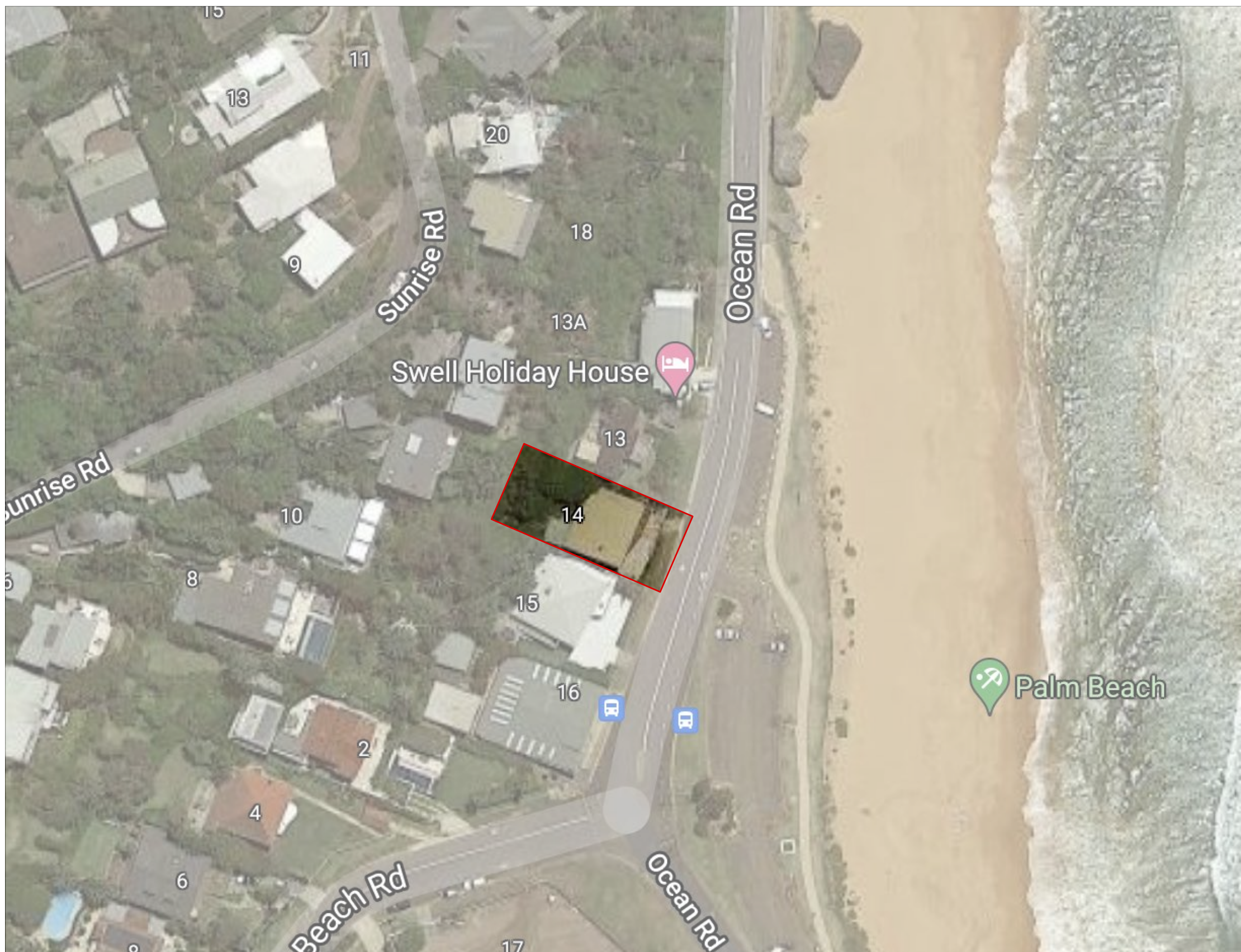


COVER PAGE

DA.00	Cover Page and Location Plan
DA.01	Site Plan and Site Analysis
DA.02	Lower Ground Level Plan
DA.03	Groundfloor Plan
DA.04	Level 1 Plan
DA.05	Level 2 Plan
DA.06	Roof Plan
DA.07	East and West Elevation
DA.08	North and South Elevation
DA.09	Sections AA BB
DA.10	Height Plane Diagram (8.5m)
DA.11	Height Plane Diagram (10m)
DA.12	Building Envelope Diagram
DA.13	Demolition Plan
DA.14	Contour Modification Plan
DA.15	Landscape Calculation Plan
DA.16	Excavation Plan
DA.17	Schedule of Finishes
DA.18	Streetscape Visualisation
DA.19	Solar Diagrams



01 LOCATION PLAN

Scale 1:NTS

'BASIX' COMMITMENTS CERTIFICATE NO. 0006687636

WATER COMMITMENTS:

<p>FIXTURES</p>	<p>The applicant must install showerheads with a minimum rating of 4 star (>4.5 l/min plu spray force and/or coverage tests) in all showers in the development.</p> <p>The applicant must install a toilet flushing system with a minimum rating of 4 stars in each toilet in the development</p> <p>The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.</p> <p>The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.</p>
<p>ALTERNATIVE WATER</p>	<p>Rainwater Tank</p> <p>The applicant must install a rainwater tank of at least 10000L on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.</p> <p>The applicant must configure the rainwater tank to collect rain runoff from at least 56 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam.</p> <p>The applicant must connect the rainwater tank to:</p> <ul style="list-style-type: none"> - Landscape - Laundry Tap + Pool Tap
<p>SWIMMING POOL</p>	<p>The swimming pool must not have a volume greater than 45KL w</p> <p>The swimming pool must have a permanent retractable pool cover.</p> <p>The swimming pool must be outdoors.</p>

THERMAL COMMITMENTS:

SIMULATION METHOD	<p>The applicant must construct the development in accordance with all the thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.</p> <p>The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the associated BASIX Report.</p>
-------------------	--

ENERGY COMMITMENTS:

HOT WATER	The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.
COOLING SYSTEM	<p>The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: EER 3.0 - 3.5</p> <p>The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: EER 3.0 - 3.5</p>
HEATING SYSTEM	<p>The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: EER 3.0 - 3.5</p> <p>The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: EER 3.0 - 3.5</p>
VENTILATION	<p>The applicant must install the following exhaust systems in the development:</p> <p>At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off.</p> <p>Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off</p>
NATURAL LIGHTING	The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.
SWIMMING POOL	<p>The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any heating system for the swimming pool): gas</p> <p>The applicant must install a timer for the swimming pool pump in the development.</p>
ALTERNATIVE ENERGY	The applicant must install a photovoltaic system with the capacity to generate at least 2 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.
OTHER	<p>The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.</p> <p>The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.</p> <p>The applicant must install a fixed outdoor clothes drying line as part of the development.</p>

THERMAL COMFORT:

PASS			
GLAZING	Location	Sliding/Fixed/Louvre	G01
	Ground + Level 1 (Except Rumpus)	U-value 4.50 SHGC 0.52 (± 10%) (Single Glazed, Low-e)	U-value 5.40 SHGC 0.49 (± 10%) (Single Glazed, Low-e)
	Level 2 + Rumpus	U-value 3.55 SHGC 0.48 (± 10%) (Double Glazed, Low-e)	
WALLS	<p>External Walls (Level G, 1 and 2): Cavity Brick - min R1.1 insulation within cavity.</p> <p>External Walls Surrounding Lift Shaft (All Levels): Min R1.0 insulation.</p> <p>Internal walls within Dwelling: No insulation Modelled.</p>		
FLOORS	<p>Concrete Slab on Ground (All Levels): No insulation modelled.</p> <p>Intermediate floors (Conditioned to Conditioned): No insulation modelled.</p> <p>Suspended Floors to Open or Subfloor below: Min R1.5 insulation.</p>		
ROOF	<p>Ceiling Cavity to Exposed (Level G and 2): Additional R3.0 bulk insulation.</p> <p>Ceiling Cavity to Exposed (Level 01): Additional 50mm R2.3 rigid insulation.</p> <p>Concrete Roof: Ceiling insulation only.</p> <p>Metal Roof: Ceiling insulation + min R1.30 reflective blanket.</p>		



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T: +61 2 9280 4100 INFO@MATHIESONARCHITECTS.COM

NOTES

REV NO.	DATE	REVISIONS	BY	CHK.
A	24.08.21	Issue for Consultant Coordination	DB	ES
B	22.09.21	Issue for Consultant Coordination	DB	ES
C	22.10.21	QA Issue	DB	ES
D	25.10.21	QA Issue	DB	ES

PROJECT OCEAN ROAD RESIDENCE

ADDRESS 14 OCEAN ROAD

PALM BEACH 2108

DOCUMENT DEVELOPMENT APPLICATION

DRAWING COVER PAGE

BASIX/LOCATION PLAN

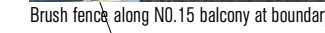
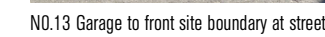
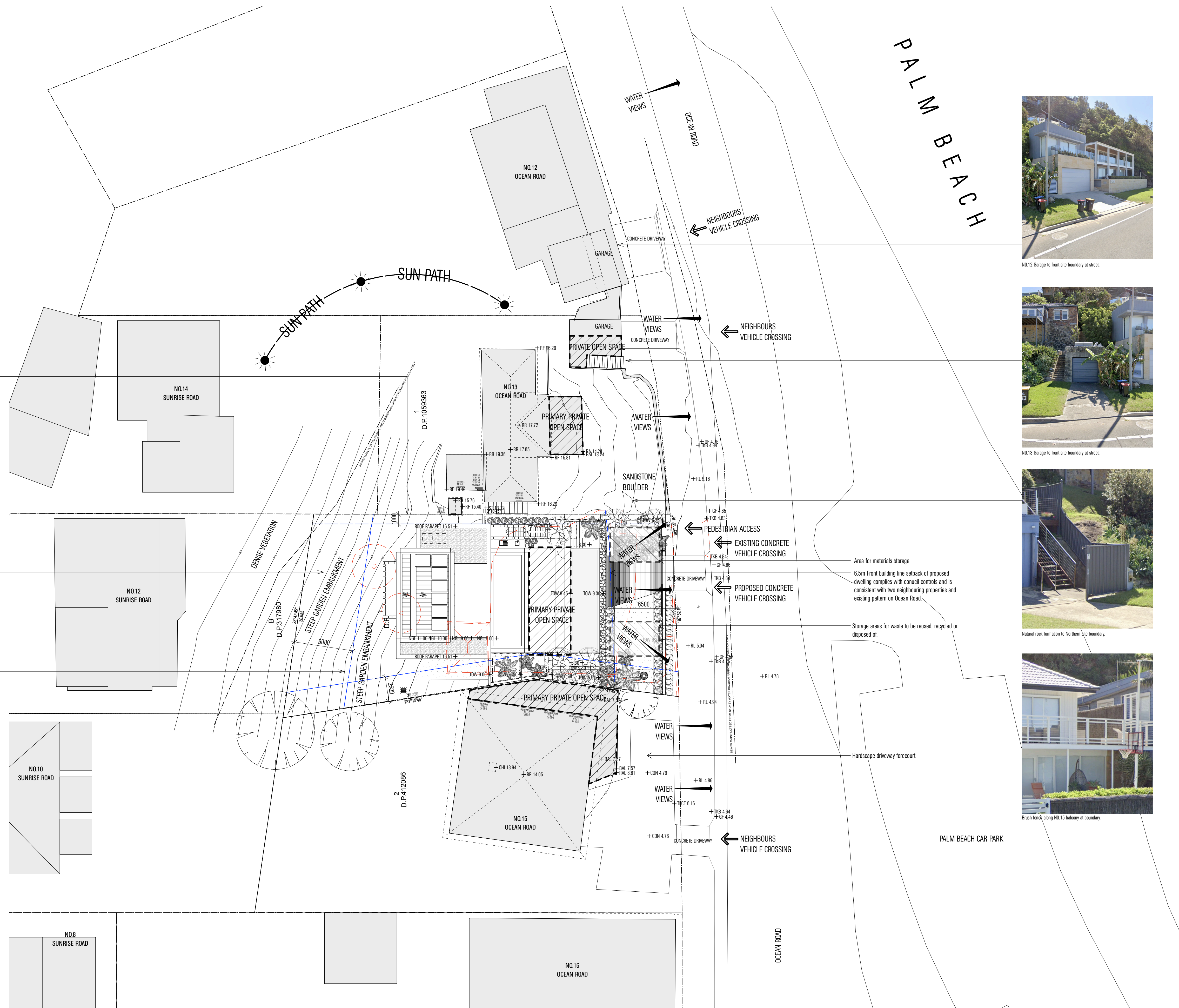
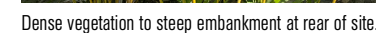
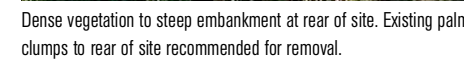
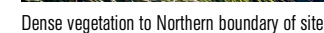
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DRAWN ES PROJECT NO. 21006

DRAWING NO. DA.00 REV NO. D

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T: +61 2 9280 4100 INFO@MATHIESONARCHITECTS.COM

LEGEND

Site Boundary

Council setbacks / Height requirements

Brick wall 110mm + 10mm render

Blockwork wall

Concrete structure

Stone clad masonry wall 600mm

Lightweight walls 110mm + 10mm lining

Timber structure 130mm

New glazing

HWU - Hot Water Unit

CU - Condenser Unit

PV - Photovoltaic Panels

RWT - Rainwater Tank

0006687636 19 Oct 2021

5.1

NATIONWIDE
HOUSE

64.9

stars

www.nathers.gov.au

Assessor Robert Romanous
Accreditation No. 101535
Address 14 Ocean Road, Palm Beach
NSW, 2108

hstar.com.au

NOTES

REV NO.

DATE

REVISIONS

BY

CHK

A

12.07.21

Issue for Consultant Coordination

ES

ES

B

16.07.21

Pre-DA Package

ES

ES

C

24.08.21

Issue for Consultant Coordination

ES

ES

D

22.09.21

Issue for Consultant Coordination

DB

ES

E

11.10.21

Issue for Consultant Coordination

DB

.

F

15.10.21

DA Issue

DB

ES

G

22.10.21

DA Issue

DB

ES

H

11.11.21

DA Issue

DB

ES

I

06.04.22

DA Amendment

DB

ES

PROJECT

OCEAN ROAD RESIDENCE

ADDRESS

14 OCEAN ROAD

PALM BEACH 2108

DOCUMENT

DEVELOPMENT APPLICATION

DRAWING

PLAN

LOWER GROUND

DATE

06.04.22

SCALE

1:100

DRAWN

ES

PROJECT NO.

21006

DRAWING NO.

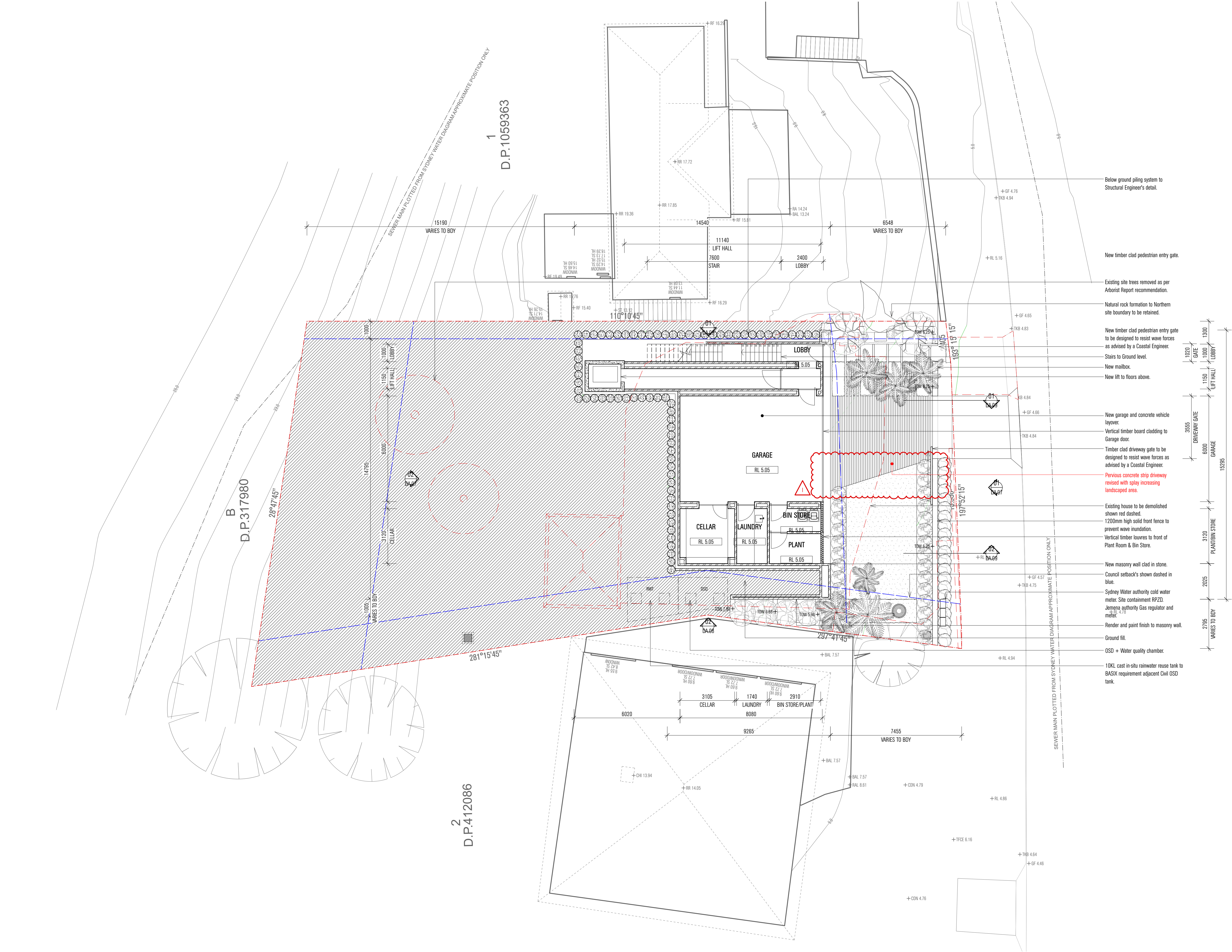
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REV NO.

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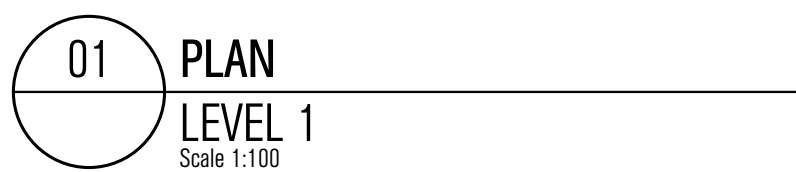
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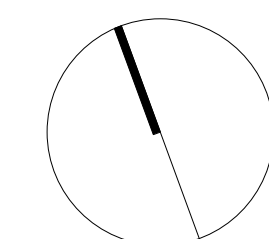
PROJECT	OCEAN ROAD RESIDENCE
ADDRESS	14 OCEAN ROAD
	PALM BEACH 2108
DOCUMENT	DEVELOPMENT APPLICATION

PROJECT	OCEAN ROAD RESIDENCE
ADDRESS	14 OCEAN ROAD
	PALM BEACH 2108
DOCUMENT	DEVELOPMENT APPLICATION

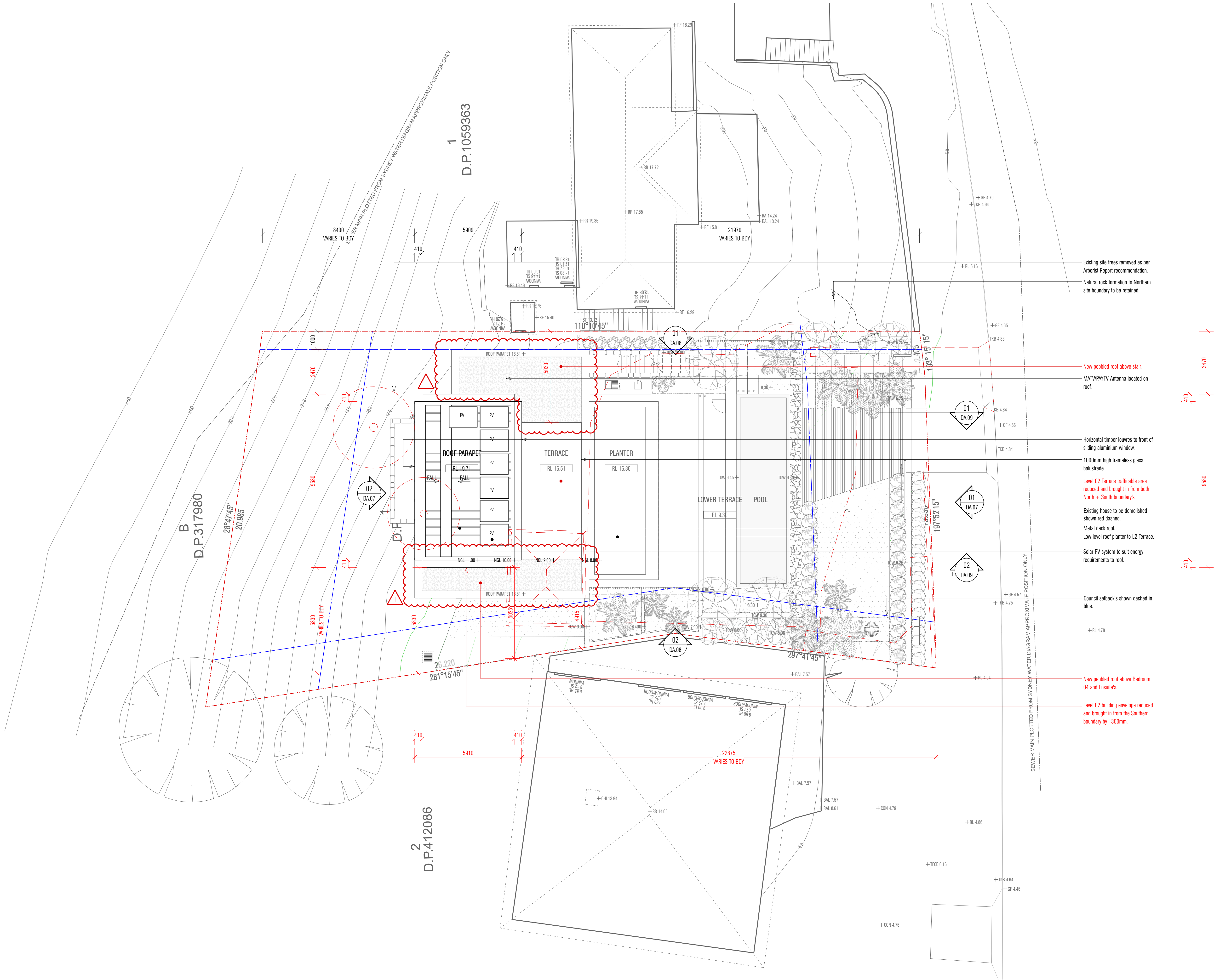


DOCUMENT DEVELOPMENT APPLICATION

DRAWING NO. DA.05 REV NO. I



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LEGEND

- Site Boundary
- Council setbacks / Height requirements
- Brick wall 110mm + 10mm render
- Blockwork wall
- Concrete structure
- Stone clad masonry wall 600mm
- Lightweight walls 110mm + 10mm lining
- Timber structure 130mm
- New glazing

HWU - Hot Water Unit
CU - Condenser Unit
PV - Photovoltaic Panels
RW - Rainwater Tank

0006687636 19 Oct 2021
Assessor Robert Romanous
Accreditation No. 101535
Address 14 Ocean Road, Palm Beach, NSW, 2108
64.9
www.nathers.gov.au
hstar.com.au

NOTES

REV NO. DATE REVISIONS BY CHK

A	12.07.21	Issue for Consultant Coordination	ES	ES
B	16.07.21	Pre-DA Package	ES	ES
C	24.08.21	Issue for Consultant Coordination	ES	ES
D	22.09.21	Issue for Consultant Coordination	DB	ES
E	11.10.21	Issue for Consultant Coordination	DB	.
F	15.10.21	DA Issue	DB	ES
G	22.10.21	DA Issue	DB	ES
H	30.03.22	DA Amendment	DB	ES
I	06.04.22	DA Amendment	DB	ES

PROJECT OCEAN ROAD RESIDENCE
ADDRESS 14 OCEAN ROAD
PALM BEACH 2108
DOCUMENT DEVELOPMENT APPLICATION

DRAWING PLAN
ROOF
DATE 06.04.22 SCALE 1:100
DRAWN ES PROJECT NO. 21006
DRAWING NO. DA.06 REV NO. I

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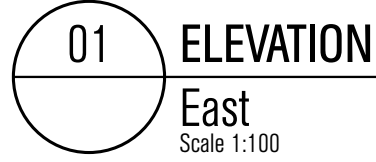
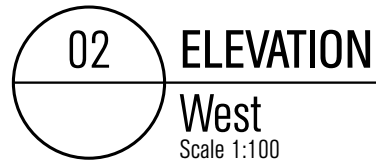
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D	22.08.21	Issue for Consultant Coordination	DB	ES
E	11.10.21	Issue for Consultant Coordination	DB	-
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G	22.10.21	DA Issue	DB	ES
H	11.11.21	DA Issue	DB	ES
I	30.03.22	DA Amendment	DB	ES
J	08.04.22	Revised DA Issue	ES	

PROJECT	OCEAN ROAD RESIDENCE
ADDRESS	14 OCEAN ROAD
	PALM BEACH 2108
DOCUMENT	DEVELOPMENT APPLICATION

DRAWING	ELEVATIONS		
EAST AND WEST			
DATE	08.04.22	SCALE	1:100@A1
DRAWN	DB	PROJECT NO.	21006
DRAWING NO.	DA.07	REV NO.	J

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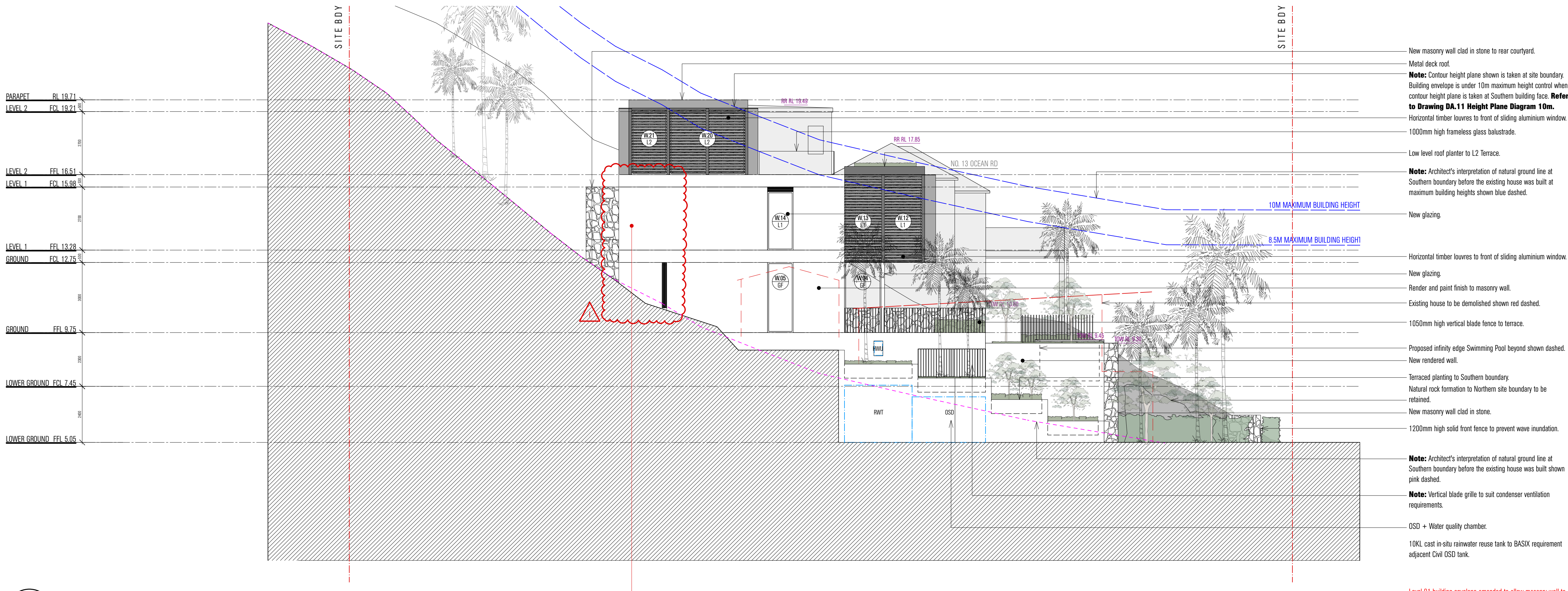
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D	22.09.21	Issue for Consultant Coordination	DB	ES
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H	30.03.22	DA Amendment	DB	ES
I	08.04.22	Revised DA Issue	ES	

PROJECT	OCEAN ROAD RESIDENCE
ADDRESS	14 OCEAN ROAD
	PALM BEACH 2108
DOCUMENT	DEVELOPMENT APPLICATION

DRAWING	ELEVATIONS		
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DRAWN	DB	PROJECT NO.	21006
DRAWING NO.	DA.08	REV NO.	I

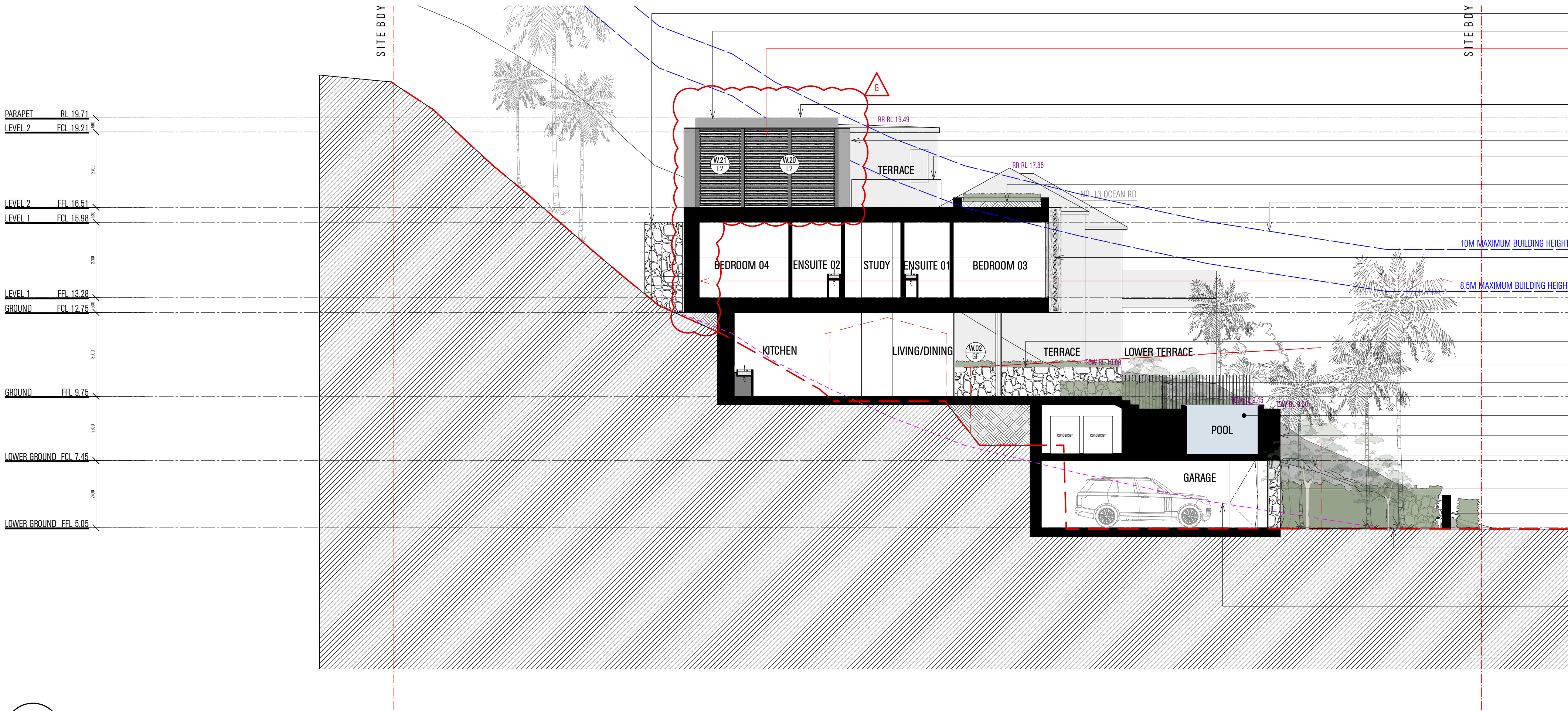
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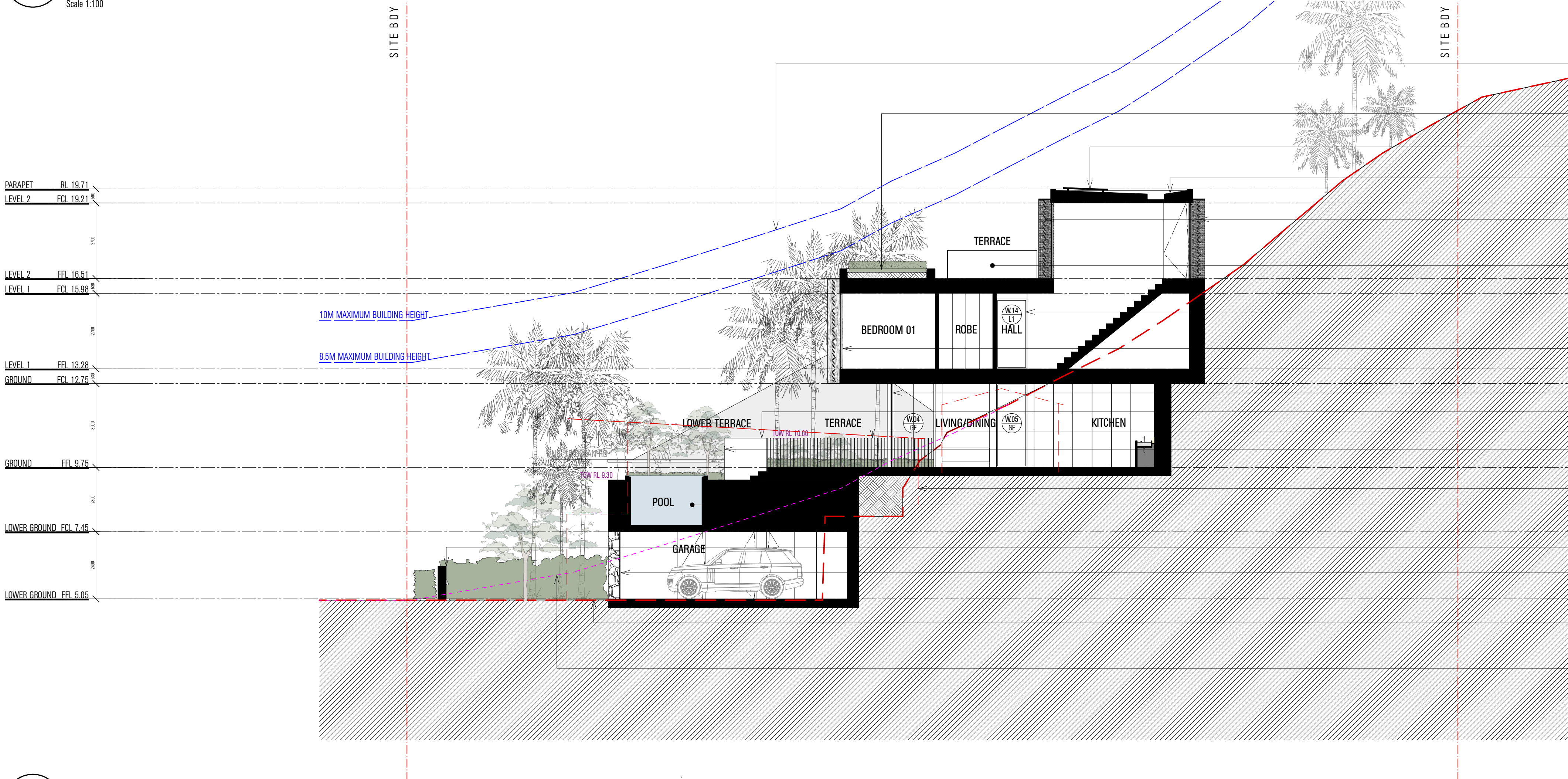
02 ELEVATION
South
Scale 1:100



01 ELEVATION
North
Scale 1:100



02 SECTION
BB
Scale 1:100



01 SECTION
AA
Scale 1:100

New masonry wall clad in stone to rear courtyard.
Metal deck roof.
Level 02 building envelope reduced and brought in from the Southern boundary by 1300mm.
Solar PV system to suit energy requirements to roof.
Horizontal timber louvres to front of sliding aluminium window.
1000mm high frameless glass balustrade.
Low level roof planter to L2 Terrace.
Note: Architect's interpretation of natural ground line at Section cut before the existing house was built at maximum building heights shown blue dashed.
Horizontal timber louvres to front of sliding aluminium window.
Level 01 building envelope amended to allow masonry wall to return and catch glazing to suit changes to Level 02 and roof above.

Masonry wall clad in stone.
Existing house to be demolished shown red dashed.
1200mm high frameless glass Pool fence and gates to comply with all relevant swimming pool laws and codes.
Proposed infinity edge Swimming Pool.
Concrete wall clad in stone.
Natural rock formation to Northern site boundary to be retained.
Vertical timber board cladding to Garage door.
1200mm high solid front fence to prevent wave inundation.

Note: Ground line Section cut taken from site contours modified for the existing house constructed on the property shown red dashed.
Note: Architect's interpretation of natural ground line at Section cut before the existing house was built shown pink dashed.

Note: Architect's interpretation of natural ground line at Section cut before the existing house was built at maximum building heights shown blue dashed.
Low level roof planter to L2 Terrace.
Solar PV system to suit energy requirements to roof.
Metal deck roof.
Horizontal timber louvres to front of sliding aluminium window.
1000mm high frameless glass balustrade.
New glazing.
Horizontal timber louvres to front of sliding aluminium window.
New glazing.
Render and paint finish to masonry wall.
1050mm high vertical blade fence to terrace.
1200mm high frameless glass Pool fence and gates to comply with all relevant swimming pool laws and codes.
Existing house to be demolished shown red dashed.
Proposed infinity edge Swimming Pool.
1200mm high solid front fence to prevent wave inundation.
Vertical timber board cladding to Garage door.

Note: Ground line Section cut taken from site contours modified for the existing house constructed on the property shown red dashed.
Note: Architect's interpretation of natural ground line at Section cut before the existing house was built shown pink dashed.

Note: Architect's interpretation of natural ground line at Section cut before the existing house was built at maximum building heights shown blue dashed.

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Note: Architect's interpretation of natural ground line at Section cut before the existing house was built at maximum building heights shown blue dashed.

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102/16-28 FOSTER ST SURRY HILLS NSW 2110 AUSTRALIA
T: +61 2 9280 4100 INFO@MATHIESONARCHITECTS.COM
LEGEND
Site Boundary
Architect's interpretation of natural ground line.
Council setbacks / Height requirements from Architect's interpretation of natural ground line.
Section cut taken from site contours modified for the existing house.



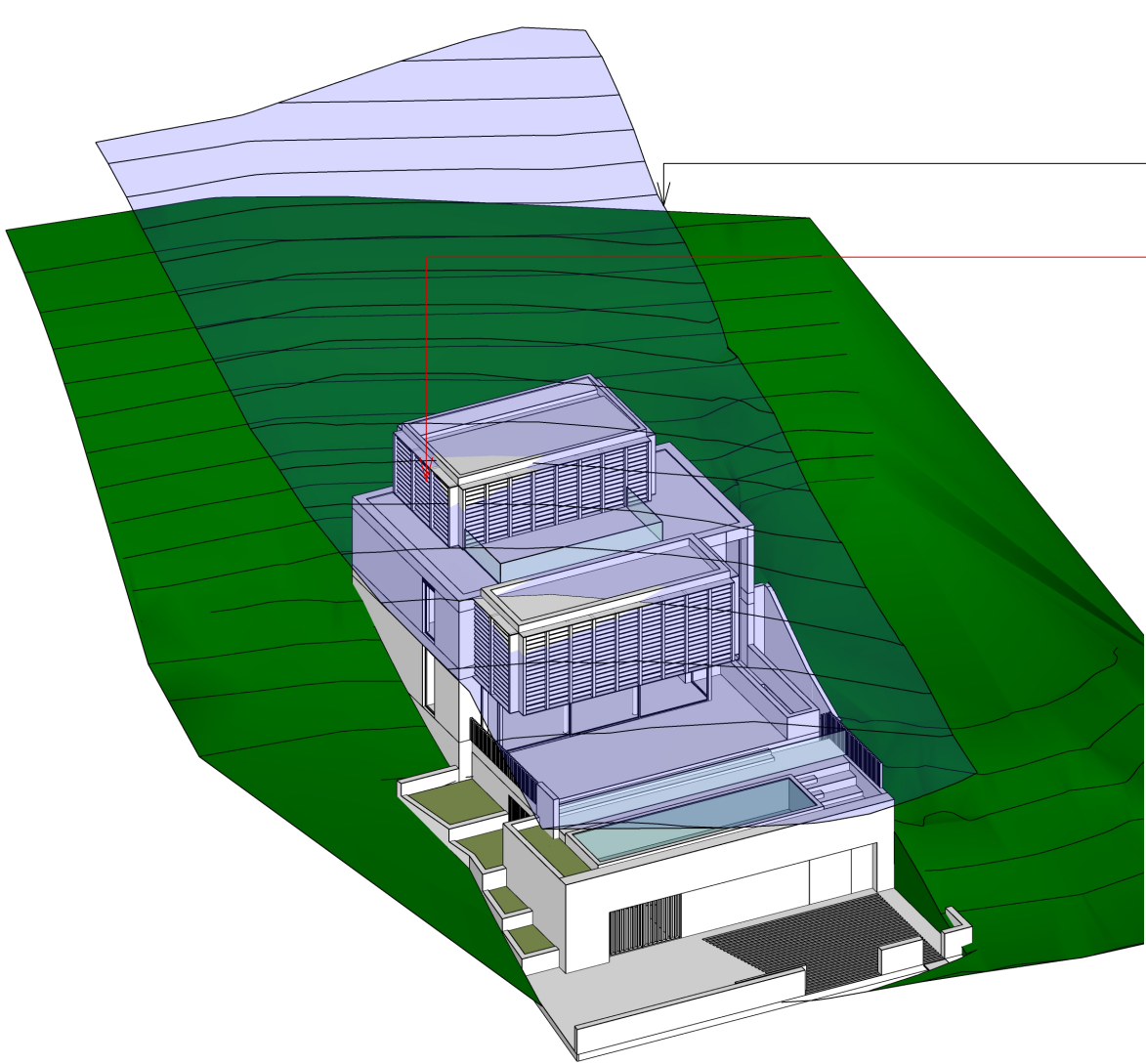
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A	12.07.21	Issued for Consultant Coordination	DB	ES
B	16.07.21	Pre-DA Package	DB	ES
C	24.08.21	Issue for Consultant Coordination	DB	ES
D	22.09.21	Issue for Consultant Coordination	DB	
E	11.10.21	Issue for Consultant Coordination	DB	
F	15.10.21	DA Issue	DB	ES
G	08.04.22	Revised DA Issue	ES	

REV NO.	DATE	REVISIONS	BY	CHK
A	12.07.21	Issued for Consultant Coordination	DB	ES
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C	24.08.21	Issue for Consultant Coordination	DB	ES
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G	08.04.22	Revised DA Issue	ES	

PROJECT	OCEAN ROAD RESIDENCE
ADDRESS	14 OCEAN ROAD
	PALM BEACH 2108
DOCUMENT	DEVELOPMENT APPLICATION

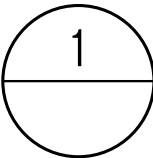
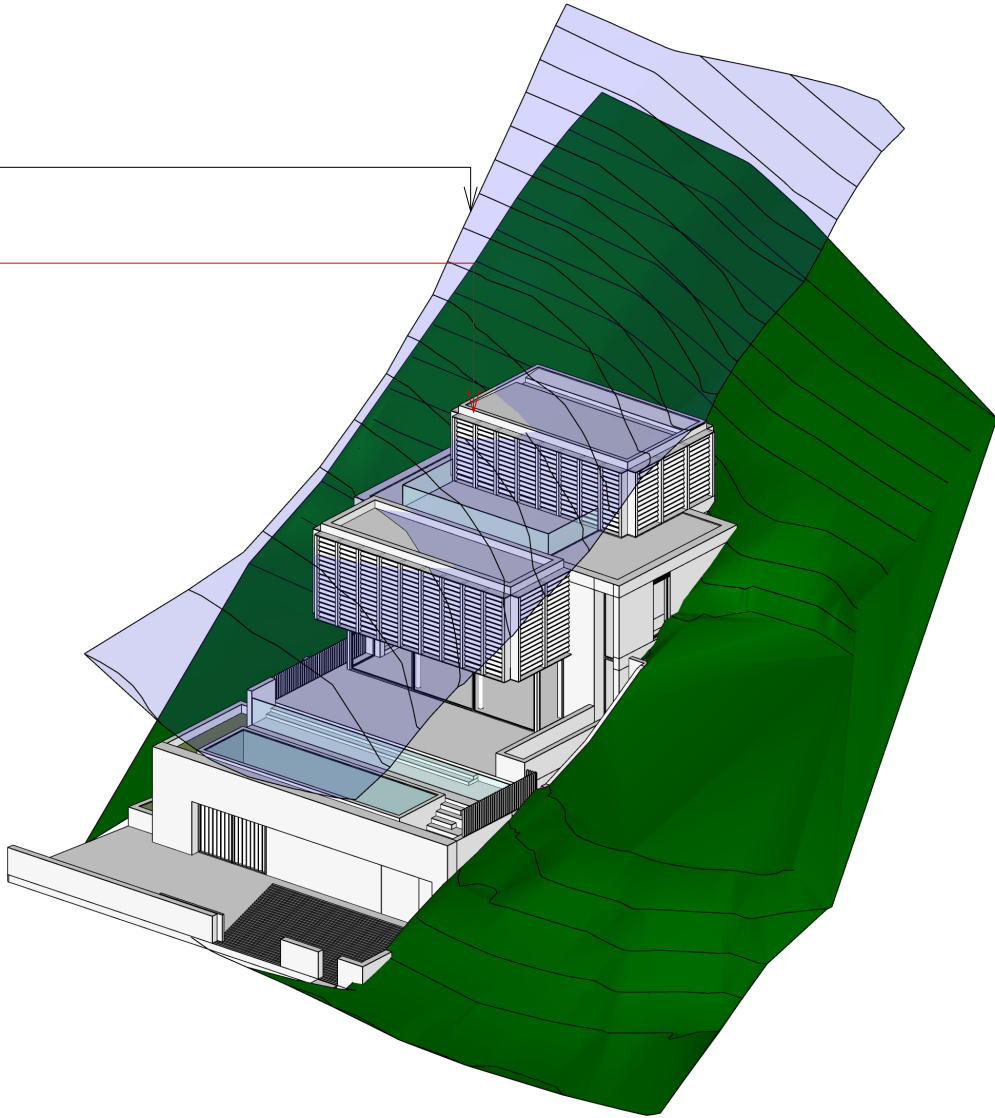
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	AA BB
DATE	08.04.22
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PROJECT NO.	21006
DRAWING NO.	DA.09
REV NO.	G

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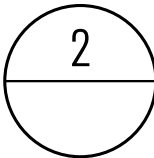


8.5M Height Plane shown in blue

Level 02 building envelope
reduced and brought in from the
Southern boundary by 1300mm.



3D VIEW
VIEW 01
Scale NTS



3D VIEW
VIEW 02
Scale NTS

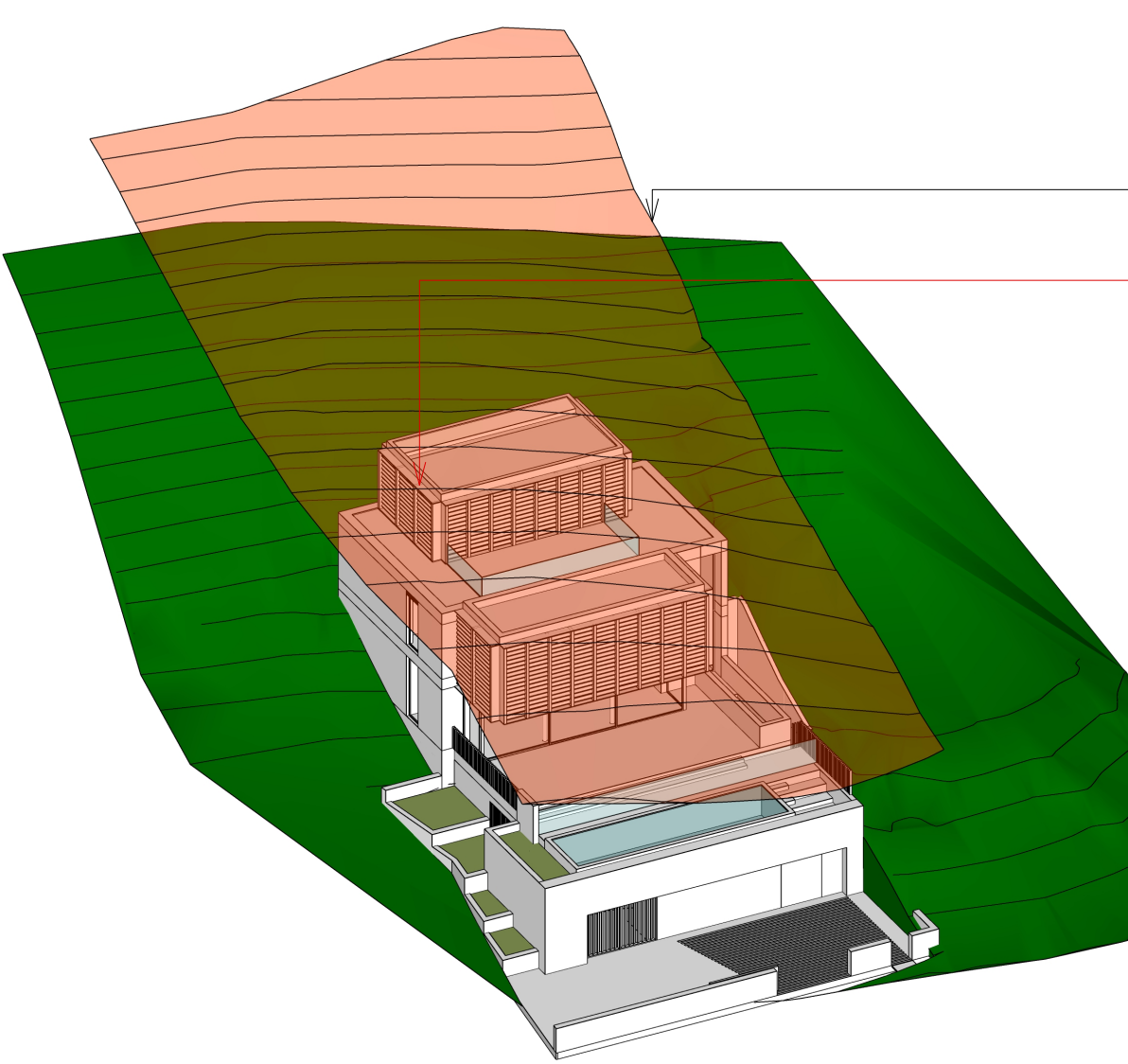


PROJECT	OCEAN ROAD RESIDENCE
ADDRESS	14 OCEAN ROAD
	PALM BEACH 2108
DOCUMENT	DEVELOPMENT APPLICATION

DRAWING	3D VIEW		
	HEIGHT PLANE DIAGRAM (8.5M)		
DATE	08.04.22	SCALE	NTS
DRAWING NO.	DA.10	REV NO.	E

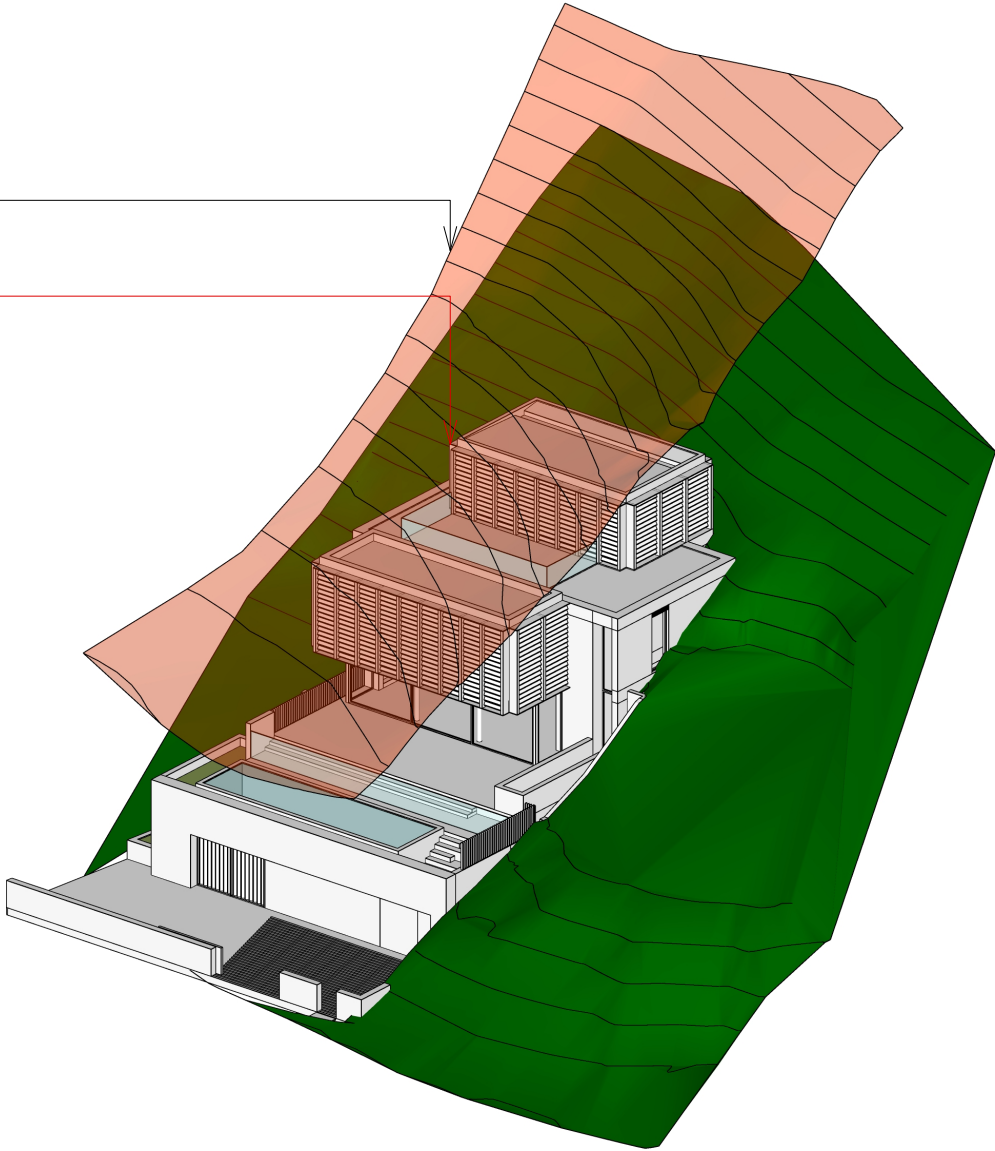
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10M Height Plane shown in red

Level 02 building envelope
reduced and brought in from the
Southern boundary by 1300mm.



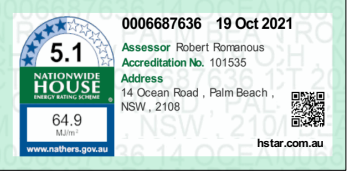
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VIEW 01
Scale NTS

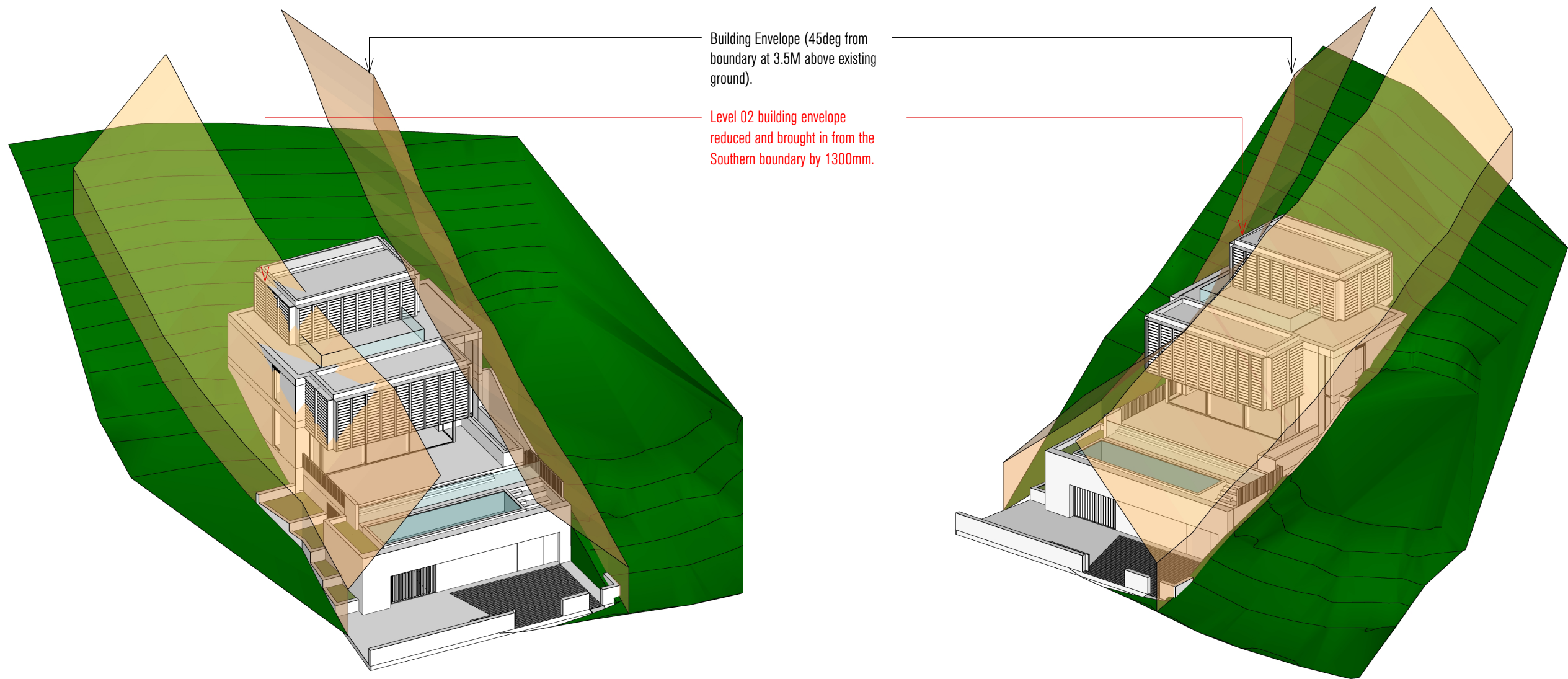
2 3D VIEW
VIEW 02
Scale NTS

PROJECT	OCEAN ROAD RESIDENCE
ADDRESS	14 OCEAN ROAD
	PALM BEACH 2108
DOCUMENT	DEVELOPMENT APPLICATION

DRAWING	3D VIEW		
HEIGHT PLANE DIAGRAM (10M)			
DATE	08.04.22	SCALE	NTS
DRAWING NO.	DA.11	REV NO.	E

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1 3D VIEW
VIEW 01
Scale NTS



2 3D VIEW
VIEW 02
Scale NTS



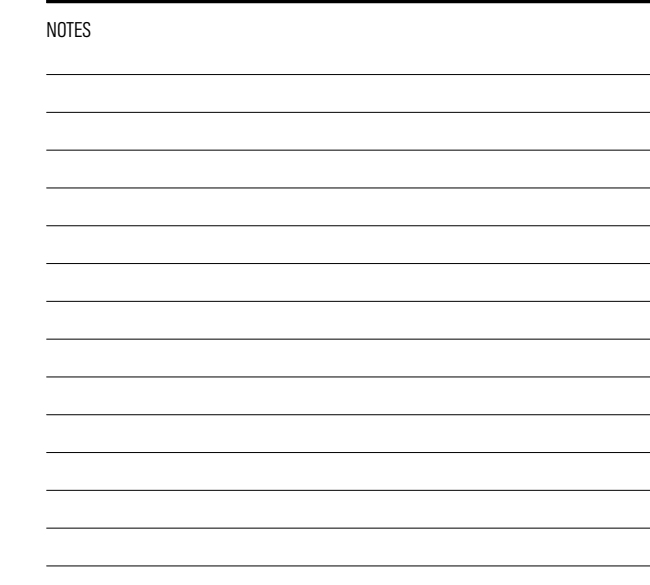
PROJECT	OCEAN ROAD RESIDENCE
ADDRESS	14 OCEAN ROAD
	PALM BEACH 2108
DOCUMENT	DEVELOPMENT APPLICATION

DRAWING	3D VIEW		
	BUILDING ENVELOPE DIAGRAM		
DATE	08.04.22	SCALE	NTS
DRAWING NO.	DA.12	REV NO.	E

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MATHIESON



PROJECT	OCEAN ROAD RESIDENCE
ADDRESS	14 OCEAN ROAD
	PALM BEACH 2108
DOCUMENT	DEVELOPMENT APPLICATION

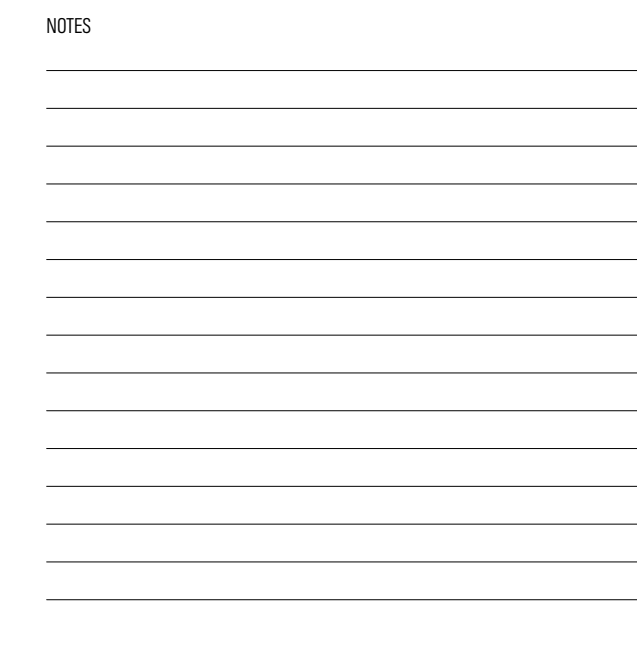
MATHIESON





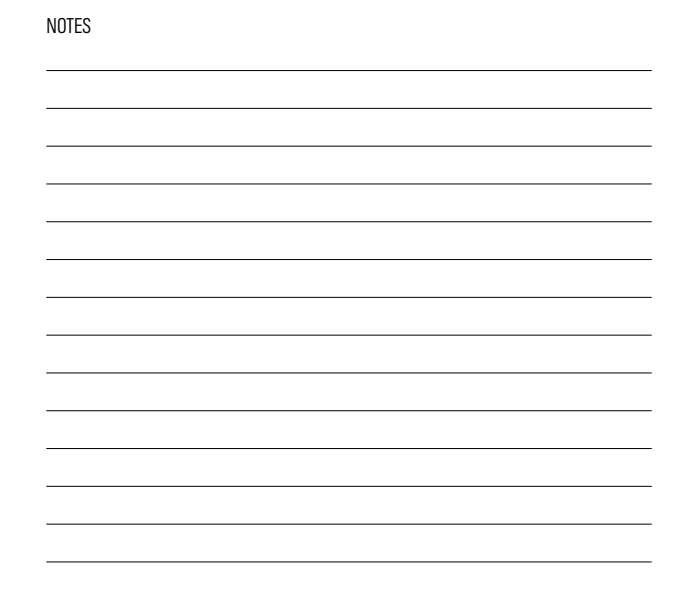
PROJECT	OCEAN ROAD RESIDENCE
ADDRESS	14 OCEAN ROAD PALM BEACH 2108
DOCUMENT	DEVELOPMENT APPLICATION

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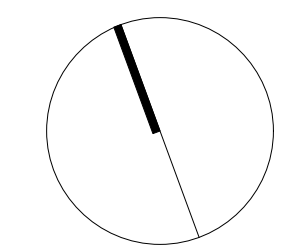


PROJECT	OCEAN ROAD RESIDENCE
ADDRESS	14 OCEAN ROAD
	PALM BEACH 2108
DOCUMENT	DEVELOPMENT APPLICATION

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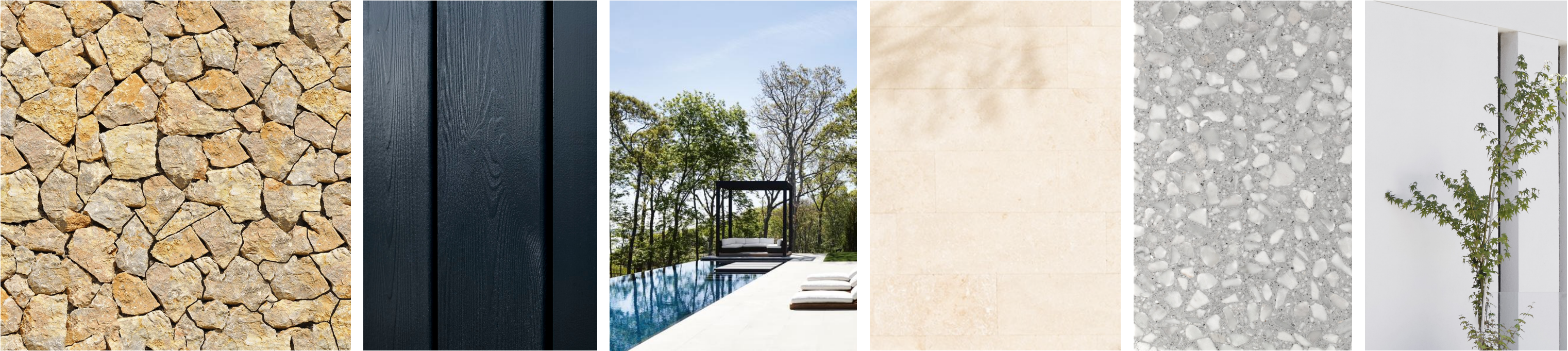
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PROJECT	OCEAN ROAD RESIDENCE		
ADDRESS	14 OCEAN ROAD		
	PALM BEACH 2108		
DOCUMENT	DEVELOPMENT APPLICATION		
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DRAWING	PLAN		
	EXCAVATION		
DATE	06.04.22	SCALE	1:100
DRAWN	DB	PROJECT NO.	21006
DRAWING NO.	DA.16	REV. NO.	B



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PROJECT	OCEAN ROAD RESIDENCE
ADDRESS	14 OCEAN ROAD
	PALM BEACH 2108
DOCUMENT	DEVELOPMENT APPLICATION

DRAWING	SCHEDULE OF FINISHES		
DATE	22.10.21	SCALE	NTS
DRAWING NO.	DA.17	REV NO.	A

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5.1
NATIONWIDE
HOUSE
star rating

64.9
stars

www.mathieson.com.au

0006687636 19 Oct 2021

Assessor Robert Romanous
Accreditation No. 101535

Address
14 Ocean Road , Palm Beach ,
NSW , 2108



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PROJECT	OCEAN ROAD RESIDENCE
ADDRESS	14 OCEAN ROAD
	PALM BEACH 2108
DOCUMENT	DEVELOPMENT APPLICATION

DRAWING	STREETSCAPE VISUALISATION		
DATE	22.10.21	SCALE	NTS
DRAWING NO.	DA.18	REV NO.	A

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NATIONWIDE
HOUSE

64.9

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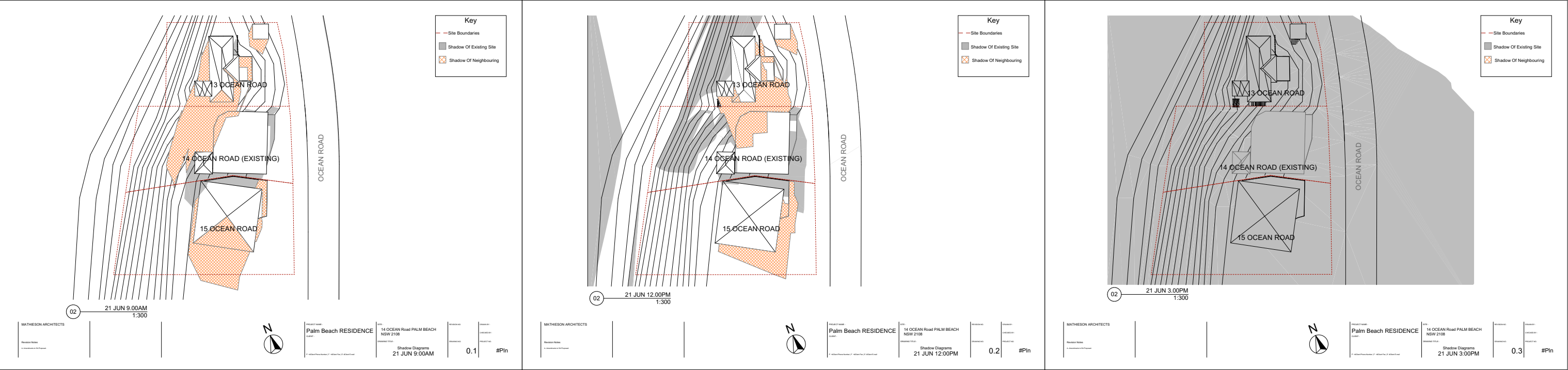
0006687636 19 Oct 2021

Assessor Robert Romanous
Accreditation No. 101535

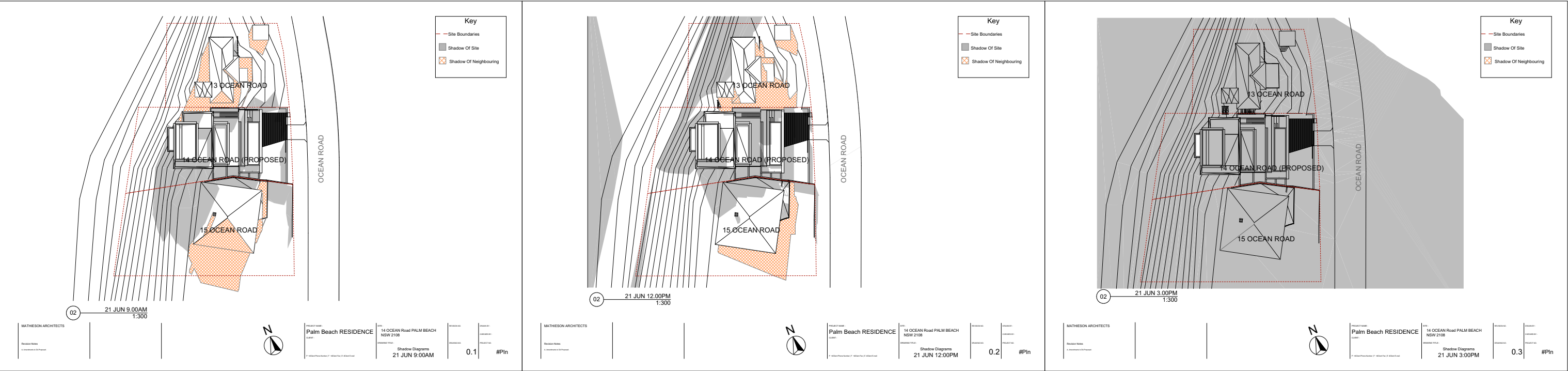
Address
14 Ocean Road , Palm Beach ,
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EXISTING BUILDING



PROPOSED BUILDING

PROJECT	OCEAN ROAD RESIDENCE	DRAWING	SOLAR DIAGRAMS		
ADDRESS	14 OCEAN ROAD	DATE	08.04.22	SCALE	NTS
	PALM BEACH 2108	DRAWING NO.	DA.19	REV NO.	C
DOCUMENT	DEVELOPMENT APPLICATION				

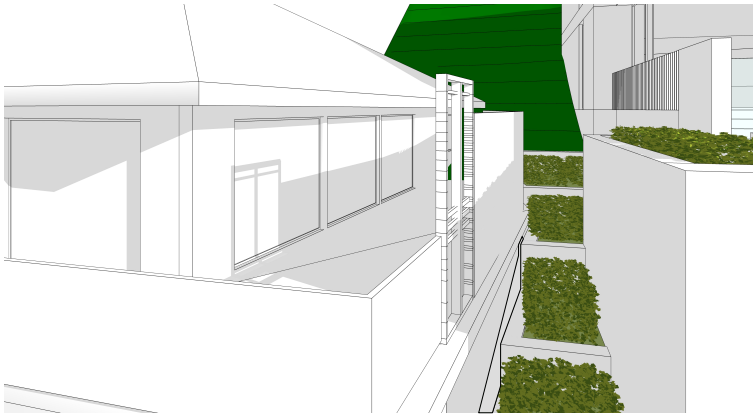
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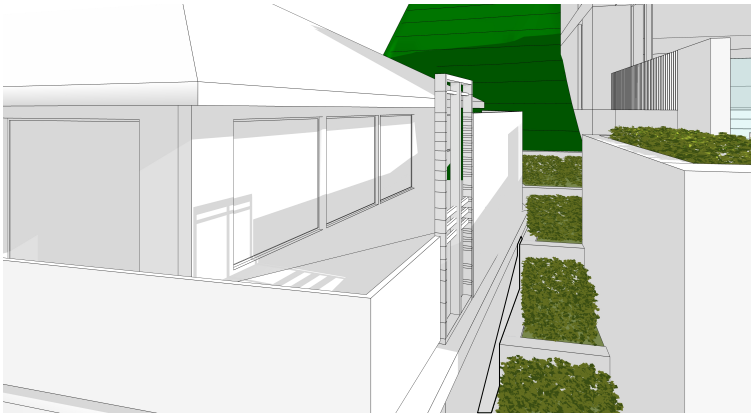
NOMINATED ARCHITECT: PHILLIP MATHIESON 6440 (NSW) 2412 (ACT)



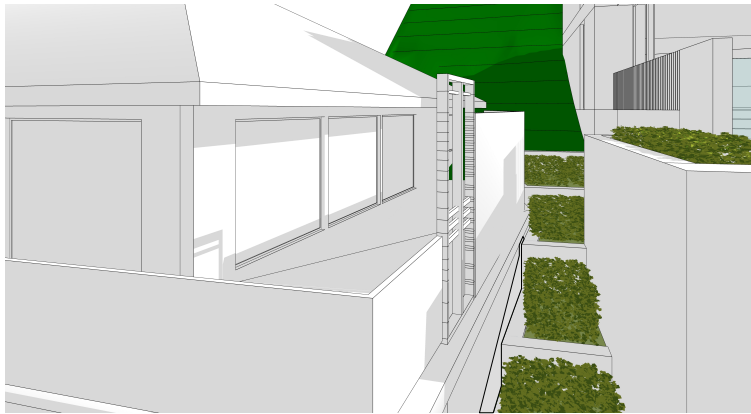
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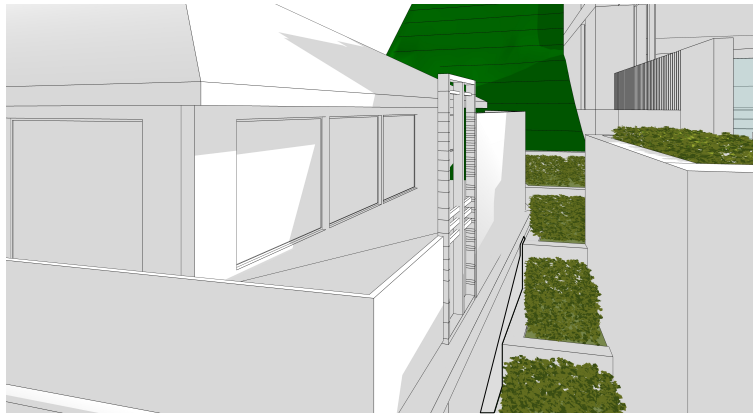
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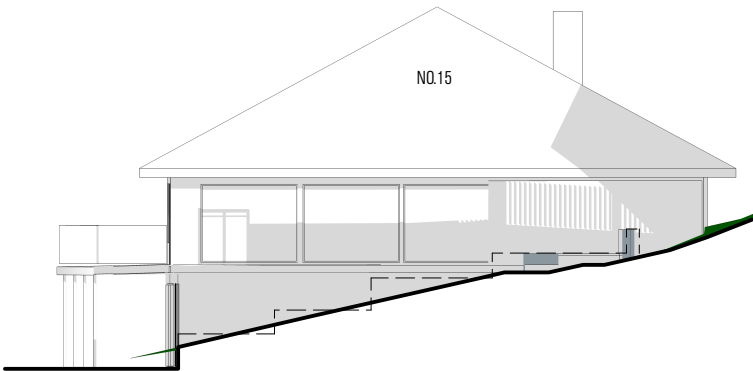
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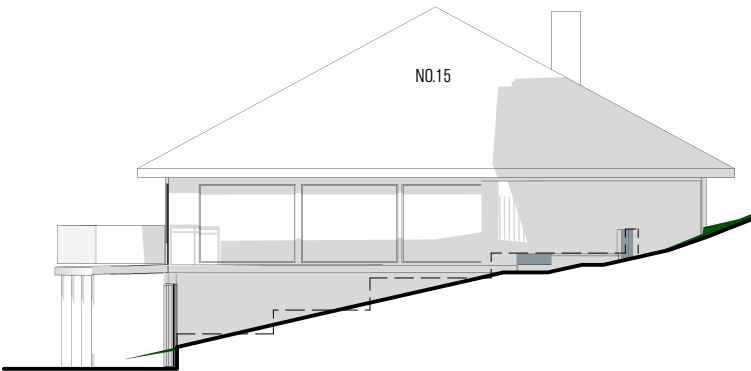
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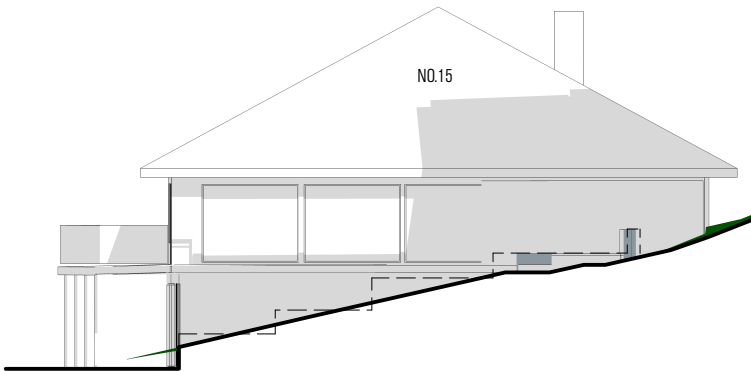
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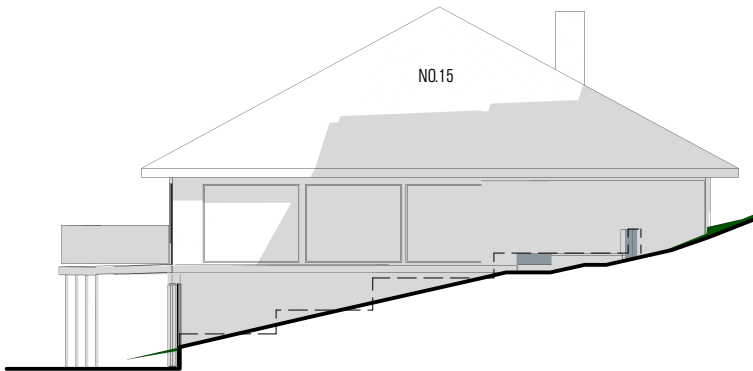
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JUNE 21 - 12:00PM

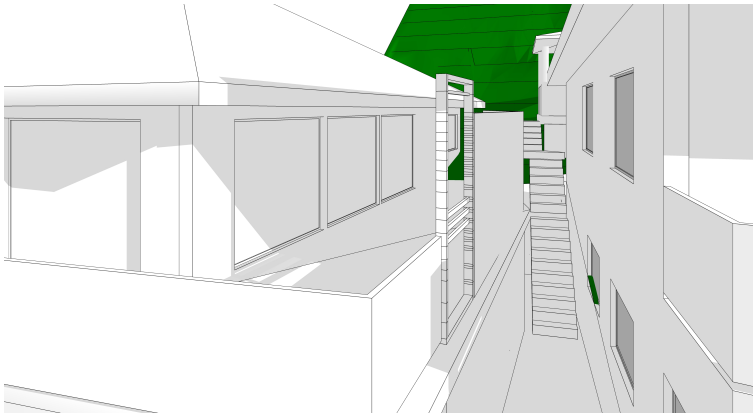
PROJECT	OCEAN ROAD RESIDENCE
ADDRESS	14 OCEAN ROAD
	PALM BEACH 2108
DOCUMENT	DEVELOPMENT APPLICATION

DRAWING	PROPOSED SOLAR DIAGRAMS		
DATE	08.04.22	SCALE	NTS
DRAWING NO.	DA.20	REV NO.	C

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NOMINATED ARCHITECT: PHILLIP MATHIESON 6440 (NSW) 2412 (ACT)

5.1
NATIONWIDE
HOUSE
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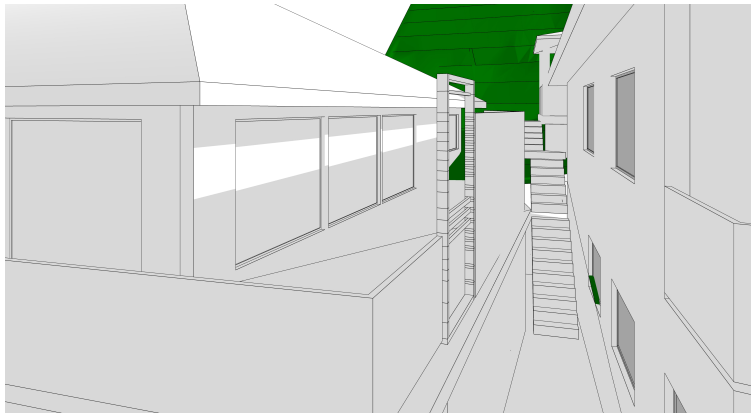
0006687636 19 Oct 2021
Assessor Robert Romanous
Accreditation No. 101535
Address
14 Ocean Road , Palm Beach ,
NSW , 2108



JUNE 21 - 9:00AM



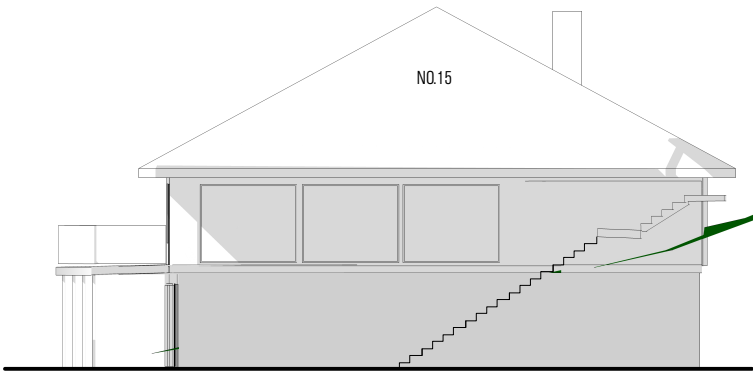
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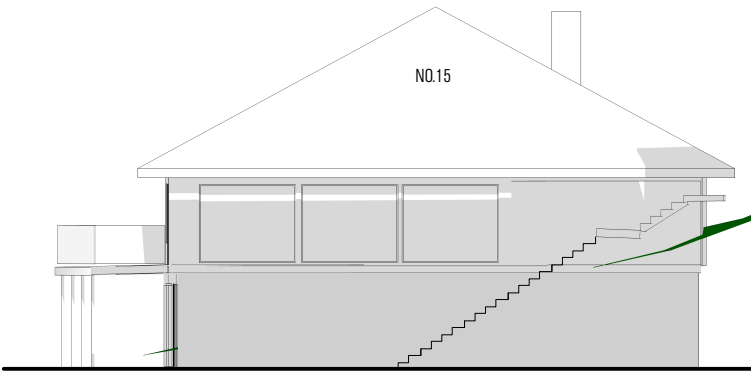
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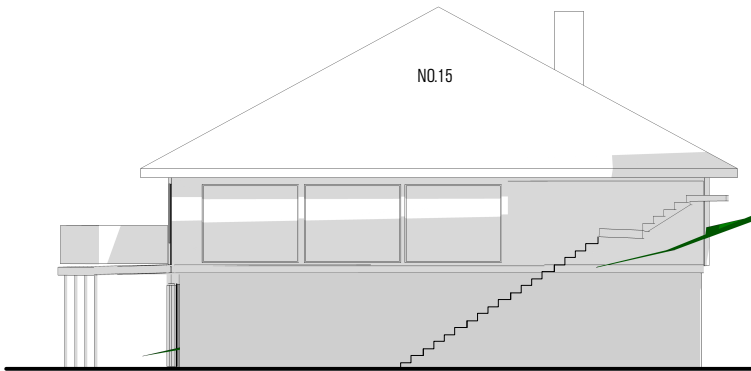
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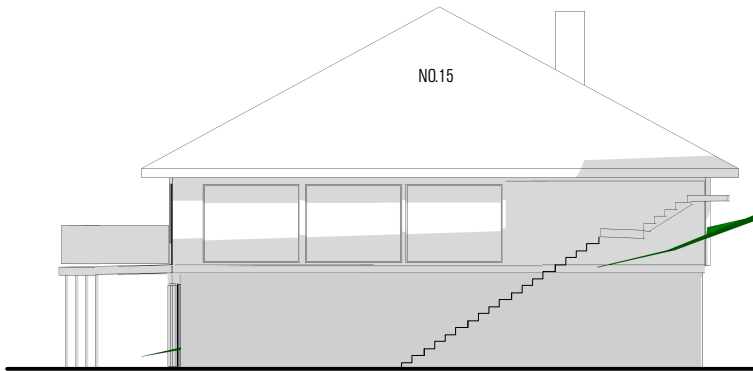
JUNE 21 - 9:00AM



JUNE 21 - 10:00AM



JUNE 21 - 11:00AM



JUNE 21 - 12:00PM

PROJECT	OCEAN ROAD RESIDENCE
ADDRESS	14 OCEAN ROAD
	PALM BEACH 2108
DOCUMENT	DEVELOPMENT APPLICATION

DRAWING	EXISTING SOLAR DIAGRAMS		
DATE	08.04.22	SCALE	NTS
DRAWING NO.	DA.21	REV NO.	A

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5.1

NATIONWIDE HOUSE

64.9

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0006687636 19 Oct 2021

Assessor Robert Romanous

Accreditation No. 101535

Address

14 Ocean Road , Palm Beach , NSW , 2108

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NOTES

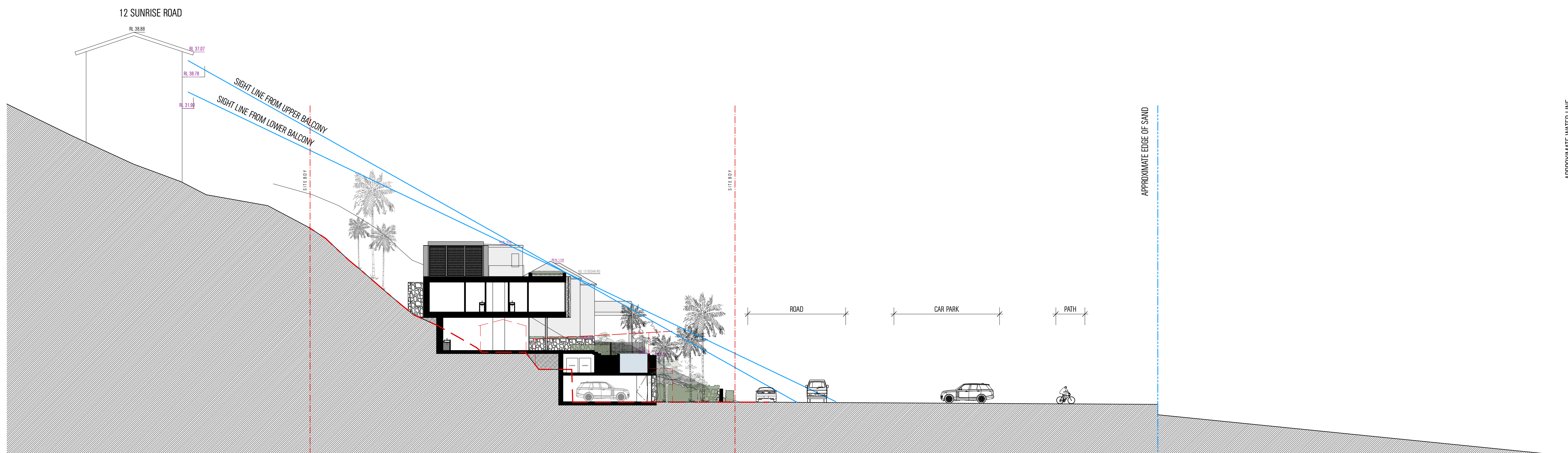
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PROJECT	OCEAN ROAD RESIDENCE
ADDRESS	14 OCEAN ROAD
	PALM BEACH 2108
DOCUMENT	DEVELOPMENT APPLICATION

DRAWING	SECTIONS		
VIEW ANALYSIS			
DATE	08.04.22	SCALE	1:100@A1
DRAWN	ES	PROJECT NO.	21006
DRAWING NO.	DA.30	REV NO.	A

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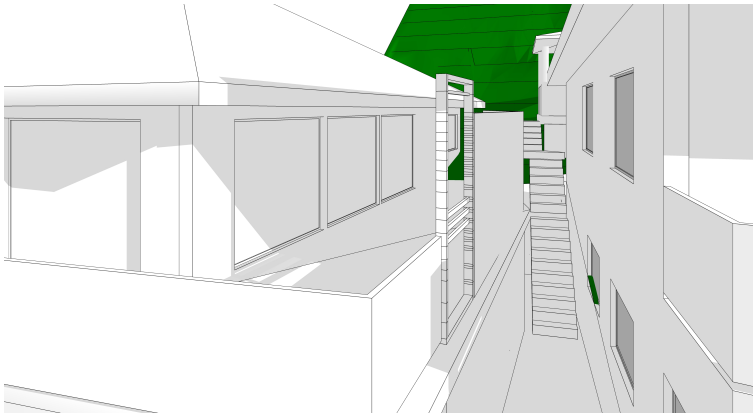
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FIFTH SEASON
LANDSCAPES

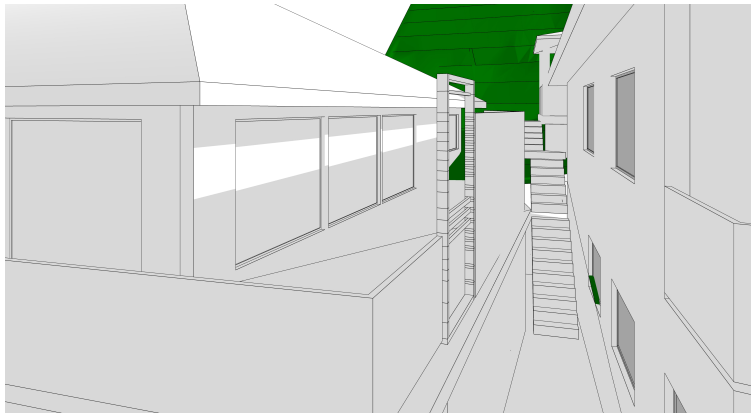
CONCEPT DESIGN PACKAGE - DA:
14 OCEAN RD, PALM BEACH
OCTOBER 2021



JUNE 21 - 9:00AM



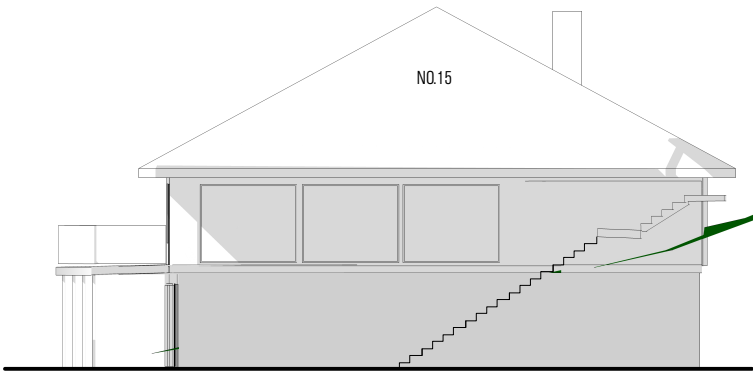
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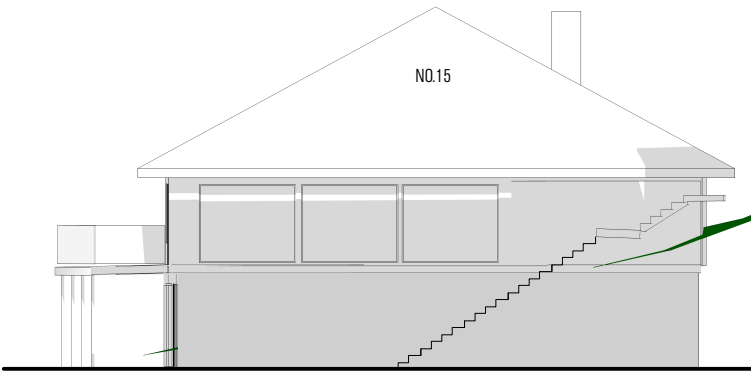
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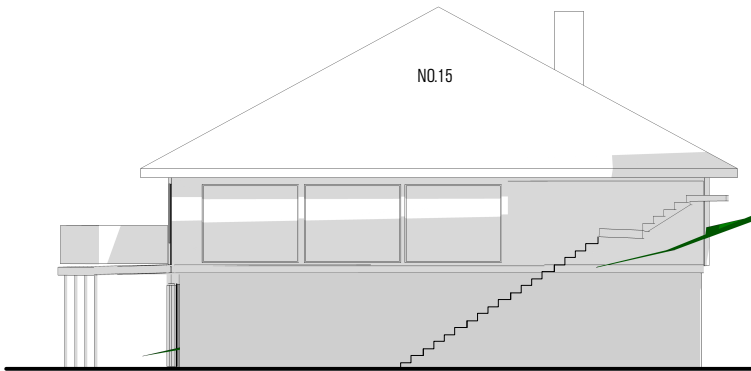
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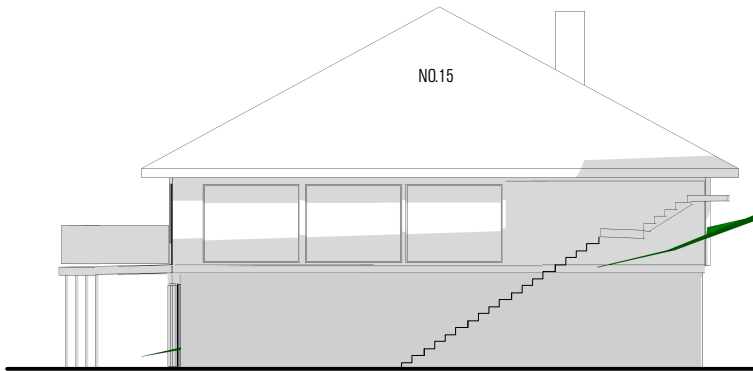
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JUNE 21 - 10:00AM



JUNE 21 - 11:00AM



JUNE 21 - 12:00PM

PROJECT	OCEAN ROAD RESIDENCE
ADDRESS	14 OCEAN ROAD
	PALM BEACH 2108
DOCUMENT	DEVELOPMENT APPLICATION

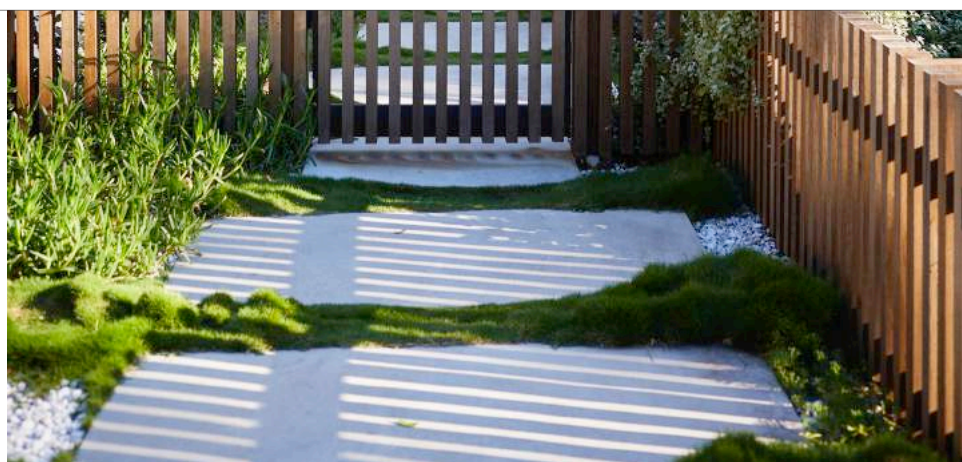
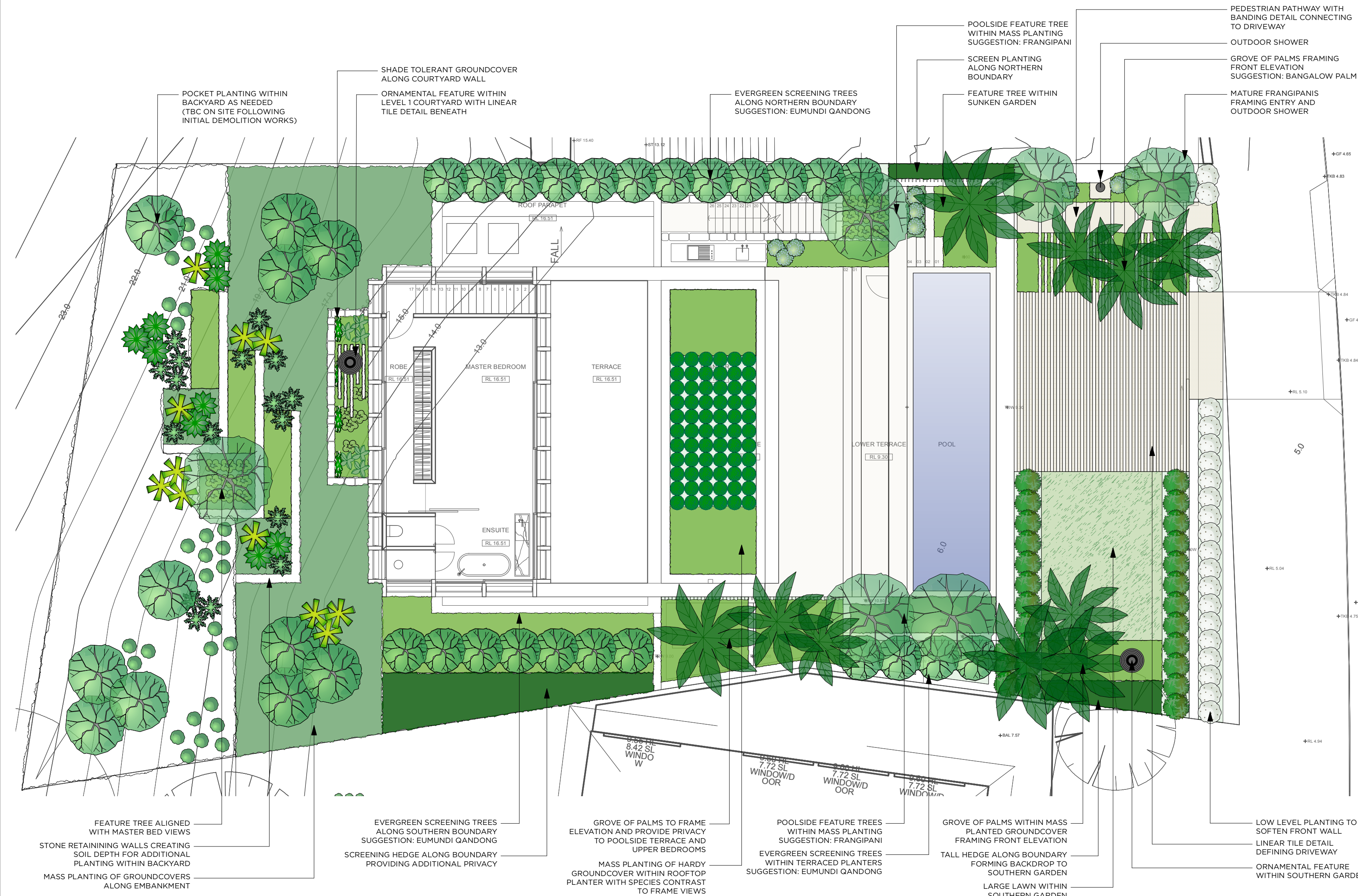
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DATE	08.04.22	SCALE	NTS
DRAWING NO.	DA.21	REV NO.	A

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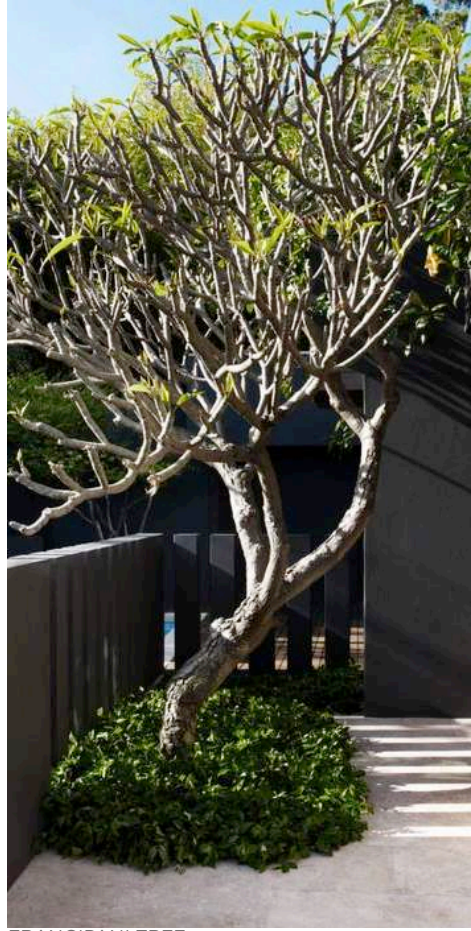
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MATHIESON



LARGE FORMAT STEPPERS AT PEDESTRIAN ENTRY



FRANGIPANI TREE



INDICATIVE ORNAMENTAL FEATURE



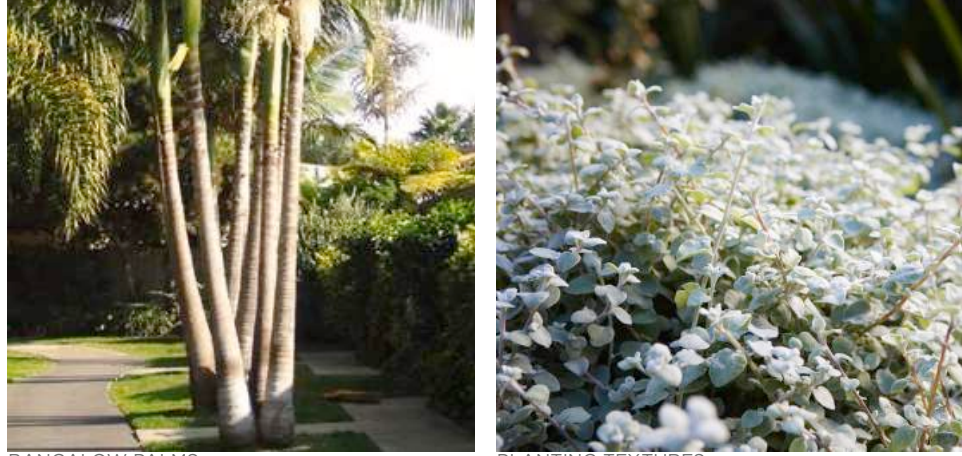
LINEAR PLANTING + TILING LINKING FRONT YARD SPACES



BANGALOW PALMS



OUTDOOR SHOWER



PLANTING TEXTURES



LINEAR PLANTING + TILING COMBINATION



EUMUNDI QUANDONG TREE



INDICATIVE SPILL OVER PLANTING



ARCHITECTURAL FEATURE PLANTING




LOW LEVEL MASS PLANTINGS



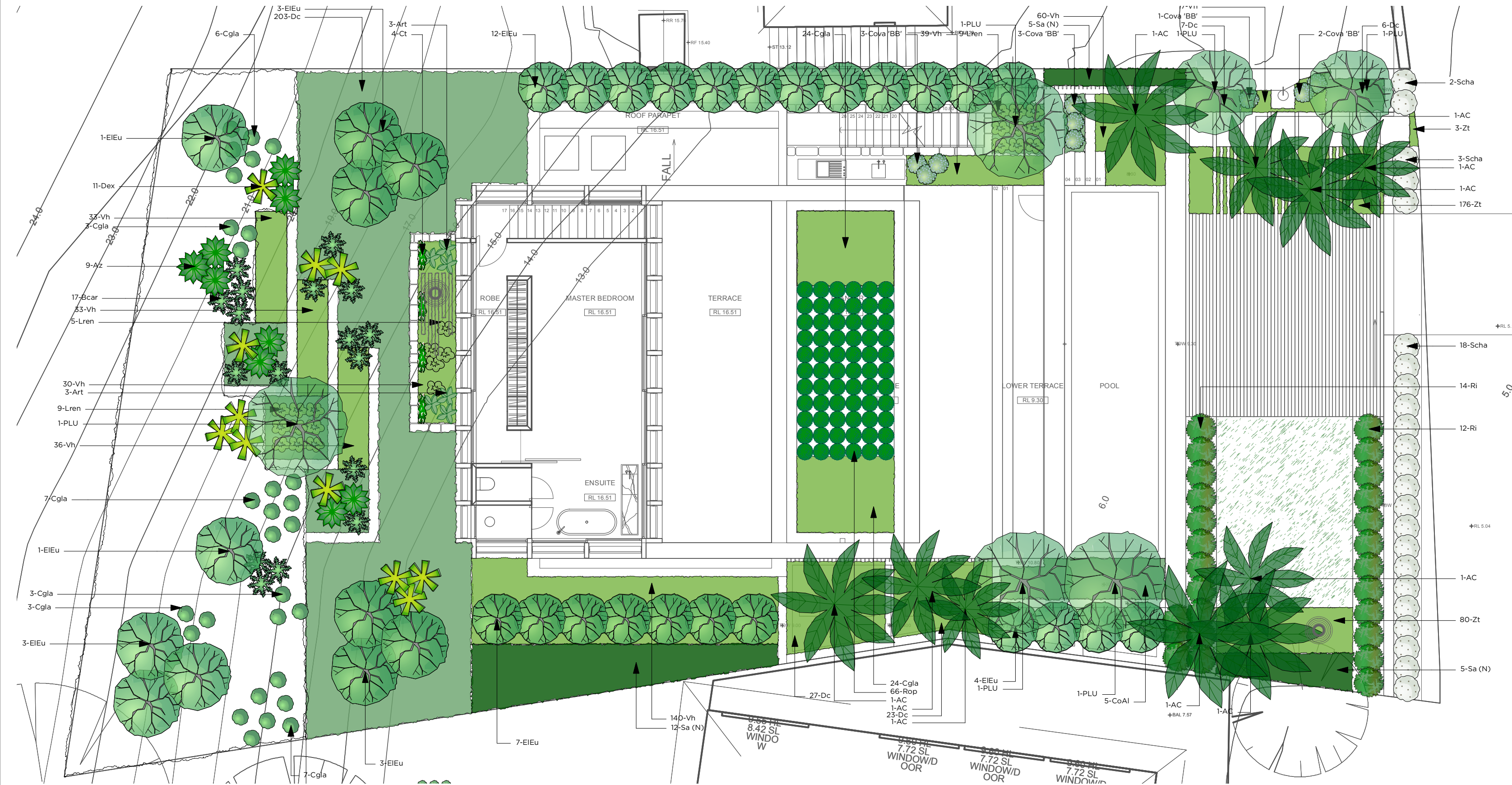
FOLIAGE DETAIL

LANDSCAPE CONCEPT PLAN

14 OCEAN RD, PALM BEACH

DESIGNED BY LC	DRAWN BY LC	CHECKED BY PA	DATE 19/10/21	REVISIONS A 13.10.21
CLIENT R. KHUDA	PAGE SIZE A2	SCALE 1:100	B	Updated to reflect architectural
DRAWING NUMBER LCP-01	REVISION B	SHEET 01 OF 01		
www.5thseasonlandscapes.com.au 15 Gibbes St, Chatswood NSW 2067 T 02 9417 2111 Lic. No. 180555C				





Plant List							
Images	ID	Qty	Botanical Name	Common Name	Mature Height	Mature Spread	Scheduled Size
Trees							
	AC	10	Archontophoenix cunninghamiana	Bangalow Palm	10-15m	5-8m	200-500Lt
	EIEu	34	Elaeocarpus eumundi	Smoothed leaved Quandong	5 - 10m	2.0 - 3.5m	45Lt
	PLU	6	Plumeria spp.	Frangipani	4m	4m	200-500Lt
Shrubs							
	CoAl	5	Correa alba	White Correa	0.9 - 1.5m	0.9 - 1.2m	300mm
	Lren	23	Ligularia reniformis	Bigleaf Ligularia	3 - 5m	2.0 - 3.5m	200mm
	Ri	26	Rhaphiolepis indica	Indian Hawthorn	1m	1m	200mm
	Scha	23	Santolina chamaecyparissus	Cotton Lavender	0.5m	0.8m	200mm
	Sa (N)	22	Syzygium australe 'Resilience'	Lilly Pilly	2m	1m	300mm
Grasses							
	Dc	266	Dianella caerulea	Blue Flax-Lily	0.5m	0.5m	200mm
	Zi	259	Zoysia tenuifolium	No-mow Lawn Grass	0.3m	0.3m	Tiles
Perennials							
	Art	6	Arthropodium cirratum	NZ Rock Lily	0.6mm	1m	200mm
Climbers							
	Ct	4	Clerodendrum thomsoniae	Bleeding Heart Vine	4m	0.9m	140mm
Succulents							
	Cova 'BB'	9	Crassula ovata 'Blue Bird'	Blue Jade Plant	0.9m	0.8m	300mm
Ground Covers							
	Cgla	77	Carpobrotus glaucescens	Coastal Moonflower, Pigface, Iceplant	0.3m	1.2m	140mm
	Rop	66	Rosmarinus officinalis prostratus	Prostrate Rosemary	0.3m	1m	140mm
	Vh	388	Viola hederacea	Native Violet	0.2m	1m	140mm
Fern							
	Bcar	17	Blechnum cartilagineum	Gristle Fern, Water Fern	0.5m	0.5m	200mm
Herb Accent							
	Az	9	Alpinia zerumbet	Shell Ginger	2m	1.5m	200mm
	Dex	11	Doranthos excelsa	Gymea Lily, Giant Lily	1.5m	1.2m	200mm
Total							
		1241					

NOTE:
- There is a total of 163m2 of indigenous/low water use species (minimum 37m2 required for BASIX)



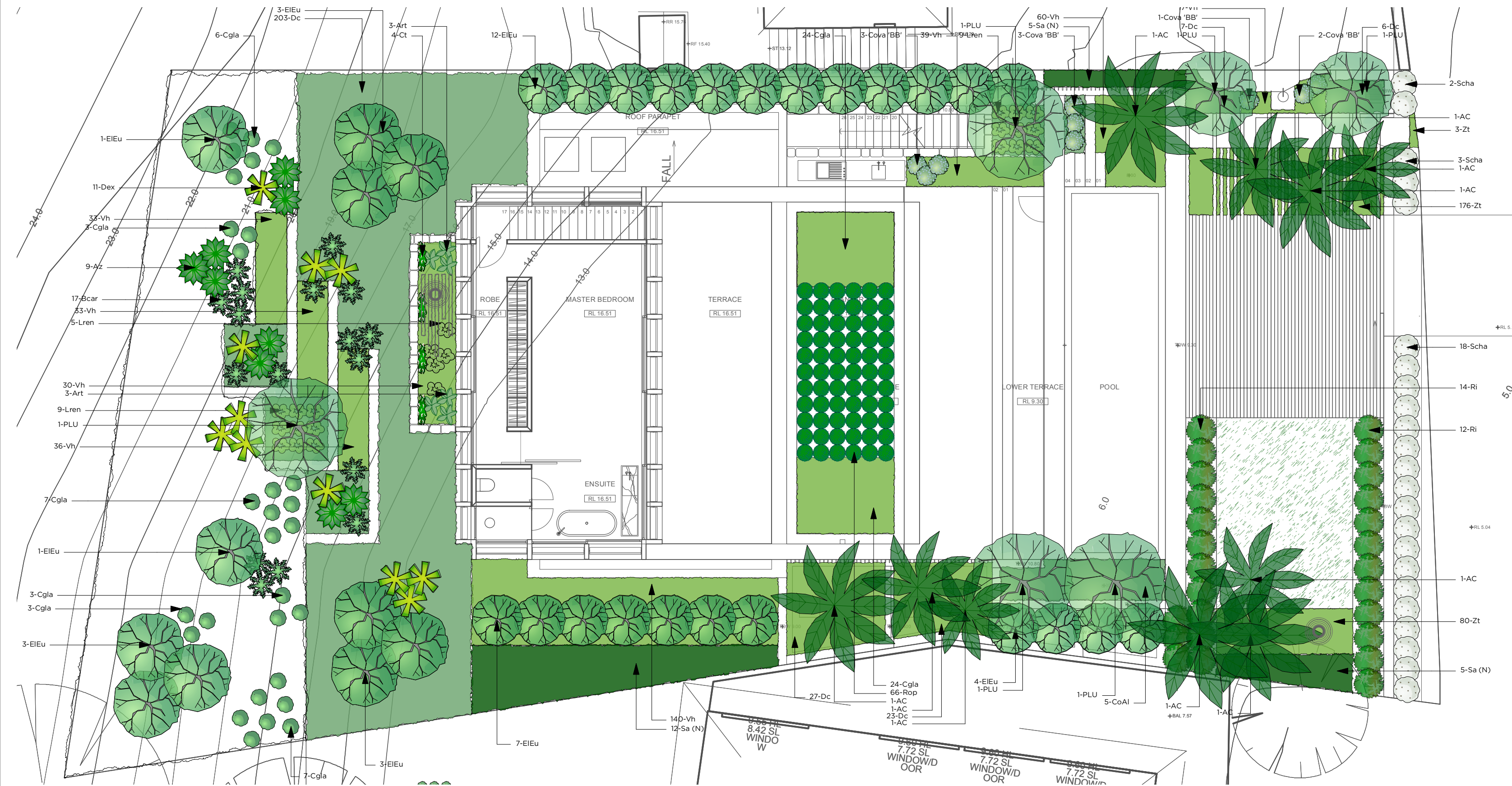
PLANTING PLAN

14 OCEAN RD, PALM BEACH

DESIGNED BY LC	DRAWN BY LC	CHECKED BY PA	DATE 19/10/21
CLIENT R. KHUDA	PAGE SIZE A2	SCALE 1:100	REVISIONS
DRAWING NUMBER PLT-01	REVISION A	SHEET 01 OF 01	

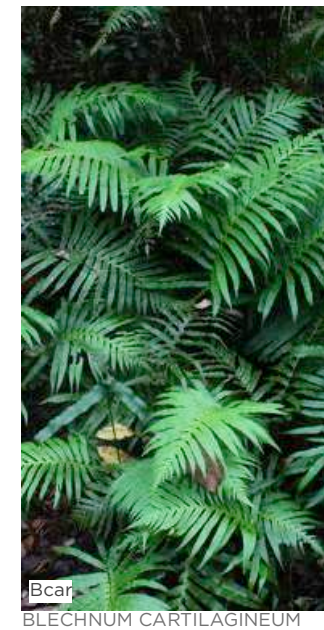
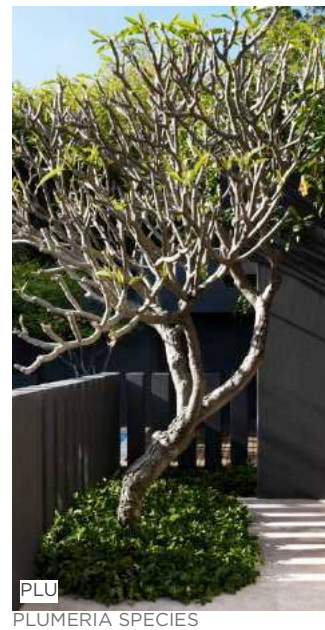
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Plant List								
Images	ID	Qty	Botanical Name	Common Name	Mature Height	Mature Spread	Scheduled Size	Remarks
Trees								
	AC	10	Archontophoenix cunninghamiana	Bangalow Palm	10-15m	5-8m	200-500Lt	Native species
	EiEu	34	Elaeocarpus eumundi	Smoothed leaved Quandong	5 - 10m	2.0 - 3.5m	45Lt	Native species
	PLU	6	Plumeria spp.	Frangipani	4m	4m	200-500Lt	
Shrubs								
	CoAl	5	Correa alba	White Correa	0.9 - 1.5m	0.9 - 1.2m	300mm	Native species
	Lren	23	Ligularia reniformis	Bigleaf Ligularia	3 - 5m	2.0 - 3.5m	200mm	
	Ri	26	Rhaptolepis indica	Indian Hawthorn	1m	1m	200mm	
	Scha	23	Santolina chamaecyparissus	Cotton Lavender	0.5m	0.8m	200mm	
	Sa (N)	22	Syzgium australe 'Resilience'	Lilly Pilly	2m	1m	300mm	Native species
Grasses								
	Dc	266	Dianella caerulea	Blue Flax-Lily	0.5m	0.5m	200mm	Native species
	Zi	259	Zoyia tenuifolium	No-mow Lawn Grass	0.3m	0.3m	Tiles	
Perennials								
	Art	6	Arthropodium cirratum	NZ Rock Lily	0.6mm	1m	200mm	
Climbers								
	Ct	4	Clerodendrum thomsoniae	Bleeding Heart Vine	4m	0.9m	140mm	
Succulents								
	Cova 'BB'	9	Crassula ovata 'Blue Bird'	Blue Jade Plant	0.9m	0.8m	300mm	
Ground Covers								
	Cgla	77	Carpobrotus glaucescens	Coastal Moonflower, Pigface, Iceplant	0.3m	1.2m	140mm	Native species
	Rop	66	Rosmarinus officinalis prostratus	Prostrate Rosemary	0.3m	1m	140mm	
	Vh	388	Viola hederacea	Native Violet	0.2m	1m	140mm	Native species
Fern								
	Bcar	17	Blechnum cartilagineum	Gristle Fern, Water Fern	0.5m	0.5m	200mm	Native species
Herb Accent								
	Az	9	Alpinia zerumbet	Shell Ginger	2m	1.5m	200mm	
	Dex	11	Doryanthus exelsa	Gymea Lily, Giant Lily	1.5m	1.2m	200mm	Native species
Total		1241						

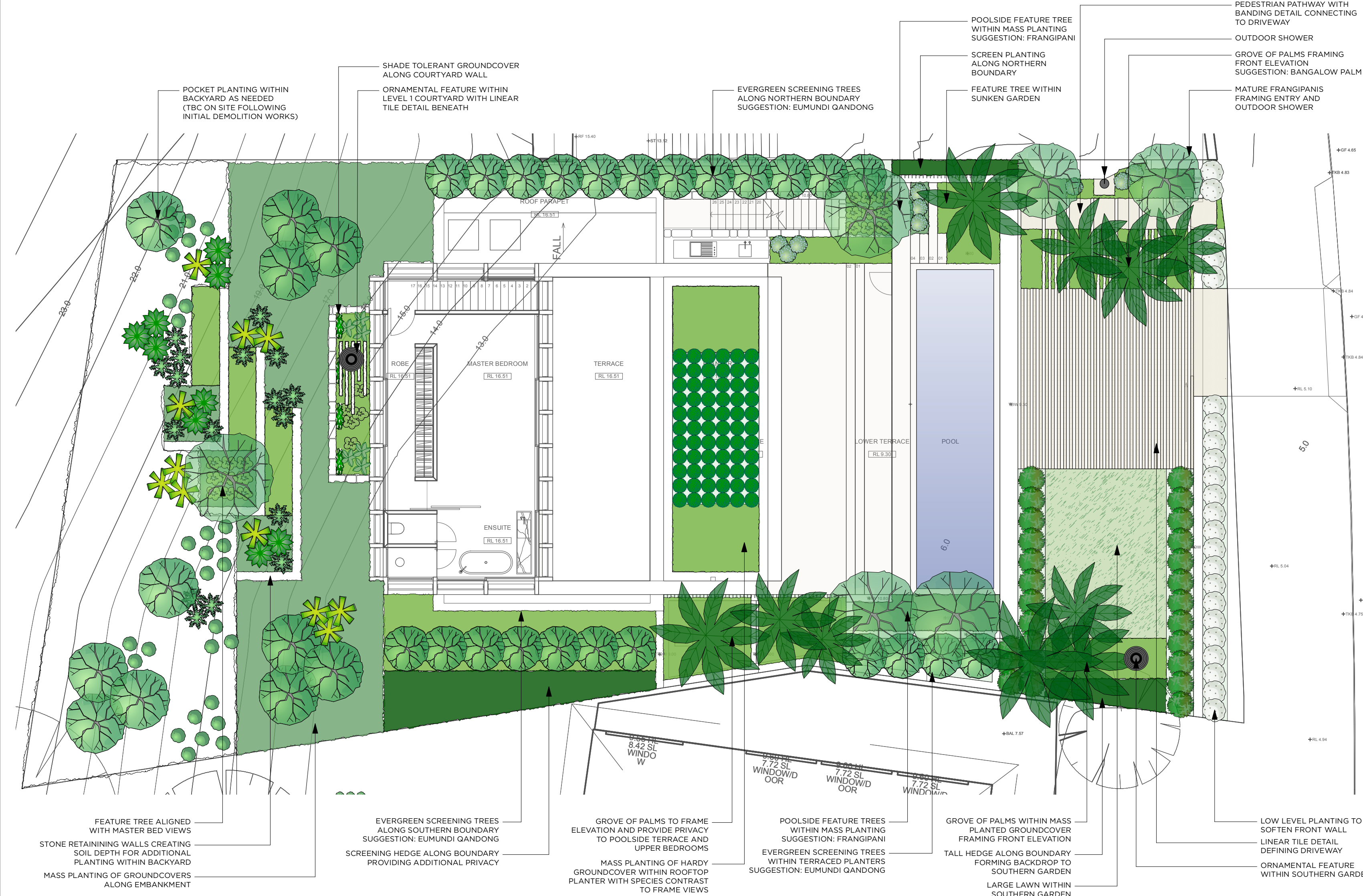
NOTE:
- There is a total of 163m2 of indigenous/low water use species (minimum 37m2 required for BASIX)



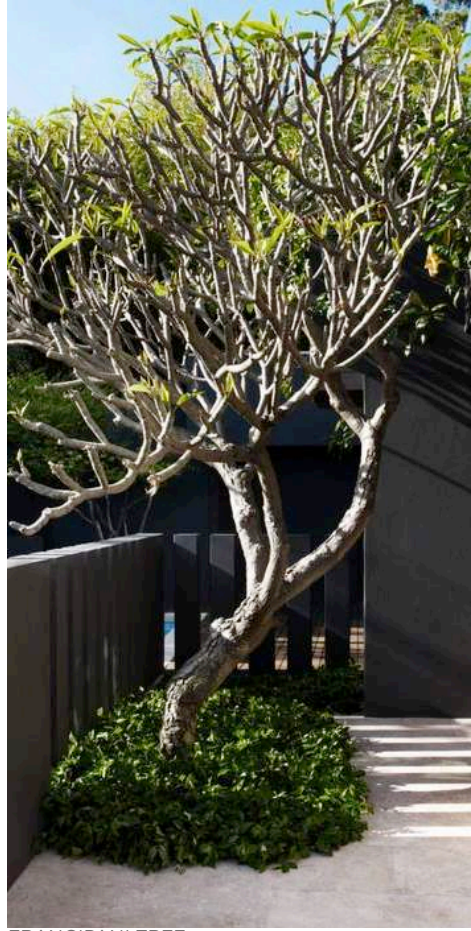
PLANTING PLAN
14 OCEAN RD, PALM BEACH

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LARGE FORMAT STEPPERS AT PEDESTRIAN ENTRY



FRANGIPANI TREE



INDICATIVE ORNAMENTAL FEATURE



LINEAR PLANTING + TILING LINKING FRONT YARD SPACES



BANGALOW PALMS



OUTDOOR SHOWER



LINEAR PLANTING + TILING COMBINATION



EUMUNDI QANDONG TREE



INDICATIVE SPILL OVER PLANTING



ARCHITECTURAL FEATURE PLANTING



LOW LEVEL MASS PLANTINGS



FOLIAGE DETAIL



PLANTING TEXTURES

LANDSCAPE CONCEPT PLAN

14 OCEAN RD, PALM BEACH

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