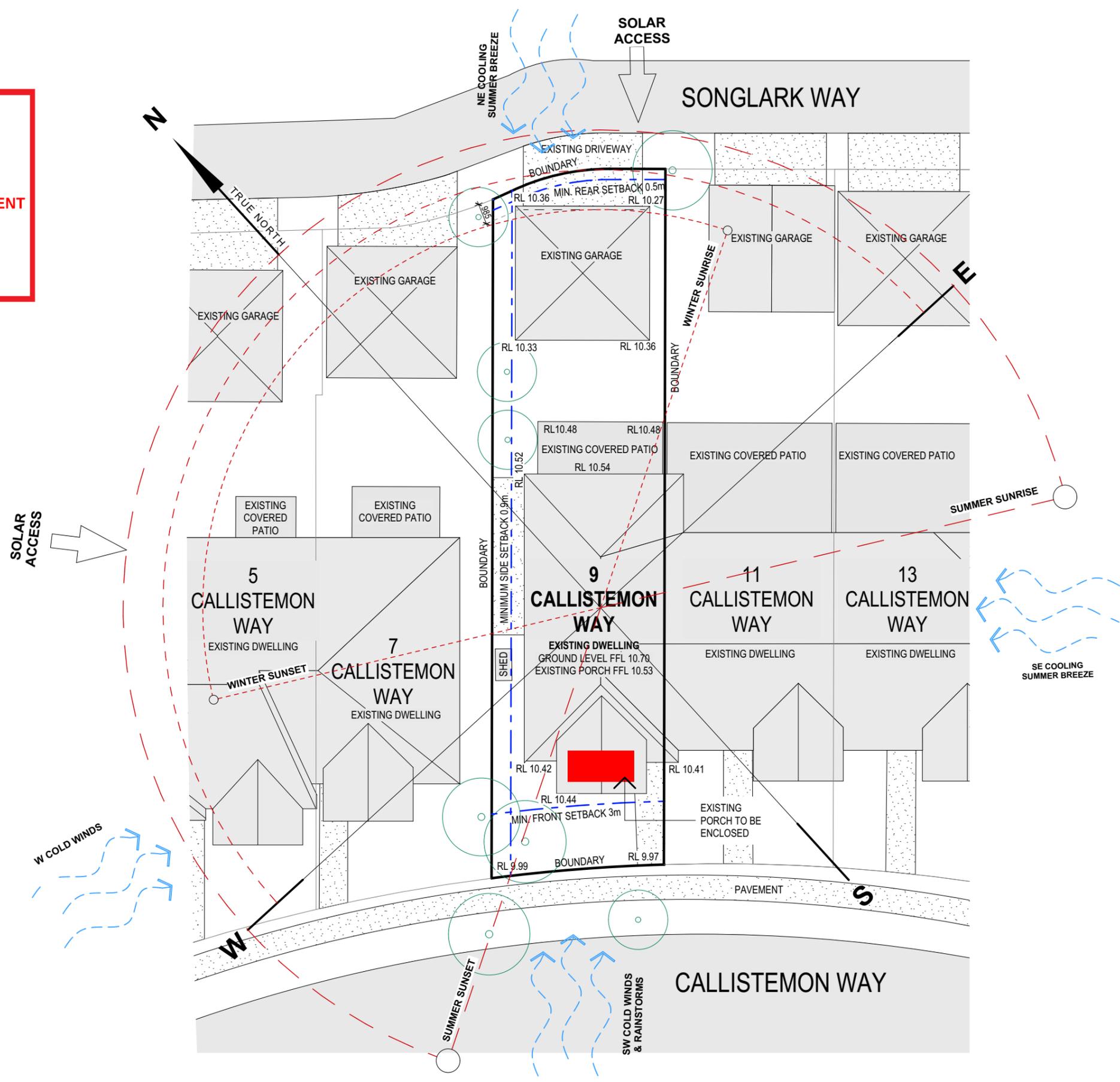


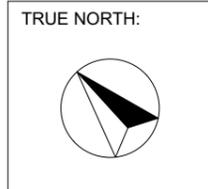
**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2020/1199**



**LOT 1801**  
**DP 1103124**

**AREA CALCULATIONS**  
SITE AREA = 266.9 m<sup>2</sup>



**NOTES (E & OE)**

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Mob. 0414 717 541  
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www.jjdrafting.com.au

REV:	DATE:	DESCRIPTION:

**PROJECT DETAILS:**  
PROPOSED ALTERATIONS & ADDITIONS  
9 CALLISTEMON WAY WARRIEWOOD NSW 2102

**DRAWING TITLE:**  
SITE ANALYSIS PLAN

**DATE:**  
08/20

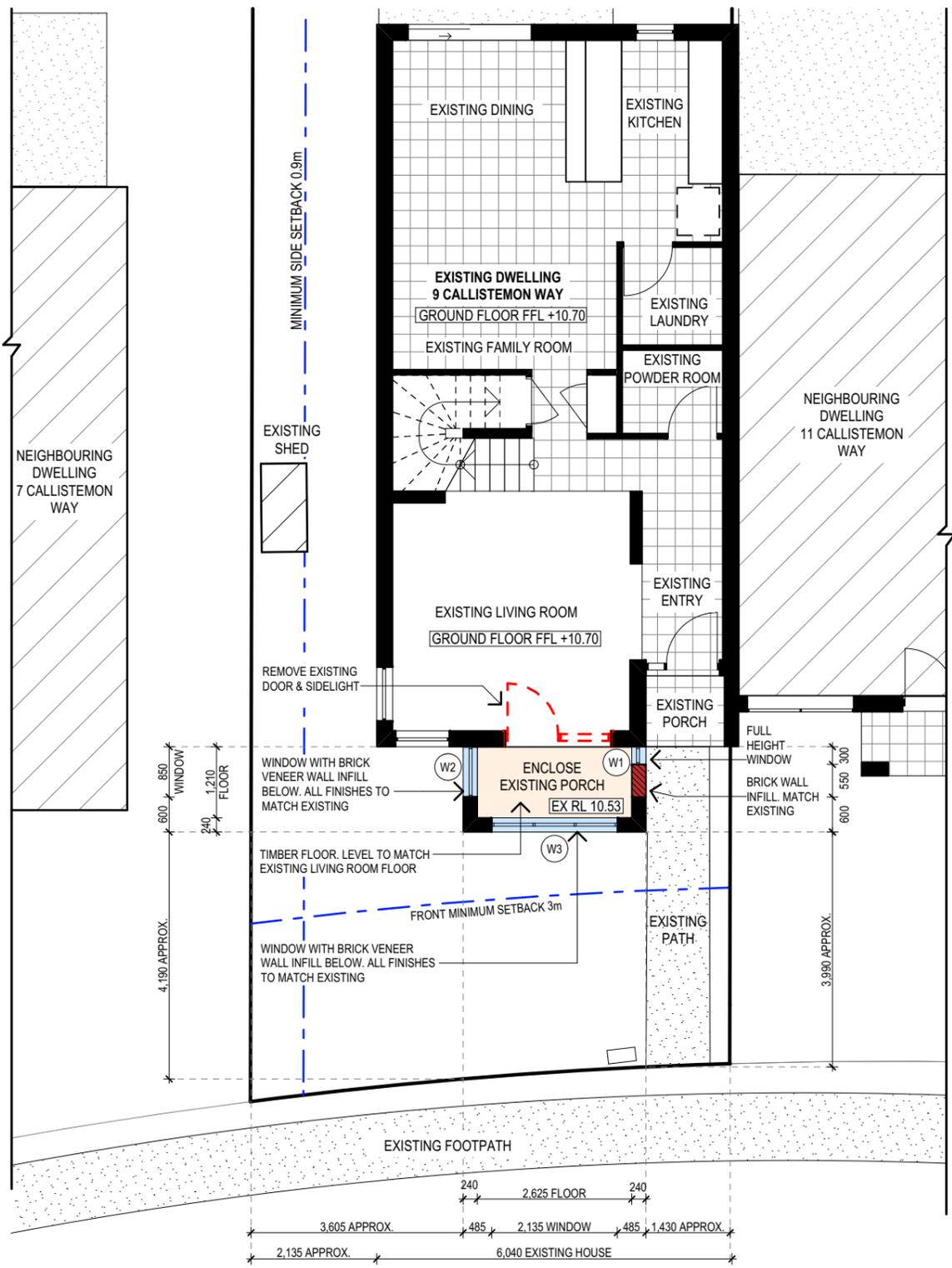
**JOB No:**  
824/20

**DRAWN BY:**  
MS

**CHECKED BY:**  
JJ

**SCALE:**  
1:200 @ A3

**DRAWING No:**  
**DA.01**

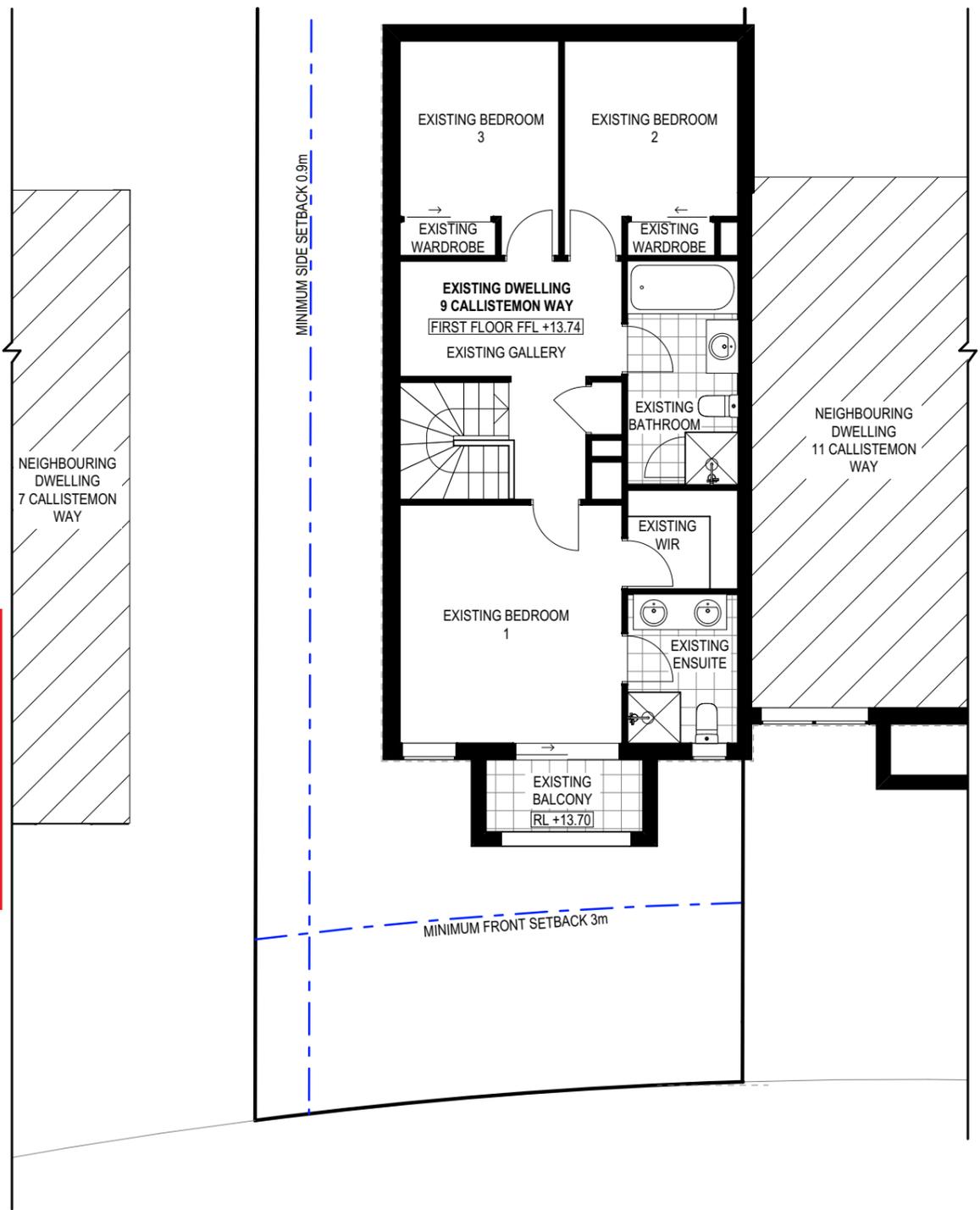


**GROUND FLOOR PLAN 1:100**

EXISTING GROSS FLOOR AREA CALCULATIONS	m <sup>2</sup>
EXISTING FIRST FLOOR	63.02
EXISTING GROUND FLOOR	63.82
<b>TOTAL</b>	<b>126.84 m<sup>2</sup></b>

PROPOSED GROSS FLOOR AREA CALCULATIONS	m <sup>2</sup>
EXISTING FIRST FLOOR	63.02
EXISTING GROUND FLOOR	63.82
NEW ENCLOSED PORCH	3.17
<b>TOTAL</b>	<b>130.01 m<sup>2</sup></b>


  
**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT DA2020/1199**



**EXISTING FIRST FLOOR PLAN - NO WORKS 1:100**

**NOTE:**  
NO WORKS TO EXISTING FIRST FLOOR LEVEL

**TRUE NORTH:**



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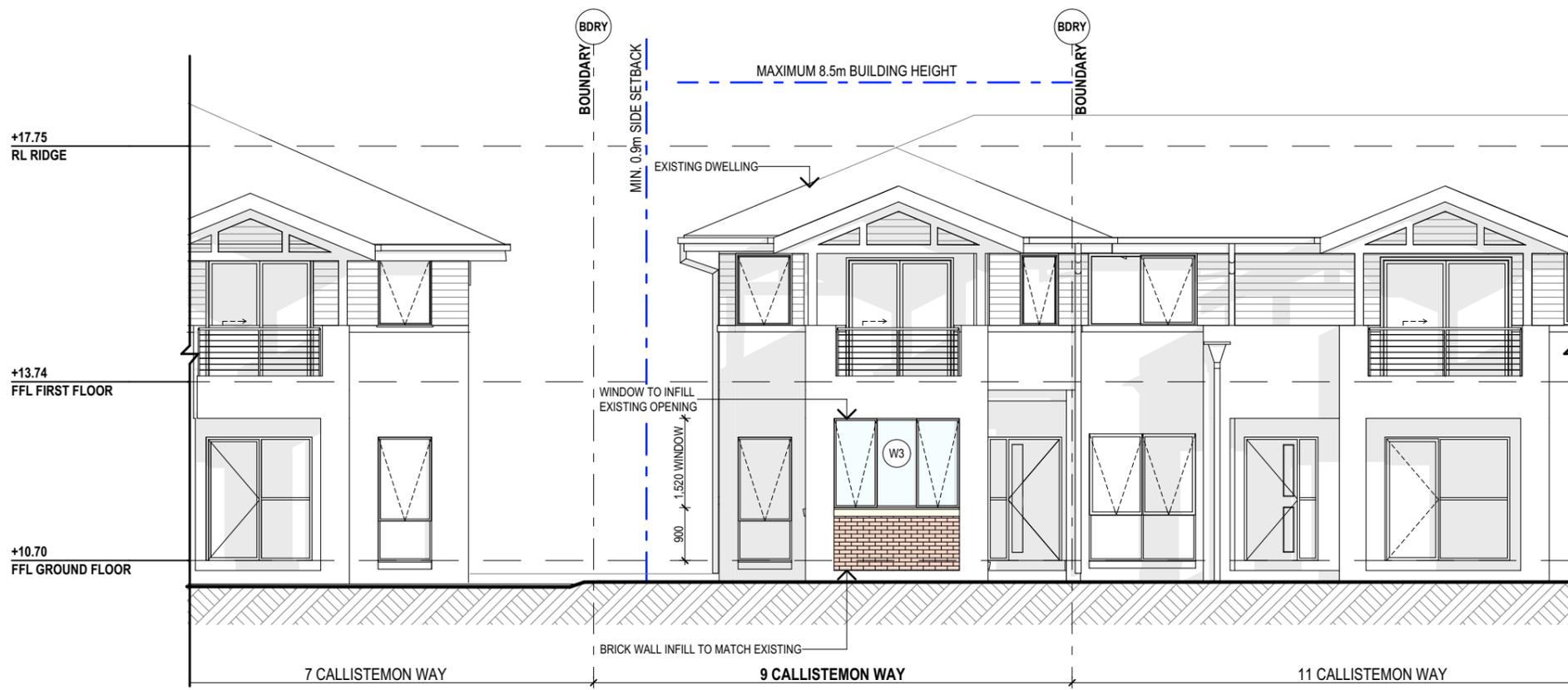
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9 CALLISTEMON WAY WARRIEWOOD NSW 2102

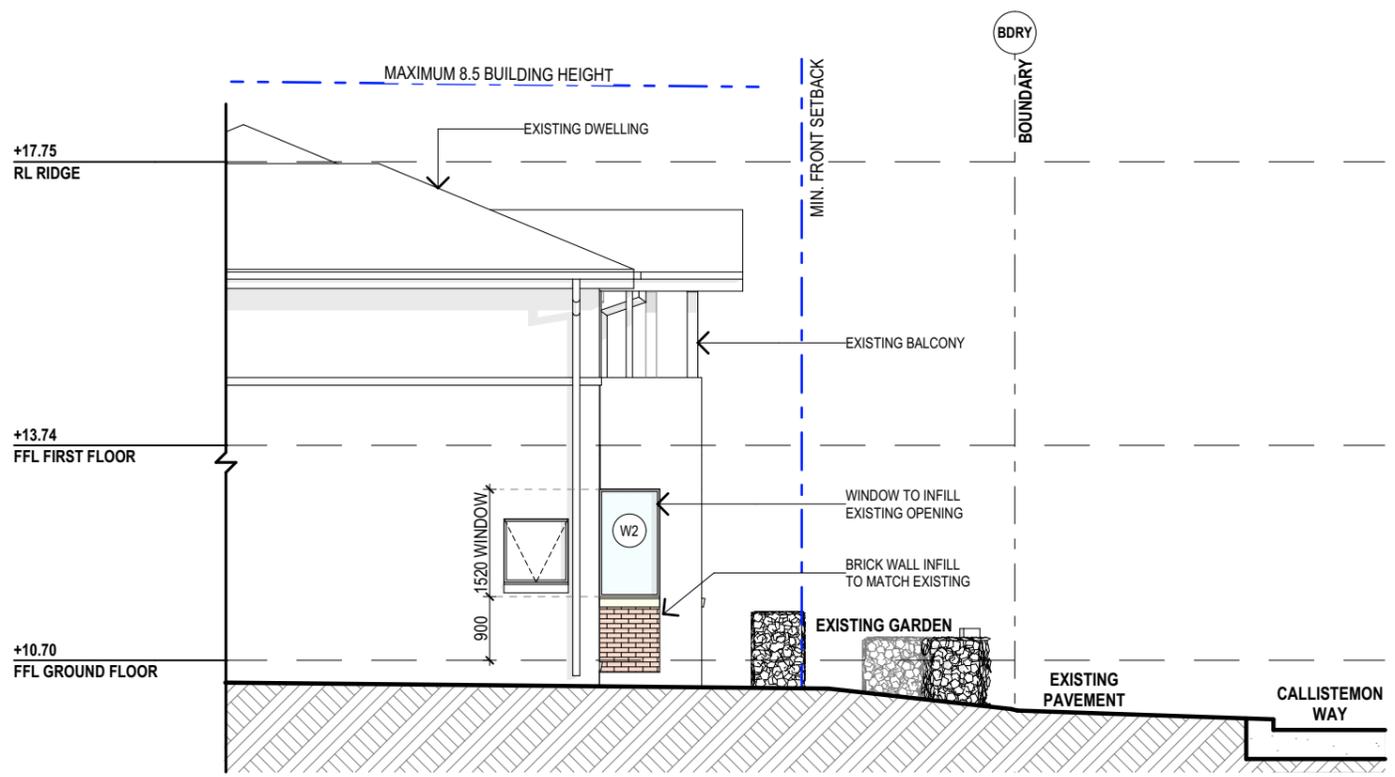
**DRAWING TITLE:**  
FLOOR PLANS

<b>DATE:</b> 08/20	<b>DRAWN BY:</b> MS	<b>SCALE:</b> 1:100 @ A3
<b>JOB No:</b> 824/20	<b>CHECKED BY:</b> JJ	<b>DRAWING No:</b> <b>DA.02</b>

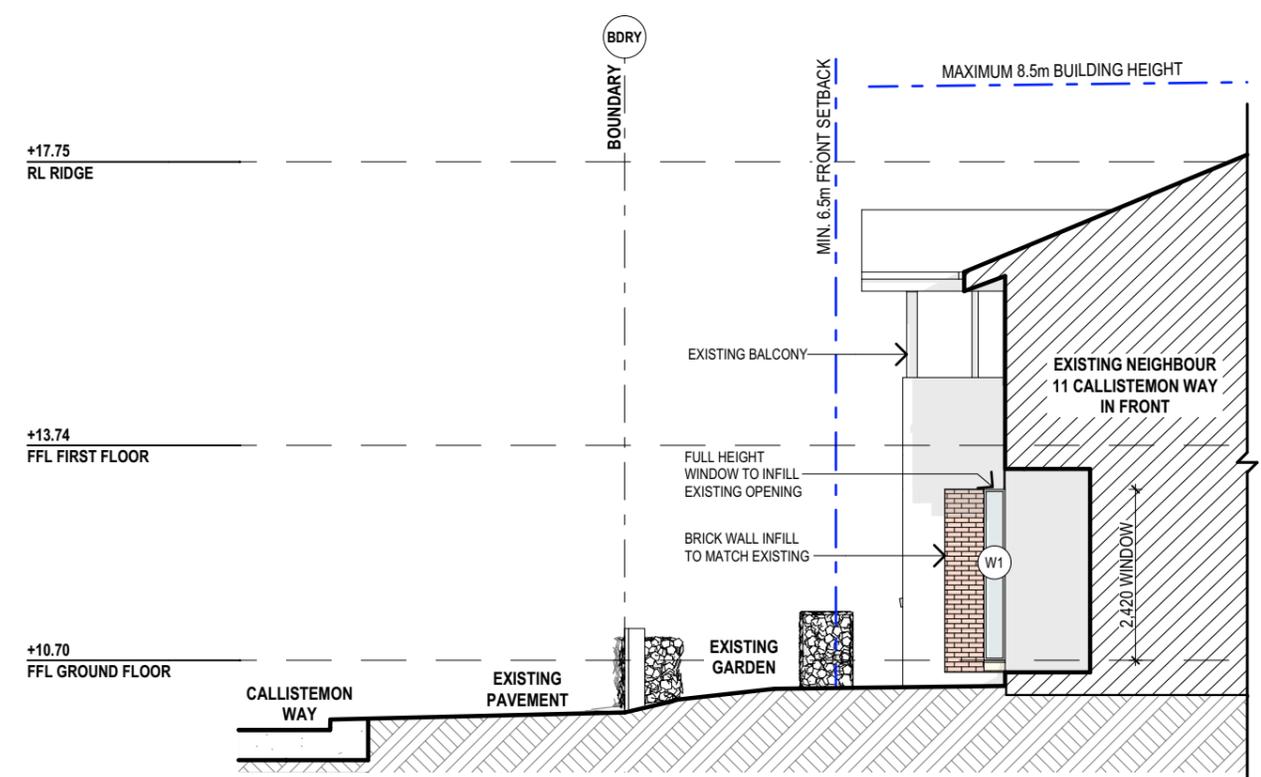


SOUTH WEST ELEVATION 1:100


  
 northern beaches council
   
  
**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**
  
  
**DA2020/1199**



NORTH WEST ELEVATION 1:100



SOUTH EAST ELEVATION 1:100

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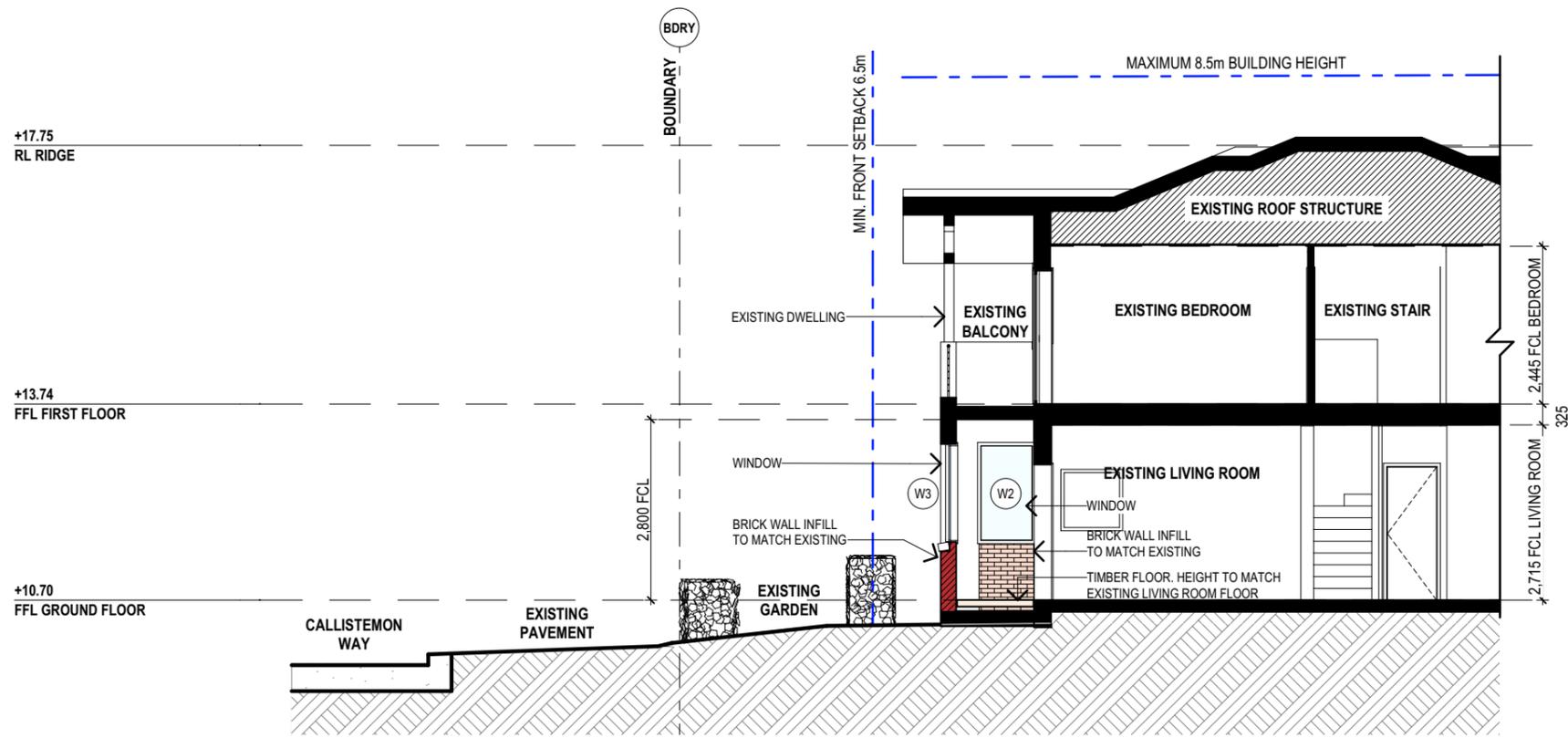
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REV:	DATE:	DESCRIPTION:

**PROJECT DETAILS:**  
 PROPOSED ALTERATIONS AND ADDITIONS  
 9 CALLISTEMON WAY WARRIEWOOD NSW 2102

**DRAWING TITLE:**  
 ELEVATIONS

DATE: 08/20	DRAWN BY: MS	SCALE: 1:100 @ A3
JOB No: 824/20	CHECKED BY: JJ	DRAWING No: <b>DA.03</b>




  
**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**
  
**DA2020/1199**

**SECTION A-A**                      **1:100**

**SPECIFICATION NOTES**

**GENERAL NOTES:**  
 ALL PLANS ARE TO BE READ IN CONJUNCTION.  
 BASIS CERTIFICATE NOT REQUIRED AS ESTIMATED COST OF WORKS < \$50,000

**INTERNAL LINING**  
 - PROVIDE PLASTERBOARD LINING.  
 - INSTALL TO MANUFACTURERS SPECIFICATIONS & AS 2589

**EXTERNAL WALLS:**  
 - BRICK VENEER WALLS WITH SELECTED BRICKS TO MATCH EXISTING DWELLING.

**FLOOR:**  
 - NEW FLOOR TO BE TIMBER FRAMED FINISHED WITH T&G HARDWOOD FLOORING.  
 - TIMBER TO BE REUSED OR TO COME FROM SUSTAINABLE FORESTRY PRACTICES.

**BEARERS AND JOISTS:**  
 - SHALL BE INSTALLED TO COMPLY WITH AS1684 AS AMENDED FOR TIMBER COMPONENTS OR AS3620 FOR LIGHTWEIGHT STEEL FRAMING SECTIONS OR AS PER THE NASH ALTERNATIVES TO AS 3623.

**ANT CAPS:**  
 - SHALL BE INSTALLED IN ACCORDANCE WITH AS3660.

**FOOTINGS:**  
 - FOOTINGS TO BE IN ACCORDANCE WITH AS1480.  
 - FOOTINGS TO BE IN ACCORDANCE WITH NCC VOL.2 PARTS 3.2.3, 3.2.4 AND 3.2.5  
 - ALL REINFORCEMENTS SHALL CONFORM TO AS1302, AS1303 AND AS1304.

**BRICK AND BLOCKWORK:**  
 - CONSTRUCTION OF MASONRY BUILDINGS SHALL BE AS PER AS3700 OR AS4773.  
 - BRICKS TO MATCH EXISTING.

**CARPENTRY:**  
 - TIMBER TO COMPLY WITH AS1170.2 OR AS4055.  
 - ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS1684 AND 1720 AS APPLICABLE.

**TIMBER FRAMING:**  
 - TO COMPLY WITH NCC VOL.2 PART 3.4  
 - GROUND FLOOR TIMBERS SHALL BE ONLY OF HARDWOOD, CYPRESS PINE OR PRESSURE TREATED RADIATA OR CANADA PINE BELOW A HEIGHT OF 300mm ABOVE FINISHED GROUND LEVEL AND MUST NOT BE BUILT INTO BRICKWORK.  
 - SUBFLOOR VENTILATION SHALL CONFORM TO NCC VOL.2 PART 3.4.1.  
 - IN BUSHFIRE PRONE AREAS SPECIAL CONDITIONS APPLY.  
 - WHERE TERMITE BARRIERS NEED TO BE INSPECTED, 400mm CLEARANCE IS REQUIRED BETWEEN THE UNDERSIDE OF BEARER AND GROUND SURFACE.  
 - USE TREATED TIMBER WHERE REQUIRED FOR DURABILITY.  
 - DO NOT USE TIMBER UNSUITABLE FOR EXPOSURE TO MOISTURE IN EXPOSED LOCATION.  
 - PROVIDE STRUCTURE BRACING IN ACCORDANCE WITH AS1684  
 - PROVIDE STRUCTURE TIEDOWN IN ACCORDANCE WITH AS1684  
 - USE GALVANISED FIXINGS WHERE EXPOSED TO WEATHER.

**TERMITE CONTROL:**  
 - TO BE IN ACCORDANCE WITH TO AS3660.1  
 - SHALL BE IN ACCORDANCE WITH NCC VOL.2 PART 3.1.3 OR VOL.1 PART B1.4.

**FLASHING AND CAPPINGS:**  
 - SELECTION AND INSTALLATION OF METAL RAINWATER GOODS REFER TO AS2180

**LIGHTING:**  
 - 40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS

**DOOR & WINDOWS:**  
 - ALL FRAMED WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH AS2047-48 FOR ALUMINIUM WINDOWS AND AS2047 FOR TIMBER WINDOWS.  
 - ALUMINIUM FRAMED WINDOWS AND DOORS.  
 - WEATHER STRIPPING IS TO BE PROVIDED TO ALL EXTERNAL WINDOWS AND DOORS.  
 - WINDOW FRAMING FINISHES AND COLOURS TO MATCH EXISTING

**SLIP RESISTANCE:**  
 - MATERIALS TO BE USED FOR SURFACES OF FLOORS, STAIR LANDING, STEPS AND NOSINGS SHALL BE IN ACCORDANCE WITH THE CLASSIFICATIONS FOR SLIP RESISTANCE AS APPLY IN AS4586 AND HB198.

**GLAZING:**  
 - NCC VOL.1 PARTS B 1.4, D 3.12, F1.13 OR NCC VOL.2 PART 3.6

**SMOKE DETECTORS/ALARMS:**  
 - NCC VOL 2 PART 3.7.2. FIRE/SMOKE DETECTORS COMPLYING WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT ACT AND/OR STATE OR TERRITORY REGULATIONS MUST BE FITTED IN THE LOCATIONS REQUIRED AND APPROVED BY THE AUTHORITY AND SHALL BE INSTALLED IN ACCORDANCE WITH AS3786.  
 - INSTALLATIONS IN BUILDINGS OTHER THAN CLASS 1 AND 10 MUST BE INSTALLED AND MANAGED TO COMPLY WITH NCC SPEC. E2.2a.  
 - MULTIPLE ALARMS WITHIN HOUSES AND SOLE OCCUPANCY UNITS MUST BE HARD WIRED AND INTERCONNECTED.

**WASTE MANAGEMENT:**  
 - ALL WASTE SHALL BE TAKEN AWAY BY TRUCKS TO A SUITABLE LANDFILL OR RECYCLE DEPOT.  
 - ALL WASTE SHALL BE COVERED DURING TRANSPORTATION.  
 - WASTE GENERATED DURING CONSTRUCTION SHALL BE PLACED IN STEEL BINS AND TAKEN AWAY BY AN APPROVED CONTRACTOR TO A APPROVED LANDFILL SITE.

**SEDIMENT CONTROL:**  
 - A FILTER CLOTH SYSTEM SHALL BE INSTALLED TO STOP ANY SEDIMENT ENTERING COUNCILS STORMWATER SYSTEM.

**VEGETATION:**  
 ALL EXISTING TREES AND VEGETATION ON AND ADJACENT TO THE SITE TO BE RETAINED

**SITE SECURITY:**  
 THE SITE TO BE PROTECTED BY SITE FENCING FOR THE DURATION OF THE WORKS

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REV:	DATE:	DESCRIPTION:

PROJECT DETAILS: PROPOSED ALTERATIONS AND ADDITIONS 9 CALLISTEMON WAY WARRIEWOOD NSW 2102	DRAWING TITLE: SECTION & SPECIFICATION NOTES
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DATE: 08/20	DRAWN BY: MS	SCALE: 1:100 @ A3
JOB No: 824/20	CHECKED BY: JJ	DRAWING No: DA.05