1206507
AREAS	
SITE AREA:	410.08m <sup>2</sup>
GROUND FLOOR	128.65 m <sup>2</sup>
FIRST FLOOR	101.78 m <sup>2</sup>
GARAGE	37.32 m <sup>2</sup>
PORCH	4.63 m <sup>2</sup>
Grand total	272.37 m <sup>2</sup>
DRIVEWAY:	33.37m <sup>2</sup>

SITE COVERAGE:	169.86m <sup>2</sup> - 41.42%
PRIVATE OPEN SPACE:	93.09m <sup>2</sup>

PROJECT DETAILS:	
GROUND & FIRST FLOOR LIVING TOTAL:	230.67m <sup>2</sup>
ROOF AREA:	199.69m <sup>2</sup>
NO. OF BEDROOMS:	4

LANDSCAPE:	
TOTAL AREA OF VEGETATION:	207.06m <sup>2</sup> - 50.49%

STORMWATER:	
RAINWATER TANK SIZE:	= 3000 litre
ROOF AREA CONNECTED TO RAINWATER TANK:	(62) % MIN MIN- 125.00m <sup>2</sup> (to eng's details)
RAINWATER USES:	GARDEN/TOILET/LAUNDRY

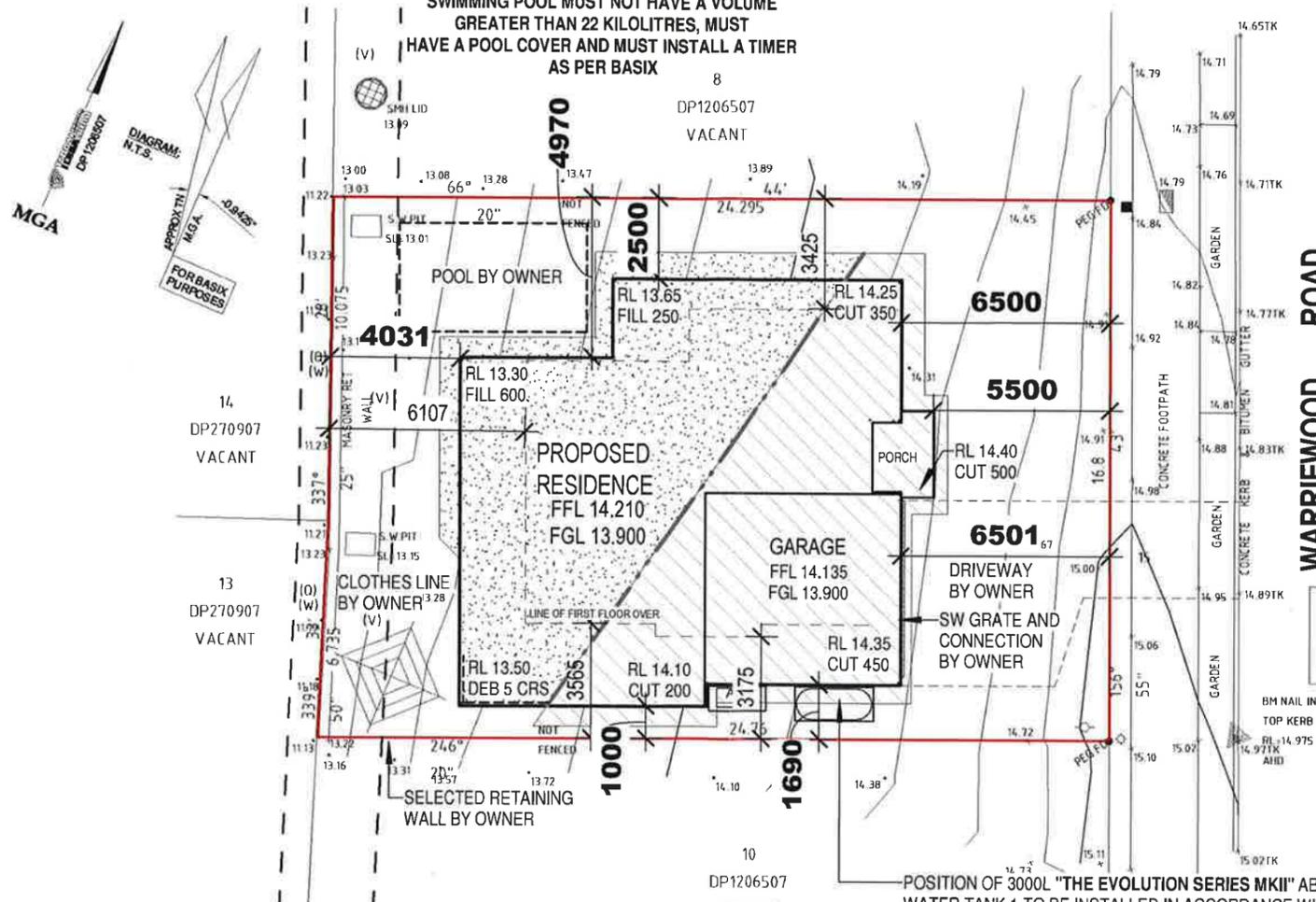
**SITE NOTES & CONDITIONS:**

- HOUSE LEVELS ARE APPROXIMATE ONLY & WILL BE DETERMINED ON SITE BY SUPERVISOR PRIOR TO CONSTRUCTION.
- EXISTING STRUCTURES IN THE PROPOSED BUILDING AREA, TO BE REMOVED BY OWNER.
- EXISTING FENCING TO BE SECURED BY OWNER, PRIOR TO CONSTRUCTION AND TO REMAIN OUTSIDE OF BUILDING PLATFORM.
- EXISTING TREES & VEGETATION TO BE CUT & REMOVED FROM BUILDING AREA PRIOR TO CONSTRUCTION, BY OWNER.
- WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALING.
- DIMENSIONS SHOWN ARE TO FRAME, UNDERSIDE OF ROOF TRUSSES AND FROM WINCREST FFL (CONCRETE) TO UNDERSIDE OF FLOOR JOIST
- FINISHED OUTLINE OF EXCAVATED AREA IS INDICATIVE ONLY AND WILL VARY ON SITE
- ALL RETAINING WALLS ARE BY OWNER UNLESS NOTED OTHERWISE IN THE TENDER

- ALL CONSTRUCTION WORK TO COMPLY WITH THE BCA AND ALL RELEVANT AUSTRALIAN STANDARDS

THE SUBJECT PROPERTY WAS AFFECTED BY THE FOLLOWING  
 -RESTRICTION(S) ON THE USE OF LAND VIDE THE 88B INSTRUMENT REGISTERED DP1206507  
 (O) - THAT PART LOT 12 BENEFITED BY EASEMENT FOR ELECTRICITY VARIABLE WIDTH (N) & BURDENED BY POSITIVE COVENANT No 11 VIDE DP1206507  
 (W) - EASEMENT TO DRAIN WATER 2 WIDE VIDE DP1206507

THE SUBJECT PROPERTY WAS BENEFITED BY THE FOLLOWING  
 -EASEMENT TO DRAIN WATER 2.5 WIDE VIDE DP1206507  
 -EASEMENT TO DRAIN WATER VARIABLE WIDTH VIDE DP1206507  
 -EASEMENT TO DRAIN WATER 1.5 WIDE VIDE DP1206507  
 (V) - EASEMENT TO DRAIN WATER 2 WIDE VIDE DP1206507  
 (W) - EASEMENT FOR ACCESS, MAINTENANCE & SUPPORT 0.9 WIDE VIDE DP1206507



**ORIGIN OF LEVELS:**  
 SSM 208430 RL=14.58 (AHD) FOUND ADJACENT TO No.43 WARRIEWOOD ROAD, WARRIEWOOD.  
 ACCURACY OF ORIGIN: ± 0.010m

**SEVERE MARINE CLASSIFICATION SL1**  
 ALL TRADES & SUPPLIERS TO COMPLY WITH THE BCA AND ALL RELEVANT AUST STANDARDS

**ACID SULFATE EFFECTED SITE REQUIREMENTS ( CLASS 5 )**  
 PROVIDE 32 MPa CONCRETE TO SLAB WITH SULFATE RESISTING CEMENT  
 PROVIDE 0.3mm HIGH IMPACT VAPOUR MEMBRANE

FSR CALCULATIONS	
SITE AREA:	410.08m <sup>2</sup>
HOUSE AREAS:	
INTERNAL GROUND FLOOR LIVING:	156.59m <sup>2</sup>
INTERNAL FIRST FLOOR LIVING:	93.57m <sup>2</sup>
INTERNAL TOTAL:	250.16m <sup>2</sup>
FLOOR SPACE RATIO:	0.61:1

NOTE:  
 FSR CALCULATED TO INTERNAL FACE OF EXTERNAL WALLS AS PER LEP DEFINITION

## SITE PLAN

ISSUE	AMENDMENT	DATE
A	PFD & SV1 (EB)	14.08.19
B	VARY B (EC)	29.08.19
C	VARY C (EC)	02.09.19
D	VARY D (EC)	25.09.19
E	POOL AMENDED (EC)	26.09.19
F	FFD (EB)	30.09.19

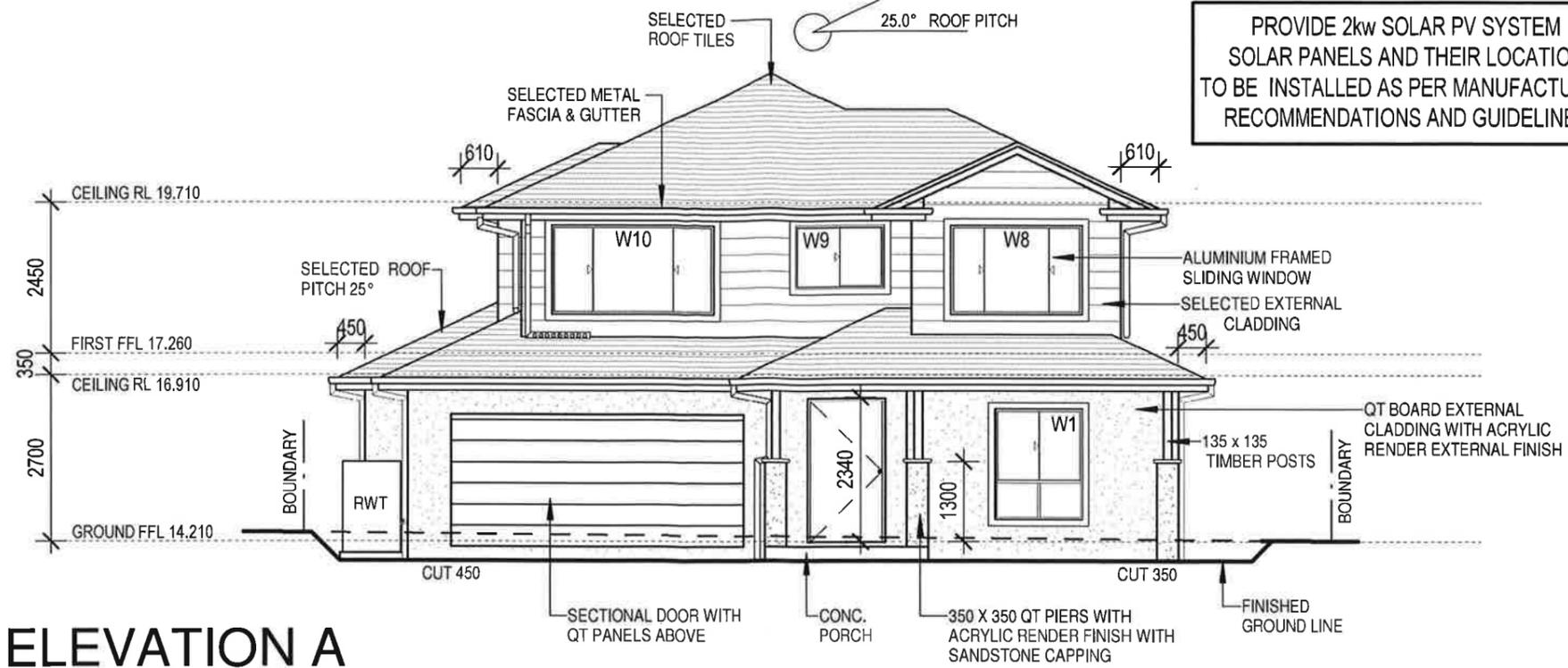
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 BESPOKE  
 Wincrest Group Pty Ltd.  
 ACN 135 562 873  
 Builders License No. 213 442C  
 18 Pitt St, Paramatta NSW 2150  
 Ph:(02) 9635 1644 Fax:(02) 9633 4806

PROPOSED RESIDENCE FOR:  
 CLIENT: MR CATLIN & MRS KALOUS

ADDRESS:  
 LOT 9, No 41 WARRIEWOOD ROAD  
 WARRIEWOOD  
 NORTHERN BEACHES COUNCIL

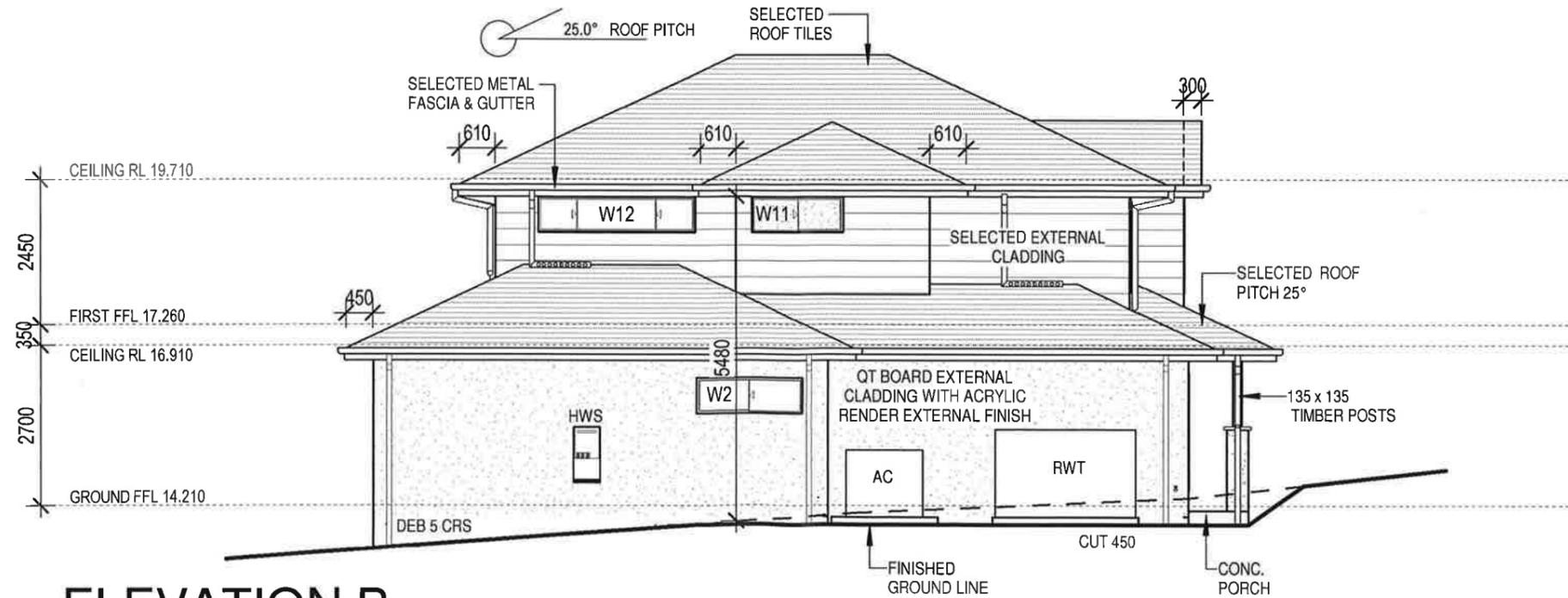
CASA BELA INCLUSIONS	
JOB NO: 17398	DATE: 26.09.19
DRAWN: EB	CHECKED: .
SCALE: As indicated	SHEET NO: 01
PLEASE DISCARD ALL OTHER PLANS	
<b>DO NOT SCALE DRAWING</b>	



PROVIDE 2kw SOLAR PV SYSTEM  
 SOLAR PANELS AND THEIR LOCATION  
 TO BE INSTALLED AS PER MANUFACTURERS  
 RECOMMENDATIONS AND GUIDELINES

**NOTE:**  
 ■ FIRST FLOOR WINDOW HEADS TO BE PLACED DIRECTLY UNDER EAVES OR AT EQUAL HEIGHT  
 ■ GROUND FLOOR WINDOW HEAD HEIGHT 2166 ABOVE FFL  
 ■ ALL ANGLED WALLS @ 45° UNLESS NOTED OTHERWISE.

**ELEVATION A**  
 1 : 100



**ELEVATION B**  
 1 : 100

**ELEVATIONS**

ISSUE	AMENDMENT	DATE
A	PFD & SV1 (EB)	14.08.19
B	VARY B (EC)	29.08.19
C	VARY C (EC)	02.09.19
D	VARY D (EC)	25.09.19
E	POOL AMENDED (EC)	26.09.19
F	FFD (EB)	30.09.19

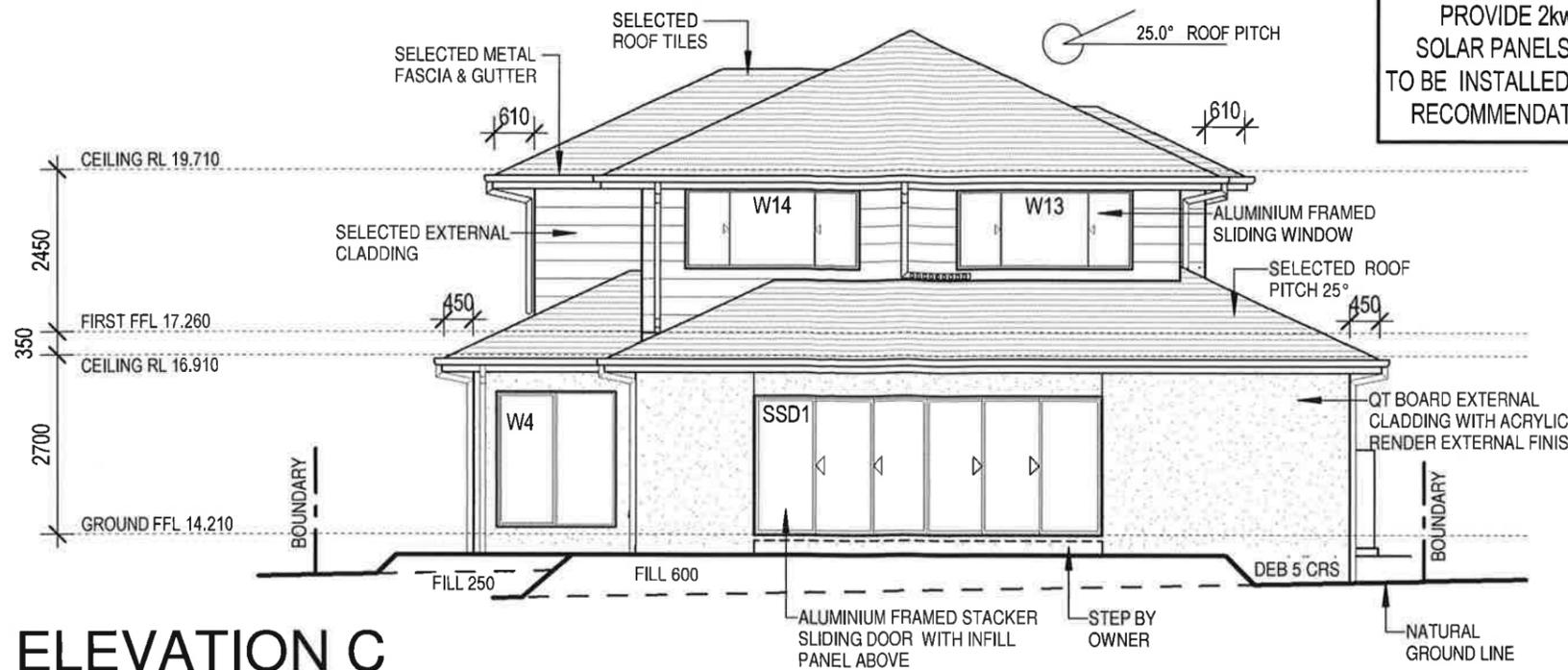
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**LOT 9, No 41 WARRIEWOOD ROAD**  
**WARRIEWOOD**  
**NORTHERN BEACHES COUNCIL**

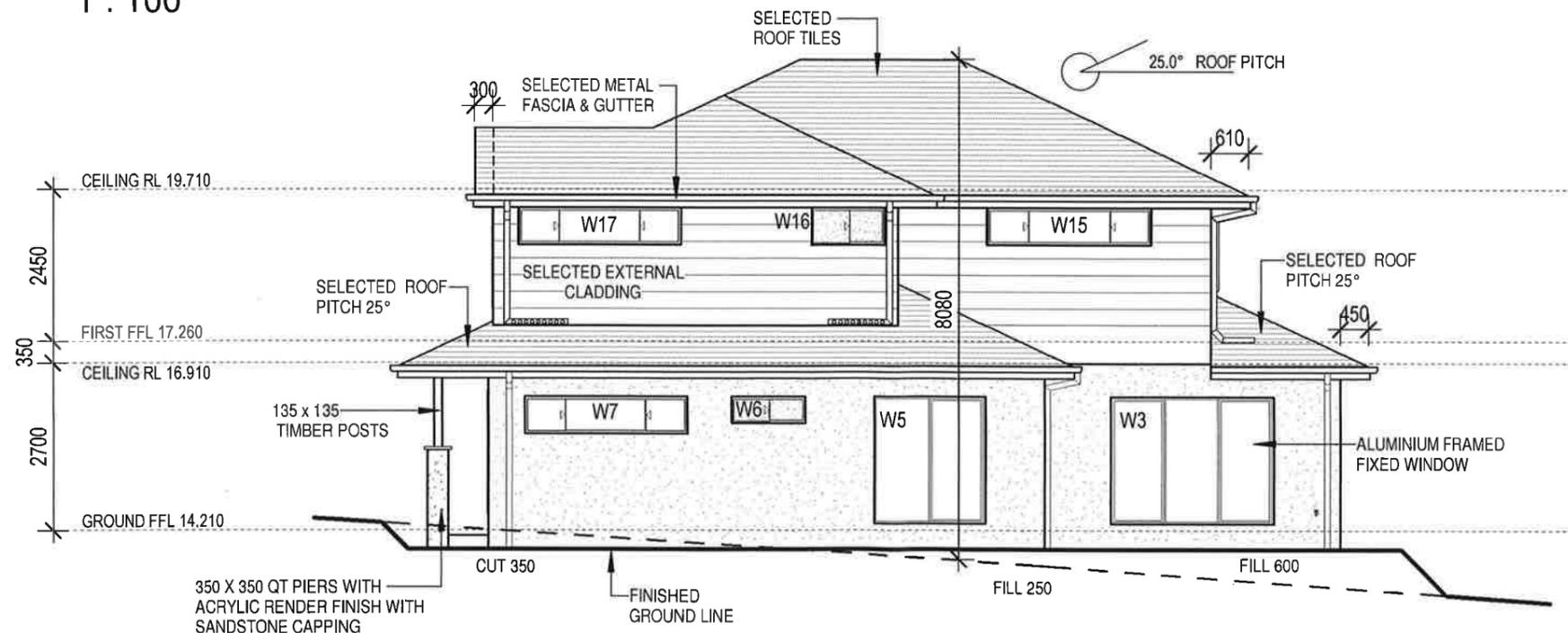
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JOB NO: 17398	DATE: 26.09.19
DRAWN: EB	CHECKED: .
SCALE: 1 : 100	SHEET NO: 04
PLEASE DISCARD ALL OTHER PLANS	
<b>DO NOT SCALE DRAWING</b>	

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### ELEVATION C

1 : 100



### ELEVATION D

1 : 100

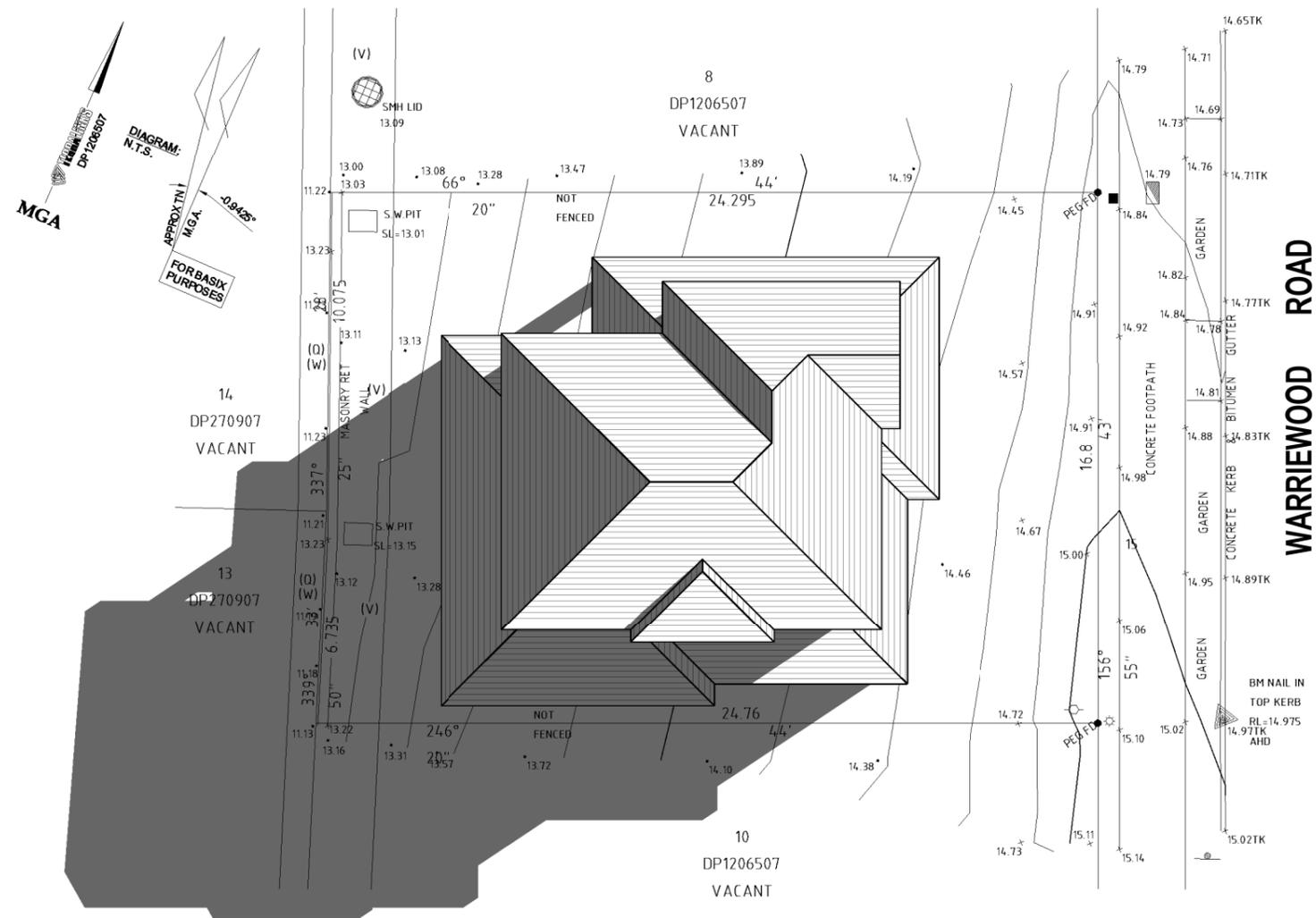
PROVIDE 2kw SOLAR PV SYSTEM  
SOLAR PANELS AND THEIR LOCATION  
TO BE INSTALLED AS PER MANUFACTURERS  
RECOMMENDATIONS AND GUIDELINES

**NOTE:**

- FIRST FLOOR WINDOW HEADS TO BE PLACED DIRECTLY UNDER EAVES OR AT EQUAL HEIGHT
- GROUND FLOOR WINDOW HEAD HEIGHT 2166 ABOVE FFL
- ALL ANGLED WALLS @ 45° UNLESS NOTED OTHERWISE.

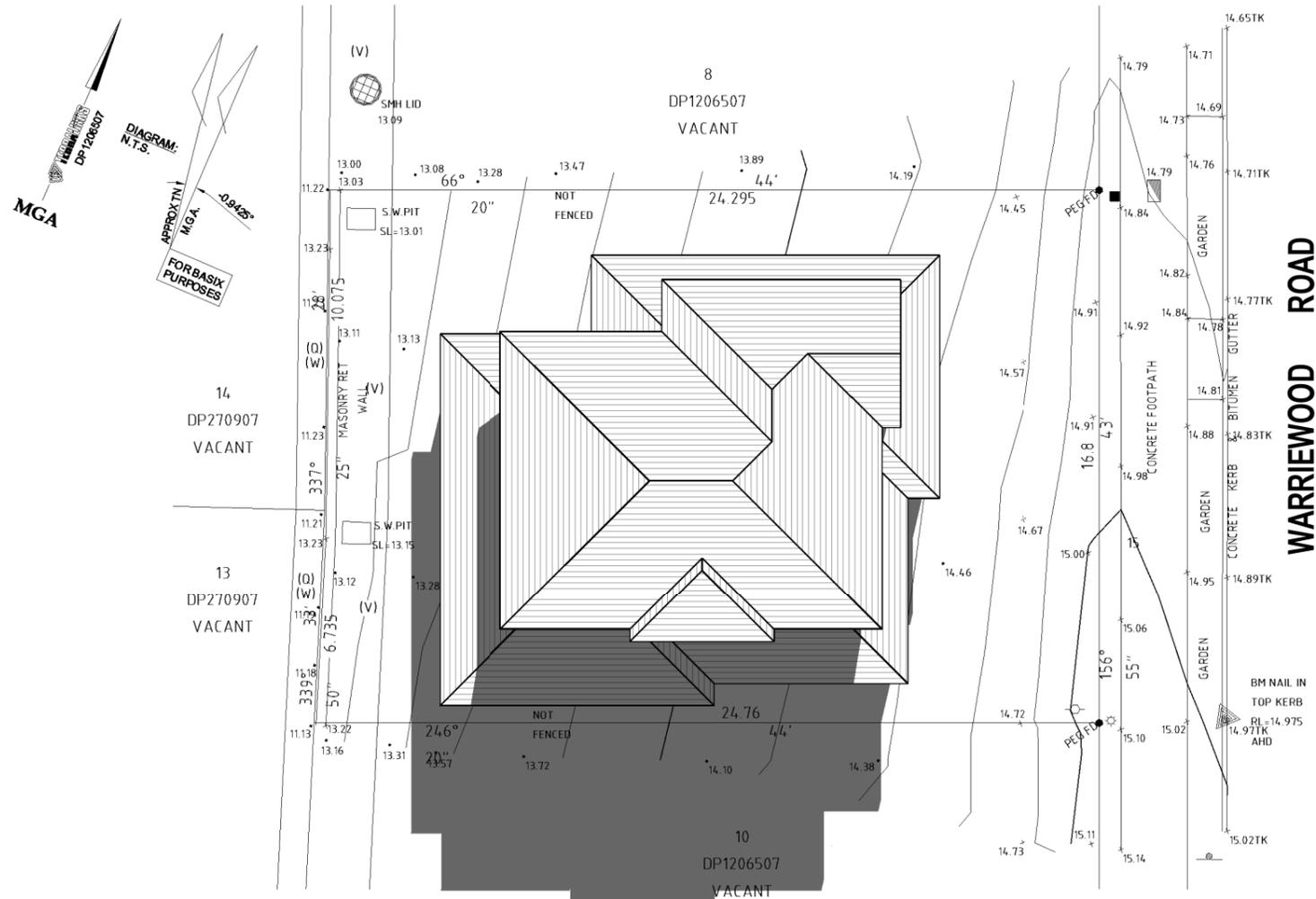
## ELEVATIONS

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A	PFD & SV1 (EB)	14.08.19			CLIENT: MR CATLIN & MRS KALOUS		JOB NO: 17398	DATE: 26.09.19	
B	VARY B (EC)	29.08.19			ADDRESS:		DRAWN: EB	CHECKED: .	
C	VARY C (EC)	02.09.19			LOT 9, No 41 WARRIEWOOD ROAD		SCALE: 1 : 100	SHEET NO: 05	
D	VARY D (EC)	25.09.19			WARRIEWOOD		PLEASE DISCARD ALL OTHER PLANS		
E	POOL AMENDED (EC)	26.09.19			NORTHERN BEACHES COUNCIL		<b>DO NOT SCALE DRAWING</b>		
F	FFD (EB)	30.09.19							



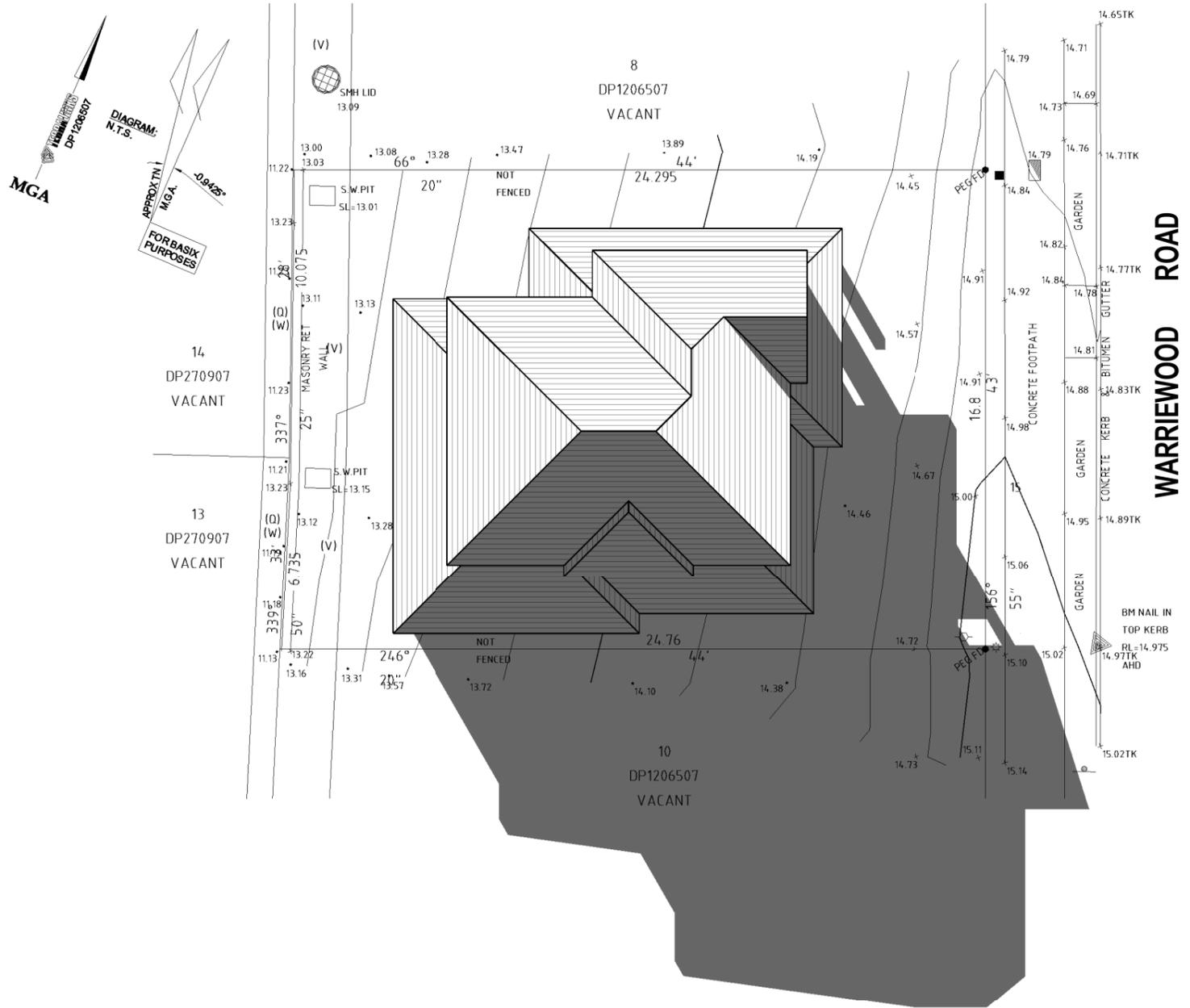
# SHADOW DIAGRAM JUNE 21st 9AM

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A	PFD & SV1 (EB)	14.08.19			CLIENT: MR CATLIN & MRS KALOUS	JOB NO: 17398	DATE: 26.09.19
B	VARY B (EC)	29.08.19			ADDRESS: <b>LOT 9, No 41 WARRIEWOOD ROAD</b> <b>WARRIEWOOD</b> <b>NORTHERN BEACHES COUNCIL</b>	DRAWN: EB	CHECKED: Checker
C	VARY C (EC)	02.09.19				SCALE: 1 : 200	SHEET NO: 12
D	VARY D (EC)	25.09.19				PLEASE DISCARD ALL OTHER PLANS	
E	POOL AMENDED (EC)	26.09.19				<b>DO NOT SCALE DRAWING</b>	
F	FFD (EB)	30.09.19					



# SHADOW DIAGRAM JUNE 21st 12PM

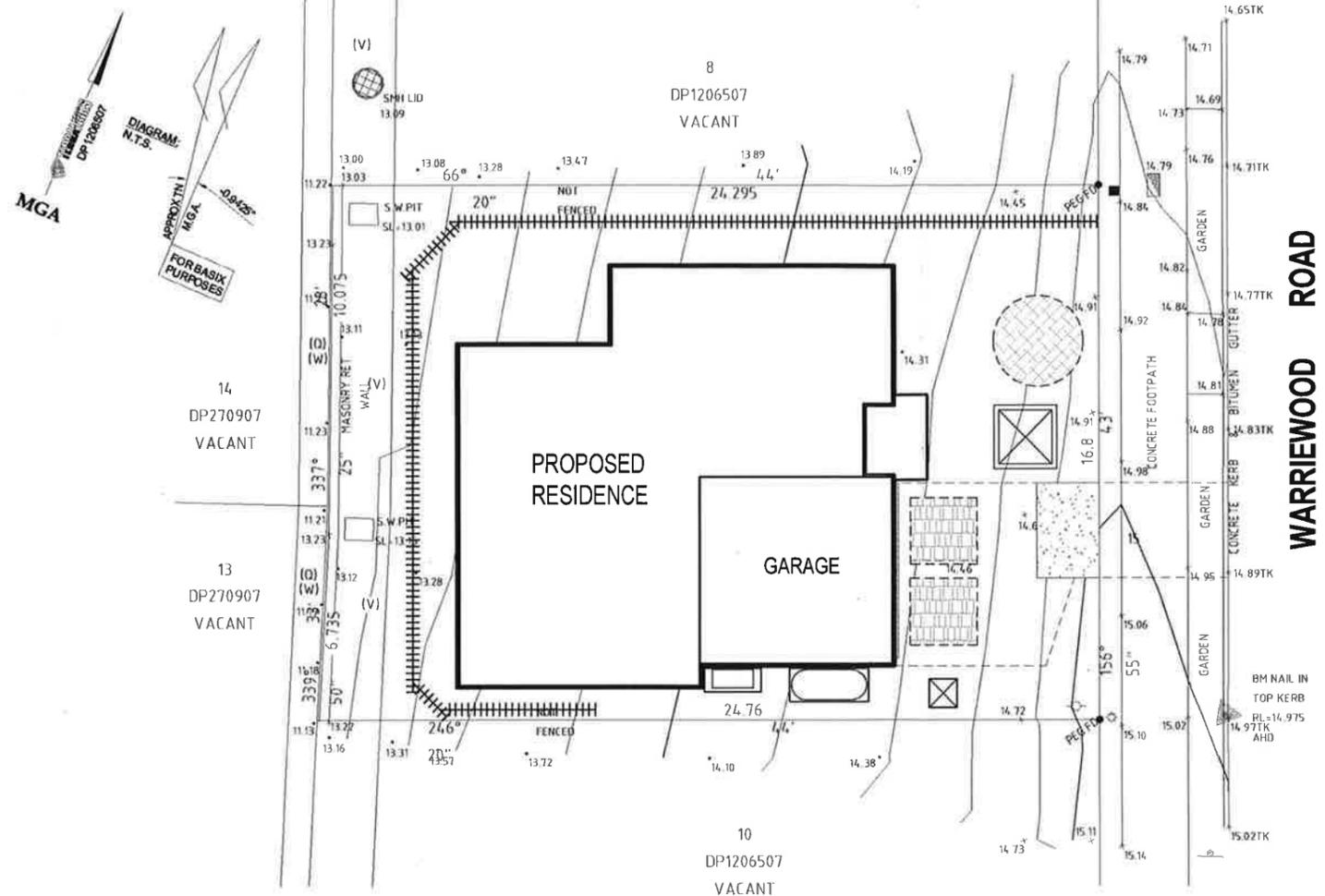
ISSUE	AMENDMENT	DATE	Copyright reserved. No part of these plans may be reproduced or transmitted in any form without the written permission of Wincrest Group Pty Ltd.	 BESPOKE Wincrest Group Pty Ltd. ACN 135 562 873 Builders License No. 213 442C 18 Pitt St, Paramatta NSW 2150 Ph:(02) 9635 1644 Fax:(02) 9633 4806	PROPOSED RESIDENCE FOR:	CASA BELA INCLUSIONS	
A	PFD & SV1 (EB)	14.08.19			CLIENT: MR CATLIN & MRS KALOUS	JOB NO: 17398	DATE: 26.09.19
B	VARY B (EC)	29.08.19	ADDRESS: <b>LOT 9, No 41 WARRIEWOOD ROAD</b> <b>WARRIEWOOD</b> <b>NORTHERN BEACHES COUNCIL</b>	DRAWN: EB	CHECKED: Checker		
C	VARY C (EC)	02.09.19		SCALE: 1 : 200	SHEET NO: 13		
D	VARY D (EC)	25.09.19		PLEASE DISCARD ALL OTHER PLANS			
E	POOL AMENDED (EC)	26.09.19		<b>DO NOT SCALE DRAWING</b>			
F	FFD (EB)	30.09.19					



# SHADOW DIAGRAM JUNE 21st 3PM

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	A PFD & SV1 (EB) B VARY B (EC) C VARY C (EC) D VARY D (EC) E POOL AMENDED (EC) F FFD (EB)	14.08.19 29.08.19 02.09.19 25.09.19 26.09.19 30.09.19			CLIENT: MR CATLIN & MRS KALOUS	JOB NO: 17398	DATE: 26.09.19
					ADDRESS:	DRAWN: EB	CHECKED: Checker
					LOT 9, No 41 WARRIEWOOD ROAD WARRIEWOOD NORTHERN BEACHES COUNCIL	SCALE: 1 : 200	SHEET NO: 14
					PLEASE DISCARD ALL OTHER PLANS		
					<b>DO NOT SCALE DRAWING</b>		

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### LEGEND

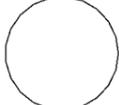
-  Material Stockpile area.
-  Waste stockpile & material sorting area.
-  Storage recycling bins for segregated waste.
-  Chemical toilets.
-  Temporary builders d/way to E.P.A. requirements.
-  Fit standard 600 high green silt fence (refer to detail).
-  Trees to be removed.

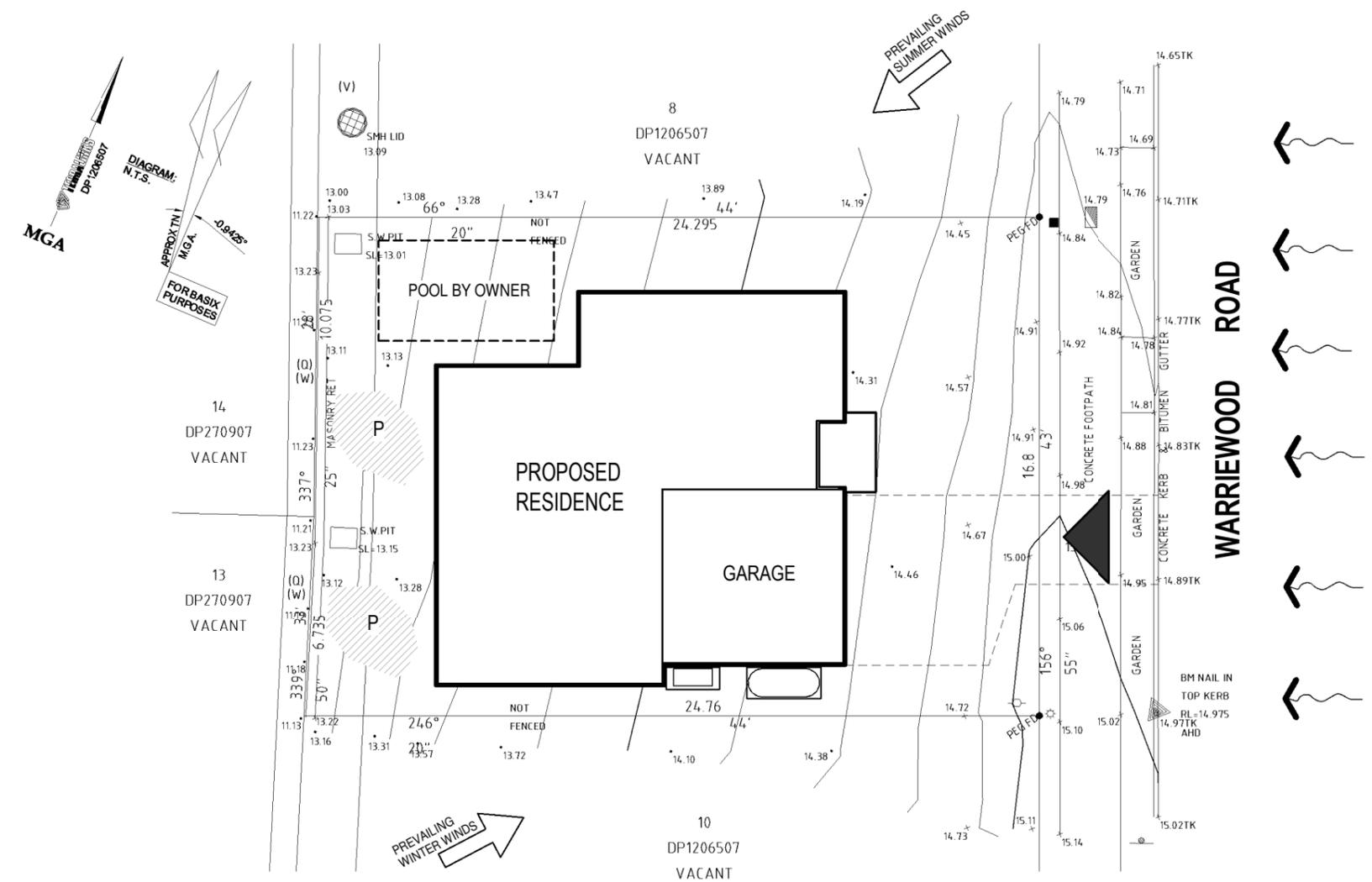
**NOTE:** All waste materials to be taken to an approved waste disposal site.

## SOIL , SEDIMENT AND SITE MANAGEMENT PLAN

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A	PFD & SV1 (EB)	14.08.19			CLIENT: MR CATLIN & MRS KALOUS	JOB NO: 17398	DATE: 26.09.19
B	VARY B (EC)	29.08.19	ADDRESS: <b>LOT 9, No 41 WARRIEWOOD ROAD</b> <b>WARRIEWOOD</b> <b>NORTHERN BEACHES COUNCIL</b>	DRAWN: EB	CHECKED: Checker		
C	VARY C (EC)	02.09.19		SCALE: 1 : 200	SHEET NO: 15		
D	VARY D (EC)	25.09.19		PLEASE DISCARD ALL OTHER PLANS			
E	POOL AMENDED (EC)	26.09.19		<b>DO NOT SCALE DRAWING</b>			
F	FFD (EB)	30.09.19					

# LEGEND

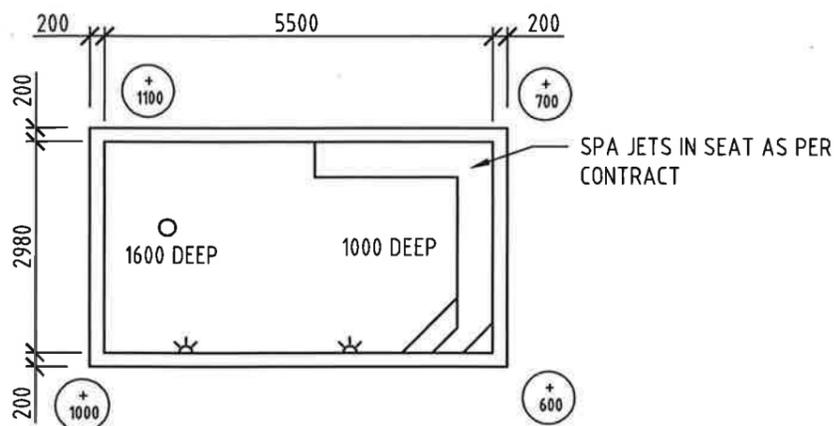
-  EXISTING TREES TO BE REMOVED
-  EXISTING TREES TO BE RETAINED
-  PROPOSED RESIDENCE.
-  EXISTING ADJOINING RESIDENCE.
-  EXISTING BUILDINGS TO BE DEMOLISHED.
-  SITE BOUNDARY
-  CONTOURS
-  PRIVATE OPEN SPACE
-  VIEWS
-  VEHICULAR SITE ENTRY
-  PREVAILING WINDS
-  NOISE
-  OVERLOOKING



# SITE ANALYSIS

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A	PFD & SV1 (EB)	14.08.19	Copyright reserved. No part of these plans may be reproduced or transmitted in any form without the written permission of Wincrest Group Pty Ltd.	 <b>WINCREST</b> BESPOKE Wincrest Group Pty Ltd. ACN 135 562 873 Builders License No. 213 442C 18 Pitt St, Paramatta NSW 2150 Ph:(02) 9635 1644 Fax:(02) 9633 4806	CLIENT: MR CATLIN & MRS KALOUS		JOB NO: 17398	DATE: 26.09.19
B	VARY B (EC)	29.08.19			ADDRESS:		DRAWN: EB	CHECKED: Checker
C	VARY C (EC)	02.09.19			<b>LOT 9, No 41 WARRIEWOOD ROAD</b>		SCALE: 1 : 200	SHEET NO: 16
D	VARY D (EC)	25.09.19			<b>WARRIEWOOD</b>		PLEASE DISCARD ALL OTHER PLANS	
E	POOL AMENDED (EC)	26.09.19			<b>NORTHERN BEACHES COUNCIL</b>		<b>DO NOT SCALE DRAWING</b>	
F	FFD (EB)	30.09.19						

LOCATION: T:\First draft\17398\_CATLIN & KALOUS\Drawings\17398\_CATLIN.rvt



**POOL PLAN**

SCALE 1:100 (A3)

LEVELS SHOWN INDICATE FINISHED STRUCTURAL LEVEL  
 (+) ABOVE (-) OR BELOW EXISTING GROUND LEVELS

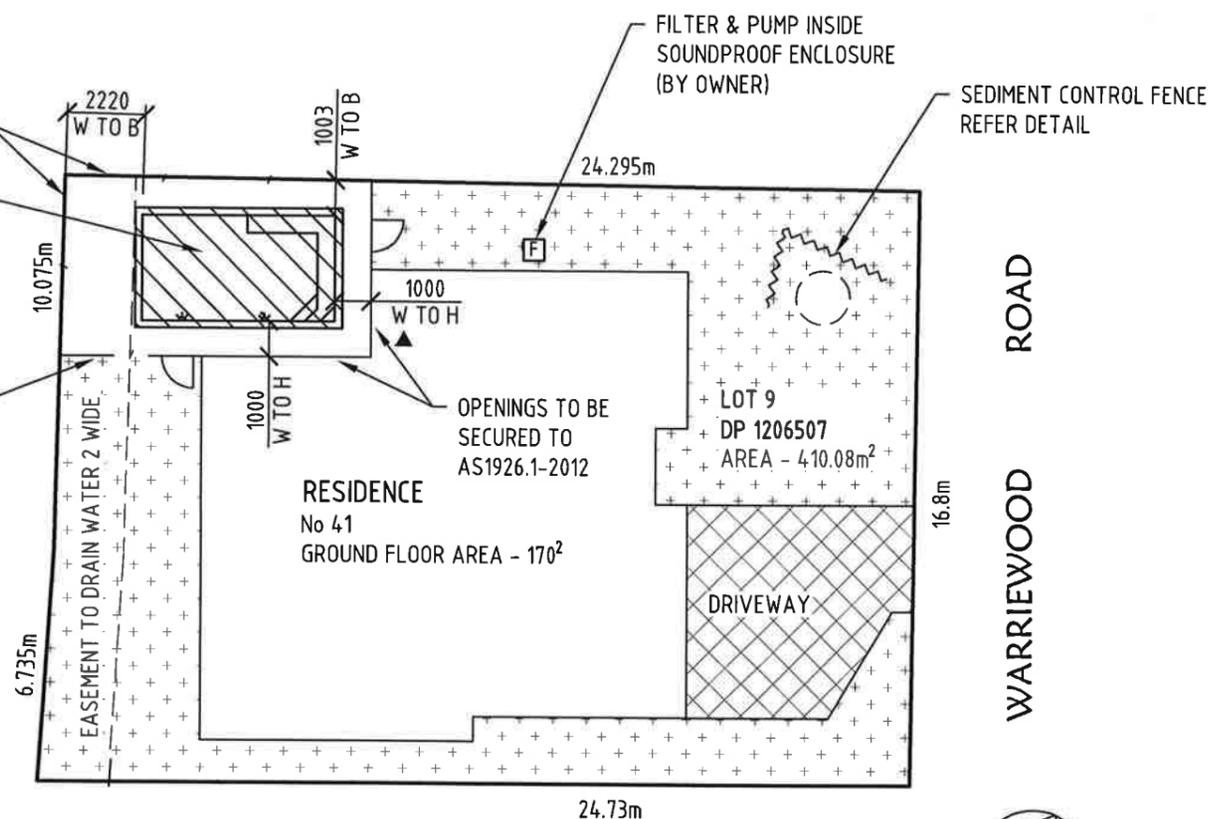
POOL WATER CAPACITY IS 20,000 LITRES. THIS POOL IS LESS THAN 40,000 LITRES, THEREFORE DOES NOT REQUIRE A BASIX CERTIFICATE.

SPA JETS IN SEAT AS PER CONTRACT

PROPOSED CONCRETE POOL  
 THE PROPOSED POOL TO COMPLY WITH THE SWIMMING POOL ACT AND REGULATIONS

1200 HIGH (MIN) CHILD PROOF SAFETY FENCE AND SELF CLOSING, SELF LOCKING GATE TO AS1926.1-2012 (ALL AROUND) BY OWNER

BDY FENCES TO AS1926.1-2012



FILTER & PUMP INSIDE SOUNDPROOF ENCLOSURE (BY OWNER)

SEDIMENT CONTROL FENCE REFER DETAIL

24.295m

2220 W TO B

1003 W TO B

1000 W TO H

OPENINGS TO BE SECURED TO AS1926.1-2012

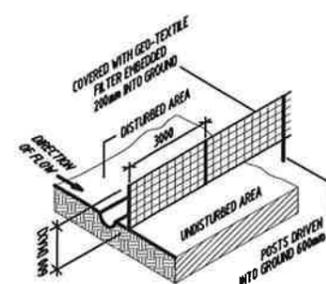
RESIDENCE No 41 GROUND FLOOR AREA - 170<sup>2</sup>

LOT 9 DP 1206507 AREA - 410.08m<sup>2</sup>

DRIVEWAY

WARRIEWOOD ROAD

24.73m



SEDIMENT FENCE DETAIL NOT TO SCALE

- ▲ DATUM - TOP OF SLAB. TOP OF POOL TO BE LEVEL WITH DATUM.
- DESIGNATED AREA FOR WASTE AND MATERIAL STOCKPILE EXCESS WASTE TO BE REMOVED FROM SITE

**LANDSCAPE CALCULATION**

SITE AREA = 410.8m<sup>2</sup>  
 RESIDENCE (GROUND FLOOR) = 170m<sup>2</sup>  
 DRIVEWAY/PAVING = 35m<sup>2</sup>  
 PROPOSED POOL/COPING = 20m<sup>2</sup>  
 TOTAL B.U.A. = 225m<sup>2</sup> = 55%  
 LANDSCAPED AREA = 45%

APPROX LENGTH OF FENCE = 10m

- + + + DENOTES SOFT LANDSCAPING (GREATER THAN 1.5m WIDE)
- /// DENOTES SOFT LANDSCAPING (LESS THAN 1.5m WIDE)
- XXX DENOTES HARDSTAND AREAS



SITE PLAN SCALE 1:200 (A3)

**GENERAL**  
 G1 ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS2783 - 1992.  
 G2 THE SETTING OUT DIMENSIONS SHALL BE CHECKED ON SITE PRIOR TO COMMENCING EXCAVATION.  
 G3 ANY UNFORSEEN VARIATIONS TO THE ASSUMED SITE CONDITIONS SHALL BE REFERRED TO THE ENGINEER PRIOR TO PROCEEDING.  
 G4 THE WALKWAYS AND COPINGS HAVE BEEN DESIGNED FOR A LIVE LOAD OF 4kPa. THE ENGINEER SHALL BE NOTIFIED OF ANY PROPOSED VARIATION TO THIS PRIOR TO PLACING THE REINFORCEMENT.  
 G5 PRIOR TO EMPTYING THE POOL, THE OWNER SHALL ENSURE THAT ALL EXTERNAL GROUNDWATER HAS BEEN REMOVED FROM THE BASE AND WALLS OF THE POOL.  
 G6 THE ENGINEER SHALL BE NOTIFIED IF THE POOL IS OUT OF THE GROUND BY MORE THAN 900.  
 G7 THE DETAILS PRESENTED ON THE FOLLOWING SHEETS COMPLY WITH THE REQUIREMENTS OF AS2783-1992.

**CONCRETE**  
 C1 ALL WORKMANSHIP SHALL BE IN ACCORDANCE WITH AS3600.  
 C2 ALL CONCRETE SHALL HAVE A MINIMUM 28 DAY CONCRETE COMPRESSIVE STRENGTH OF 25MPa AND HAVE A MAXIMUM AGGREGATE SIZE OF 10mm AND A MAXIMUM SLUMP OF 80mm UNLESS NOTED OTHERWISE.  
 C3 WHERE THE POOL IS LOCATED WITHIN 1km OF LARGE EXPANSES OF SALT WATER THE CONCRETE SHELL SHALL HAVE A MINIMUM 28 DAY CONCRETE COMPRESSIVE STRENGTH OF 32MPa.  
 C4 CONCRETE SIZES SHOWN DO NOT INCLUDE FINISH AND MUST NOT BE REDUCED OR HOLED IN ANY WAY WITHOUT THE APPROVAL OF THE ENGINEER. HOWEVER, THE RADIUS OR CONCRETE THICKNESS MAY BE INCREASED.  
 C5 UNLESS OTHERWISE NOTED, CLEAR CONCRETE COVER SHALL BE IN ACCORDANCE WITH AS2783-1992.  
 C6 CONCRETE COVER SHALL BE MAINTAINED BY THE USE OF APPROVED CHAIRS AT APPROXIMATELY 750 CROSS CENTRES.  
 C7 ALL CONCRETE SHALL BE CURED BY THE OWNER FOR A MINIMUM OF 7 DAYS AFTER POURING BY KEEPING ALL EXPOSED SURFACES WET WITH WATER.  
 C8 S NOTATION TO REINFORCEMENT DENOTES GRADE 230 DEFORMED BAR.  
 C9 UNLESS OTHERWISE NOTED, ALL REINFORCEMENT LAPS SHALL BE A MINIMUM OF 500mm.  
 C10 PROVIDE 10mm CONTROL JOINTS IN THE WALKWAY FINISH AT MAXIMUM 4000 CENTRES AND AT POINTS OF RE-ENTRANT CORNERS IN PLAN.  
 C11 PROVIDE 10mm CONTROL JOINTS BETWEEN THE PERIMETER EDGE OF THE POOL AND ALL ABUTTING CONCRETE OR MASONRY FINISHES.

**FOUNDATION**  
 F1 THE DESIGN OF THE POOL HAS BEEN BASED ON BEING SUPPORTED BY UNIFORM NATURAL GROUND WITH A MINIMUM SAFE BEARING VALUE OF 150kPa (UNLESS SHOWN AS SUSPENDED ON PIERS). THE BUILDER SHALL NOTIFY THE ENGINEER IF ANY OTHER GROUND CONDITIONS ARE ENCOUNTERED PRIOR TO COMPLETING THE EXCAVATION. THE BUILDER SHALL ALSO NOTIFY THE ENGINEER IF A CLASS 'H', 'E' OR 'P' SUBGRADE IS ENCOUNTERED.  
 F2 THE EXCAVATION SHALL BE KEPT FREE OF WATER. ANY SOFTENED SUBGRADE MATERIAL SHALL BE REMOVED AND REPLACED WITH COMPACTED GRANULAR FILL PRIOR TO PROCEEDING.  
 F3 THE UNDERSIDE OF THE POOL SHALL BE SEPARATED FROM THE SUBGRADE WITH A 200µm POLYTHENE MEMBRANE OVER 50 CRUSHED STONE, COARSE AGGREGATE OR OTHER MATERIAL AS APPROVED BY THE ENGINEER.  
 F4 ANY PROPOSED EXCAVATIONS WHICH ARE TO BE WITHIN THE ZONE OF INFLUENCE OF AN EXISTING STRUCTURE SHALL BE REFERRED TO THE ENGINEER PRIOR TO COMMENCEMENT.

Structural details only certified by:

**BLUE HAVEN POOLS SOUTH PTY LTD**  
 Site Plan & Pool Plans prepared by Blue Haven Pools & Spas Pty Ltd  
 68 Hume Highway Lansvale NSW 2166  
 Telephone: (02) 9728 0444 Fax: (02) 9754 2906  
 Licence Number - 237620C ABN 78 133 909 369

**Keighran and Associates Pty Ltd**  
 Consulting Structural and Civil Engineers  
 ABN 25 003 832 291  
 APPROVED *[Signature]* DATE 23/09/19  
 BE (Hons), MEngSci, FIEAust, CPEng  
 Registered NPER 3719 (Structural & Civil)



PROPOSED SWIMMING POOL STRUCTURAL DETAILS  
 FOR: CATLIN AND KALOUS  
 AT: 41 WARRIEWOOD ROAD  
 WARRIEWOOD

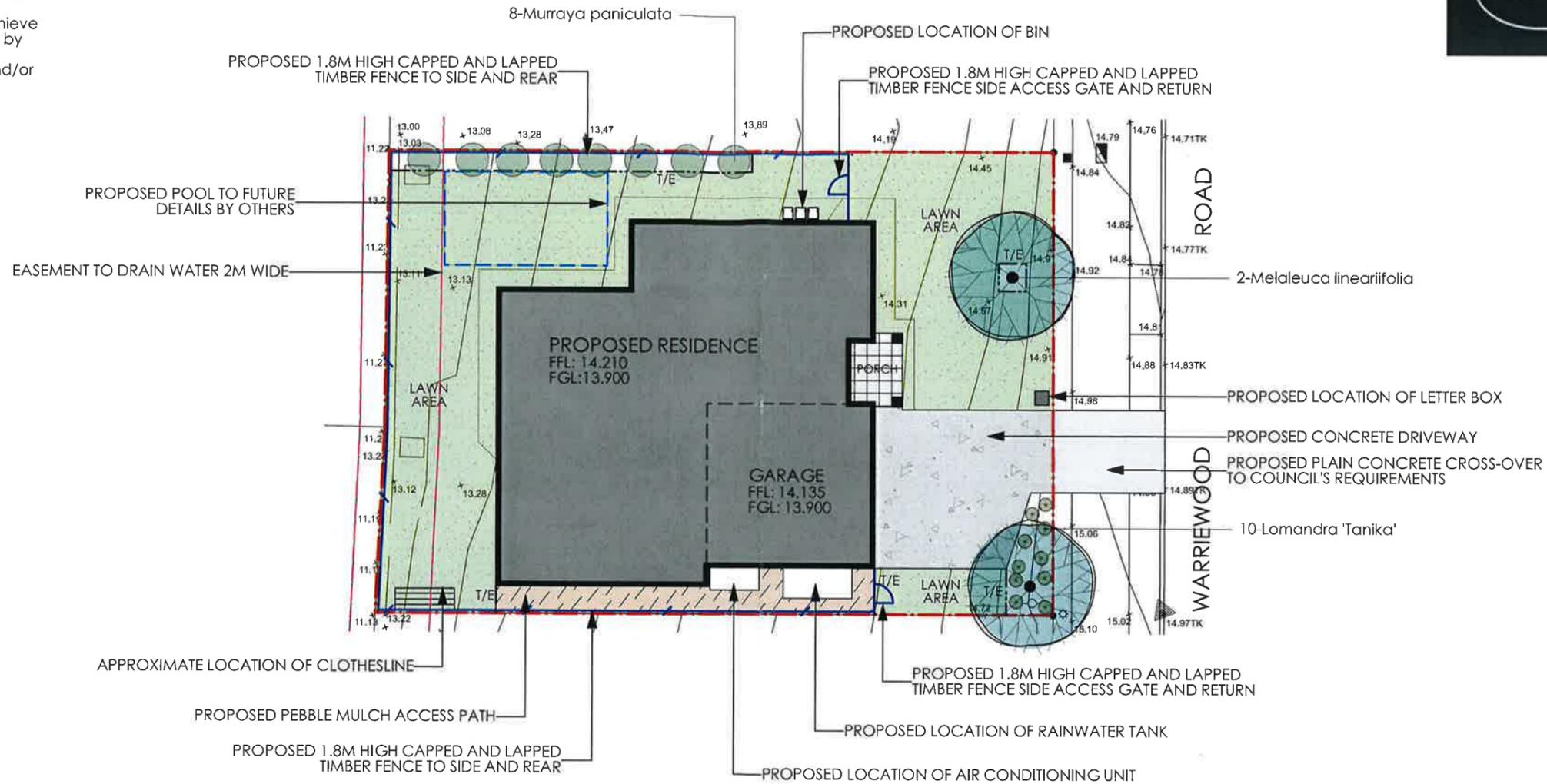
REV	DATE	DESCRIPTION	DWG/CONTRACT No
A	23.09.19	INITIAL ISSUE	19S3850
			SHEET REV
			1 OF 4 A







Note:  
Landscape Contractor shall undertake minor earthworks after handover by builder as required to achieve maximum gradient to all lawn and mulched areas of 1:50, and 1:4 to all garden areas. Should retaining walls be required to achieve these falls they shall be designed by an engineer and be a maximum height compliant with council and/or developer policies.



PLANTING SCHEDULE

Latin Name	Common Name	Quantity	Scheduled Size	Spread	Height
Lomandra 'Tanika'	Dwarf Lomandra	10	5lt	500	500
Melaleuca linearifolia	Snow In Sumer	2	45lt	5000	10000
Murraya paniculata	Orange Jessamine	8	250mm	1200	2500



Legend

- PROPOSED PAVED AREA
- PROPOSED LAWN AREA
- PROPOSED PEBBLED MULCH ACCESS PATH
- PROPOSED CONCRETE CROSSOVER
- PROPOSED CONCRETE DRIVEWAY

- PROPOSED 1.8M HIGH CAPPED AND LAPPED TIMBER FENCE
- T/E TIMBER LAWN EDGE
- SITE BOUNDARY

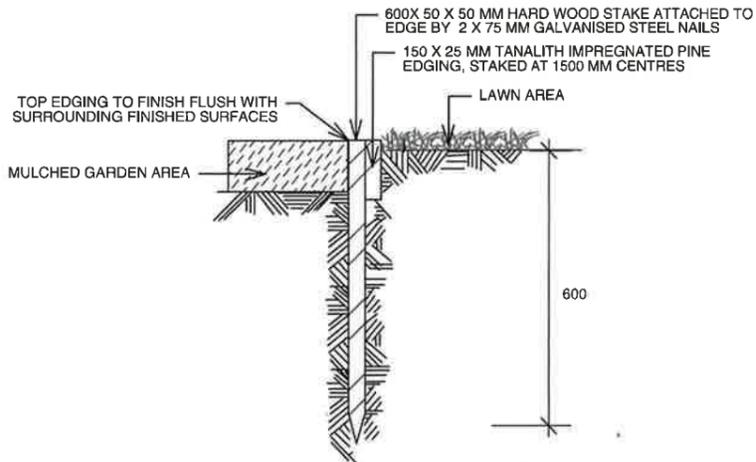
Notes

1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work.
2. All detailing of drainage to paved areas shall be by others.
3. All levels shall be determined by others and approved on site by client.
4. Extent, height and position of all retaining walls shall be determined by others and approved on site by client, to Structural Engineers detail.
5. Do not scale from drawings.
6. If in doubt contact the Landscape Architect.
7. All boundaries shall be surveyed prior to commencement of construction works.
8. This plan is for DA purposes only. It has not been detailed for construction.
9. All dimensions, levels and boundaries are nominal only.
10. This design shall not be copied, utilised or reproduced in any way without prior written permission of A Total Concept Landscape Architects.

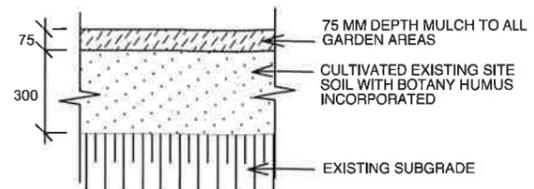
Revision	Description	Date

DATE	REVISION
DRAWING	PROPOSED LANDSCAPE PLAN
ADDRESS	LOT 9, NO.41 WARRIEWOOD ROAD, WARRIEWOOD
CLIENT	MR CATLIN & MRS KALOUS
DATE #	09/10/19
SCALE @ A3	1:200
DRAWN	SX
CHKD	JC
PROJECT #	WINCREST HOMES
DWG #	L/01
REVISION	

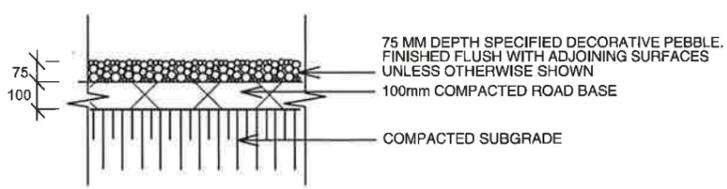
A Total Concept Landscape Architects & Swimming Pool Designers  
65 West Street, North Sydney NSW 2060  
Tel: (02) 9957 5122 Fx: (02) 9957 5922



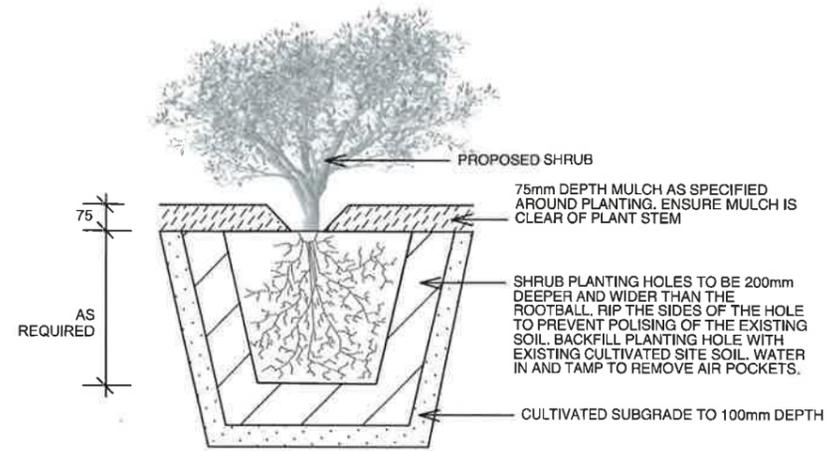
**TYPICAL TIMBER EDGE DETAIL**  
SCALE 1:10  
DO NOT SCALE



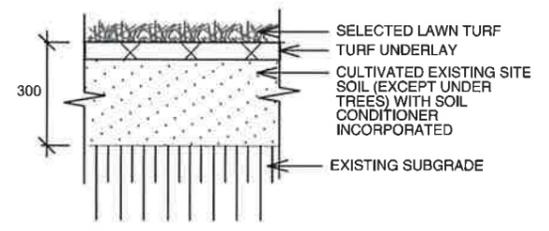
**SOIL TO GARDEN AREAS**  
SCALE 1:20



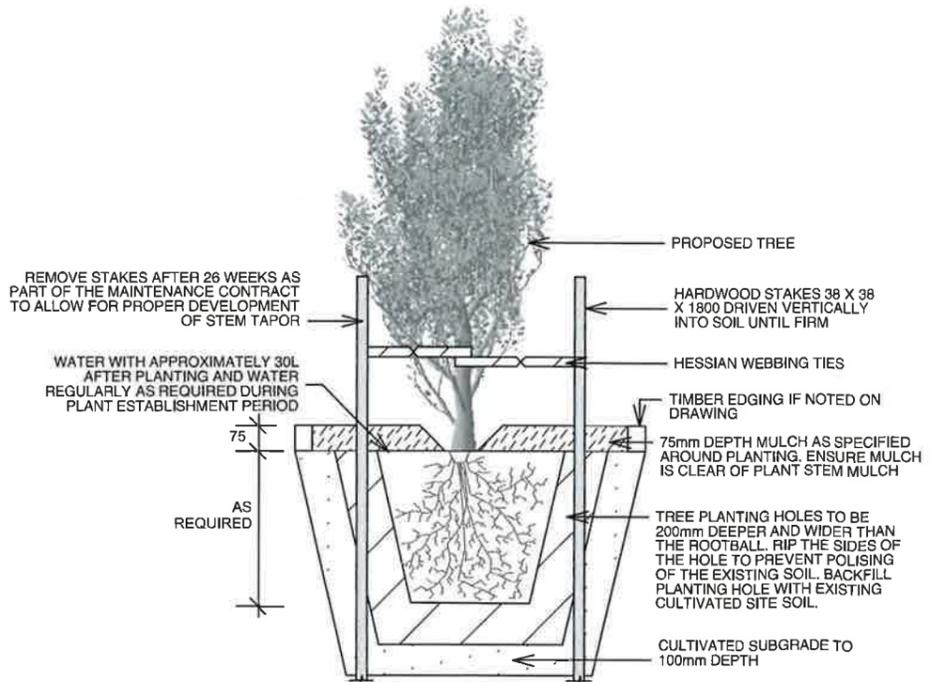
**PEBBLE PATHWAY**  
SCALE 1:10



**PLANTING DETAIL**  
SCALE 1:20



**TYPICAL TURF DETAIL**  
SCALE 1:20



**TREE PLANTING & STAKING DETAIL**  
SCALE 1:20

- Notes:**
1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work.
  2. All detailing of drainage to paved areas shall be by others.
  3. All levels shall be determined by others and approved on site by client.
  4. Extent, height and position of all retaining walls shall be determined by others and approved on site by client.
  5. Do not scale from drawings.
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DATE	REVISION		
DRAWING <b>LANDSCAPE DETAILS</b>			
ADDRESS <b>LOT 9, NO.41 WARRIEWOOD ROAD, WARRIEWOOD</b>		PROJECT # <b>WINCREST HOMES</b>	
CLIENT <b>MR CATLIN &amp; MRS KALOUS</b>	DATE # <b>09/10/19</b>	DWG # <b>L/02</b>	
A Total Concept Landscape Architects & Swimming Pool Designers 65 West Street, North Sydney NSW 2060 Tel: (02) 9957 5122 Fx: (02) 9957 5922		SCALE @ A3 <b>AS SHOWN</b>	
DRAWN <b>SX</b>	CHKD <b>JC</b>	REVISION	
<b>atc</b> a total concept landscape architects & swimming pool designers			

## OUTLINE LANDSCAPE SPECIFICATION

**Preparation by Builder:** Builder shall remove all existing concrete pathways, fences, footings, walls etc. not notated to be retained and complete all necessary excavation work prior to commencement on site by Landscape Contractor (Contractor). Builder shall also install new retaining walls, kerbs, layback kerb, crossover, pathways etc. and make good all existing kerbs, gutters etc. as necessary and to approval of Council. Builder shall ensure that a minimum 450mm of topsoil in garden areas and a minimum 150mm of topsoil in lawn areas exists. Should required depths not exist Builder shall contact Landscape Architect and ask for instructions prior to completion of excavation works.

Excavate as necessary, then fill with approved site topsoil to allow for minimum 500mm soil depth in garden areas and 150mm soil depth in lawn areas and to gain required shapes & levels. Ensure all garden and lawn areas drain satisfactorily. All levels & surface drainage shall be determined by others & approved on site by Head Contractor. Note: Approved imported topsoil mix may be utilised if there is insufficient site topsoil available. State in Tender a m3 rate for additional imported topsoil and the quantities of both site topsoil and imported topsoil allowed for in Tender.

**Initial Preparation:** Verify all dimensions & levels on site prior to commencement. Do not scale from drawings. Locate all underground & above ground services & ensure no damage occurs to them throughout contract. Spray approved weedicide to all proposed lawn & garden areas to manufacturer's directions. Remove existing concrete pathways, footings, walls etc. not notated to be retained & weeds from site. Levels indicated on Plan are nominal only and are derived from Architectural Plans & Drawings by others. Final structural integrity of all items shall be the sole responsibility of Landscape Contractor.

**Tree Protection:** Trees to be retained shall be protected during site works and construction by the erection of solid barricades to the specification of Council. Storage of machinery or materials beneath canopy of trees to be retained shall not be permitted. Changes to soil level and cultivation of soil beneath canopy of trees to be retained shall not be permitted unless under direct supervision of Landscape Architect. Existing trees shall be pruned to Landscape Architects onsite instructions.

**Soil Preparation:** Cultivate to depth of 300mm all proposed lawn & garden areas incorporating minimum 100mm depth of organic clay breaker into existing site soil. Do not cultivate beneath existing trees to be retained. In areas where fill is required gain required shapes & levels using a premium grade soil mix. In areas where excavation is required (if in clay) over excavate as required to allow for installation of 500mm depth of premium grade topsoil mix to garden areas and 300mm depth of premium grade topsoil mix to lawn areas. Undertake all required action to ensure that no rootballs of proposed plants sit in clay wells and that all garden areas and lawn areas drain satisfactorily. Note it is intended that wherever possible existing levels shall not be altered through garden and lawn areas. It is the Contractors responsibility to ensure that the end result of the project is that all lawn and garden areas drain sufficiently (both surface & subsurface), are at required finished levels and have sufficient soil depths to enable lawn and plants to thrive and grow. Should alternative works to those specified be required to achieve the above result, Contractor shall inform Builder at time of Tender and request instructions.

**Lawn Edging and Stepping Stones:**(i) 125 x 25mm approved tanalith impregnated pine edging shall be installed, to lines as indicated on plan and staked with approved stakes at maximum 1500mm centres at ends and changes of direction; stakes shall be nailed to edging with approved galvanised steel nails. Top of edging shall finish flush with surrounding surfaces. Top of stakes shall finish 25mm below top of edging.(ii) Contractor shall install approved bricks on edge on a minimum 100mm deep x 90mm wide concrete footing with brick tor set in, to lines nominated on plan as brick edging. Bricks shall be laid with a nominal 10mm wide approved coloured mortar joint. Bricks needing to be cut shall be done so with clean sharp cuts. Top of edging shall finish flush with surrounding finished surfaces. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed.

**Retaining Walls:** Positions, detail and heights of retaining walls shall be by others.

**Planting:** Purchase plants from an approved nursery. Plants to be healthy & true to type & species. Set out plants to positions indicated on plan. Following approval, plant holes shall be dug approximately twice width and to 100mm deeper than plant rootballs that they are to receive. Base and sides of hole shall be further loosened. Fertiliser, followed by 100mm depth of topsoil mix shall then be placed into base of hole and lightly consolidated. Base of hole shall then be watered. Remove plant container and install plant into hole. Rootball shall be backfilled with surrounding topsoil and topsoil firmed into place. An approved shallow dish shall be formed to contain water around base of stem. Base of stem of plant shall finish flush with finished soil level. Once installed plant shall be thoroughly watered and maintained for the duration of the Contract.

**Staking:** All trees shall be staked using 2 x 38mm x 38mm x 2000mm long hardwood stakes per plant and with hessian webbing ties installed to Landscape Architect's on site instructions.

**Mulching:** Install 75mm depth of 25mm diameter hardwood mulch to all garden areas, coving mulch down around all plant stems & to finish flush with adjacent surfaces.

**Turfing:** Prepare for, level & lay cultivated Palmetto Buffalo turves to all areas nominated on plan as being lawn. Roll, water, fertilise, mow & maintain lawns as necessary until completion of maintenance period. At same time make good all existing lawn areas using same lawn type. Lawns in shade shall be over sown with an approved seed mix. Allow to retrim and return councils nature strip as required.

**Fencing:** Retain all existing fences unless advised otherwise by builder. Install timber paling fences to heights indicated on Plan.

**Paving:** Areas to be paved shall be excavated or filled to allow for installation of bedding materials. Levels and falls shall be as per Plan. Surface drainage on paving shall be towards grated drains with all drains connected to stormwater system and installed by Builder.

**Irrigation:** Contractor shall supply and install an approved fully automatic, vandal resistant, computerised irrigation system to all garden and lawn areas, excluding council nature strip. Entire system shall be to approval of Water Board and shall utilise pop-up sprinklers and electronic controllers. Contractor shall be responsible to ensure that system is able to satisfactorily operate on available water pressure. Power supply for use by irrigation system shall be provided to an approved location near southwest corner of residence by others and shall consist of an approved weatherproof G.P.O. The irrigation system controller shall be housed in an approved waterproof cabinet mounted to external wall of residence.

**Clotheslines:** Contractor shall allow for all necessary labour and materials and shall install clotheslines to positions as indicated on plan to manufacturer's instructions to approval of Landscape Architect. Clothesline type shall be equal to 'Hills Foldalene'.

**Completion:** Prior to practical completion remove from site all unwanted debris occurring from work. Satisfy Council that all landscaping work has been undertaken in strict accordance with Councils landscape codes & guidelines.

**Maintenance Period:** A twelve month maintenance period shall be undertaken by owner or owners representative as set out herein. Owner shall have care and maintenance of all work specified under this Contract and shall rectify any defective work for a period of 52 weeks following Practical Completion of Landscape Works. This period shall be herein known as the Maintenance Period. Work shall also include for the care and maintenance of all existing vegetation to be retained and proposed vegetation. Site shall be attended at least weekly and as otherwise required. The following works shall be undertaken during the Maintenance Period.

**(a) Recurrent works** Undertake recurrent works throughout the Maintenance Period. These works shall include but are not limited to watering, weeding, fertilising, pest and disease control, returfing, staking and tying, replanting, cultivation, pruning, aerating, renovating, top dressing and the like.

**(b) Watering** Regularly water all plants and lawn areas to maintain optimal growing conditions. Contractor shall adjust the water quantity utilised with regard to climatic conditions prevalent at the time.

**(c) Replacements** Immediately replace plants which die or fail to thrive (at discretion of Landscape Architect) with plants of same species or variety and of same size and quality unless otherwise specified. Plant replacement shall be at Contractors expense, unless replacement is required due to vandalism or theft, which shall be determined by Landscape Architect. Required replacement of plants due to vandalism or theft shall be undertaken by Contractor and shall be paid for by Client at an agreed predetermined rate.

**(d) Mulched surfaces** Maintain mulched surfaces in clean, tidy, weed-free condition and shall reinstate mulch as necessary to maintain specified depths.

**(e) Stakes & ties** Adjust and/or replace stakes and ties as required. Remove stakes and ties at end of Maintenance Period if directed by Landscape Architect.

**(f) Lawn areas** Lawn areas shall be mown at regular intervals to ensure non heading of lawn with a fine-cutting mulching mower and clippings left on lawn to mulch and self-fertilise lawn areas. Primary cut after laying of lawn by others shall be determined on site taking into consideration season, watering and growth rate of lawn. Following the primary cut all lawns shall be regularly mown as required to ensure a healthy lawn and a neat appearance. Care shall always be taken to ensure that no clippings are left on surrounding roads or garden areas after mowing. Replace lawn areas that fail to thrive at discretion of Landscape Architect. All new and made good lawn areas shall be barricaded off from pedestrian traffic by use of star pickets and brightly coloured plastic safety mesh until establishment of lawn. Barricades shall be removed upon establishment of lawn area.

**(g) Weeding** Remove by hand, or by carefully supervised use of weedicide, any weed growth that may occur throughout Maintenance Period. This work shall be executed at weekly intervals so that all lawn and garden areas may be observed in a weed-free condition.

**(h) Pruning** Prune new and existing plants (excluding existing trees) as necessary to maintain dense foliage conditions. Any rogue branches, or branches overhanging or obstructing pathways, roads, doorways, etc., shall be removed by approved horticultural methods.

**(i) Spraying** Spraying for insect, fungal and disease attack shall be undertaken as required and in accordance with spray manufacturers recommendations at intervals taking into account the season of year during which landscape works are to be implemented.

**(j) Tree Care** Should any existing trees be damaged during construction works immediately engage an experienced arboriculturist and then undertake any rectification work recommended by arboriculturist.

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DRAWING		LANDSCAPE SPECIFICATION	
ADDRESS		LOT 9, NO.41 WARRIEWOOD ROAD, WARRIEWOOD	
CLIENT		MR CATLIN & MRS KALOUS	
DATE #	09/10/19	PROJECT #	WINCREST HOMES
SCALE @ A3	N/A	DWG #	L/03
DRAWN	SX	A Total Concept Landscape Architects & Swimming Pool Designers 65 West Street, North Sydney NSW 2060 Tel: (02) 9957 5122 Fx: (02) 9957 5922	
CHKD	JC		
			

# External Colour Selection Schedule

for: Lot 9, #41 Warriewood Road, Warriewood

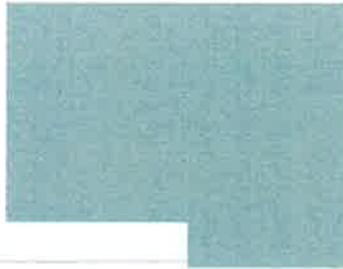


BESPOKE

Boral Contour Shale



Blue Willow



Perisher white

## EXTERNAL COLOR SELECTIONS Ref 17398

Details	Selections
Tiled Roof	Boral Contour Shale
Fascia/Gutters	Surfmist
Dowpipes	Blue Willow /Babbling Stream
Rainwater tank	Blue Willow
Post & Column	Brilliant white & sandstone
Garage door	Perisher white
Front door	Brilliant White
Cladding	Babbling Stream
Render	Blue Willow
Windows	Pearl white



Surfmist

Brilliant white



Babbling Stream



Sandstone