

DRAWING LIST	
00	LOT 2 - COVER SHEET
01	LOT 2 - BASIX NOTES
02	LOT 2 - LOCATION PLAN
03	LOT 2 - SITE ANALYSIS
04	LOT 2 - SITE PLAN
05	LOT 2 - CUT AND FILL PLAN
06	LOT 2 - GROUND FLOOR PLAN
07	LOT 2 - FIRST FLOOR PLAN
08	LOT 2 - SECOND FLOOR PLAN
09	LOT 2 ROOF PLAN
10	LOT 2 - SECTION A
11	LOT 2 - SECTION B
12	LOT 2 - SOUTH & WEST ELEVATIONS
13	LOT 2 - NORTH & EAST ELEVATIONS
14	LOT 2 - WASTE MANAGEMNET PLAN
15	LOT 2 - PERSPECTIVE
16	LOT 2 - EXTERNAL FINISHES
17	LOT 2 - SHADOW DIAGRAMS
18	LOT 2 - AREA CALCULATIONS
19	LOT 2 - WINDOWS SCHEDULE 1/3
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21	LOT 2 - WINDOWS SCHEDULE 3/3
22	LOT 2 - NOTIFICATION PLAN



LOT 2 - 6 ORCHARD ROAD, WARRIEWOOD
WARRIEWOOD HOUSING

P563

DEVELOPMENT APPLICATION

September, 2022

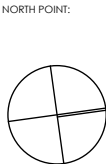
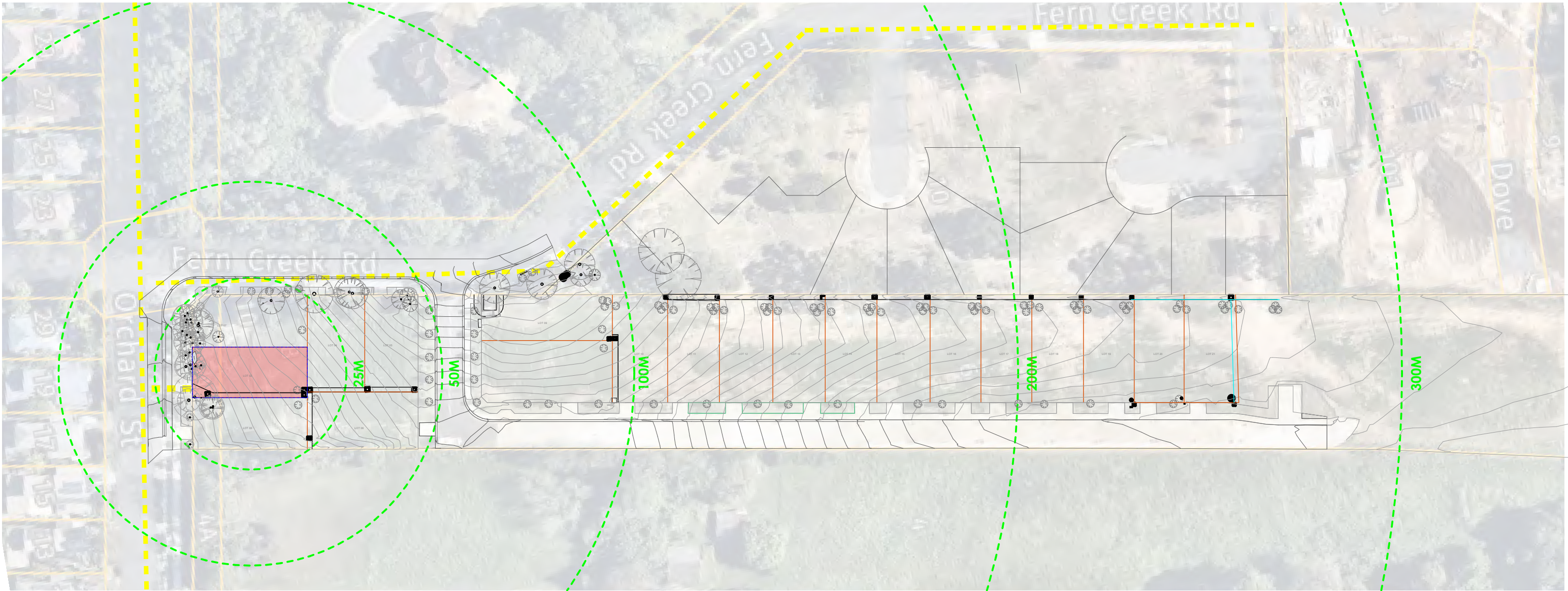
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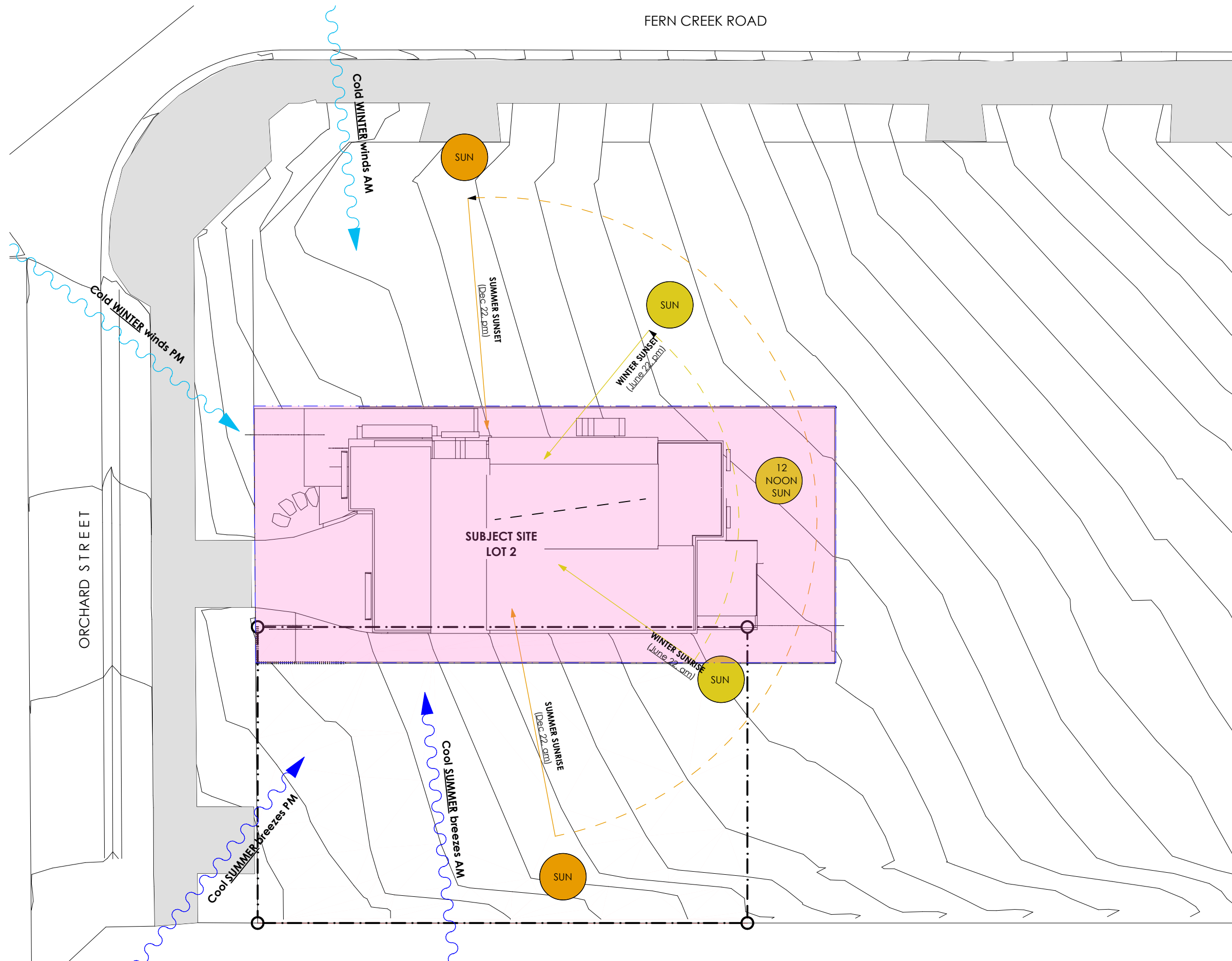
SKYCORN AUSTRALIA

BASIX COMMITMENTS SUMMERY NOTES (TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE)				
WATER		No hot water reticulation required		
Fixtures	All shower heads	All toilets	All kitchen taps	All bathrooms taps
Rating	4 Star(>4.5 But<=6L/Min)	4 star	5 star	5 star
Alternate water source				
Rain Water Tank	Type	Size	Roof area connected	Connections
	Individual RWT	3000L	100 m2	Outdoor tap only
Swimming pool		...		
	Volume	Heated	Cover	Shaded
...	...	...	...	...
ENERGY				
Hot water	Type		Rating	
	Individual, gas instantaneous		5 star	
Mech. Ventilation	System		Operation Control	
Bath	Indiv. fan, ducted to facade or roof		Manual Switch On/Off	
L'dry	Indiv. fan, ducted to facade or roof		Manual Switch On/Off	
Kitchen	Indiv. fan, ducted to facade or roof		Manual Switch On/Off	
Cooling System	Type		Living areas	Bed rooms
	1 Phase Air conditioning: Day / Night Zoned		3 star (average zone)	3 star (average zone)
Heating System	Type		Living areas	Bed rooms
	1 Phase Air conditioning: Day / Night Zoned		3 star (average zone)	3 star (average zone)
Artificial Lighting	Primary type of artificial lighting is fluorescent or light emitting diode (LED)			
	No. of Bed rms & study	No. of Living	Each Kitchen, Bath / Toilet	L'dry & Hallway
	All	All	Yes	Yes
Others	Indoor private Cloth Line		Not Required	
	Outdoor or sheltered Cloth Line		Yes	
	Well ventilated Fridge space		No	
	Kitchen Cook top / Oven		Gas Cook top + Electric Oven	
THERMAL				
	External Wall Insulation: R2.06 (BV Walls); R2.0 (framed walls)			
	Ceiling Insulation: R3.45			
	Roof type / colour :Metal roof flat ceiling / pitched roof, raked ceiling / pitced or skillion roof, Medium Colour (SA 0.475 - 0.7) + SS Foil (R1.3)			
	ALM-002-01 A: Aluminium B SG Clear U=6.7 SHGC =0.70			
	Skylight: Aluminimum, moulded plastic single clear SG Clear U=6.7 SHGC =0.70			
	All External doors & windows to be weather sealed			
	Eaves / shading as per drawings			



BASIX COMMITMENTS





REV	DESCRIPTION
P1	DRAFT ISSUE
P6	DRAFT ISSUE
P7	ISSUE FOR DA

BY	DATE
GF	15.09.22
GF	15.09.26
TC	15.09.30

CLIENT:

SKYCORP AUSTRALIA

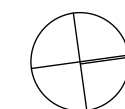
PROJECT TITLE:

6 ORCHARD ROAD, WARRIEWOOD

DRAWING TITLE:

LOT 2 - SITE ANALYSIS

NORTH POINT:



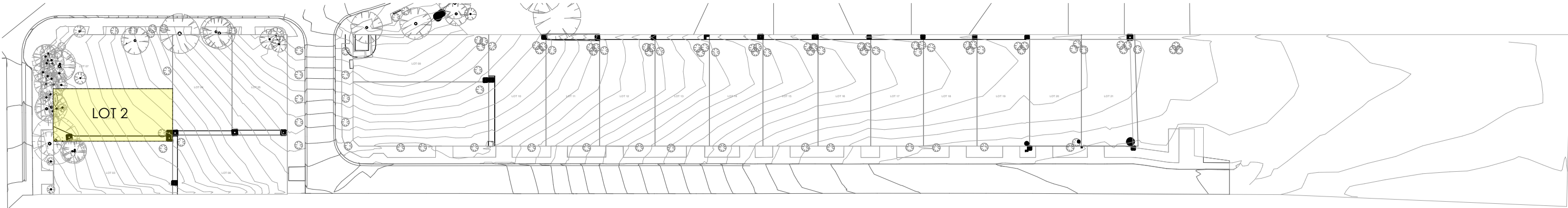
DRAWN BY: CR

CHECKED BY: PI

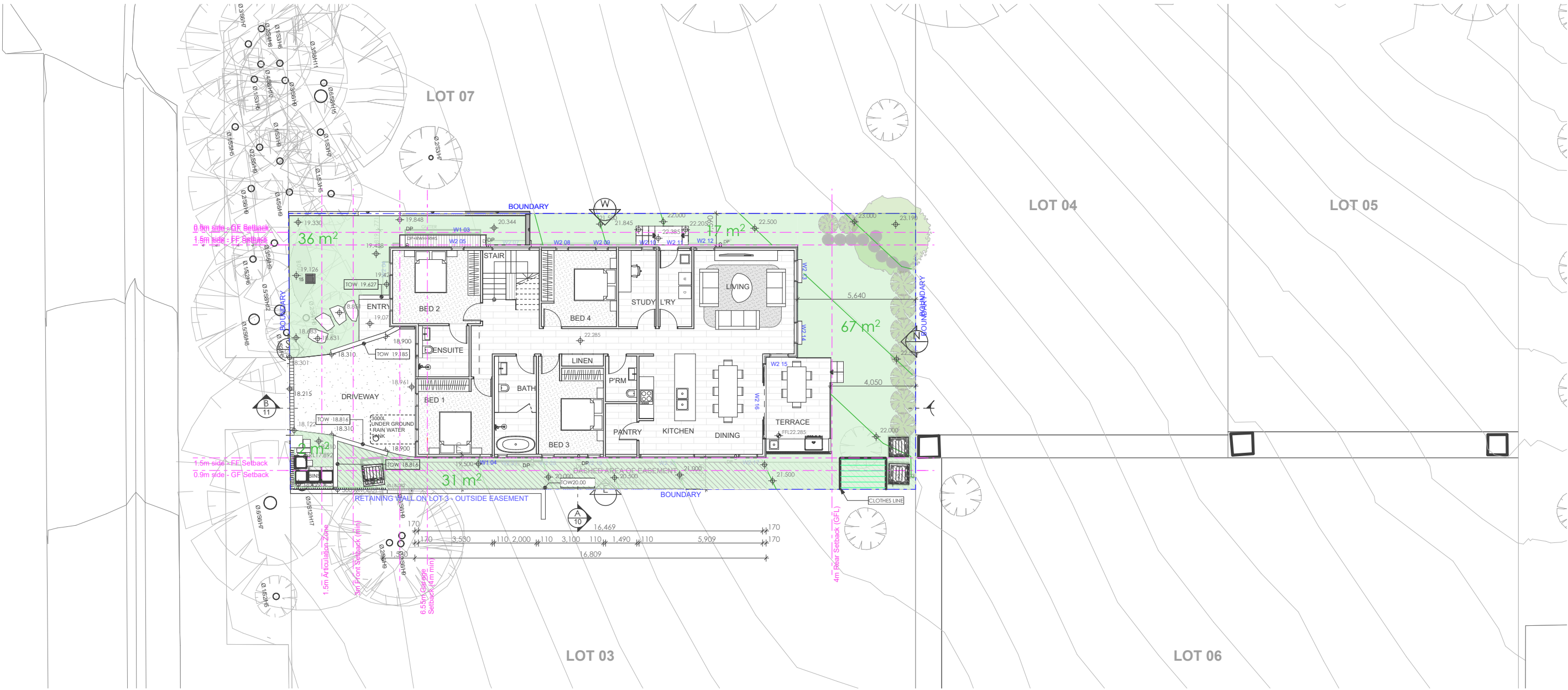
SCALE:

PROJECT No: P563

DA
stage.03
dwg no.P7
revision

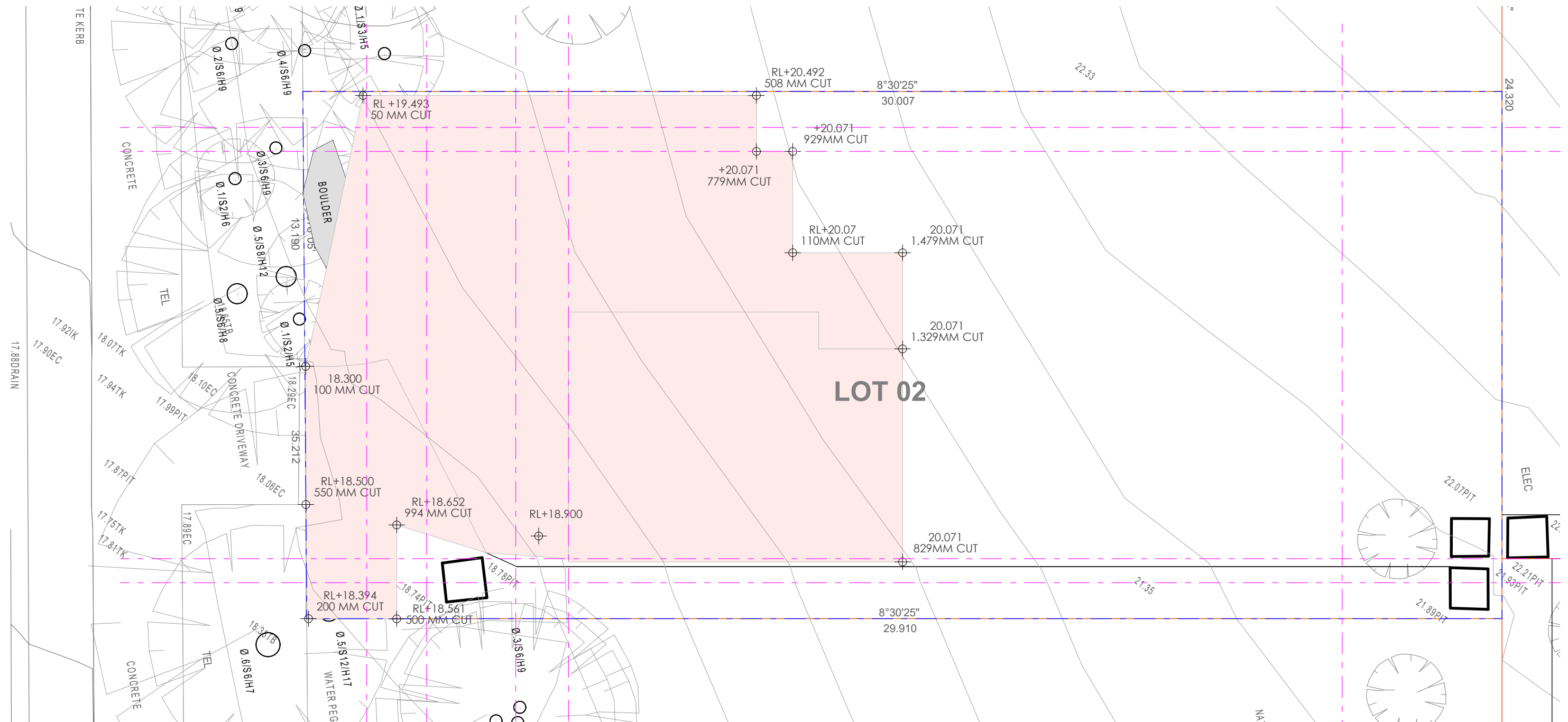


1 KEY MAP
1:1000



2 SITE PLAN
1:200



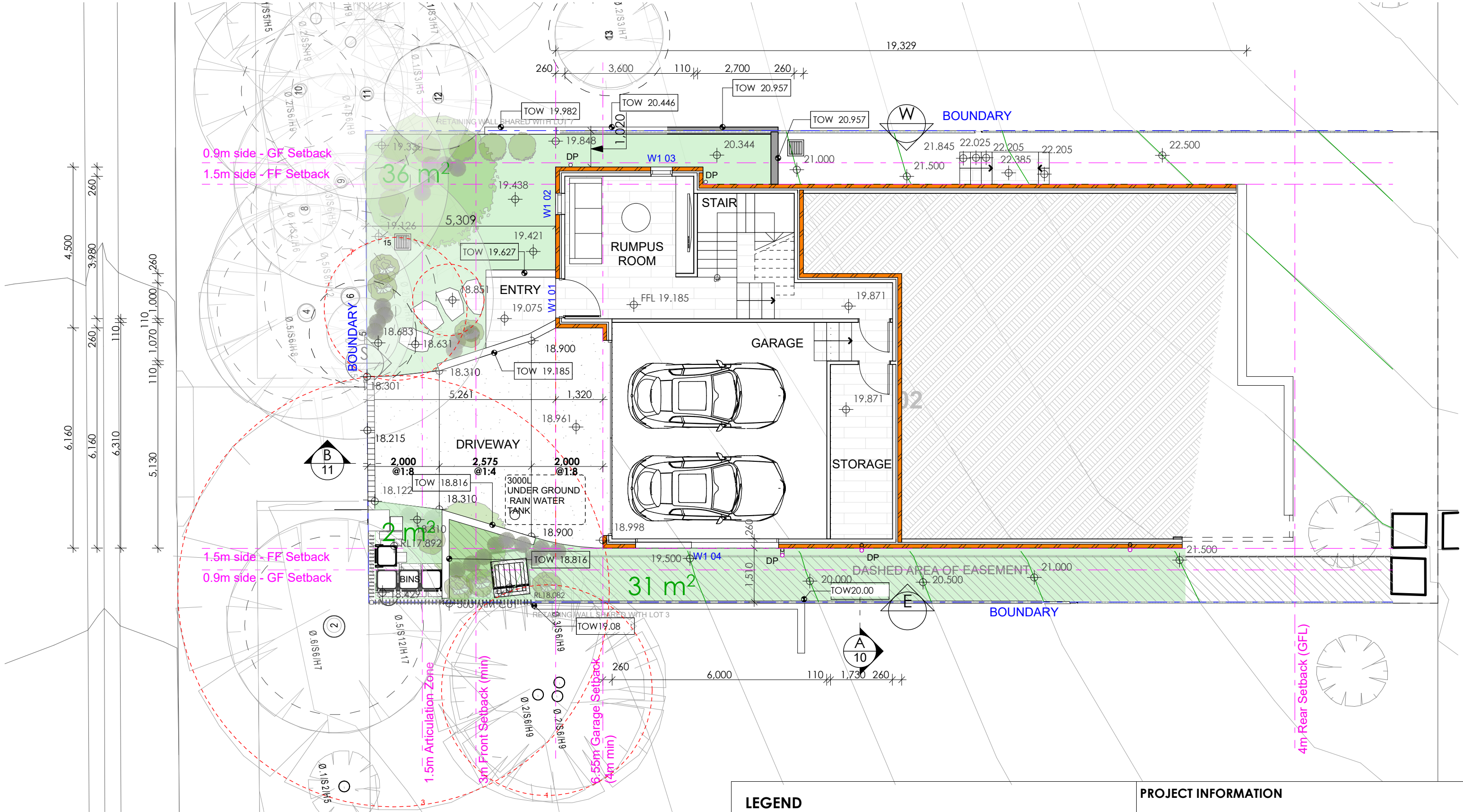


1 CUT AND FILL PLAN
1:100

LEGEND

 CUT

 FILL



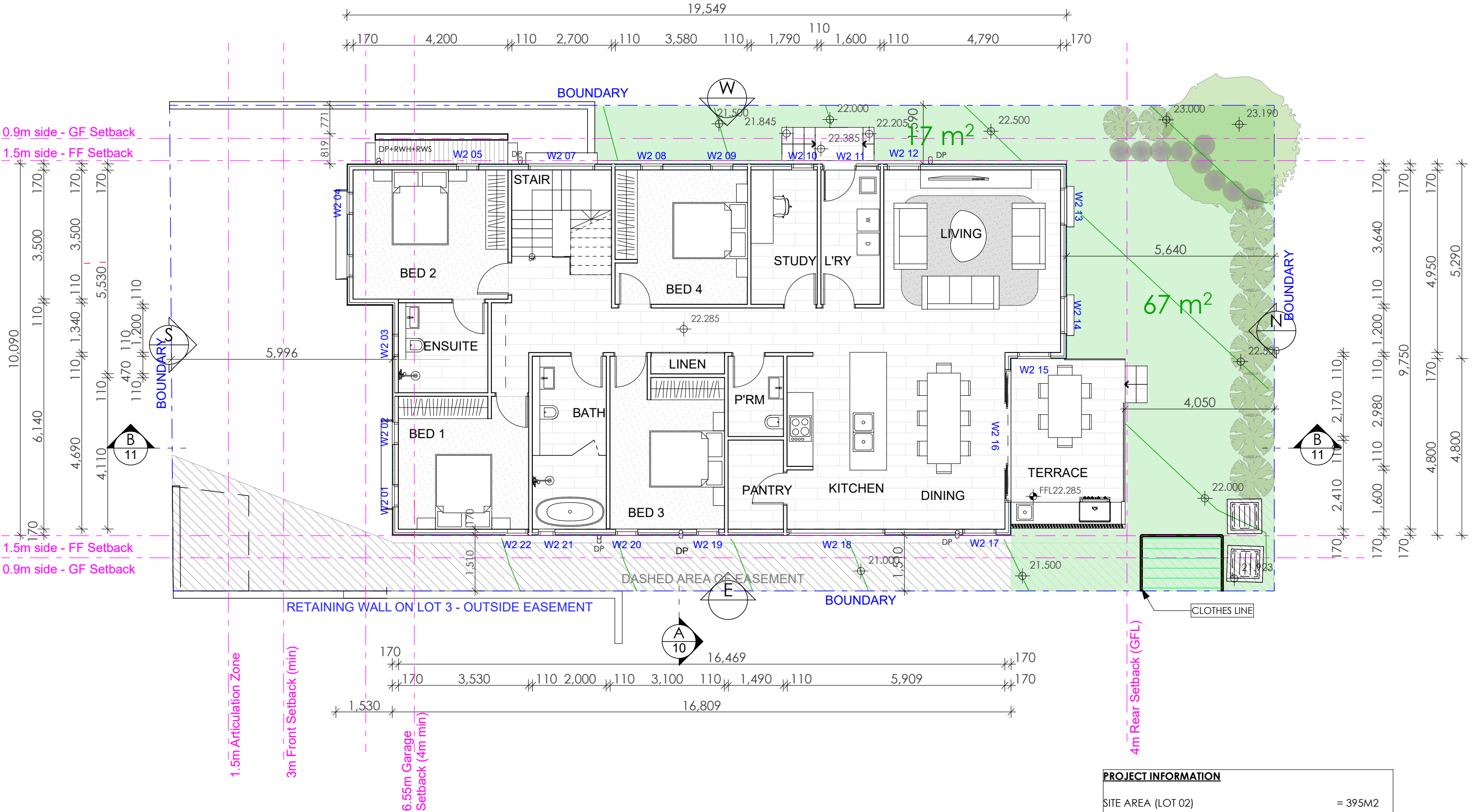
1 GROUND FLOOR
1:100

LEGEND

- EXISTING TREES
- STRUCTURAL ROOT ZONE
- RELOCATED TREES
- TREES TO BE REMOVED

PROJECT INFORMATION

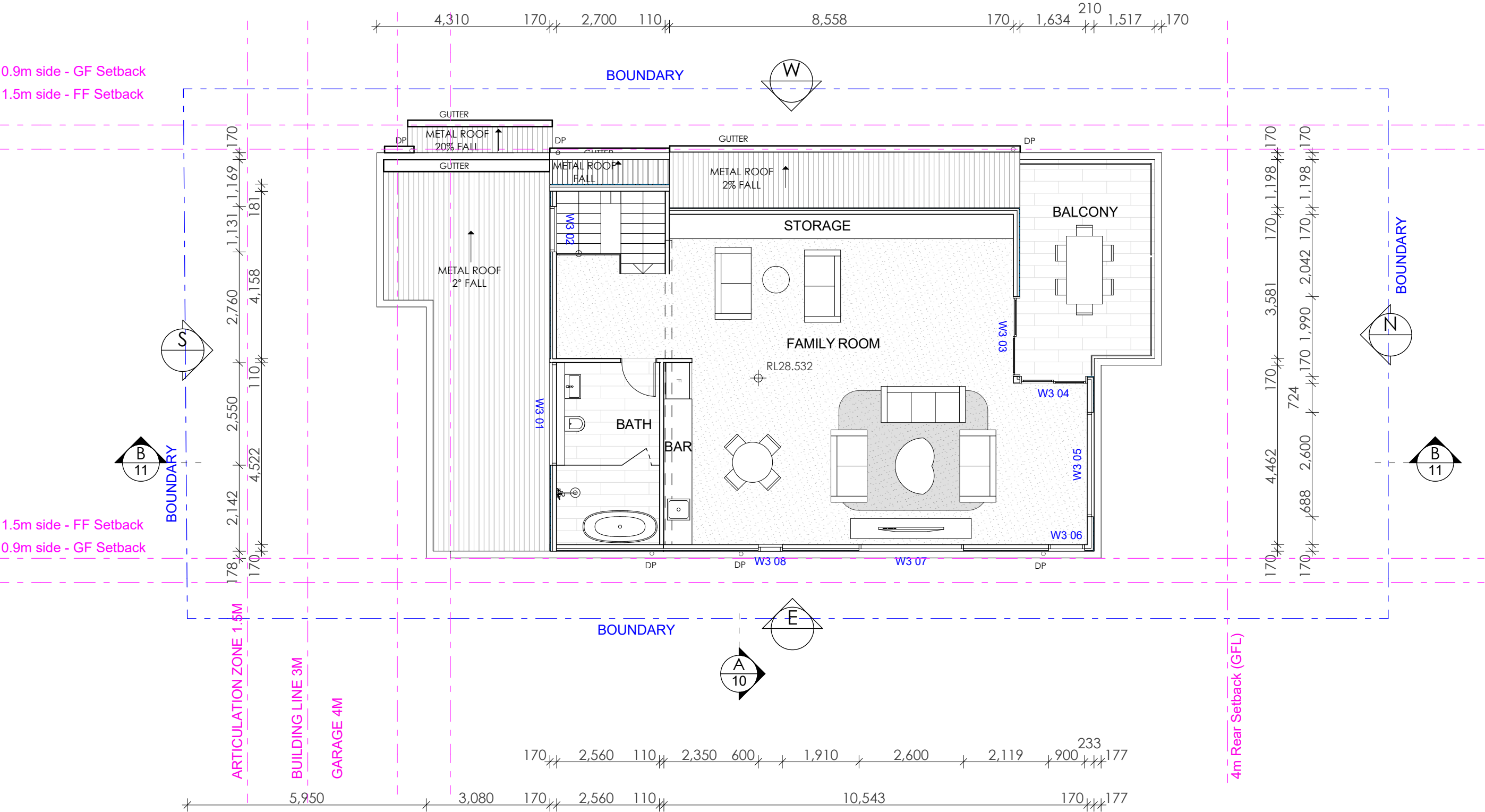
SITE AREA (LOT 02)	= 395M2
MAX FLOOR AREA	= N/A
LANDSCAPE AREA 35% OF SITE	= 138.25M2
PROPOSED LANDSCAPE AREA	= 153M2



1 FIRST FLOOR
1:100

PROJECT INFORMATION	
SITE AREA (LOT 02)	= 395M2
MAX FLOOR AREA	= N/A
LANDSCAPE AREA 35% OF SITE	= 138.25M2
PROPOSED LANDSCAPE AREA	= 153M2





PROJECT INFORMATION	
SITE AREA (LOT 02)	= 395M2
MAX FLOOR AREA	= N/A
LANDSCAPE AREA 35% OF SITE	= 138.25M2
PROPOSED LANDSCAPE AREA	= 153M2

0.9m side - GF Setback
1.5m side - FF Setback

1.5m side - FF Setback
0.9m side - GF Setback

BOUNDARY

BOUNDARY

BOUNDARY

BOUNDARY

ARTICULATION ZONE 1.5M

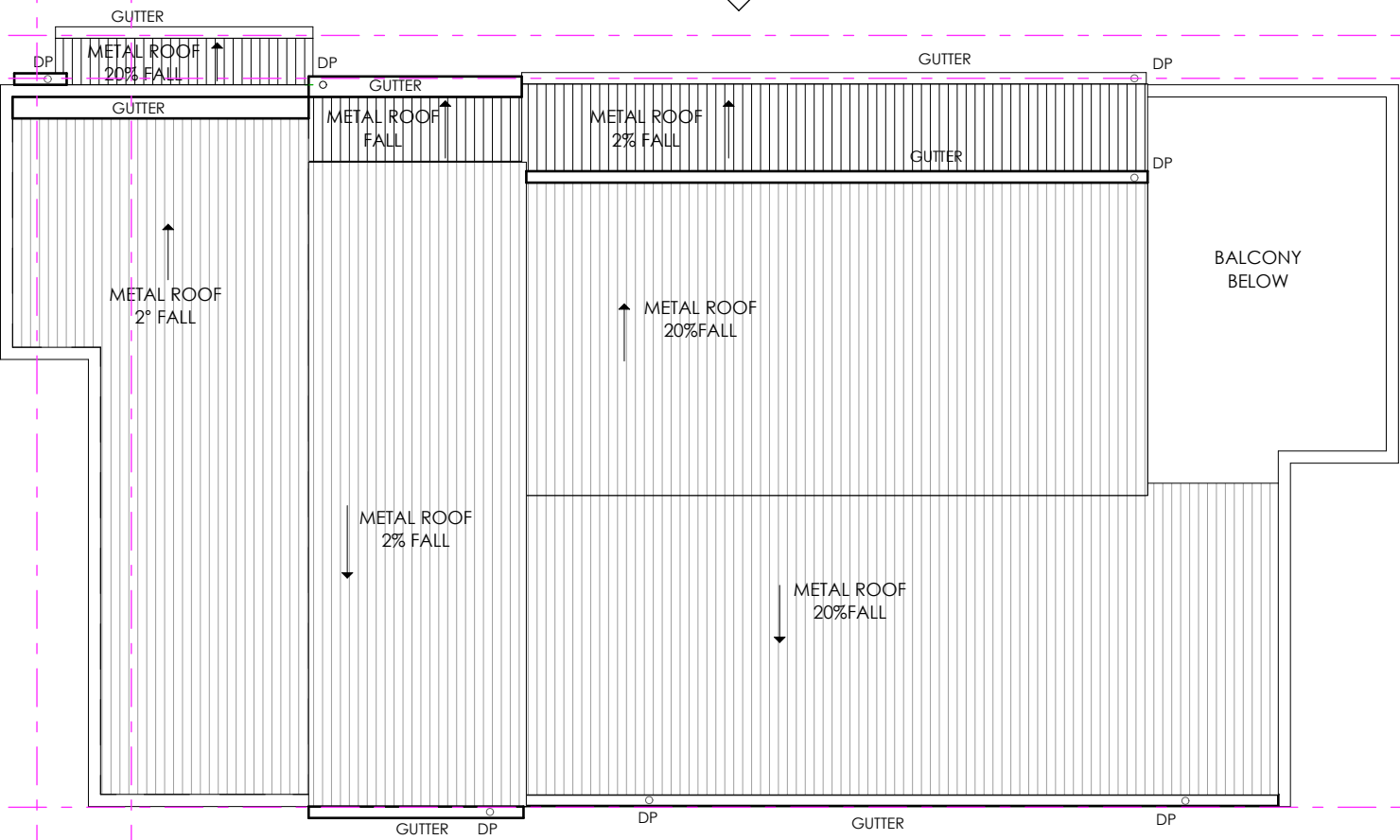
BUILDING LINE 3M

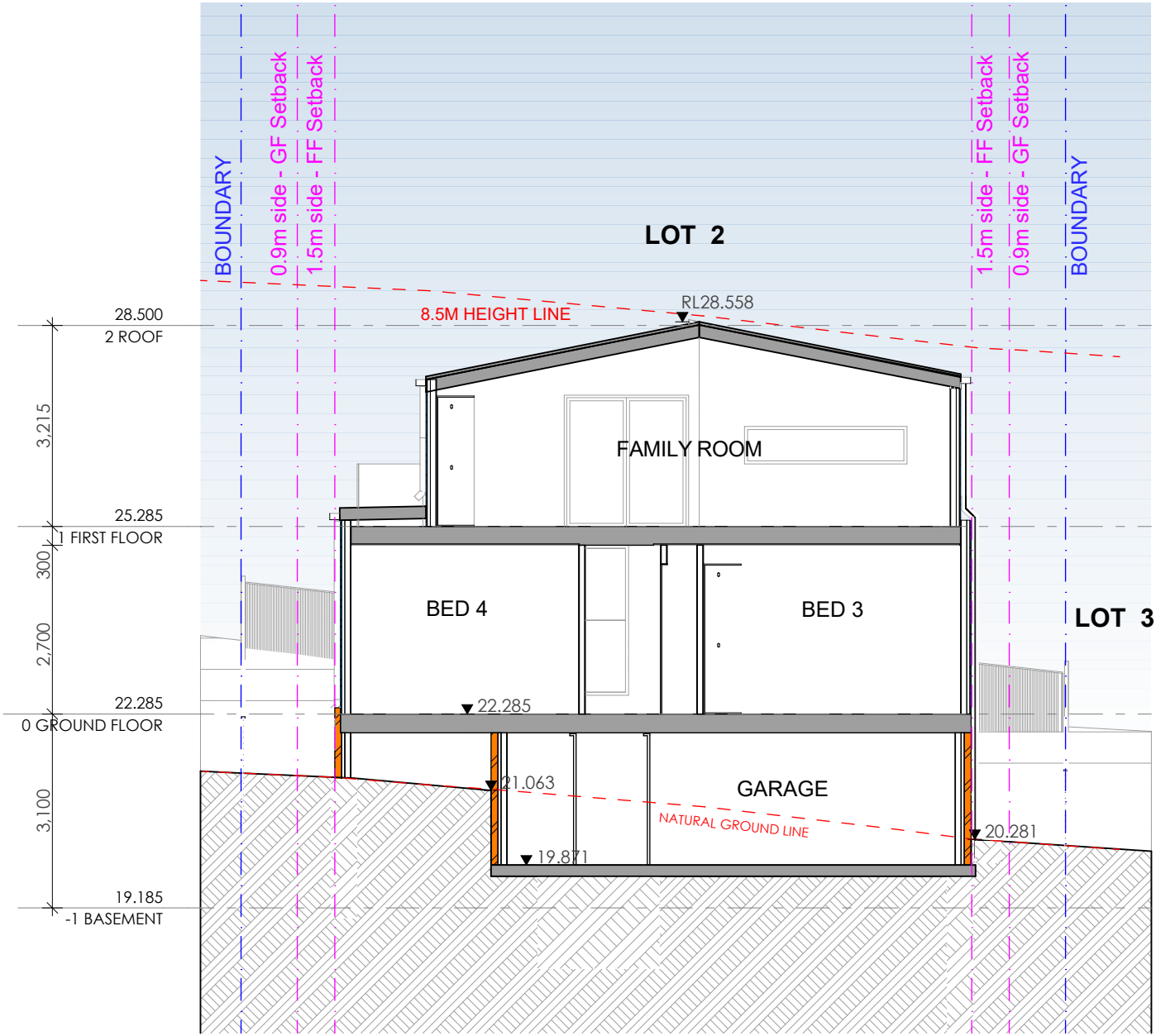
GARAGE 4M

6m Rear Setback (FFL)

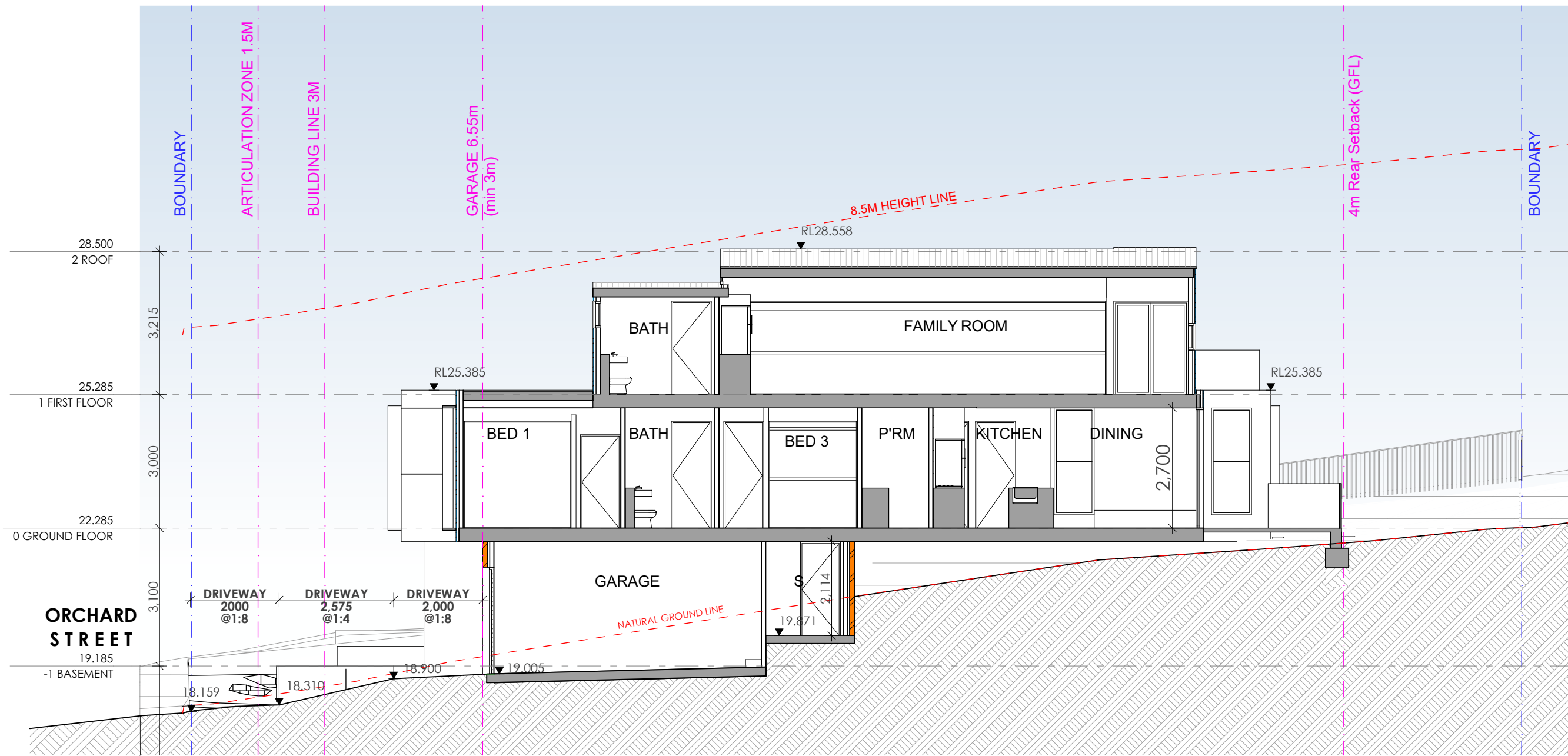
4m Rear Setback (GFL)

1 ROOF PLAN
1:100



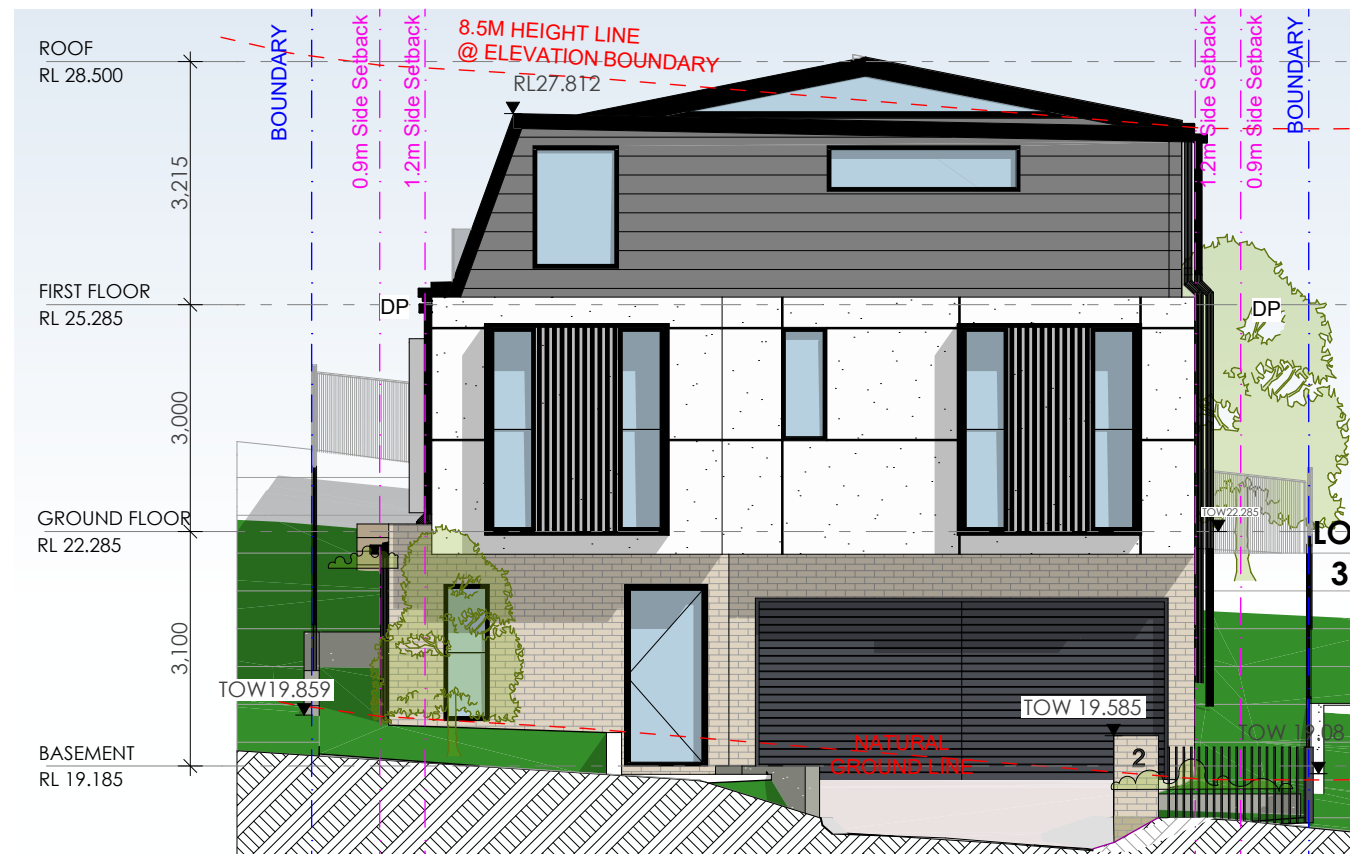


1 SECTION A
1:100



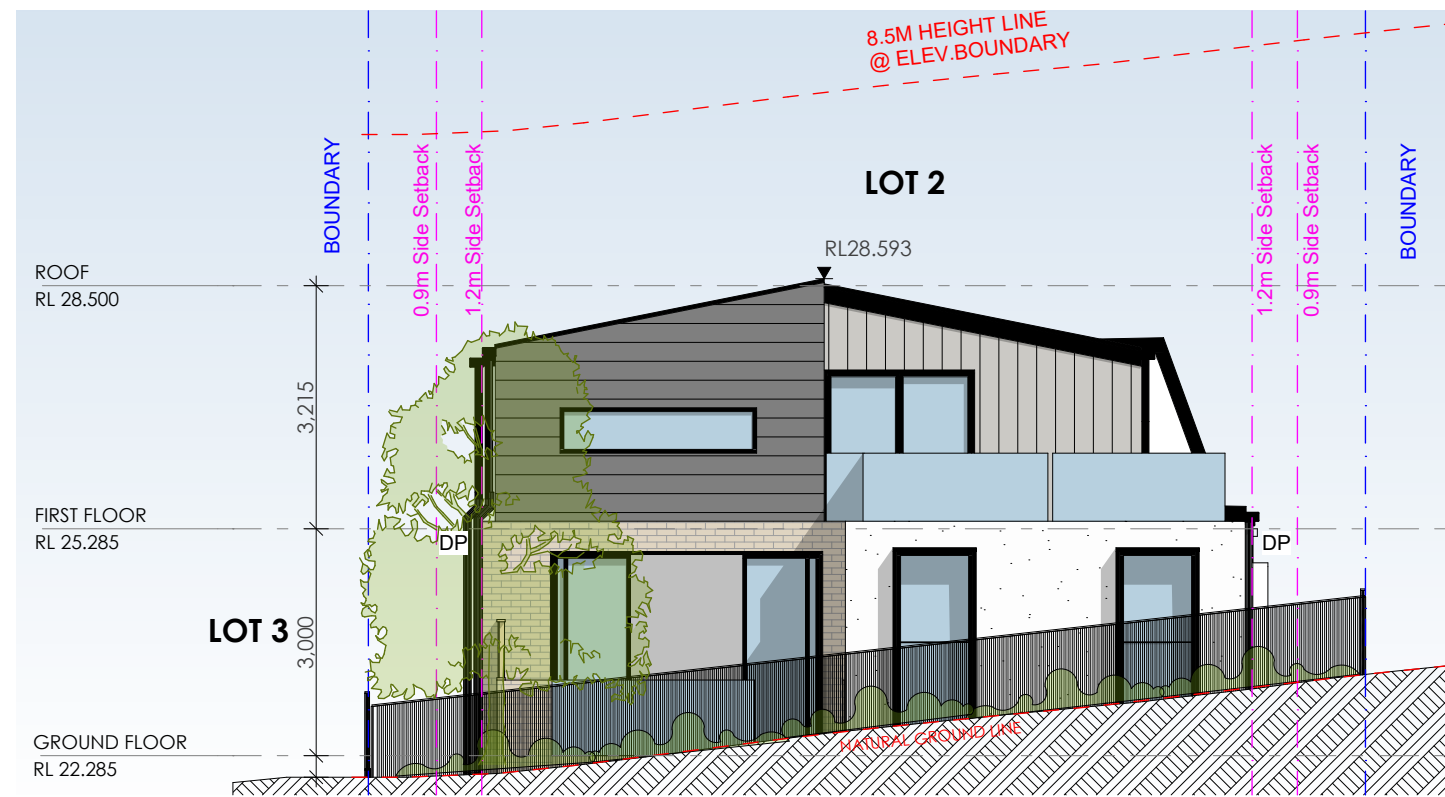
1 SECTION B
1:100

1 SOUTH ELEVATION



2 WEST ELEVATION

1 NORTH ELEVATION
1:100



2 EAST ELEVATION
1:100



REV	DESCRIPTION
P5	DRAFT ISSUE
P6	DRAFT ISSUE
P7	ISSUE FOR DA

BY	DATE
GF	15.09.22
GF	15.09.26
TC	15.09.30

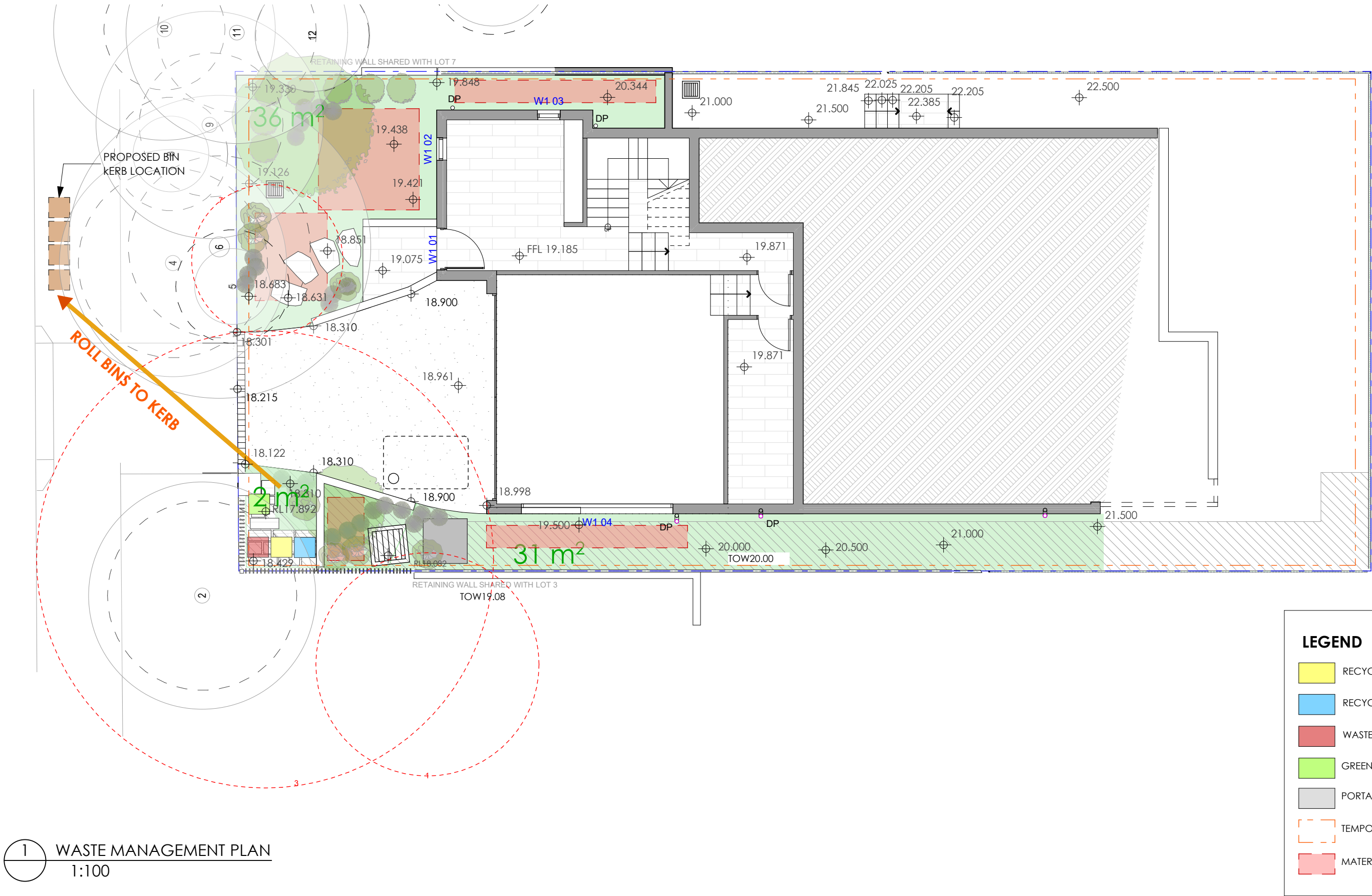
CLIENT:
SKYCORP AUSTRALIA

PROJECT TITLE:
6 ORCHARD ROAD, WARRIEWOOD

DRAWING TITLE:
LOT 2 - NORTH & EAST ELEVATIONS

NORTH POINT:
DRAWN BY: CR
CHECKED BY: PI
SCALE:
PROJECT No: P563

DA 13 P7
stage. dwg no. revision

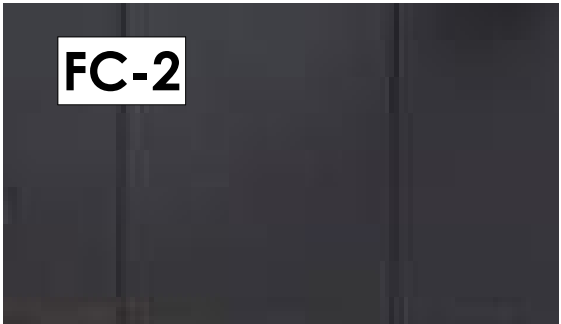


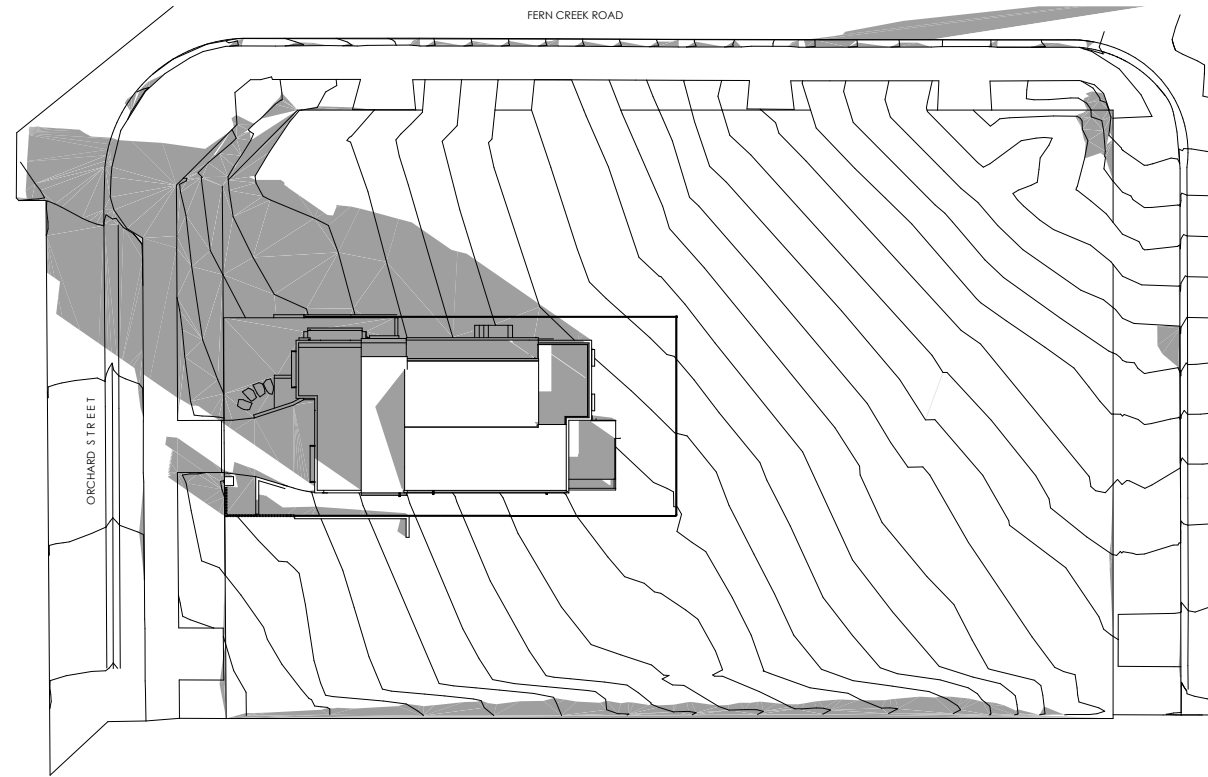




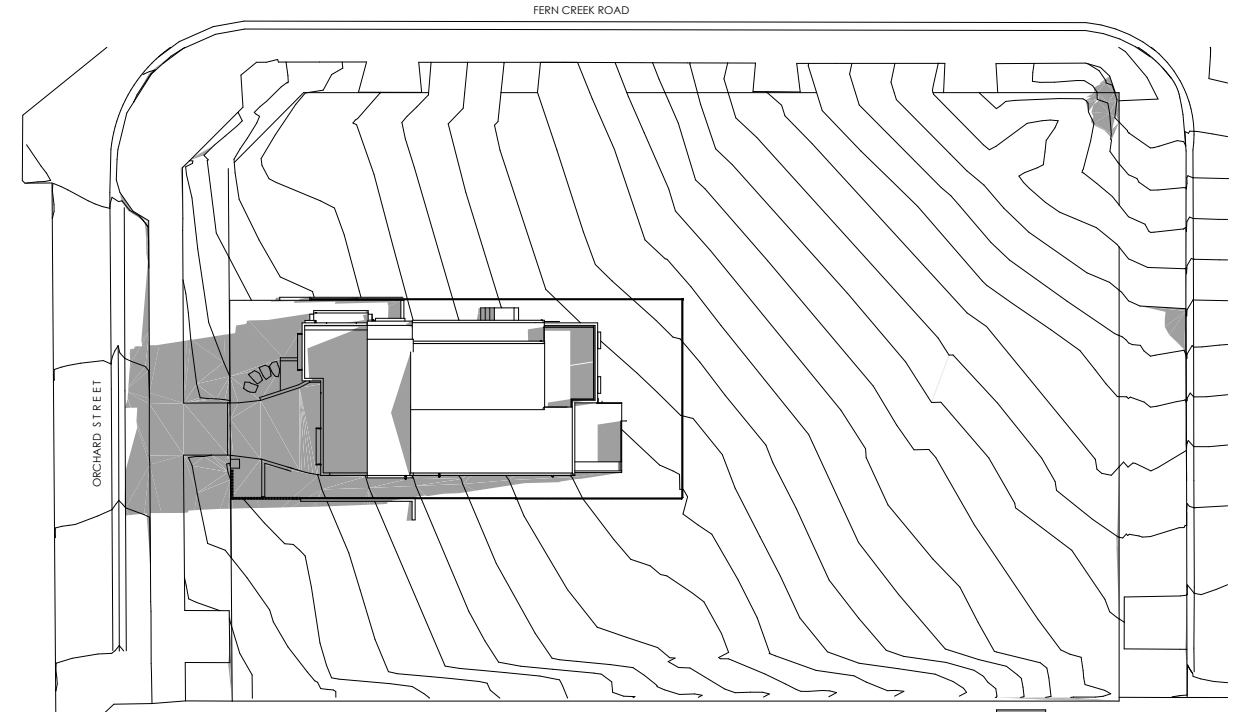
FINISHES KEY - ELEVATIONS

- FB-1** FACE BRICK TYPE 1 - PGH BRICKS 'DARK STORMY' OR SIMILIAR
- FC-1** FIBER CEMENT PANEL TYPE 1 - JAMES HARDIE MATRIX CLADDING SMOOTH PROFILE - PAINTED DULUX LEXICON QUARTER OR SIMILAR
- FC-2** FIBER CEMENT PANEL TYPE 2 - JAMES HARDIE AXON CLADDING 400 PROFILE - PAINTED DULUX MONUMENT OR SIMILAR
- M-1** METAL ROOF TYPE 1 - LYSAGHT KLIP-LOK 700 HI-STRENGTH MOMUMENT COLOUR OR SIMILAR
- M-2** METAL FENCE - POWDERCOAT ALUMINIUM COLOUR - MONUMENT OR SIMILAR
- BAL-1** BALUSTRADE TYPE 1 - FRAMELESS GLASS
- CR-1** CEMENT RENDER TYPE 1 - PAINT FINISH - DULUX 'LEXICON QUARTER B11' OR SIMILIAR

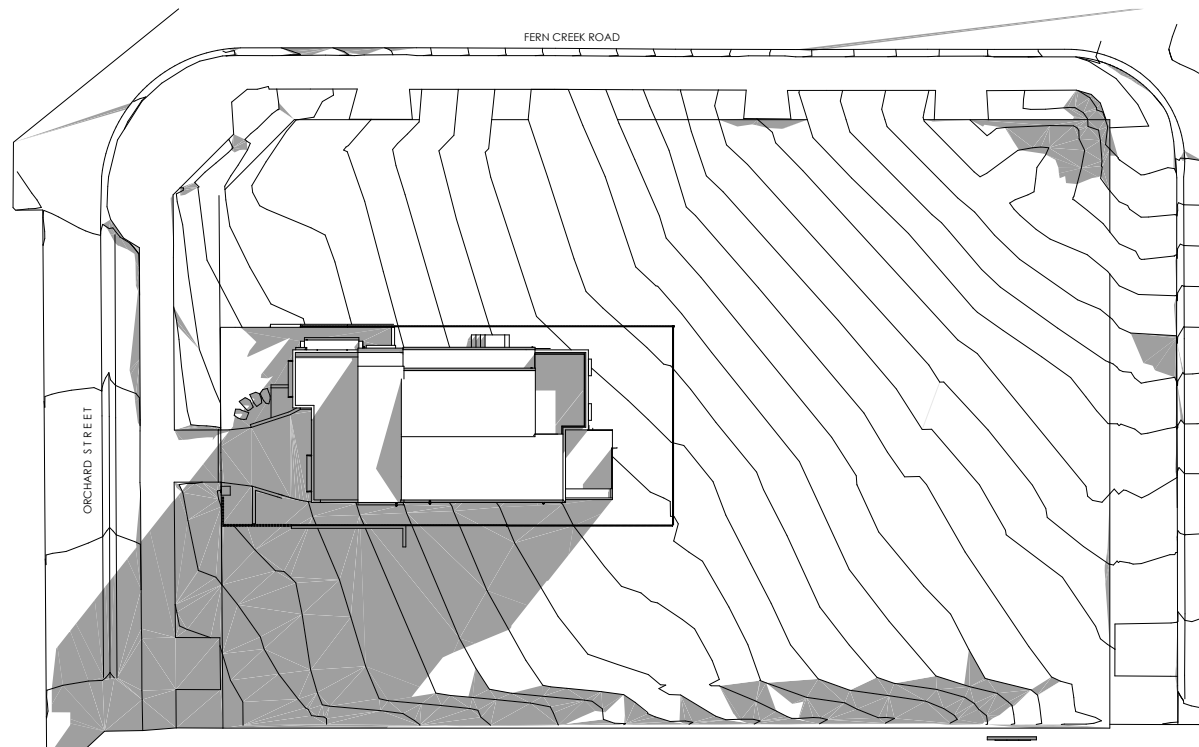




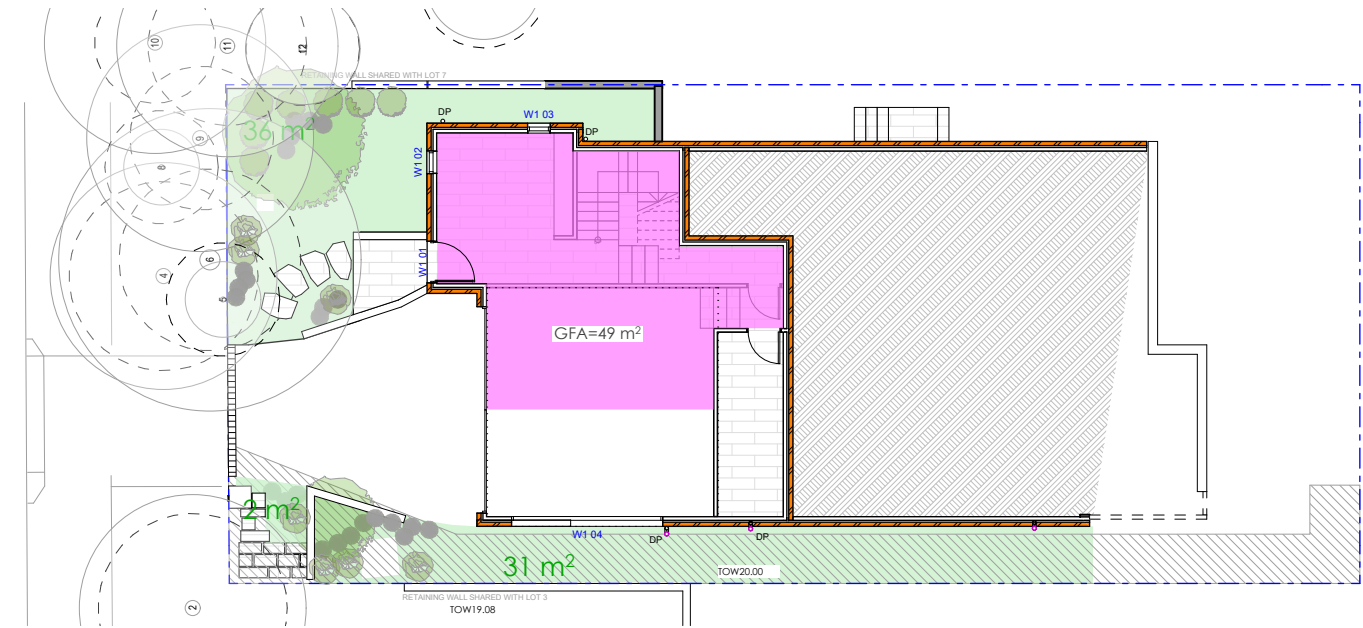
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1:500



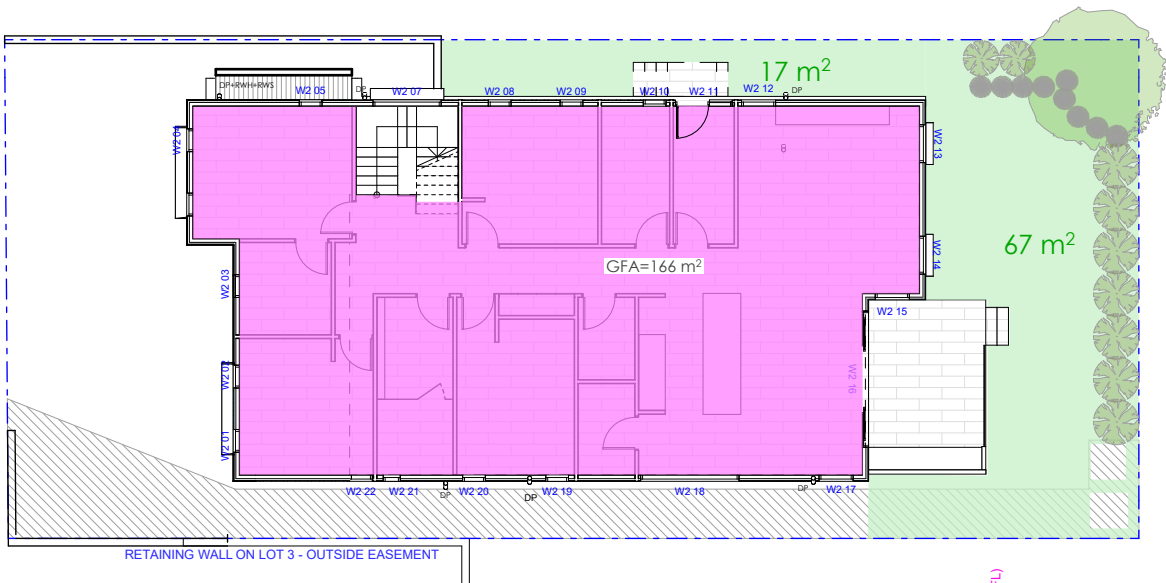
2 SHADOW DIAGRAM JUNE 21 12NOON
1:500



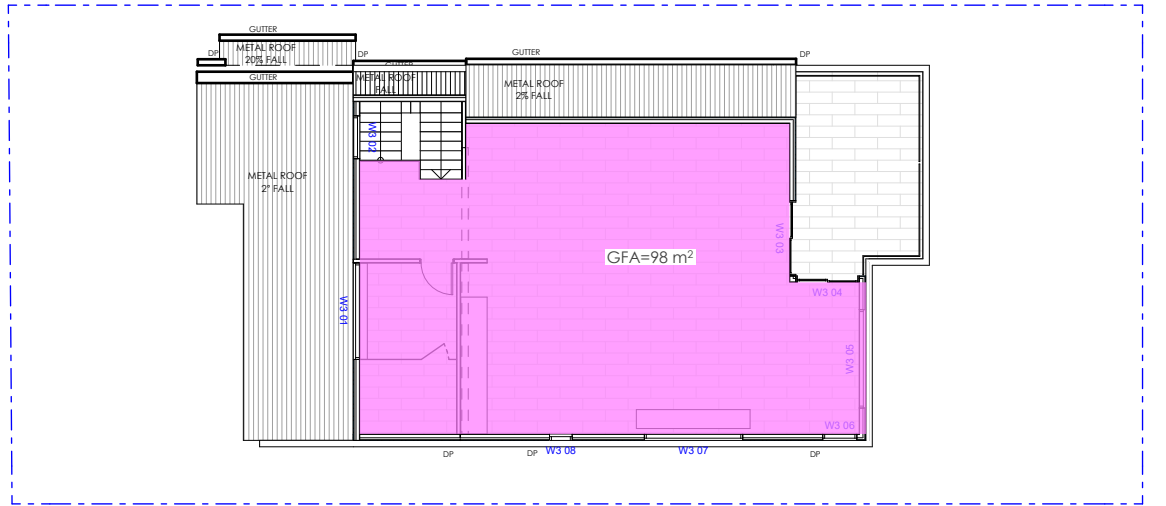
3 SHADOW DIAGRAM JUNE 21 3PM
1:500



1 BASEMENT GFA
1:200



2 GROUND FLOOR GFA
1:200



3 FIRST FLOOR GFA
1:200

GFA & FSR LEGEND

GROSS FLOOR AREA

GROUND FLOOR	49 M²
FIRST FLOOR	166 M²
SECOND FLOOR	98 M²

TOTAL GROSS FLOOR AREA
- ALLOWED : N/A
- PROPOSED: 313 M²

LANDSCAPE AREA

GROUND FLOOR	69 M²
FIRST FLOOR	84 M²

LANDSCAPING AREA
-ALLOWED : 138.25M²
-PROPOSED: 153 M²

REV	DESCRIPTION
P5	DRAFT ISSUE
P6	DRAFT ISSUE
P7	ISSUE FOR DA

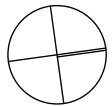
BY	DATE
GF	15.09.22
GF	15.09.26
TC	15.09.30

CLIENT:
SKYCORP AUSTRALIA

PROJECT TITLE:
6 ORCHARD ROAD, WARRIEWOOD

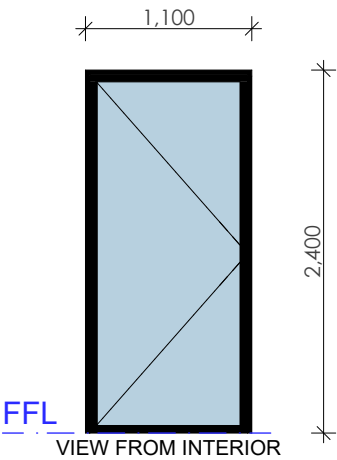
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LOT 2 - AREA CALCULATIONS

NORTH POINT:



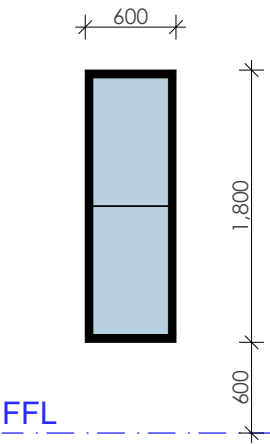
DRAWN BY: CR
CHECKED BY: PI
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PROJECT No: P563

DA stage. 18 dwg no. P7 revision



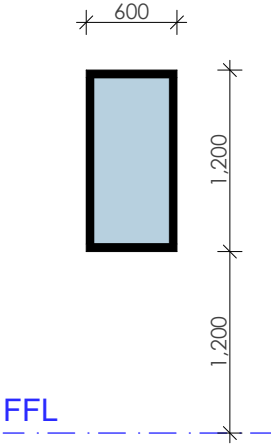
W1 01

ENTRANCE DOOR
CLEAR
ALUMINIUM



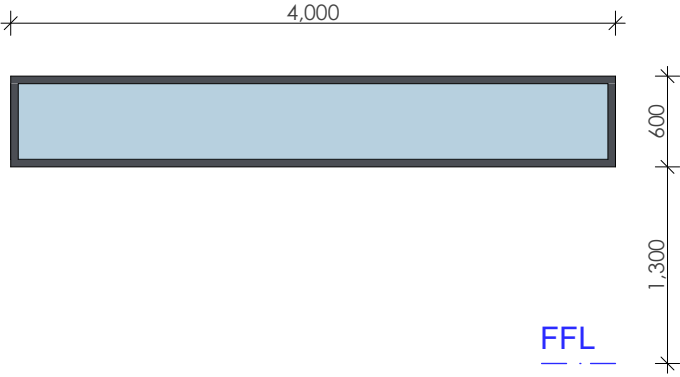
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LOUVRE
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ALUMINIUM



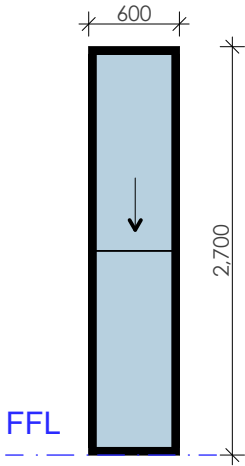
W1 03

FIXED
CLEAR
ALUMINIUM



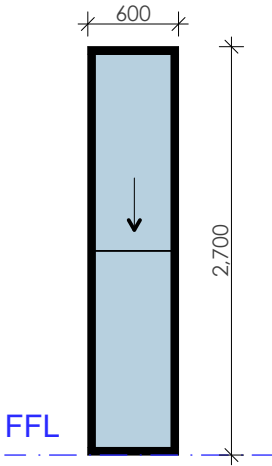
W1 04

FIXED
CLEAR
ALUMINIUM



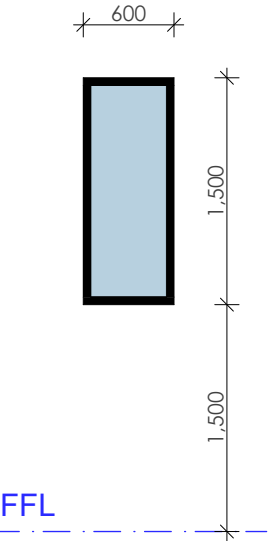
W2 01

ANEETA TOP SLIDE SASHLESS
CLEAR
ALUMINIUM



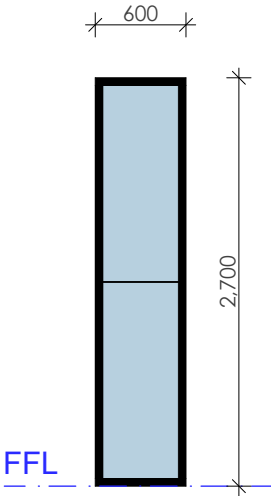
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ANEETA TOP SLIDE SASHLESS
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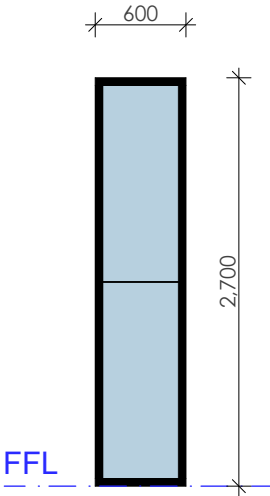
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FIXED
OPAQUE
ALUMINIUM



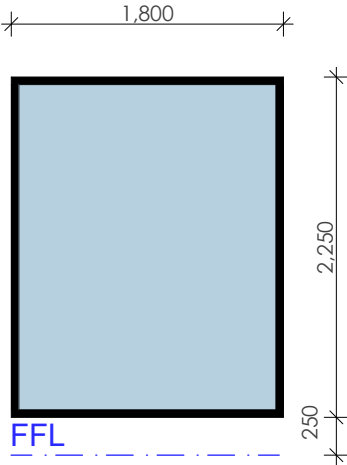
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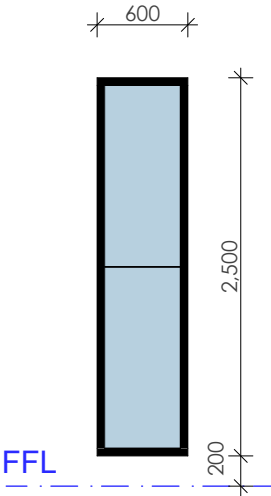
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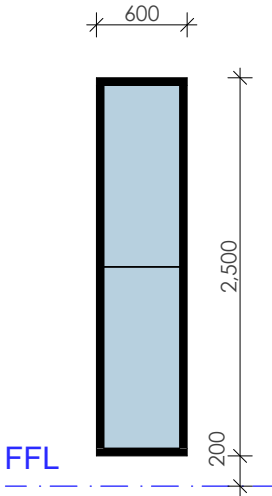
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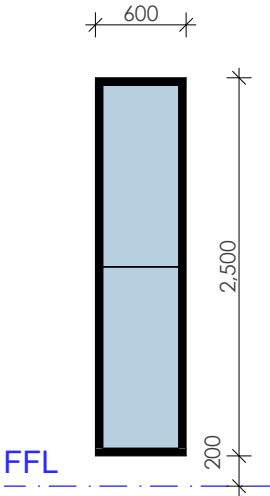
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LOUVRE
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W2 09

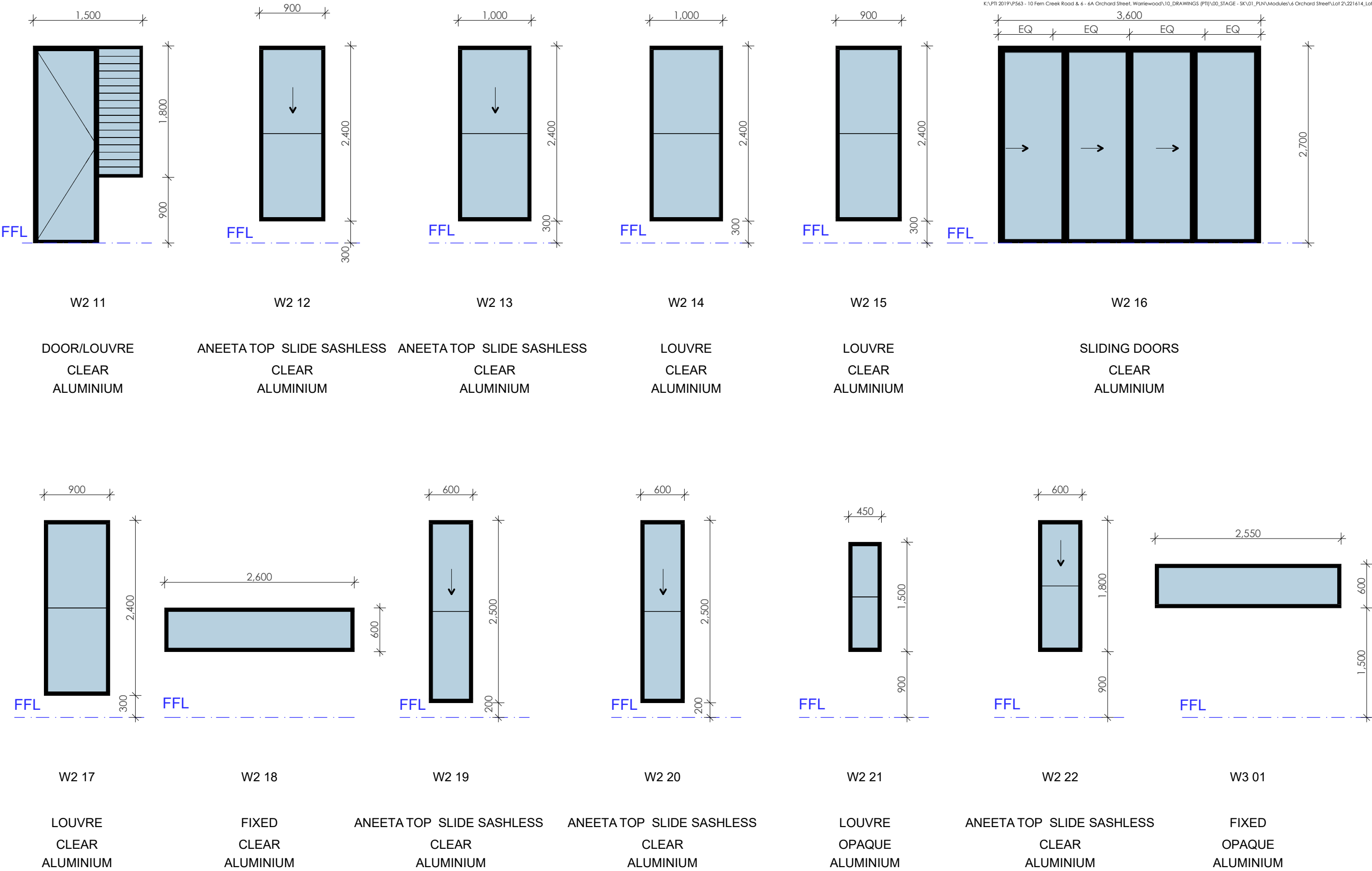
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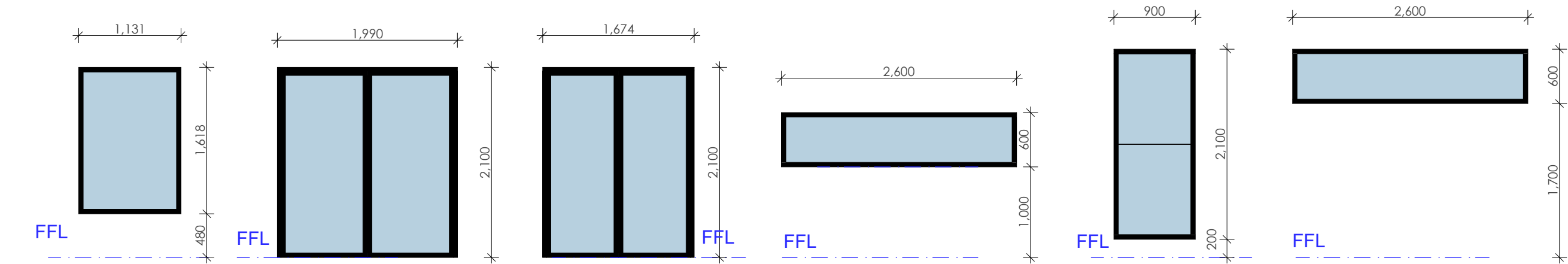
W2 10

LOUVRE
CLEAR
ALUMINIUM

1 WINDOWS SCHEDULE 1/3
1:100



1 WINDOWS SCHEDULE 2/3
1:100



W3 02

FIXED
CLEAR
ALUMINIUM

W3 03

SLIDING DOORS
CLEAR
ALUMINIUM

W3 04

SLIDING DOORS
CLEAR
ALUMINIUM

W3 05

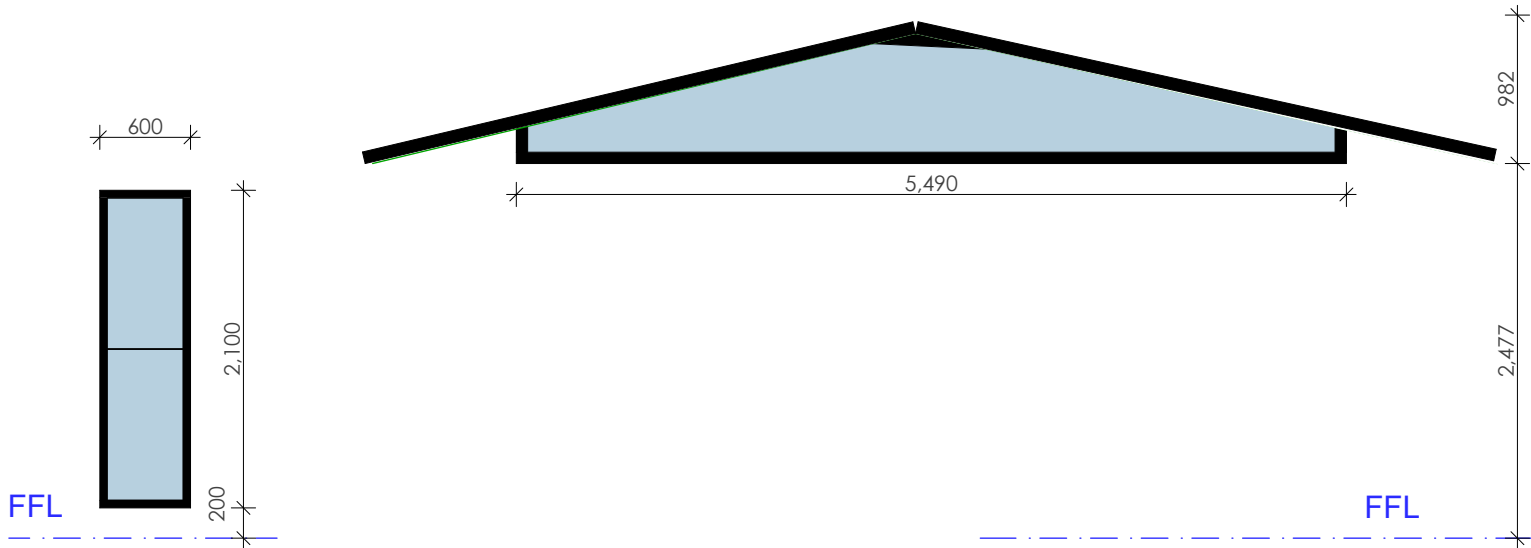
FIXED
CLEAR
ALUMINIUM

W3 06

LOUVRE
CLEAR
ALUMINIUM

W3 07

FIXED
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ALUMINIUM



W3 08

LAUVRE
CLEAR
ALUMINIUM

W3 09

FIXED
CLEAR
ALUMINIUM

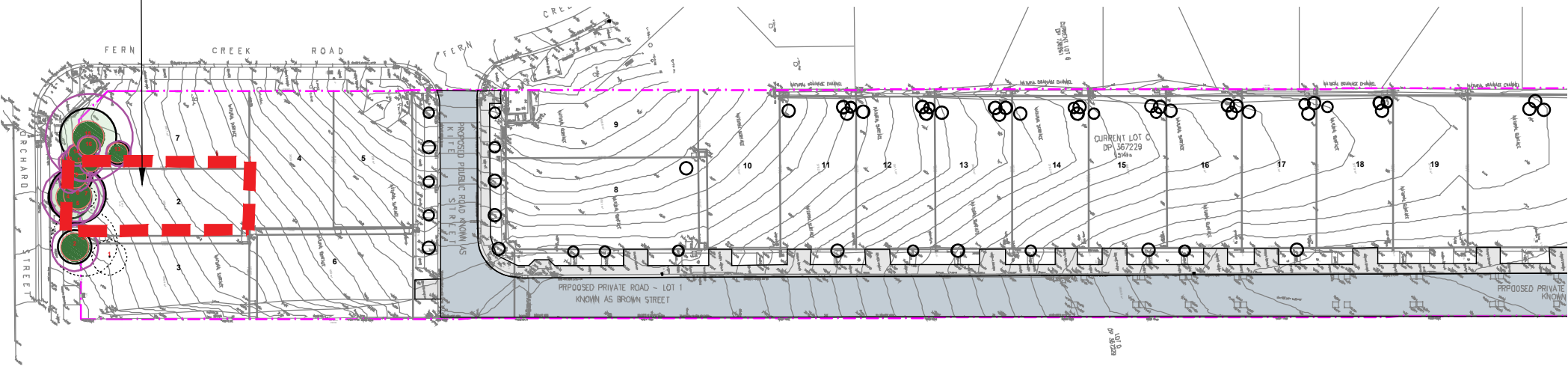
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WINDOWS SCHEDULE 3/3

1:100

SITE PLAN

Scale: 1:1000 Lot 02



DRAWING SCHEDULE

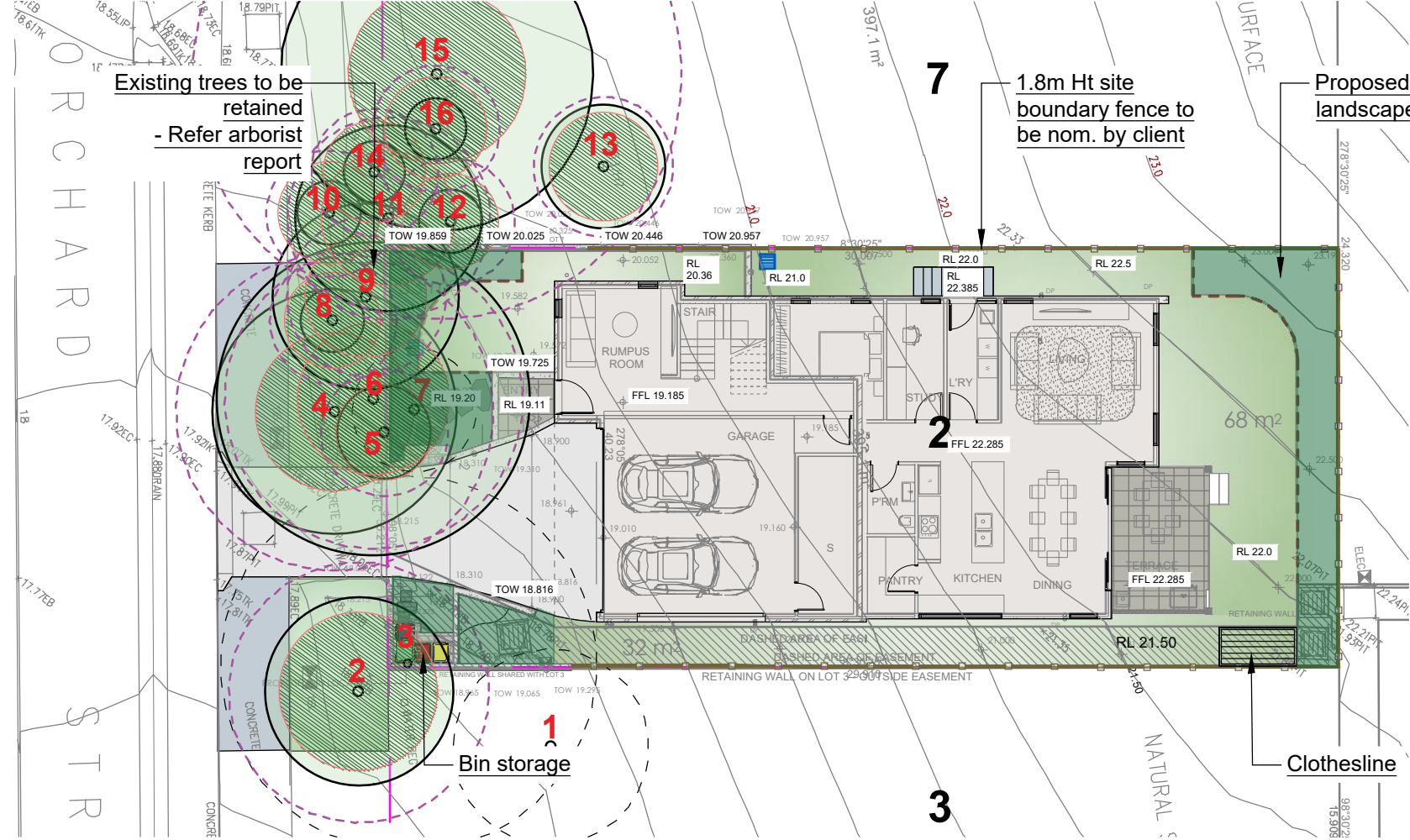
SHEET #	DRAWING TITLE	REV.
/1	HARDSCAPE PLAN	C
/2	LANDSCAPE PLAN	C
/3	DETAILS	C
/4	SPECIFICATION	C

OTHER LANDSCAPE ITEMS

- Site boundary fence to be nom. by client
- Brick Edging - refer detail
- Turf area - refer detail
- Stepping stones in groundcovers - refer detail
- Retaining / raised planter wall - refer detail
- Trees proposed to be removed and replaced with new landscaping
- Existing trees proposed to be retained and protected
- Trees Protection zone
- Structural root zone

HARDSCAPE PLAN

Scale: 1:200



LANDSCAPE CALCULATIONS

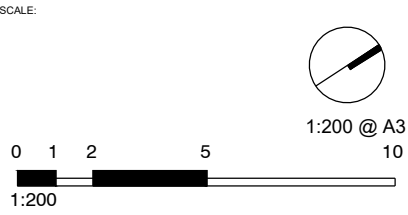
SITE AREA: 395m²
REQUIRED LANDSCAPE AREA: 138.25m² (35%)
PROPOSED LANDSCAPE AREA: 153m² (38.2%)
(COMPLIANT)

TREE SURVEY

Existing Trees based on Arborists Report by Bryce Claassens and Alex Kurath prepared on 20 September 2022

No.#	Species	Size (Ht x Sp)	Condition	Action
1	Syncarpia glomulifera	13x3	Fair	Remove
2	Eucalyptus haemastoma	7x4	Good	Retain
3	Angophora costata	17x6	Fair	Remove
4	Syncarpia glomulifera	13x4	Good	Retain
5	Eucalyptus robusta	5x1.5	Good	Retain
6	Eucalyptus haemastoma	16x5	Good	Retain
7	Angophora costata	13x2	Fair	Remove
8	Eucalyptus haemastoma	7x1	Good	Retain
9	Eucalyptus haemastoma	11x3	Good	Retain
10	Eucalyptus haemastoma	9x1	Good	Retain
11	Eucalyptus piperita	11x3	Good	Retain
12	Eucalyptus robusta	6x1	Good	Retain
13	Angophora costata	10x2	Good	Retain
14	Eucalyptus haemastoma	9x1	Good	Retain
15	Eucalyptus robusta	18x5	Good	Retain
16	Casuarina glauca	8x1	Good	Retain

General Notes:
Figured dimensions take preference to scale readings. Verify all dimensions on site. PDF'd plans may vary slightly in scale for that indicated on plans. Report any discrepancies to the Landscape Architect before proceeding with the work.
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REV	DATE	NOTATION/AMENDMENT
A	03.05.2022	Preliminary plan prepared for review
B	23.09.2022	Co-ordinated with revised architectural plan
C	04.10.2022	Co-ordinated with client's comments

COUNCIL	NORTHERN BEACHES
CLIENT	SKYCORP AUSTRALIA
ARCHITECT	PTI ARCHITECTURE
STATUS / ISSUE	DA - ISSUE C



TITLE:	SITE PLAN & HARDSCAPE PLAN
PROPOSED RESIDENTIAL DEVELOPMENT	LOT 2, 6 ORCHARD STREET, WARRIEWOOD

DWG.No:	LPDA 22 - 324 /1
DATE:	OCT 2022
DRAWN:	C.D
CHECKED:	R.F

LEGEND & SCHEDULE

NOTES:
1. ALL FINAL PLANT QUANTITIES INDICATED ON PLANS SHALL BE CHECKED AND VERIFIED BY SUCCESSFUL LANDSCAPE CONTRACTOR.
2. ANY PLANT SUBSTITUTES REQUIRED DUE TO UNAVAILABILITY SHALL BE RECOMMENDED BY THE LANDSCAPE CONTRACTOR TO BEST MATCH SUBSTITUTED PLANTS AND APPROVED PRIOR TO PURCHASING BY THE LANDSCAPE ARCHITECT.
3. WORKS CERTIFIED FOR FINAL OCCUPANCY CERTIFICATE ARE TO MATCH APPROVED LANDSCAPE PLANS.
4. LANDSCAPE CONTRACTOR SHALL LOCATE AND AVOID SITE STORM WATER & DRAINAGE SERVICES. LOCATE TREES A MINIMUM 1.25M FROM PITS
5. ALL PLANTING AROUND EXISTING TREES SHALL BE ADJUSTED TO AVOID DAMAGE AND CLASHING WITH SURFACE ROOTS.
6. THE NATURE STRIP (STREET FRONTAGE) FOR THE SITE IS PUBLIC LAND, AND ONLY AUTHORIZED WORKS MAY OCCUR HERE. EXISTING CONDITIONS SUCH AS STREET TREES, COUNCIL PLANTING ETC SHALL BE RETAINED AND PROTECTED DURING CONSTRUCTION, UNLESS SPECIFIC APPROVAL HAS BEEN GRANTED FOR NEW WORK IN THIS AREA.

TREES



Botanical Name: *Tristaniopsis laurina* 'Luscious'
Common Name: Watergum (Native)
Pot size: 75Lt
Mature H x S: 8m x 3-5m
Qty Required: 2



Botanical Name: *Corymbia ficifolia* 'Summer Red'
Common Name: Dwarf Flowering Gum (Native)
Pot size: 75Lt
Mature H x S: 5m x 3m
Qty Required: 1

SHRUBS AND HEDGES



Botanical Name: *Westringia 'Aussie Box'*
Common Name: Westringia Aussie Box (Native)
Pot size: 200mm
Mature H x S: 0.9m x 0.9m
Qty Required: 9



Botanical Name: *Grevillea 'Crimson Villea'*
Common Name: Crimson Villea Grevillea (Native)
Pot size: 200mm
Mature H x S: 0.8m x 0.8m
Qty Required: 11

ACCENT PLANTS



Botanical Name: *Doryanthes excelsa*
Common Name: Gynea Lily (Native)
Pot size: 300mm
Mature H x S: 1.1m x 1m
Qty Required: 5

GRASSES / GROUNDCOVERS



Botanical Name: *Hibertia scandens*
Common Name: Snake Vine (Native)
Pot size: 200mm
Mature H x S: 0.3m x spreading
Qty Required: 5/m2 (12.9m2 total)



Botanical Name: *Dianella 'Little Jess'*
Common Name: Little Jess Flax Lily (Native)
Pot size: 140mm
Mature H x S: 0.4m x 0.4m
Qty Required: 35

PROPOSED LAWN OR LAWN SUBSTITUTES
ALONG SIDE PASSAGE FOR COUNCIL
LANDSCAPE COMPLIANCE PURPOSE.

SAMPLE IMAGES

Images are diagrammatic only, and final planting
species may vary, as determined by Council Approval



Tristaniopsis laurina 'Luscious'



Corymbia ficifolia 'Summer Red'



Westringia 'Aussie Box'



Doryanthes excelsa



Grevillea 'Crimson Villea'



Hibertia scandens



Dianella 'Little Jess'

General Notes:
Figured dimensions take preference to scale readings. Verify all dimensions on site. PDF'd plans may vary slightly in scale for that indicated on plans. Report any discrepancies to the Landscape Architect before proceeding with the work.
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These plans and associated IP remain the property of Sulphurest Enterprises (T/A Concept) until such time as all agreed payments are made in full. We retain the right to withdraw this information from the assessment process if such payments are not made following the notification period.



SCALE:



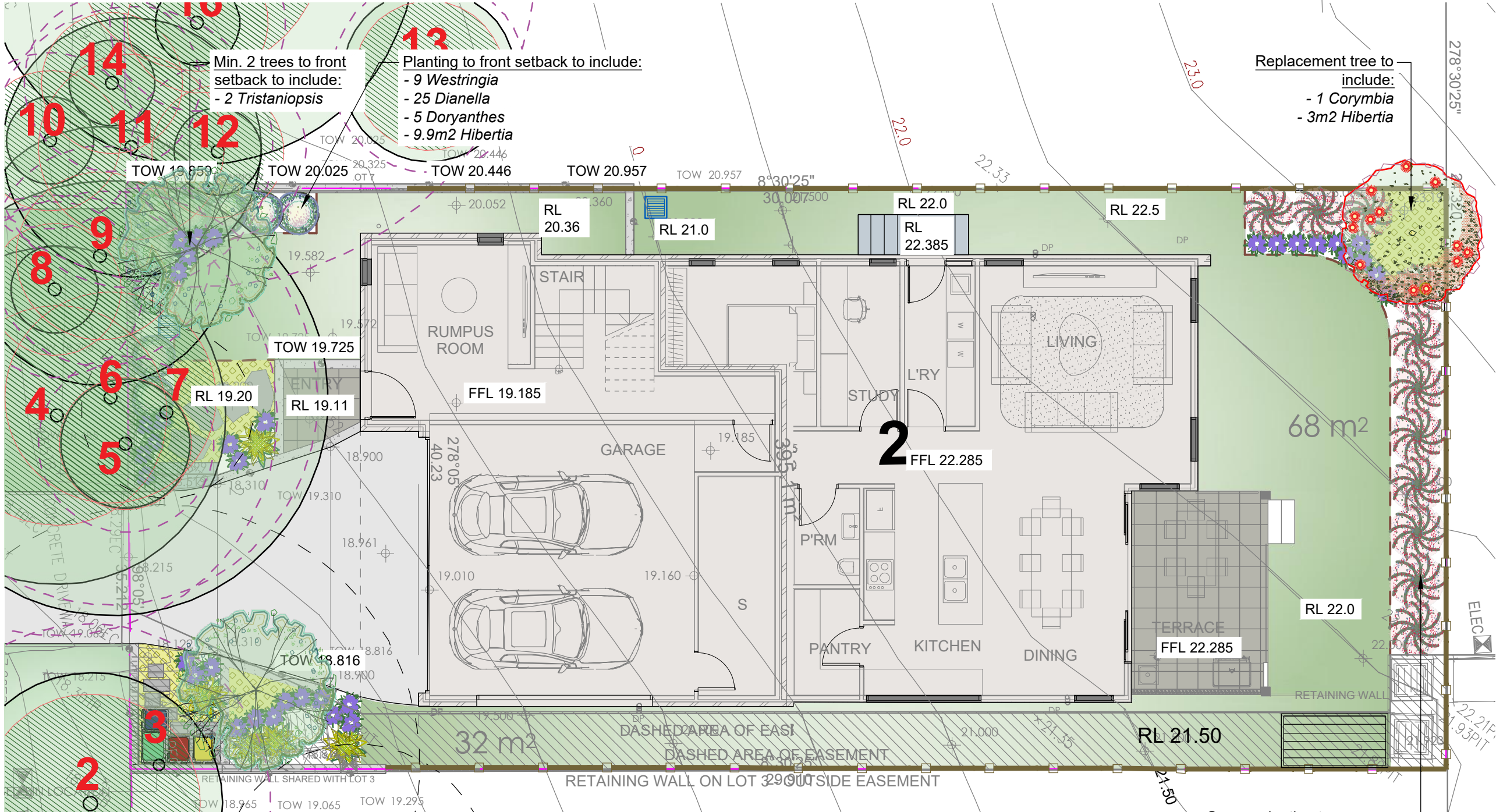
1:100 @ A3

REV	DATE	NOTATION/AMENDMENT
A	03.05.2022	Preliminary plan prepared for review
B	23.09.2022	Co-ordinated with revised architectural plan
C	04.10.2022	Co-ordinated with client's comments

COUNCIL	NORTHERN BEACHES
CLIENT	SKYCORP AUSTRALIA
ARCHITECT	PTI ARCHITECTURE
STATUS / ISSUE	DA - ISSUE C



TITLE:	LANDSCAPE PLAN	DWG.No:	LPDA 22 - 324 /2
		DATE:	OCT 2022
		DRAWN:	C.D
		CHECKED:	R.F



LANDSCAPE PLAN NOTES

This plan should be read in conjunction with the architectural and hydraulics plans. Work specific to these plans should be prepared in accordance to these plans, including specification and details prior to the installation of landscaping, and should not be altered or compromised during landscape construction. Elements such as drainage swales may be incorporated in garden bed areas (using non-floatable mulch) without compromising the capacity or form.

This plan has been prepared for DA approval only, not for construction.

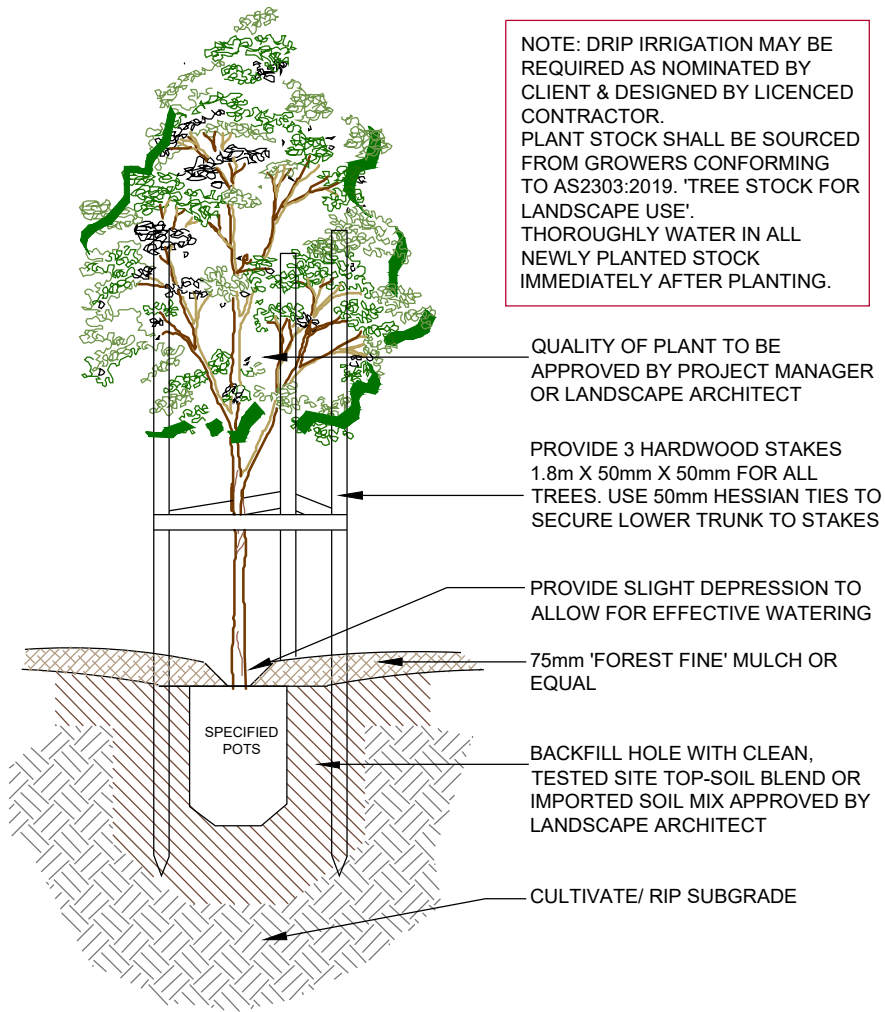
This plan has been prepared with reference to **Northern Beaches** Landscaping Guidelines & requirements. Planting proposed using mainly indigenous, commercially available plant species selected from local planting lists and the BASIX local plant list and from Sydney Waters "Plant Selector" web

Screen planting to rear boundary to include:
- 11 *Grevillea*
- 10 *Dianella*

site one-drip rated native plants (**acceptable for BASIX planting**).

The Design & location of new letter boxes shall be in accordance with Australia Post's "Requirements for Delivery of Mail to Residential Premises" published Feb '97. All noxious weeds listed in Councils weed lists & located on the site shall be continually removed & suppressed. Reinstate all boundary fencing in poor condition with Council approved 1.8m fencing to rear of building line, rake to 1m forward of BL. Pollution, sediment & erosion control devices as specified shall be in place, and maintained for the duration of the construction period. Proposed excavation near existing established trees to be supervised by arborist.

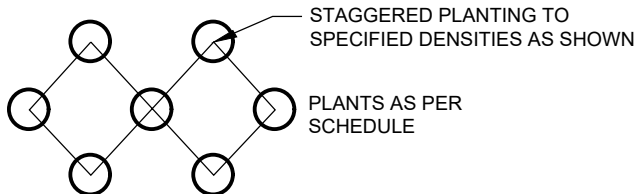
DA approved landscape plan's are required to be constructed as approved to obtain occupancy certificate. **Permeable areas may be indicated to achieve site coverage restrictions & should be constructed as drawn on this plan.**



TREE PLANTING DETAIL

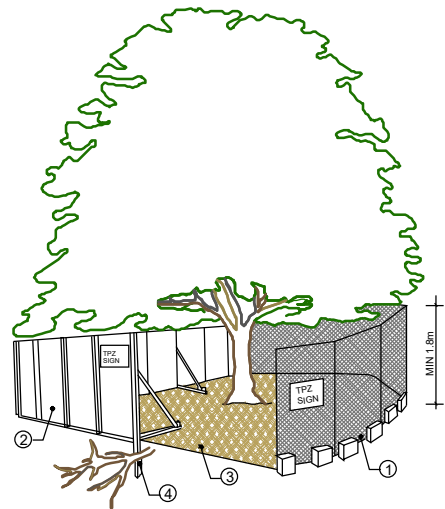
SCALE: NTS

(ONLY APPLICABLE FOR PLANTING AREA OUTSIDE TREE PROTECTION ZONE OF TREES TO BE RETAINED. NO CHANGES ARE TO OCCUR TO EXISTING LEVELS, INCLUDING RIPPING/CULTIVATING OF THE SOIL WITHIN THE TPZ OF TREES TO BE RETAINED ON SITE)



MASS PLANTING SETOUT

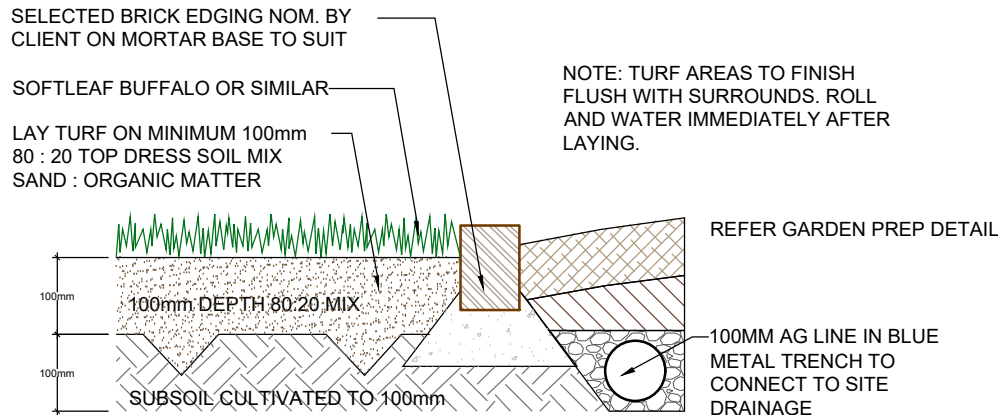
N.T.S



PROVIDE FENCING AS DETAILED TO ALL TREES PROPOSED TO BE RETAINED ON THE SUBJECT SITE. FENCING TO BE LOCATED TO THE DRIP LINE OF TREES OR AS INDICATED ON PLANS OR DIRECTED ON-SITE BY ARBORIST. NO STOCKPILING WITHIN FENCE PERIMETERS.

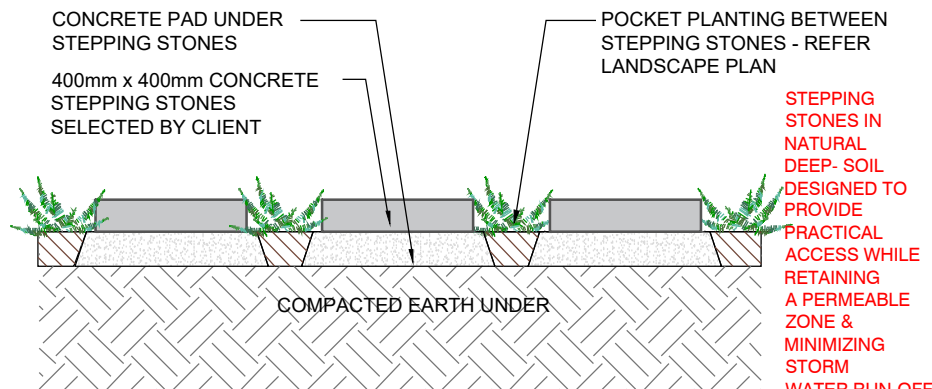
TREE PROTECTION ZONE

N.T.S



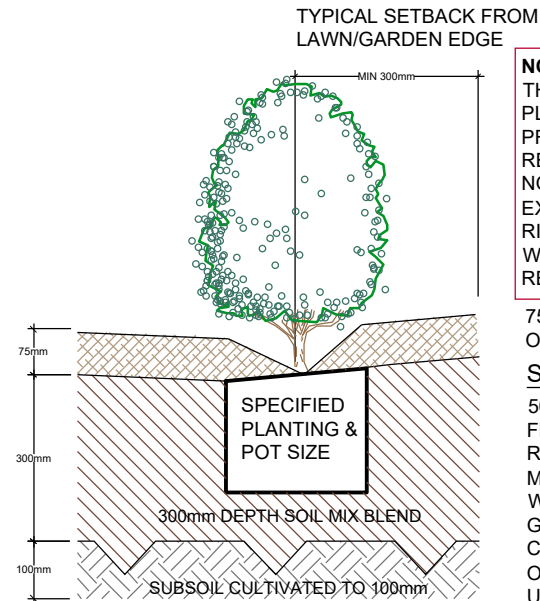
TYPICAL TURF AND BRICK EDGE DETAIL

SCALE: 1:10



STEPPING STONES IN GROUNDCOVER PLANTING

SCALE 1:10



NOTE
THIS DETAIL IS ONLY APPLICABLE FOR PLANTING AREA OUTSIDE TREE PROTECTION ZONE OF TREES TO BE RETAINED. NO CHANGES ARE TO OCCUR TO EXISTING LEVELS, INCLUDING RIPPING/CULTIVATING OF THE SOIL WITHIN THE TPZ OF TREES TO BE RETAINED ON SITE

75mm DEPTH "FOREST FINE" MULCH OR EQUIVALENT

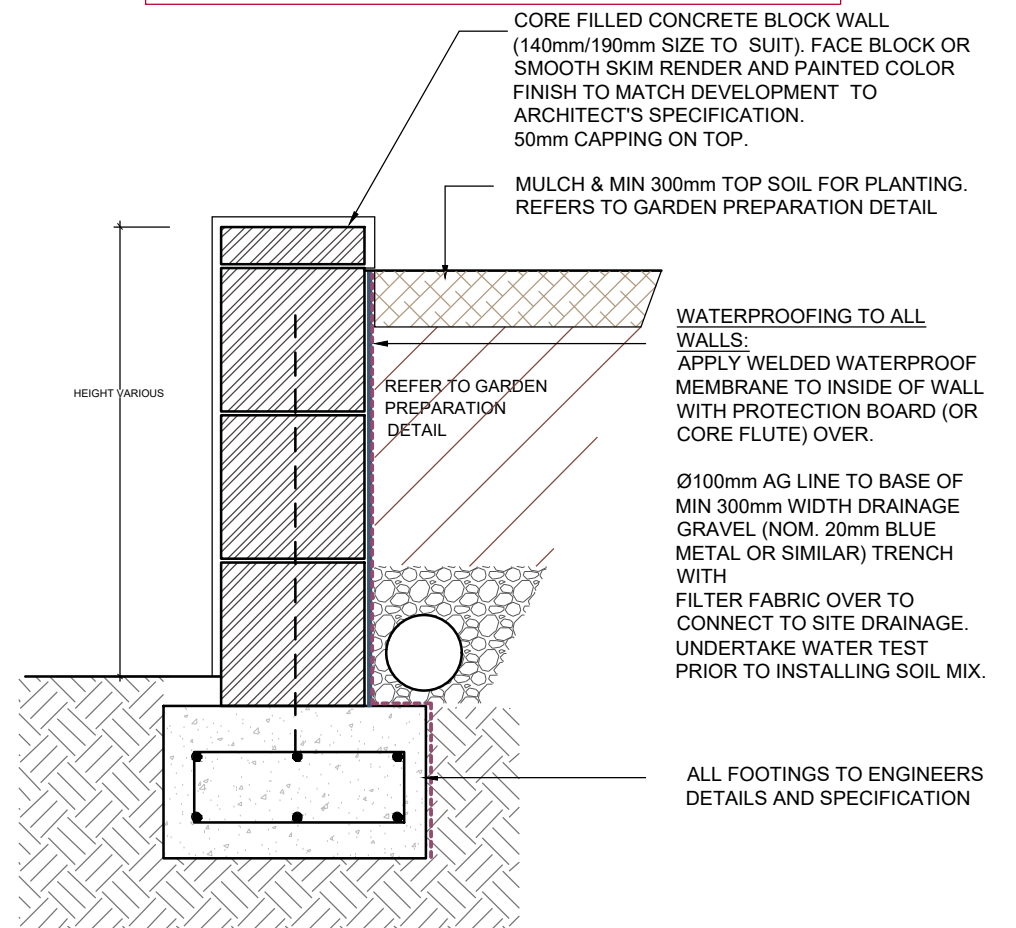
SOIL MIX:

50% OF STOCKPILED SITE TOPSOIL FREE FROM ALL BUILDER'S RUBBISH AND DELETERIOUS MATERIALS. TOPSOIL TO BE MIXED WITH MINIMUM 50% IMPORTED GARDEN MIX OR SOIL CONDITIONER/ COMPOSTED ORGANIC MATTER - SEE SPEC. USE 100% IMPORTED SOIL MIX WHEN SITE TOPSOIL RUNS OUT.

TYPICAL GARDEN PREPARATION DETAIL

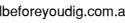
SCALE 1:10

NOTE: TYPICAL DETAIL ONLY. ALL WALLS WHICH FORM PART OF DRAINAGE WORKS MUST BE BUILT AS DETAILED BY THE HYDRAULIC ENGINEER. ALL WALLS EXCEEDING 1m HEIGHT SHALL BE DETAILED BY A QUALIFIED ENGINEER. INSTALL WALL TO SUIT SITE LEVELS AND TO MANUFACTURE'S SPECIFICATION.



TYPICAL MASONRY BLOCK RETAINING WALL

SCALE NTS

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