



1+3  
CAREEL HEAD ROAD,  
AVALON BEACH  
NSW, AUSTRALIA







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Nominated Architect: Lijana Ermlova 7887, ABN 24 243 205 327



A 15-07-2024 DA Submission

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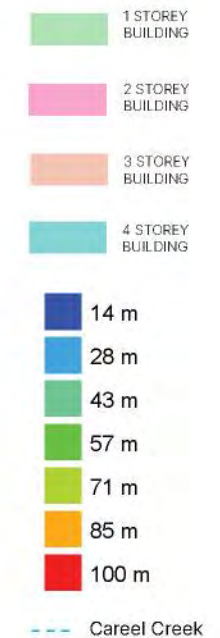
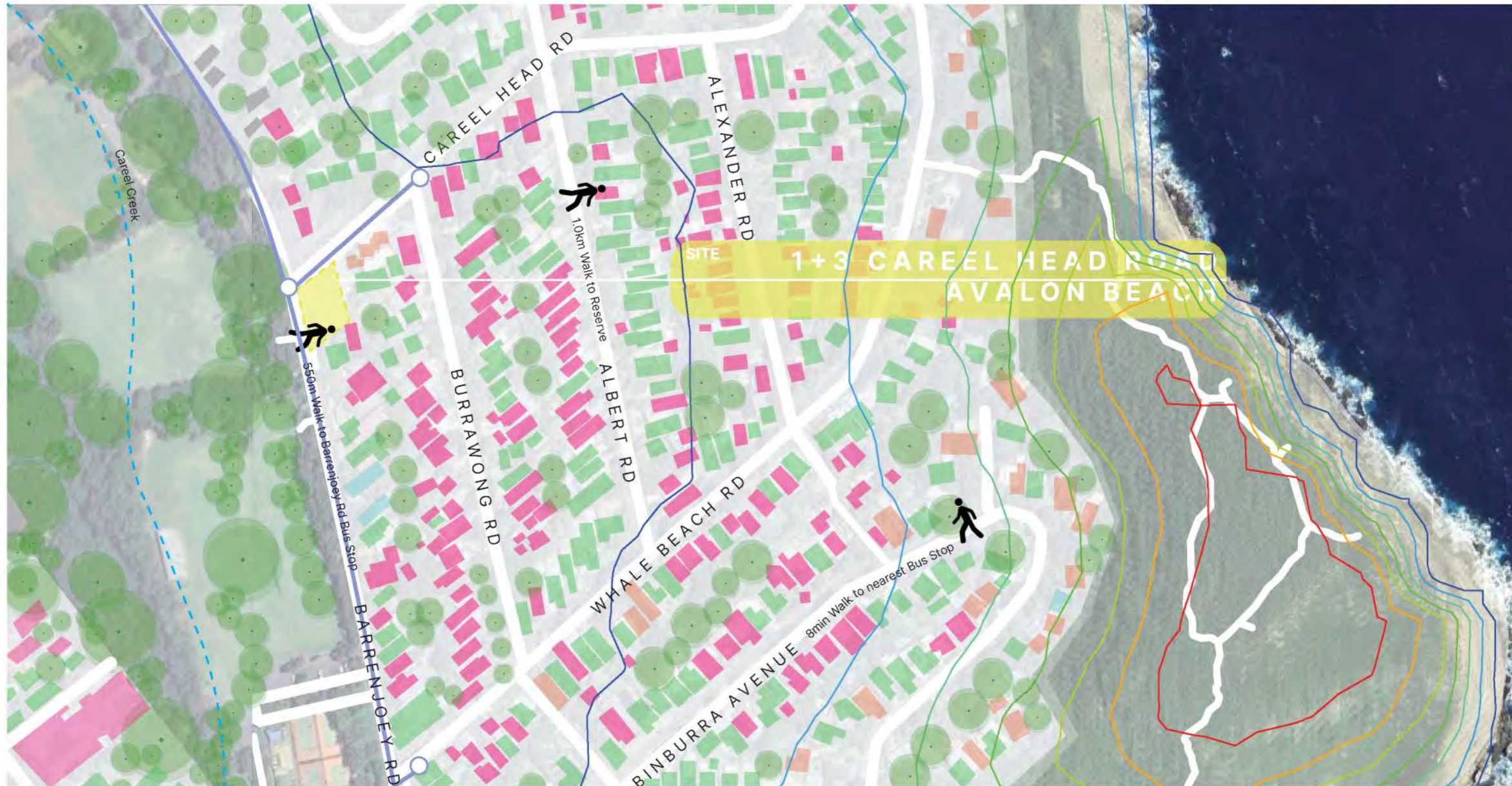
## SITE ANALYSIS - TRANSPORT, AMENITY & NETWORK

Project  
**PROPOSED RESIDENTIAL DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107  
Drawing Title  
**SITE ANALYSIS - TRANSPORT, AMENITY & NETWORK**  
Project Stage  
**DA Submission**  
Job no. Drawing no. Rev.  
**J23587D DA1002.1 A**  
Drawn by Checked by Approved by Date  
CS RJ LE JULY, 2024



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## SITE ANALYSIS - BUILT FORM

Project  
**PROPOSED RESIDENTIAL DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107  
Drawing Title  
**SITE ANALYSIS - BUILT FORM**  
Project Stage  
**DA Submission**  
Job no. Drawing no. Rev.  
**J23587D DA1002.2 A**  
Drawn by Checked by Approved by Date  
CS RJ LE JULY, 2024



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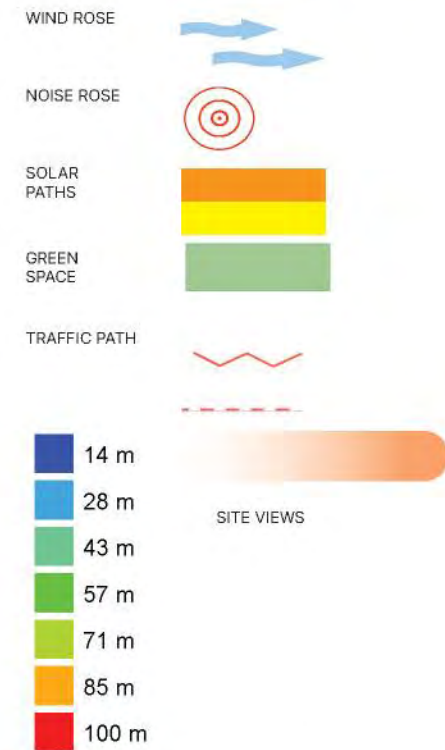
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**SITE ANALYSIS PLAN**

Project  
**PROPOSED RESIDENTIAL DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107  
Drawing Title  
**SITE ANALYSIS PLAN**

Project Stage  
**DA Submission**  
Job no. Drawing no. Rev.  
**J23587D DA1002.4 A**  
Drawn by Checked by Approved by Date  
CS RJ LE JULY, 2024



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Nominated Architect: Lijana Ermičeva 7887, AEN: 24 243 205 327



BARRENJOEY RD



CAREEL HEAD RD



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CAREEL HEAD RD

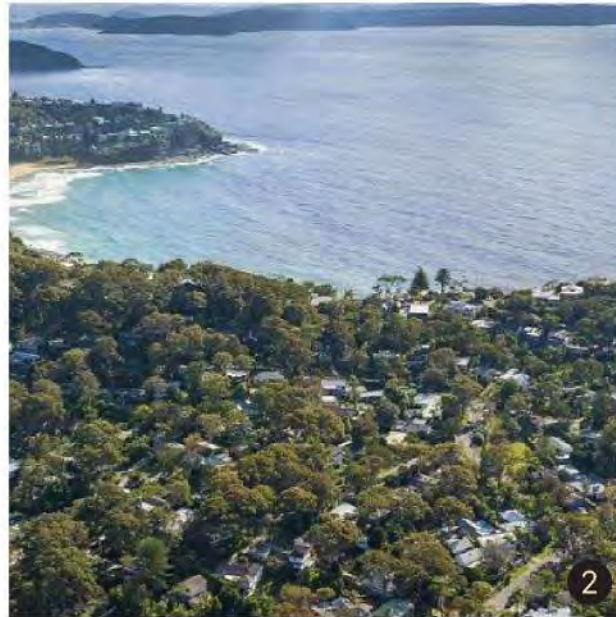
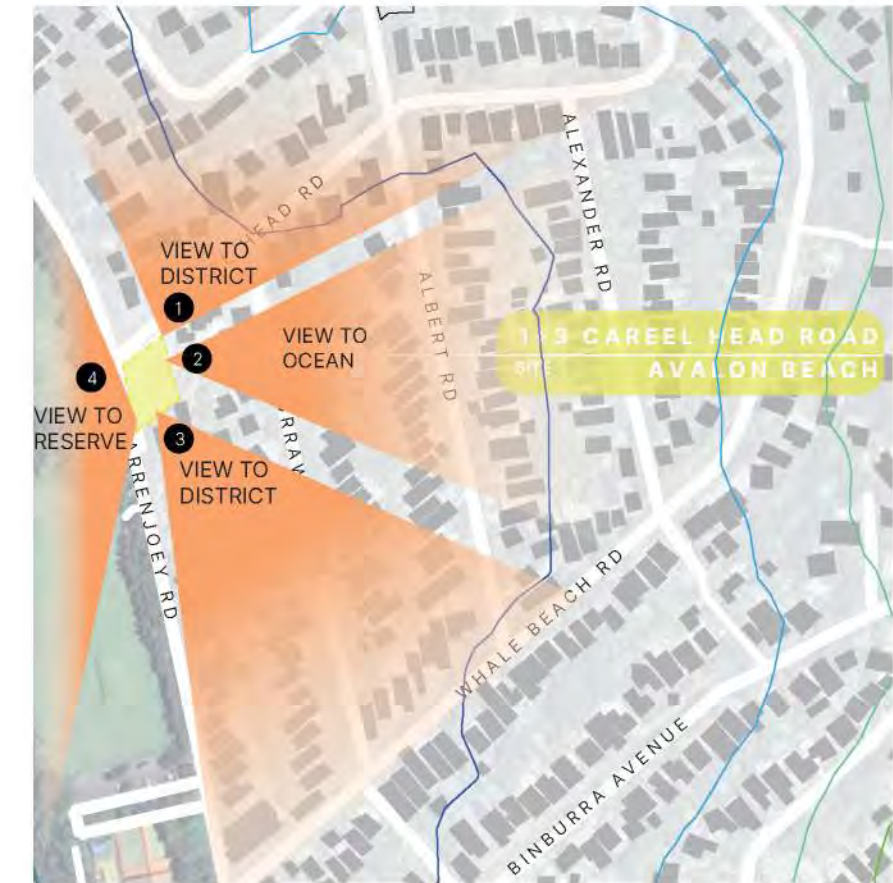


BURAWONG RD

## SITE ANALYSIS- STREETScape

Project  
**PROPOSED RESIDENTIAL DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH, NEW SOUTH WALES 2107  
Drawing Title  
**SITE ANALYSIS- EXISTING STREETScape**  
Project Stage  
**DA Submission**  
Job no. Drawing no. Rev.  
**J23587D DA1002.5 A**  
Drawn by Checked by Approved by Date  
CS RJ LE JULY, 2024





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Nominated Architect: Lijane Emilova 7887, ABN: 24 243 206 327

- 14 m
- 28 m
- 43 m
- 57 m
- 71 m
- 85 m
- 100 m

SITE VIEWS

A 15-07-2024 DA Submission



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PROPOSED SITE VIEWS

Project  
**PROPOSED RESIDENTIAL DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title  
**SITE ANALYSIS- ISOMETRIC VIEWS**

Project Stage  
**DA Submission**

Job no. Drawing no. Rev.  
**J23587D DA1002.5 A**

Drawn by Checked by Approved by Date  
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DEVELOPMENT**  
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NEW SOUTH WALES 2107

Drawing Title  
**SITE ANALYSIS- DESIGN  
SCHEME/ VISION**

Project Stage  
**DA Submission**

Job no. Drawing no. Rev.  
**J23587D DA1002.5 A**

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| Drawn by | Checked by | Approved by | Date       |
| GH       | RJ         | ZC          | JULY. 2024 |



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**LEGEND**

- TREES TO BE RETAINED
- TREES TO BE REMOVED
- TREES TPZ

A 15/07/2024 DA SUBMISSION

m 1.5 3 6 9 12

0 1:150 at A1 1:300 at A3



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Project  
**PROPOSED MIXED USE DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

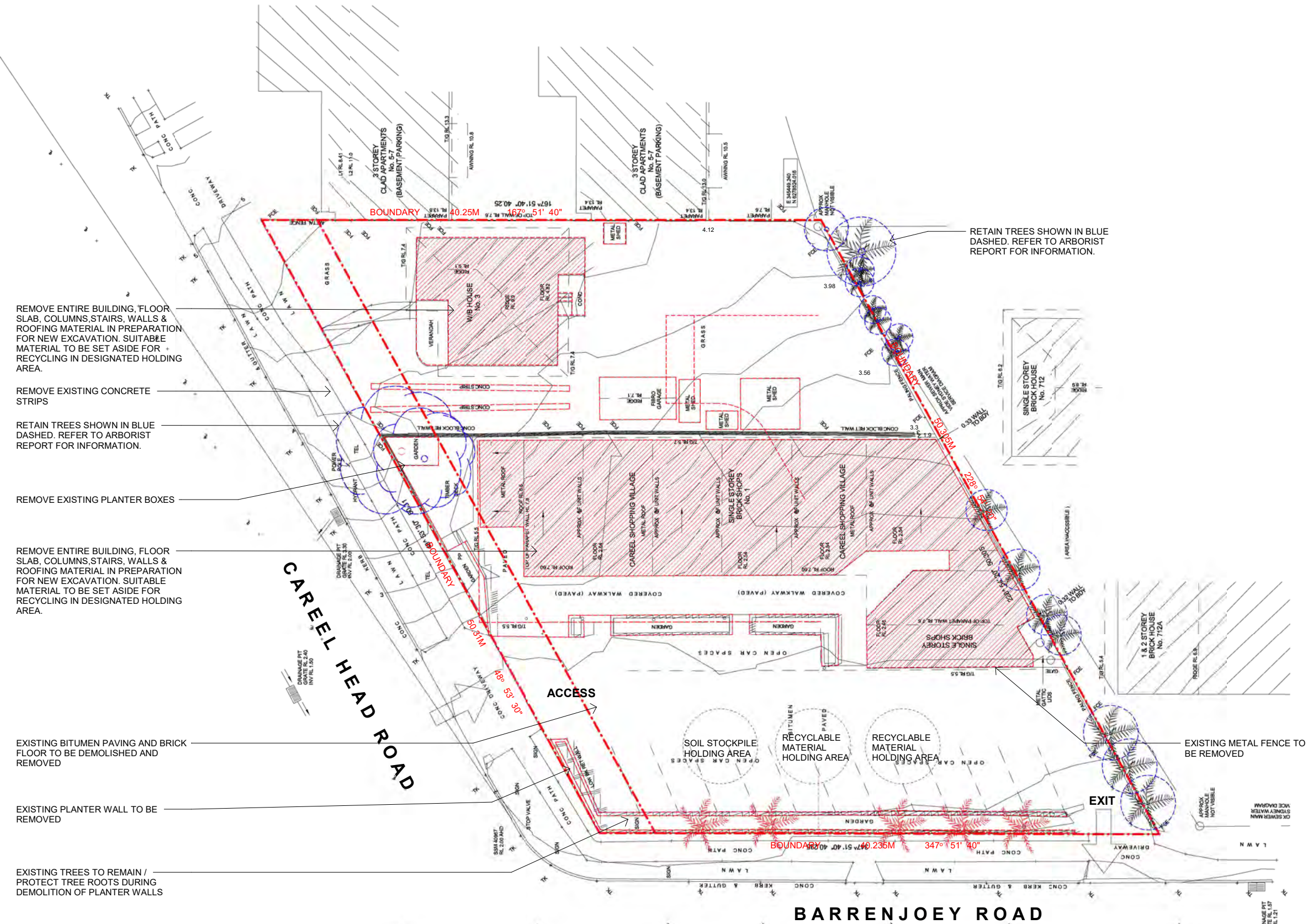
**DEMOLITION PLAN**

Project Stage  
**DA Submission**

|         |             |      |
|---------|-------------|------|
| Job no. | Drawing no. | Rev. |
| J23587D | DA1006      | A    |

Drawn by Checked by Approved by Date

|    |    |    |            |
|----|----|----|------------|
| GH | RJ | ZC | JULY, 2024 |
|----|----|----|------------|



REMOVE ENTIRE BUILDING, FLOOR SLAB, COLUMNS, STAIRS, WALLS & ROOFING MATERIAL IN PREPARATION FOR NEW EXCAVATION. SUITABLE MATERIAL TO BE SET ASIDE FOR RECYCLING IN DESIGNATED HOLDING AREA.

REMOVE EXISTING CONCRETE STRIPS

RETAIN TREES SHOWN IN BLUE DASHED. REFER TO ARBORIST REPORT FOR INFORMATION.

REMOVE EXISTING PLANTER BOXES

REMOVE ENTIRE BUILDING, FLOOR SLAB, COLUMNS, STAIRS, WALLS & ROOFING MATERIAL IN PREPARATION FOR NEW EXCAVATION. SUITABLE MATERIAL TO BE SET ASIDE FOR RECYCLING IN DESIGNATED HOLDING AREA.

EXISTING BITUMEN PAVING AND BRICK FLOOR TO BE DEMOLISHED AND REMOVED

EXISTING PLANTER WALL TO BE REMOVED

EXISTING TREES TO REMAIN / PROTECT TREE ROOTS DURING DEMOLITION OF PLANTER WALLS

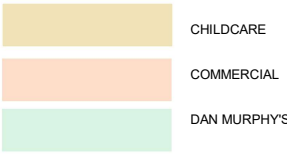


NEIGHBOURING PROPERTIES  
5-7 CAREEL HEAD ROAD  
EXISTING CARPARK

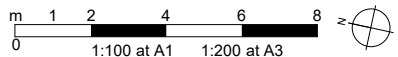
GENERAL NOTE: BASEMENT WILL BE TANKED IN  
LINE WITH EXPERT RECOMMENDATIONS

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PARKING LEGEND



D 13/06/2025 GENERAL AMENDMENT  
C 23/04/2025 GENERAL AMENDMENT  
B 01/20/2025 GENERAL AMENDMENT



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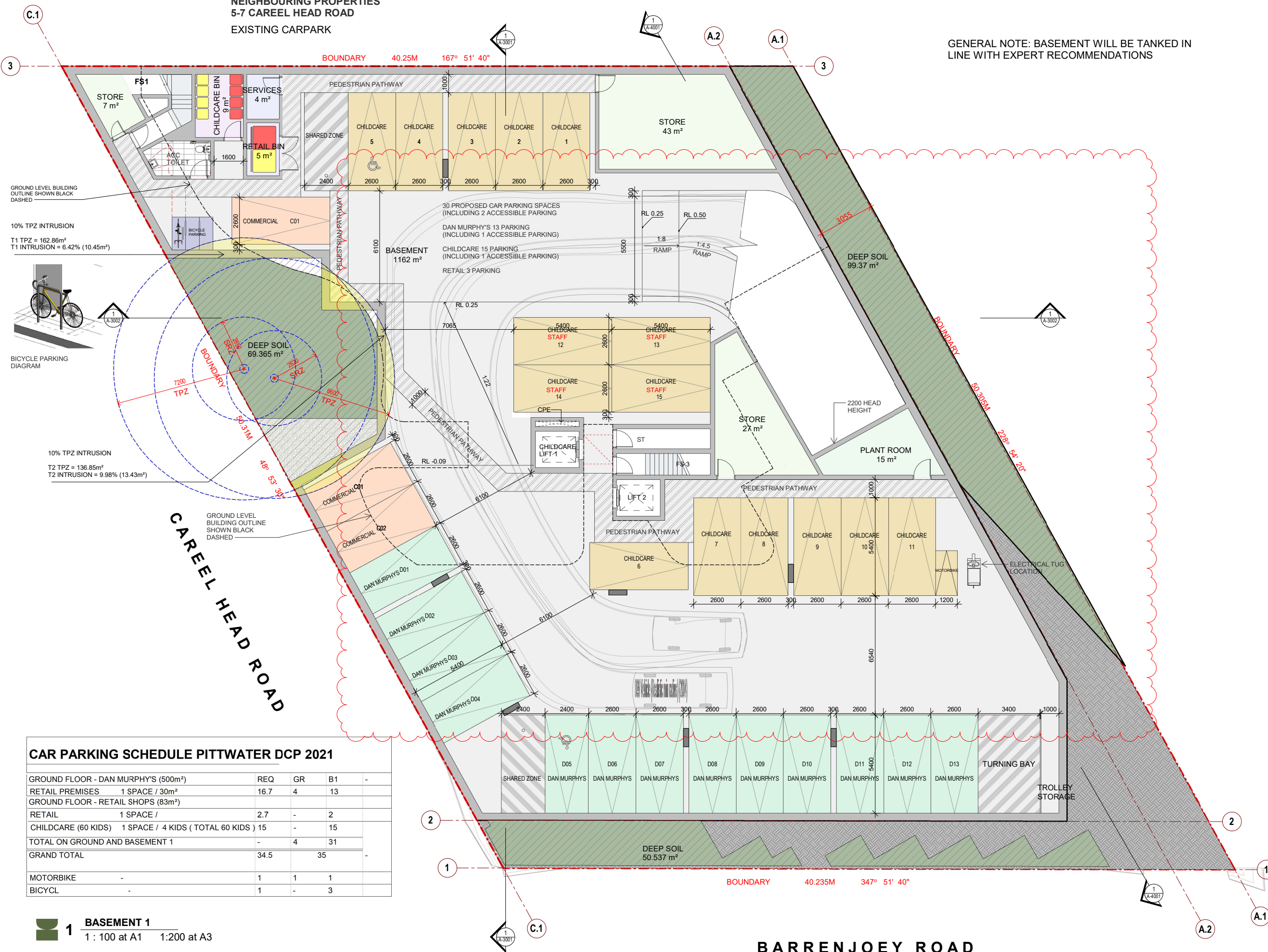
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| CAR PARKING SCHEDULE PITTWATER DCP 2021                |      |    |    |   |
|--|------|----|----|---|
| GROUND FLOOR - DAN MURPHY'S (500m²)                    | REQ  | GR | B1 | - |
| RETAIL PREMISES 1 SPACE / 30m²                         | 16.7 | 4  | 13 |   |
| GROUND FLOOR - RETAIL SHOPS (83m²)                     |      |    |    |   |
| RETAIL 1 SPACE /                                       | 2.7  | -  | 2  |   |
| CHILDCARE (60 KIDS) 1 SPACE / 4 KIDS ( TOTAL 60 KIDS ) | 15   | -  | 15 |   |
| TOTAL ON GROUND AND BASEMENT 1                         | -    | 4  | 31 |   |
| GRAND TOTAL  | 34.5 |    | 35 | - |
| MOTORBIKE -  | 1    | 1  | 1  |   |
| BICYCL -   | 1    | -  | 3  |   |

1 BASEMENT 1  
1 : 100 at A1 1:200 at A3

BARRENJOEY ROAD





NEIGHBOUR'S PROPERTY  
5-7 CAREEL HEAD ROAD

NEIGHBOUR'S PROPERTY  
5-7 CAREEL HEAD ROAD

## CAR PARKING SCHEDULE PITTWATER DCP 2021

|  |                                    |      |    |    |   |
|--|------------------------------------|------|----|----|---|
| GROUND FLOOR - DAN MURPHY'S (500m <sup>2</sup> ) |                                    | REQ  | GR | B1 | - |
| RETAIL PREMISES                                  | 1 SPACE / 30m <sup>2</sup>         | 16.7 | 4  | 13 |   |
| GROUND FLOOR - RETAIL SHOPS (89m <sup>2</sup> )  |                                    |      |    |    |   |
| RETAIL   | 1 SPACE /                          | 2.7  | -  | 2  |   |
| CHILDCARE (60 KIDS)                              | 1 SPACE / 4 KIDS ( TOTAL 60 KIDS ) | 15   | -  | 15 |   |
| TOTAL ON GROUND AND BASEMENT 1                   |                                    | -    | 4  | 31 |   |
| GRAND TOTAL                                      |                                    | 34.5 |    | 35 | - |
| MOTORBIKE  | -                                  | 1    | 1  | 1  |   |
| BICYCL   | -                                  | 1    | -  | 3  |   |

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### PARKING LEGEND

|  |              |
|--|--------------|
|  | CHILDCARE    |
|  | COMMERCIAL   |
|  | DAN MURPHY'S |

### LEGEND

- TREES TO BE RETAINED
- TREES TO BE REMOVED
- TREES TPZ

D 13/06/2025 GENERAL AMENDMENT  
C 23/04/2025 GENERAL AMENDMENT  
B 01/20/2025 GENERAL AMENDMENT

m 1 2 4 6 8  
0 1:100 at A1 1:200 at A3

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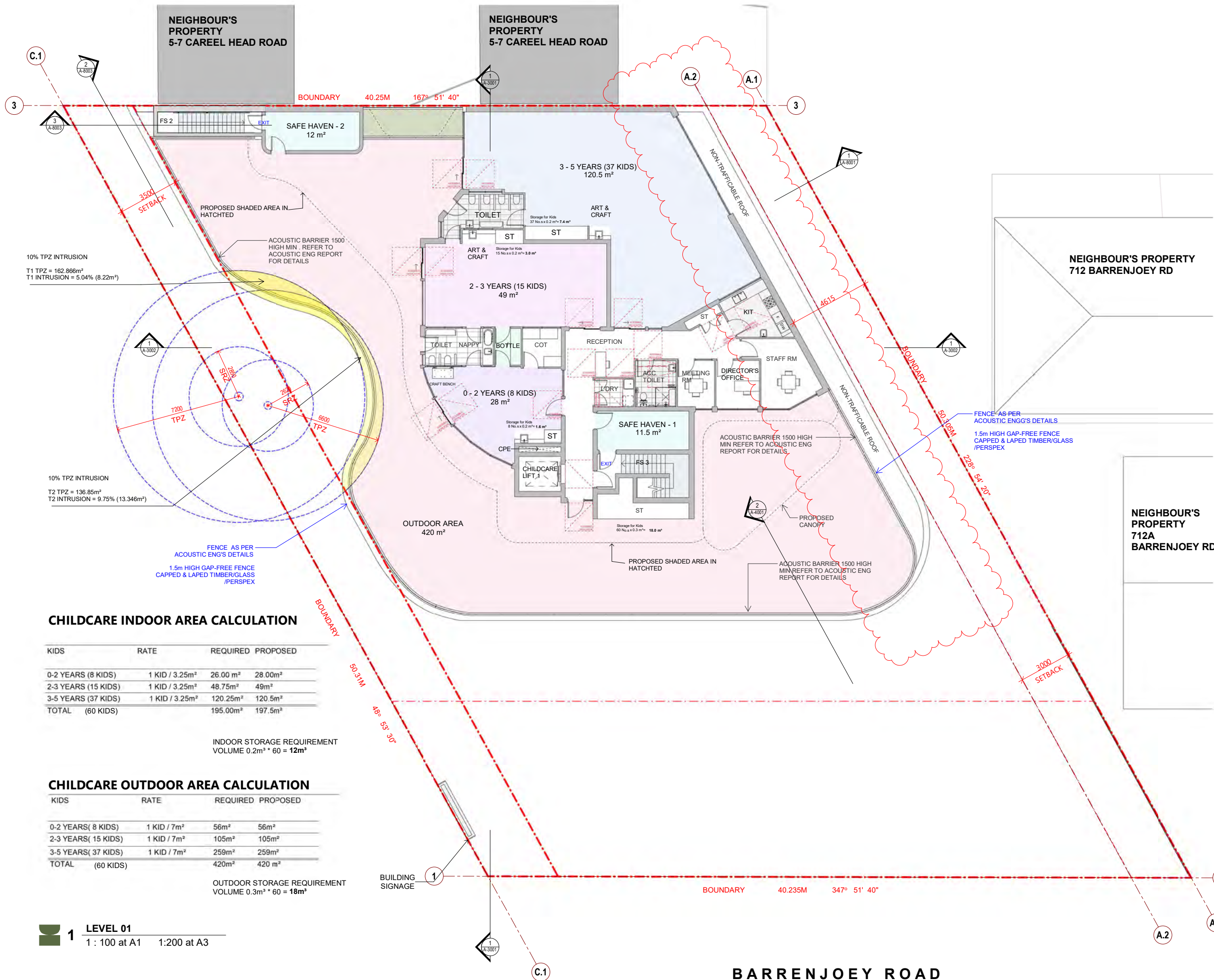
Drawing Title  
**GROUND FLOOR PLAN**

Project Stage  
**DA Submission**  
Job no. Drawing no. Rev.  
J23587D DA1101 D  
Drawn by Checked by Approved by Date  
GH RJ ZC JULY, 2024

1 GROUND FLOOR PLAN  
1 : 100 at A1 1 : 200 at A3

BARRENJOEY ROAD





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### CHILDCARE INDOOR AREA CALCULATION

| KIDS                | RATE                       | REQUIRED             | PROPOSED            |
|---------------------|----------------------------|----------------------|---------------------|
| 0-2 YEARS (8 KIDS)  | 1 KID / 3.25m <sup>2</sup> | 26.00 m <sup>2</sup> | 28.00m <sup>2</sup> |
| 2-3 YEARS (15 KIDS) | 1 KID / 3.25m <sup>2</sup> | 48.75m <sup>2</sup>  | 49m <sup>2</sup>    |
| 3-5 YEARS (37 KIDS) | 1 KID / 3.25m <sup>2</sup> | 120.25m <sup>2</sup> | 120.5m <sup>2</sup> |
| TOTAL (60 KIDS)     |                            | 195.00m <sup>2</sup> | 197.5m <sup>2</sup> |

INDOOR STORAGE REQUIREMENT  
VOLUME 0.2m<sup>3</sup> \* 60 = 12m<sup>3</sup>

### CHILDCARE OUTDOOR AREA CALCULATION

| KIDS                | RATE                    | REQUIRED          | PROPOSED           |
|---------------------|-------------------------|-------------------|--------------------|
| 0-2 YEARS (8 KIDS)  | 1 KID / 7m <sup>2</sup> | 56m <sup>2</sup>  | 56m <sup>2</sup>   |
| 2-3 YEARS (15 KIDS) | 1 KID / 7m <sup>2</sup> | 105m <sup>2</sup> | 105m <sup>2</sup>  |
| 3-5 YEARS (37 KIDS) | 1 KID / 7m <sup>2</sup> | 259m <sup>2</sup> | 259m <sup>2</sup>  |
| TOTAL (60 KIDS)     |                         | 420m <sup>2</sup> | 420 m <sup>2</sup> |

OUTDOOR STORAGE REQUIREMENT  
VOLUME 0.3m<sup>3</sup> \* 60 = 18m<sup>3</sup>

D 13/06/2025 GENERAL AMENDMENT  
C 23/04/2025 GENERAL AMENDMENT  
B 01/20/2025 GENERAL AMENDMENT

1 2 4 6 8

0 1:100 at A1 1:200 at A3

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Project

**PROPOSED MIXED USE DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title

**LEVEL 01 FLOOR PLAN**

Project Stage

**DA Submission**

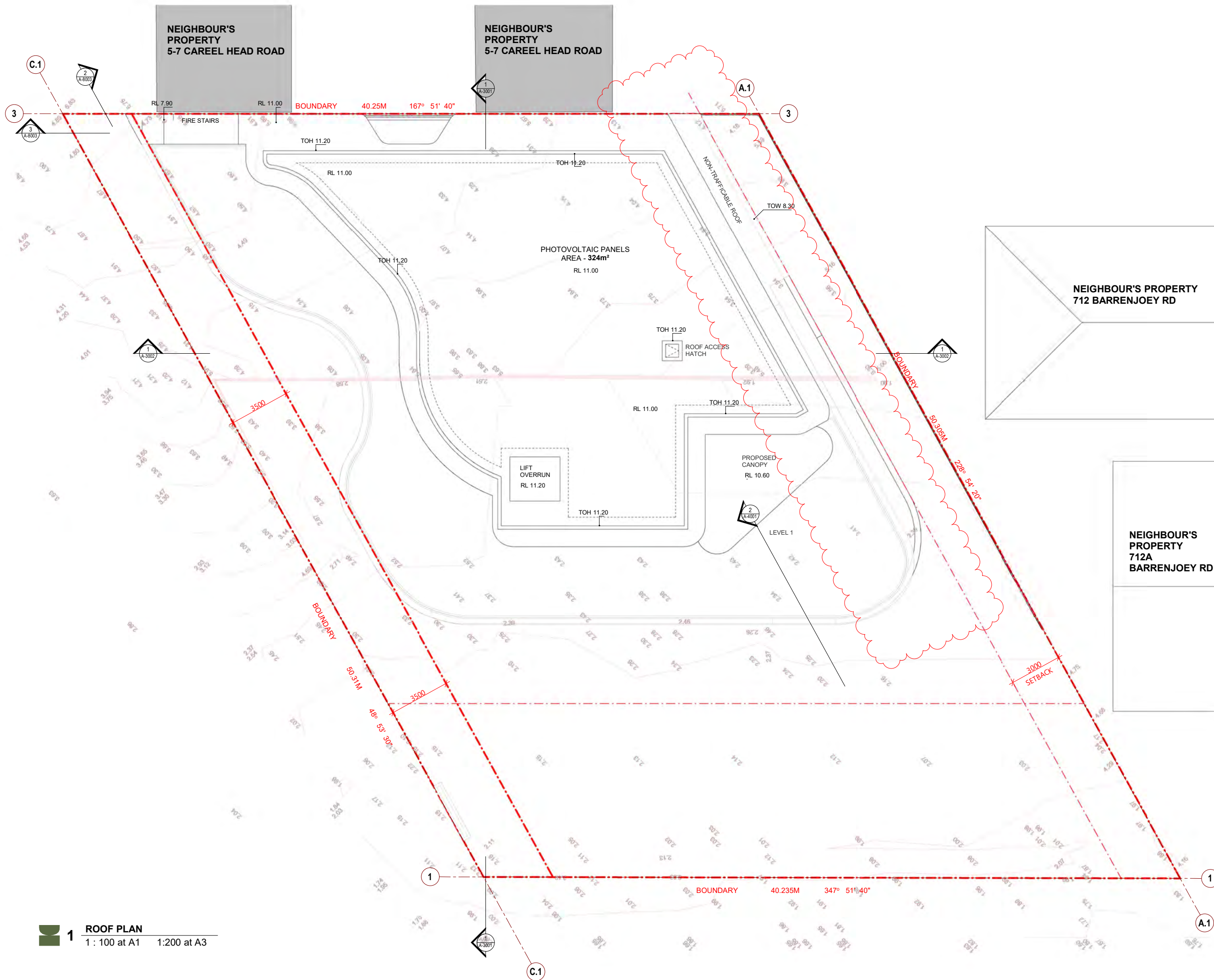
Job no. Drawing no. Rev.

J23587D DA1102 D

Drawn by Checked by Approved by Date

GH RJ ZC JULY, 2024





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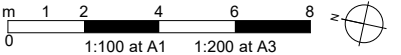
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C 23/04/2025 GENERAL AMENDMENT  
B 01/20/2025 GENERAL AMENDMENT



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Project  
**PROPOSED MIXED USE DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title  
**ROOF PLAN**

Project Stage  
**DA Submission**

|            |             |             |
|------------|-------------|-------------|
| Job no.    | Drawing no. | Rev.        |
| J23587D    | DA1103      | D           |
| Drawn by   | Checked by  | Approved by |
| GH         | RJ          | ZC          |
| Date       |             |             |
| JULY, 2024 |             |             |

**1 ROOF PLAN**  
1: 100 at A1 1:200 at A3





1 NORTH ELEVATION 1  
1 : 100 at A1 1:200 at A3



2 NORTH ELEVATION 2  
1 : 100 at A1 1:200 at A3

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| MATERIAL LEGEND |   |
|-----------------|---|
|                 | <varies>  |
| AWD1            | ALUMINIUM FRAME WINDOWS & DOORS - COLOUR 1            |
| CF3             | CONCRETE FINISH - SMOOTH                              |
| CG              | CLEAR GLASS   |
| FC1             | FLUTED CONCRETE                                       |
| OFC             | OFF-FORM CONCRETE - DULUX FINISH WHITE ON WHITE       |
| RP1             | RENDERED PAINT - DULUX NAPKIN WHITE                   |
| SC1             | SOLID ALUMINIUM SCREENS - DULUX FINISH WHITE ON WHITE |
| ST1             | STONE CLADDING  |

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C 23/04/2025 GENERAL AMENDMENT  
B 01/20/2025 GENERAL AMENDMENT

m 1 2 4 6 8  
0 1:100 at A1 1:200 at A3

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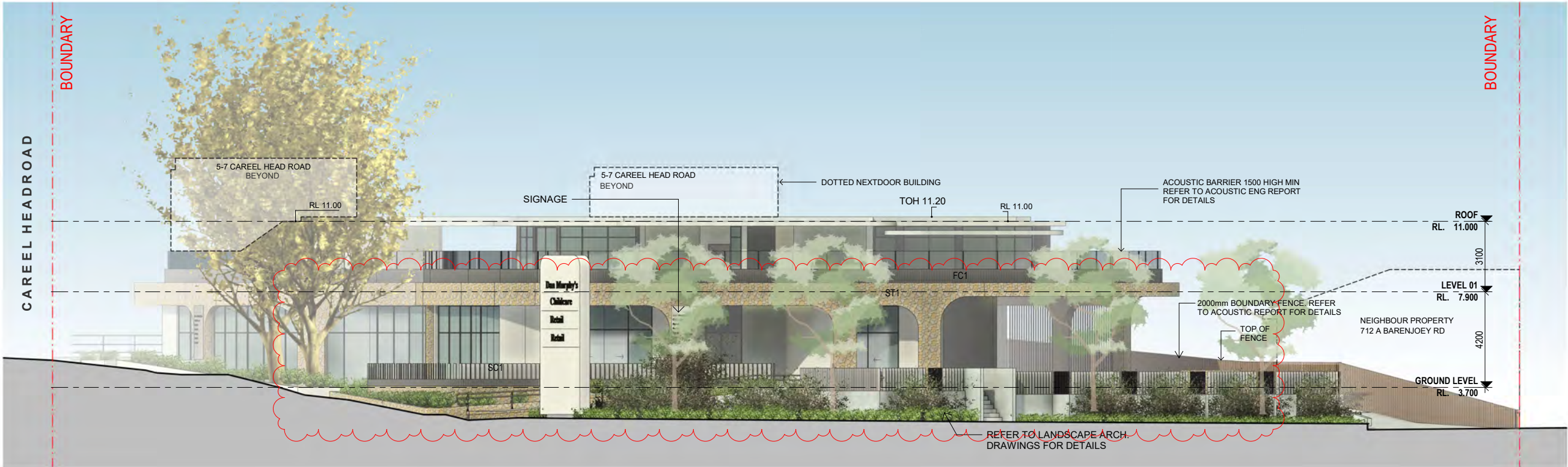
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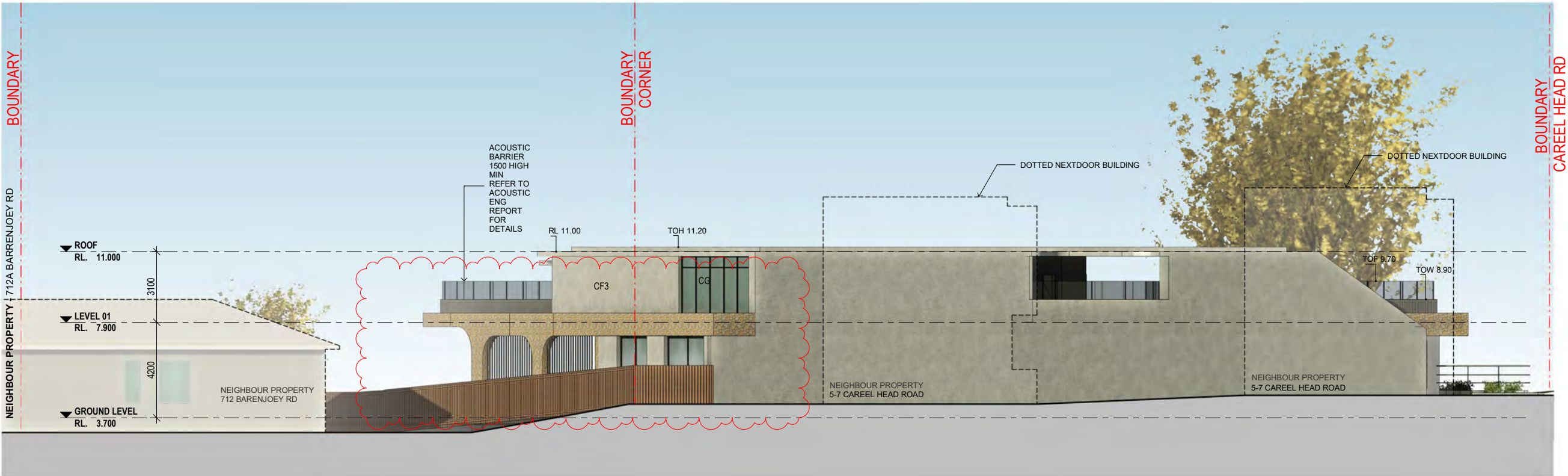
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Project  
**PROPOSED MIXED USE DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107  
Drawing Title  
**BUILDING ELEVATION NORTH, EAST**  
Project Stage  
**DA Submission**  
Job no. Drawing no. Rev.  
**J23587D DA2001 D**  
Drawn by Checked by Approved by Date  
GH RJ ZC JULY. 2024





**1 WEST ELEVATION**  
1 : 100 at A1 1:200 at A3



**2 EAST ELEVATION**  
1 : 100 at A1 1:200 at A3

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| MATERIAL LEGEND |   |                            |
|-----------------|---|----------------------------|
|                 | <varies>  |                            |
| AWD1            | ALUMINIUM FRAME                                       | WINDOWS & DOORS - COLOUR 1 |
| CF3             | CONCRETE FINISH - SMOOTH                              |                            |
| CG              | CLEAR GLASS   |                            |
| FC1             | FLUTED CONCRETE                                       |                            |
| OFC             | OFF-FORM CONCRETE - DULUX FINISH WHITE ON WHITE       |                            |
| RP1             | RENDERED PAINT - DULUX NAPKIN WHITE                   |                            |
| SC1             | SOLID ALUMINIUM SCREENS - DULUX FINISH WHITE ON WHITE |                            |
| ST1             | STONE CLADDING  |                            |

D 13/06/2025 GENERAL AMENDMENT  
C 23/04/2025 GENERAL AMENDMENT  
B 01/20/2025 GENERAL AMENDMENT

m 1 2 4 6 8  
0 1:100 at A1 1:200 at A3

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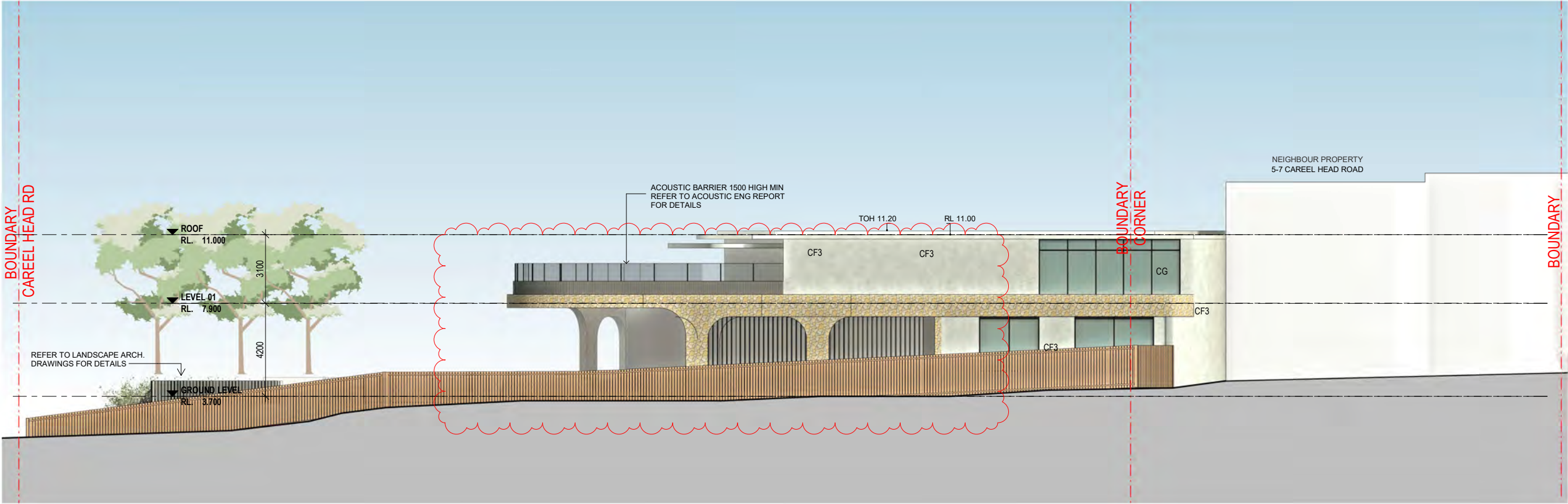
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Project  
**PROPOSED MIXED USE DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107  
Drawing Title  
**BUILDING ELEVATION - SOUTH, WEST**  
Project Stage  
**DA Submission**  
Job no. Drawing no. Rev.  
**J23587D DA2002 D**  
Drawn by Checked by Approved by Date  
GH RJ ZC JULY, 2024





**1 SOUTH ELEVATION 1**  
1 : 100 at A1    1:200 at A3

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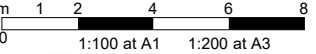
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| MATERIAL LEGEND |          |   |
|-----------------|----------|---|
|                 | <varies> |   |
|                 | AWD1     | ALUMINIUM FRAME WINDOWS & DOORS - COLOUR 1            |
|                 | CF3      | CONCRETE FINISH - SMOOTH                              |
|                 | CG       | CLEAR GLASS   |
|                 | FC1      | FLUTED CONCRETE                                       |
|                 | OFC      | OFF-FORM CONCRETE - DULUX FINISH WHITE ON WHITE       |
|                 | RP1      | RENDERED PAINT - DULUX NAPKIN WHITE                   |
|                 | SC1      | SOLID ALUMINIUM SCREENS - DULUX FINISH WHITE ON WHITE |
|                 | ST1      | STONE CLADDING  |

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Project  
**PROPOSED MIXED USE  
DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

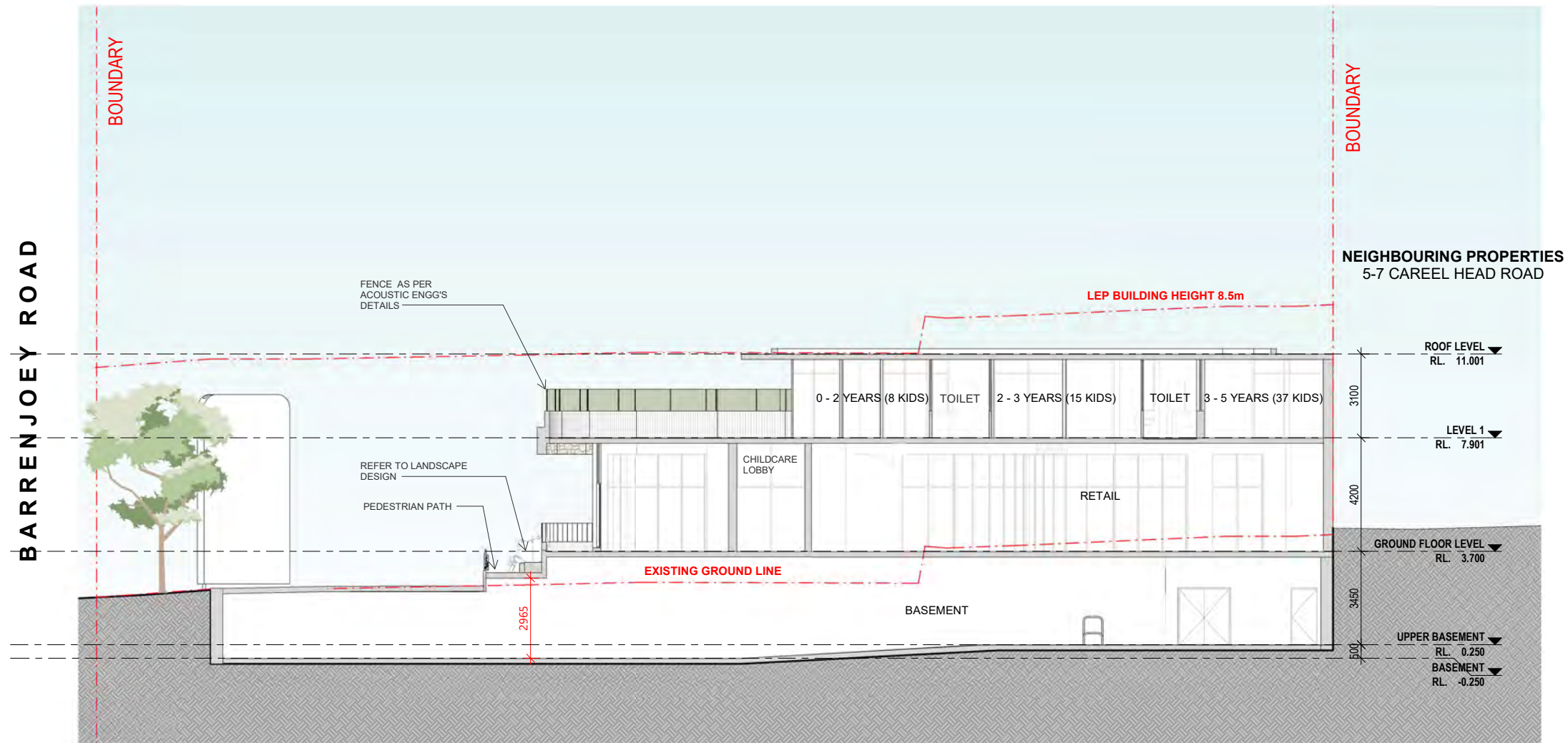
Drawing Title  
**BUILDING ELEVATION SOUTH,  
EAST**

Project Stage  
**DA Submission**

|         |             |      |
|---------|-------------|------|
| Job no. | Drawing no. | Rev. |
| J23587D | DA2003      | D    |

|          |            |             |            |
|----------|------------|-------------|------------|
| Drawn by | Checked by | Approved by | Date       |
| GH       | RJ         | ZC          | JULY. 2024 |





1 SECTION A  
1 : 100 at A1 1:200 at A3

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B 01/20/2025 GENERAL AMENDMENT  
A 15/07/2024 DA SUBMISSION

m 1 2 4 6 8  
0 1:100 at A1 1:200 at A3



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Project  
**PROPOSED MIXED USE DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

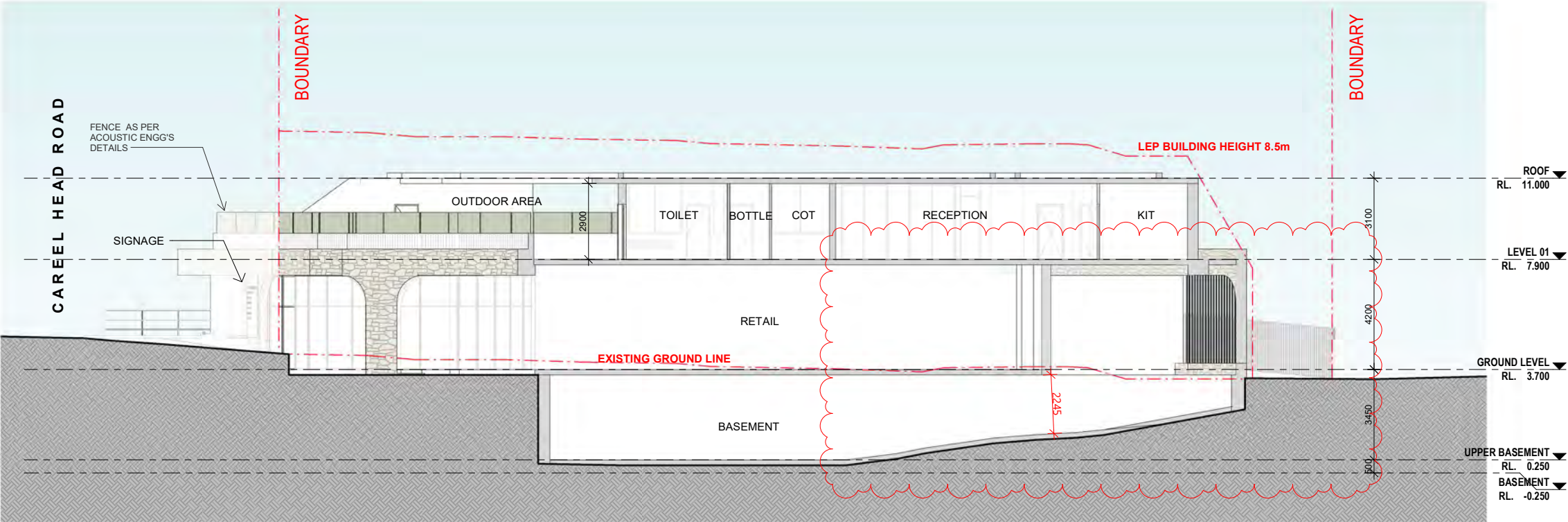
Drawing Title  
**SECTION A**

Project Stage  
**DA Submission**

Job no. Drawing no. Rev.  
**J23587D DA3001 C**

Drawn by Checked by Approved by Date  
GH RJ ZC JULY, 2024





**1 SECTION B**  
1 : 100 at A1 1:200 at A3

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B 01/20/2025 GENERAL AMENDMENT

m 1 2 4 6 8  
0 1:100 at A1 1:200 at A3



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Project  
**PROPOSED MIXED USE DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title  
**SECTION B**

Project Stage  
**DA Submission**

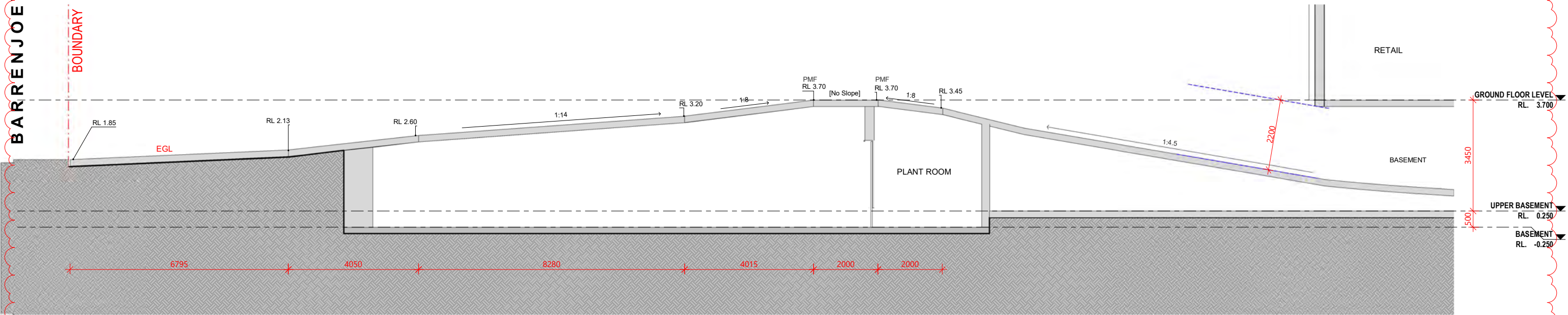
Job no. Drawing no. Rev.

J23587D DA3002 D

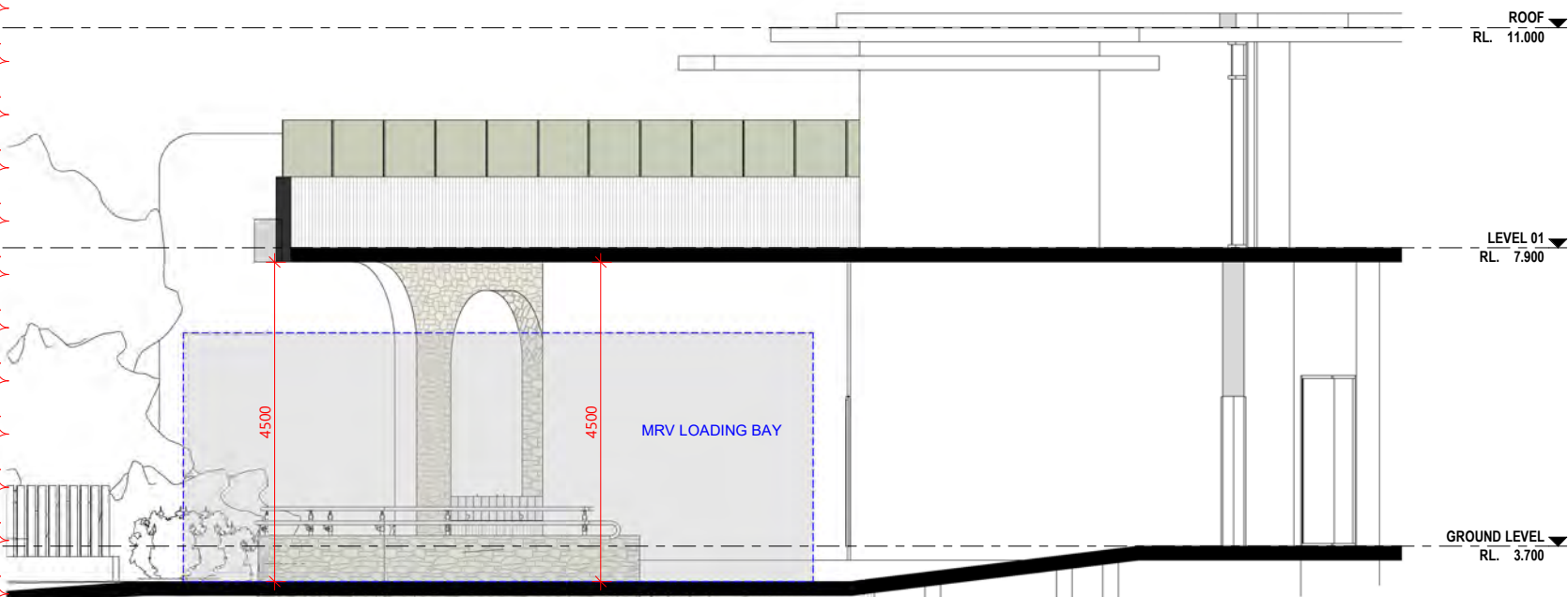
Drawn by Checked by Approved by Date  
GH RJ ZC JULY. 2024



BARRENJOEY ROAD



**1 RAMP SECTION**  
1 : 60 at A1 1:120 at A3



**2 RAMP SECTION 2**  
1 : 50 at A1 1:100 at A3

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C 23/04/2025 GENERAL AMENDMENT  
B 01/20/2025 GENERAL AMENDMENT

m 1 2 4 6 8  
0 1:100 at A1 1:200 at A3



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Project  
**PROPOSED MIXED USE DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title  
**RAMP SECTION**

Project Stage  
**DA Submission**  
Job no. Drawing no. Rev.  
**J23587D DA4001 D**  
Drawn by Checked by Approved by Date  
GH RJ ZC JULY, 2024





**1** SHADOW DIAGRAM - 09am, 21 JUNE  
1 : 350



**2** SHADOW DIAGRAM - 12PM, 21 JUNE  
1 : 350



**3** SHADOW DIAGRAM - 15pm, 21 JUNE  
1 : 350

**References**  
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| SHADOW DIAGRAM LEGEND |   |
|-----------------------|---|
|                       | SHADOWS CAST BY EXISTING BUILDING                           |
|                       | SHADOWS CAST BY EXISTING SURROUNDING BUILDING ONLY          |
|                       | SHADOWS CAST BY PROPOSED BUILDING ONTO NEIGHBOUR'S PROPERTY |

D 13/06/2025 GENERAL AMENDMENT  
C 23/04/2025 GENERAL AMENDMENT  
B 01/20/2025 GENERAL AMENDMENT

NOT TO SCALE



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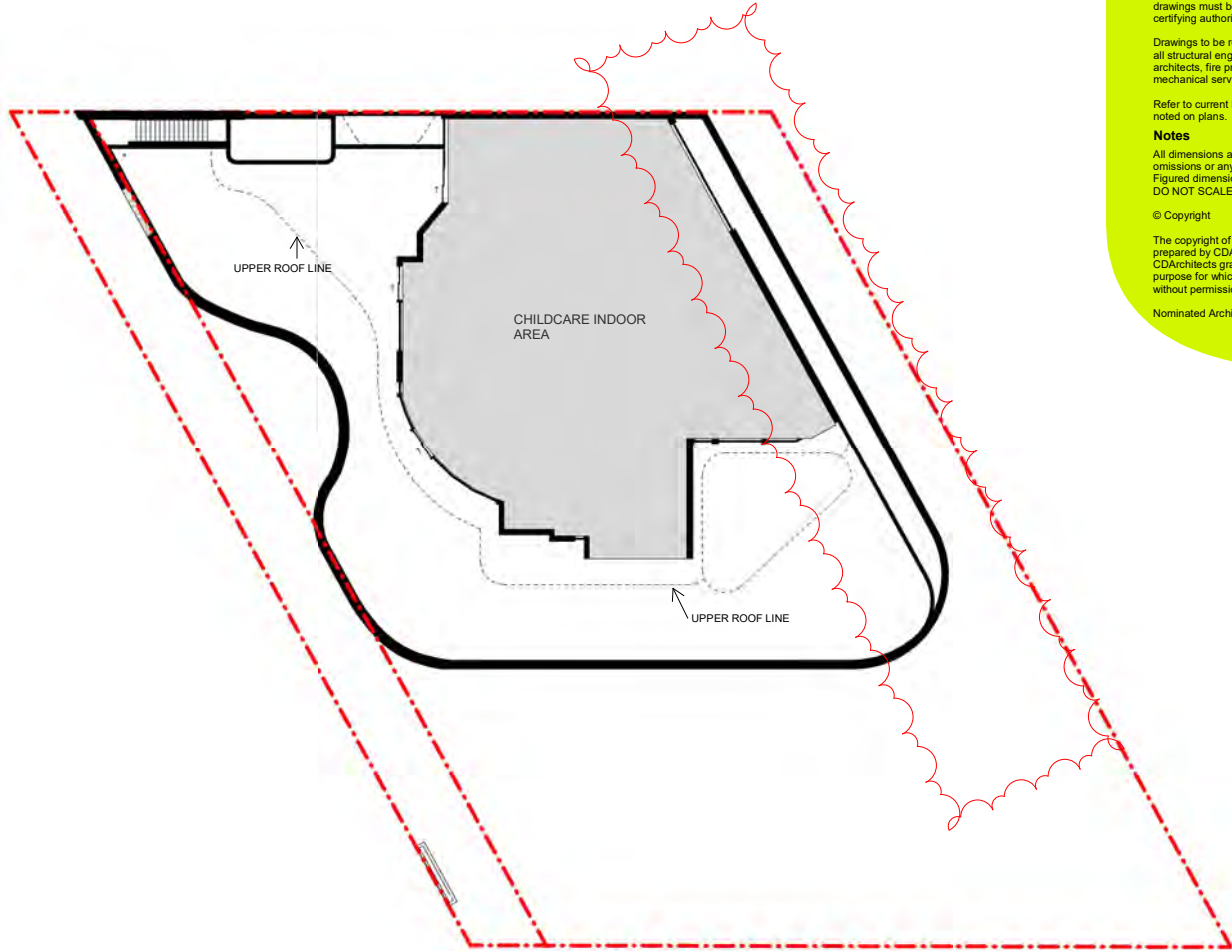
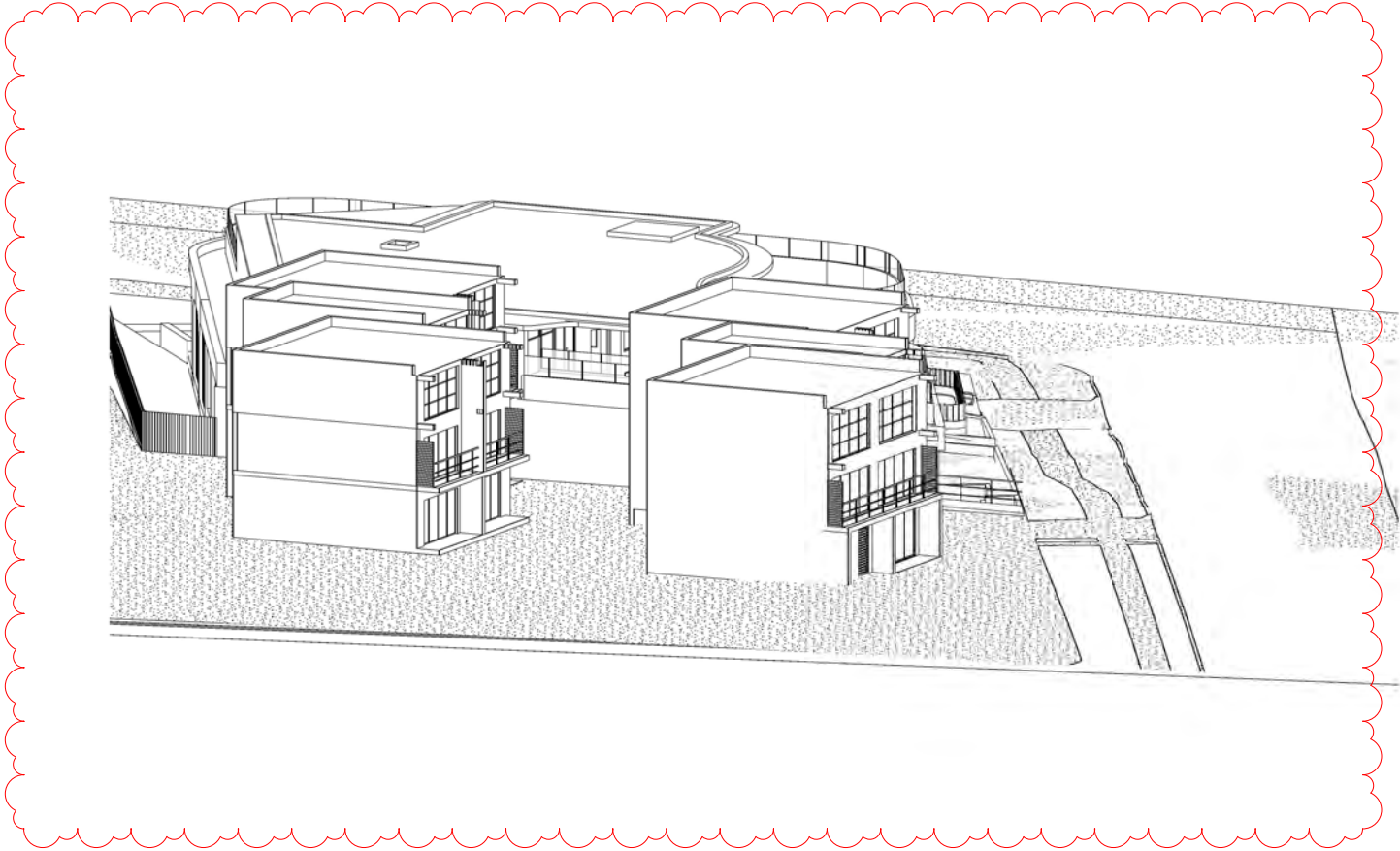


Project  
**PROPOSED MIXED USE DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title  
**SHADOW DIAGRAMS**

Project Stage  
**DA Submission**  
Job no. Drawing no. Rev.  
**J23587D DA6001 D**  
Drawn by Checked by Approved by Date  
GH RJ ZC JULY, 2024





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1 SOLAR STUDY -8AM JUNE 21

CHILDCARE PLANNING GUIDELINE - DELIVERING QUALITY CHILDCARE FOR NSW - SEPTEMBER 2021

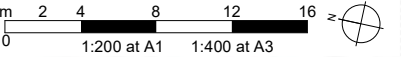
Outdoor play areas should:

- Have a minimum of 2 hours of solar access between 8:00am and 4:00 pm during winter months, for at least 30%(126m²) of the 420m² of outdoor space per child required.

2 8AM SOLAR CHILD CARE ACCESS PLAN  
1 : 200

| TOTAL (60 KIDS) |                       |               |                                      |
|-----------------|-----------------------|---------------|--------------------------------------|
| TIME            | MINUMUM AREA REQUIRED | PROPOSED AREA | % OF REQUIRED CHILDCARE OUTDOOR AREA |
| 8am             | 126 m²                | 0 m²          | 0 %                                  |
| 9am             | 126 m²                | 125.20 m²     | 29.81 %                              |
| 10am            | 126 m²                | 169.76 m²     | 40.42 %                              |
| 11am            | 126 m²                | 224.51 m²     | 53.45 %                              |
| 12pm            | 126 m²                | 251.73 m²     | 59.93 %                              |
| 1pm             | 126 m²                | 268.68 m²     | 63.97 %                              |
| 2pm             | 126 m²                | 273.18 m²     | 65.04 %                              |
| 3pm             | 126 m²                | 242.74 m²     | 57.8 %                               |
| 4pm             | 134.4 m²              | 116.61 m²     | 27.76 %                              |

D 13/06/2025 GENERAL AMENDMENT  
C 23/04/2025 GENERAL AMENDMENT  
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SOLAR ACCESS TO THE CHILDCARE OUTDOOR AREA - 21st JUNE

MINIMUM REQUIRED OUTDOOR AREA

420m²

TARGET COMPLIANCE AREA REQUIRED

MINIMUM 2hrs OF SOLAR ACCESS TO 30% OF MINIMUM OUTDOOR AREA (BETWEEN 8am - 4pm WINTER MONTHS)

MINIMUM OUTDOOR AREA TO RECEIVE SOLAR

126m²

OUTDOOR CHILDCARE AREA RECEIVING SOLAR

Project

**PROPOSED MIXED USE DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title

**SUN ANGLE VIEWS 21 JUNE 8am**

Project Stage

**DA Submission**

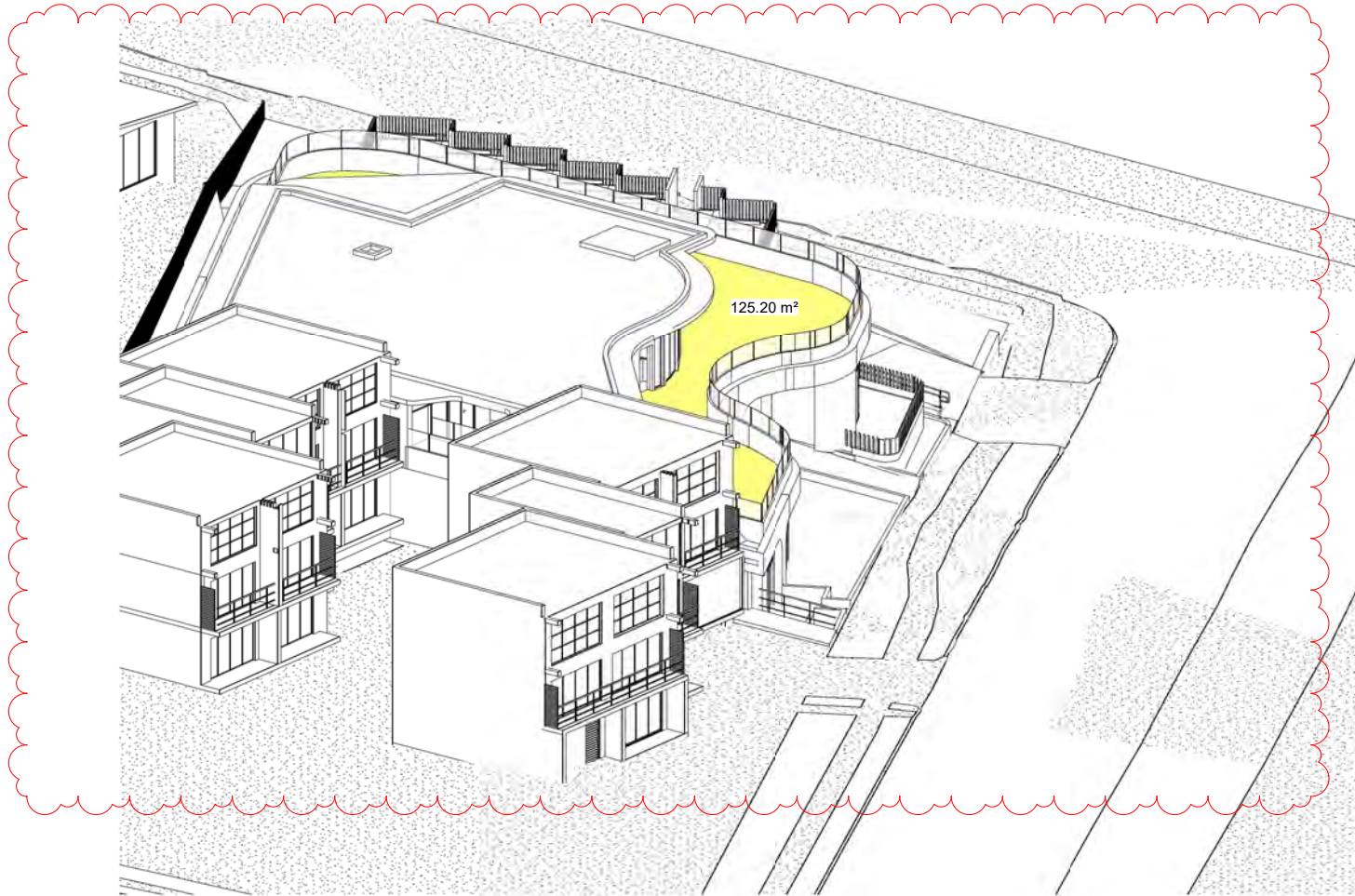
Job no. Drawing no. Rev.

J23587D DA6021 D

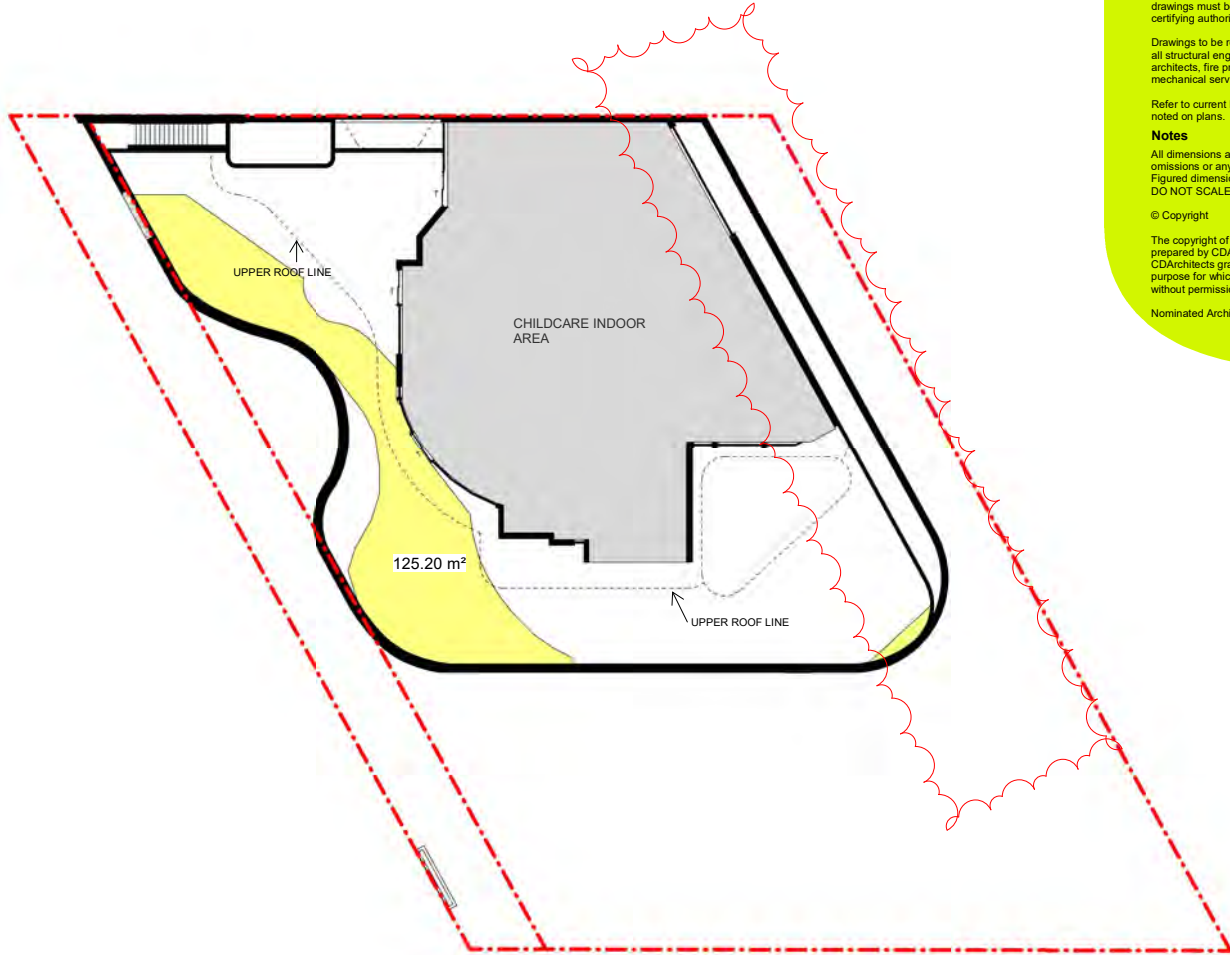
Drawn by Checked by Approved by Date

GH RJ ZC JULY, 2024





1 SOLAR STUDY -9AM JUNE 21



2 9AM SOLAR CHILD CARE ACCESS PLAN  
1 : 200

CHILDCARE PLANNING GUIDELINE - DELIVERING  
QUALITY CHILDCARE FOR NSW - SEPTEMBER 2021

Outdoor play areas should:

- Have a minimum of 2 hours of solar access between 8:00am and 4:00 pm during winter months, for at least 30%(126m²) of the 420m² of outdoor space per child required.

TOTAL (60 KIDS)

| TIME | MINUMUM AREA REQUIRED | PROPOSED AREA | % OF REQUIRED CHILDCARE OUTDOOR AREA |
|------|-----------------------|---------------|--------------------------------------|
| 8am  | 126 m²                | 0 m²          | 0 %                                  |
| 9am  | 126 m²                | 125.20 m²     | 29.81 %                              |
| 10am | 126 m²                | 169.76 m²     | 40.42 %                              |
| 11am | 126 m²                | 224.51 m²     | 53.45 %                              |
| 12pm | 126 m²                | 251.73 m²     | 59.93 %                              |
| 1pm  | 126 m²                | 268.68 m²     | 63.97 %                              |
| 2pm  | 126 m²                | 273.18 m²     | 65.04 %                              |
| 3pm  | 126 m²                | 242.74 m²     | 57.8 %                               |
| 4pm  | 134.4 m²              | 116.61 m²     | 27.76 %                              |

References

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Nominated Architect: Liljana Emilova 7887, ABN 24 243 205 327

D 13/06/2025 GENERAL AMENDMENT  
C 23/04/2025 GENERAL AMENDMENT  
B 01/20/2025 GENERAL AMENDMENT

0 2 4 8 12 16

1:200 at A1 1:400 at A3

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W: cdarchitects.ae

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SOLAR ACCESS TO THE CHILDCARE OUTDOOR AREA - 21st JUNE

MINIMUM REQUIRED OUTDOOR AREA

420m²

TARGET COMPLIANCE AREA REQUIRED

MINIMUM 2hrs OF SOLAR ACCESS TO 30% OF MINIMUM OUTDOOR AREA (BETWEEN 8am - 4pm WINTER MONTHS)

MINIMUM OUTDOOR AREA TO RECEIVE SOLAR

126m²

OUTDOOR CHILDCARE AREA RECEIVING SOLAR

Project

PROPOSED MIXED USE DEVELOPMENT

1 & 3 CAREEL HEAD ROAD, AVALON BEACH, NEW SOUTH WALES 2107

Drawing Title

SUN ANGLE VIEWS 21 JUNE 9am

Project Stage

DA Submission

Job no.

Drawing no.

Rev.

J23587D DA6022 D

Drawn by

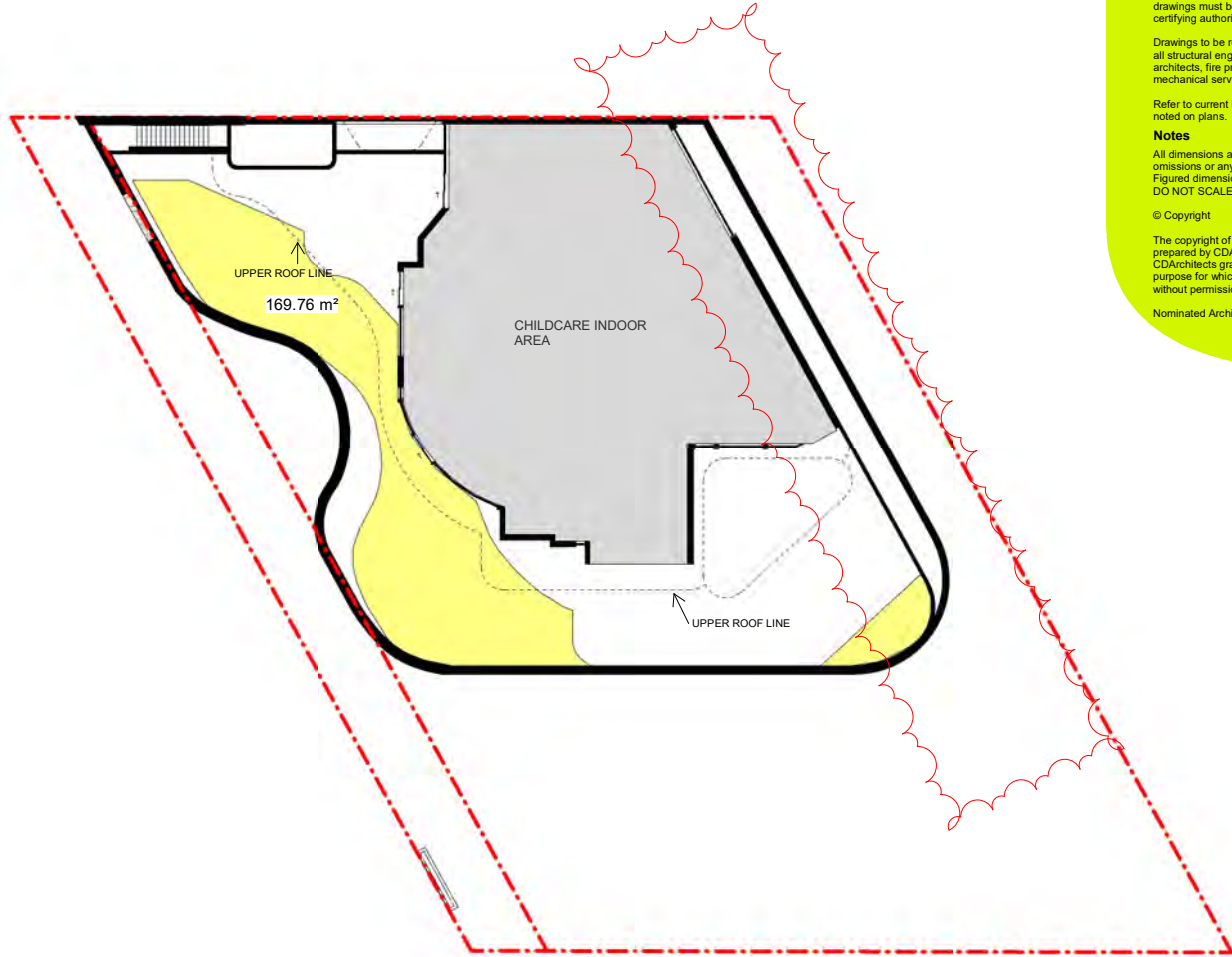
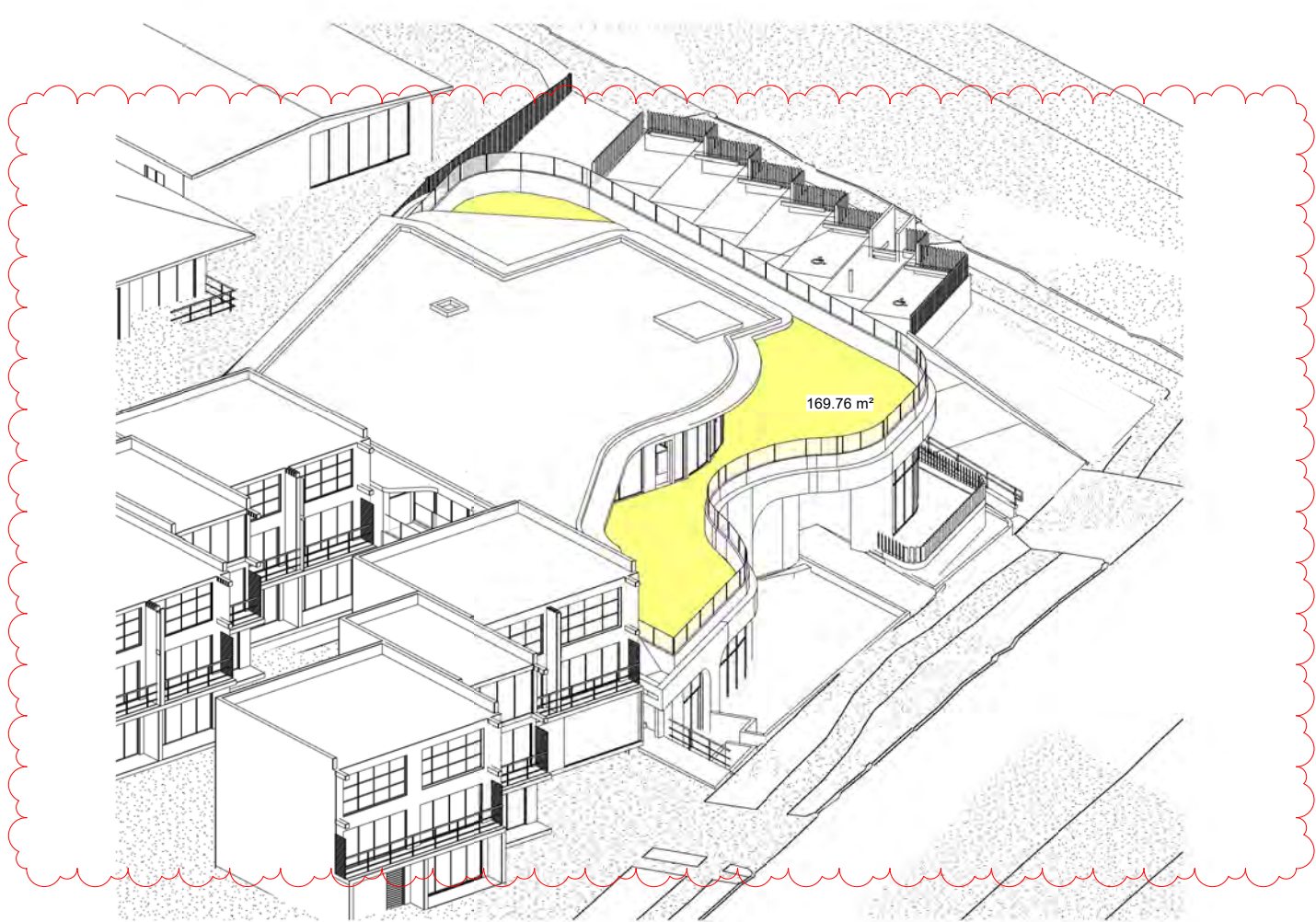
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Approved by

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Nominated Architect: Liljana Emilova 7887, ABN 24 243 205 327

1 SOLAR STUDY -10AM JUNE 21

CHILDCARE PLANNING GUIDELINE - DELIVERING QUALITY CHILDCARE FOR NSW - SEPTEMBER 2021

Outdoor play areas should:

- Have a minimum of 2 hours of solar access between 8:00am and 4:00 pm during winter months, for at least 30%(126m²) of the 420m² of outdoor space per child required.

2 10AM SOLAR CHILD CARE ACCESS PLAN  
1 : 200

| TOTAL (60 KIDS) |                       |               |                                      |
|-----------------|-----------------------|---------------|--------------------------------------|
| TIME            | MINIMUM AREA REQUIRED | PROPOSED AREA | % OF REQUIRED CHILDCARE OUTDOOR AREA |
| 8am             | 126 m²                | 0 m²          | 0 %                                  |
| 9am             | 126 m²                | 125.20 m²     | 29.81 %                              |
| 10am            | 126 m²                | 169.76 m²     | 40.42 %                              |
| 11am            | 126 m²                | 224.51 m²     | 53.45 %                              |
| 12pm            | 126 m²                | 251.73 m²     | 59.93 %                              |
| 1pm             | 126 m²                | 268.68 m²     | 63.97 %                              |
| 2pm             | 126 m²                | 273.18 m²     | 65.04 %                              |
| 3pm             | 126 m²                | 242.74 m²     | 57.8 %                               |
| 4pm             | 134.4 m²              | 116.61 m²     | 27.76 %                              |

D 13/06/2025  
C 23/04/2025  
B 01/20/2025

GENERAL AMENDMENT  
GENERAL AMENDMENT  
GENERAL AMENDMENT

m 2 4 8 12 16

0 1:200 at A1 1:400 at A3

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SOLAR ACCESS TO THE CHILDCARE OUTDOOR AREA - 21st JUNE

|  |   |
|--|---|
| MINIMUM REQUIRED OUTDOOR AREA          | 420m²   |
| TARGET COMPLIANCE AREA REQUIRED        | MINIMUM 2hrs OF SOLAR ACCESS TO 30% OF MINIMUM OUTDOOR AREA (BETWEEN 8am - 4pm WINTER MONTHS) |
| MINIMUM OUTDOOR AREA TO RECEIVE SOLAR  | 126m²   |
| OUTDOOR CHILDCARE AREA RECEIVING SOLAR |   |

Project

**PROPOSED MIXED USE DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title

**SUN ANGLE VIEWS 21 JUNE 10am**

Project Stage

**DA Submission**

Job no.

Drawing no.

Rev.

J23587D

DA6023

D

Drawn by

Checked by

Approved by

Date

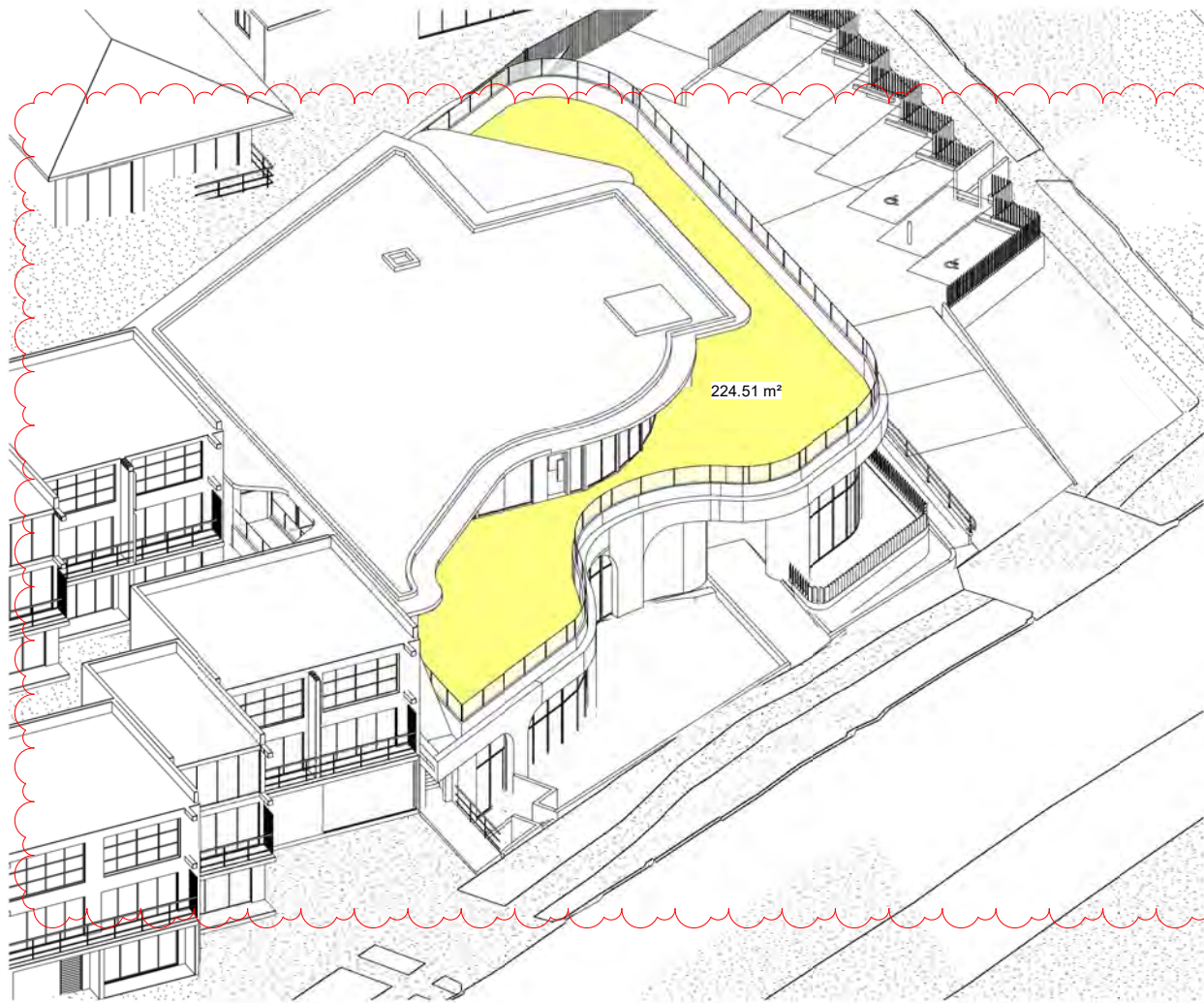
GH

RJ

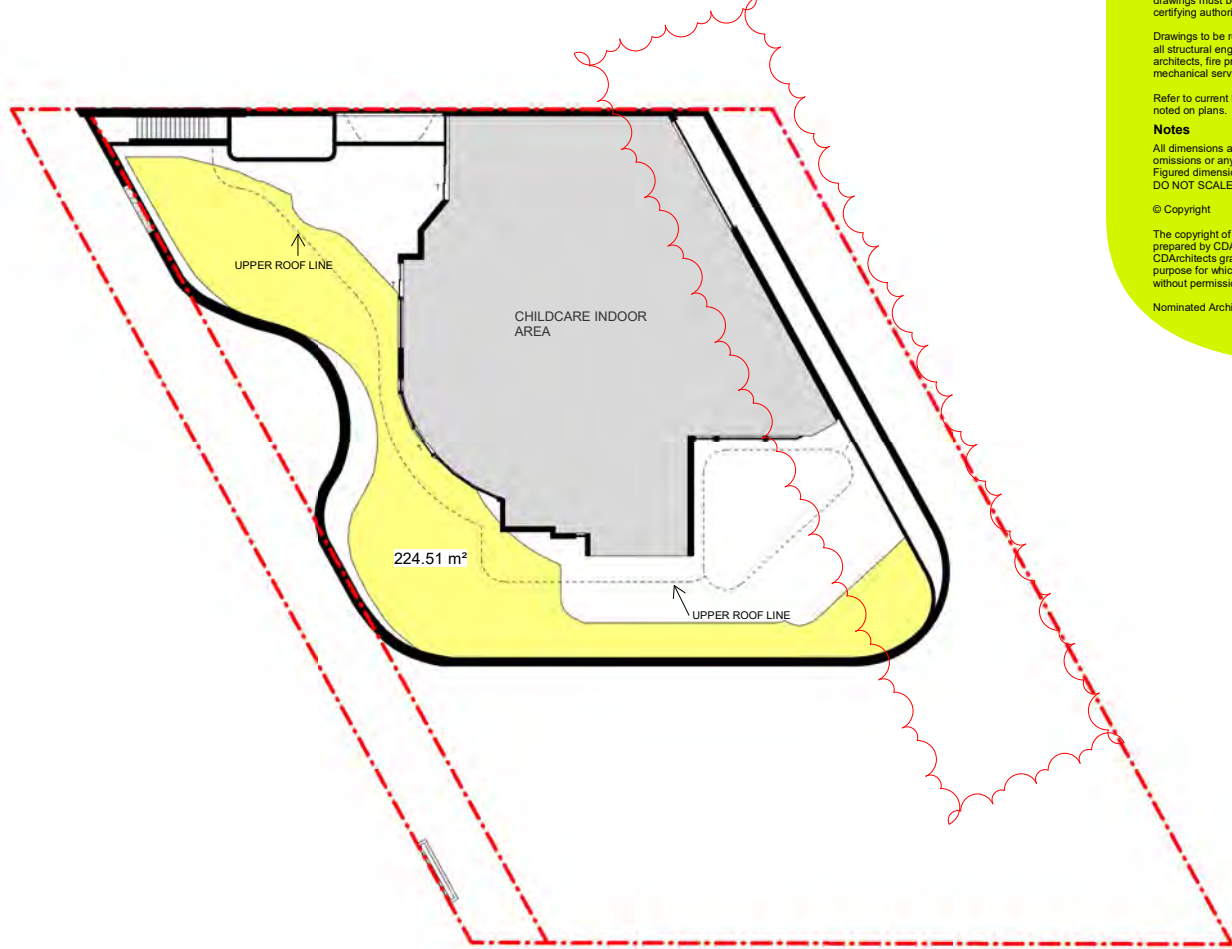
ZC

JULY, 2024





1 SOLAR STUDY -11AM JUNE 21



2 11AM SOLAR CHILD CARE ACCESS PLAN  
1 : 200

CHILDCARE PLANNING GUIDELINE - DELIVERING  
QUALITY CHILDCARE FOR NSW - SEPTEMBER 2021

Outdoor play areas should:

- Have a minimum of 2 hours of solar access between 8:00am and 4:00 pm during winter months, for at least 30%(126m²) of the 420m² of outdoor space per child required.

TOTAL (60 KIDS)

| TIME | MINUMUM AREA REQUIRED | PROPOSED AREA | % OF REQUIRED CHILDCARE OUTDOOR.AREA |
|------|-----------------------|---------------|--------------------------------------|
| 8am  | 126 m²                | 0 m²          | 0 %                                  |
| 9am  | 126 m²                | 125.20 m²     | 29.81 %                              |
| 10am | 126 m²                | 169.76 m²     | 40.42 %                              |
| 11am | 126 m²                | 224.51 m²     | 53.45 %                              |
| 12pm | 126 m²                | 251.73 m²     | 59.93 %                              |
| 1pm  | 126 m²                | 268.68 m²     | 63.97 %                              |
| 2pm  | 126 m²                | 273.18 m²     | 65.04 %                              |
| 3pm  | 126 m²                | 242.74 m²     | 57.8 %                               |
| 4pm  | 134.4 m²              | 116.61 m²     | 27.76 %                              |

SOLAR ACCESS TO THE CHILDCARE OUTDOOR AREA - 21st JUNE

MINIMUM REQUIRED OUTDOOR AREA

420m²

TARGET COMPLIANCE AREA REQUIRED

MINIMUM 2hrs OF SOLAR ACCESS TO 30% OF MINIMUM  
OUTDOOR AREA (BETWEEN 8am - 4pm WINTER MONTHS)

MINIMUM OUTDOOR AREA TO RECEIVE SOLAR

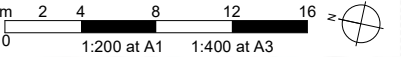
126m²

OUTDOOR CHILDCARE AREA RECEIVING SOLAR



**References**  
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Nominated Architect: Liljana Emilova 7887, ABN 24 243 205 327

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C 23/04/2025 GENERAL AMENDMENT  
B 01/20/2025 GENERAL AMENDMENT



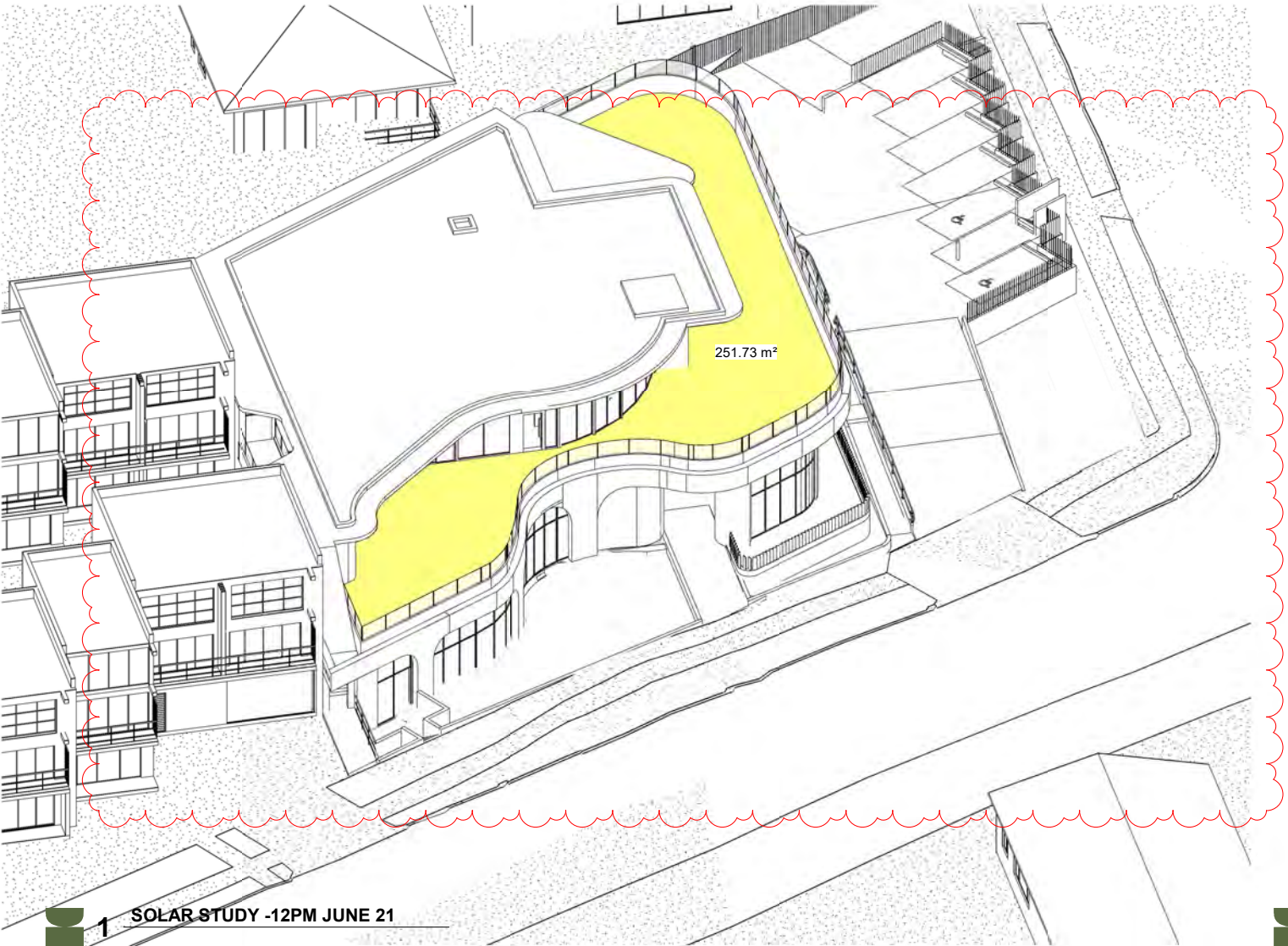
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Project  
**PROPOSED MIXED USE  
DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107  
Drawing Title  
**SUN ANGLE VIEWS 21 JUNE  
11am**  
Project Stage  
**DA Submission**  
Job no. Drawing no. Rev.  
**J23587D DA6024 D**  
Drawn by Checked by Approved by Date  
GH RJ ZC JULY, 2024





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**CHILDCARE PLANNING GUIDELINE - DELIVERING QUALITY CHILDCARE FOR NSW - SEPTEMBER 2021**

**Outdoor play areas should:**

- Have a minimum of 2 hours of solar access between 8:00am and 4:00 pm during winter months, for at least 30%(126m²) of the 420m² of outdoor space per child required.

**TOTAL (60 KIDS)**

| TIME | MINIMUM AREA REQUIRED | PROPOSED AREA | % OF REQUIRED CHILDCARE OUTDOOR AREA |
|------|-----------------------|---------------|--------------------------------------|
| 8am  | 126 m²                | 0 m²          | 0 %                                  |
| 9am  | 126 m²                | 125.20 m²     | 29.81 %                              |
| 10am | 126 m²                | 169.76 m²     | 40.42 %                              |
| 11am | 126 m²                | 224.51 m²     | 53.45 %                              |
| 12pm | 126 m²                | 251.73 m²     | 59.93 %                              |
| 1pm  | 126 m²                | 268.68 m²     | 63.97 %                              |
| 2pm  | 126 m²                | 273.18 m²     | 65.04 %                              |
| 3pm  | 126 m²                | 242.74 m²     | 57.8 %                               |
| 4pm  | 134.4 m²              | 116.61 m²     | 27.76 %                              |

D 13/06/2025 GENERAL AMENDMENT  
C 23/04/2025 GENERAL AMENDMENT  
B 01/20/2025 GENERAL AMENDMENT

m 2 4 8 12 16  
0 1:200 at A1 1:400 at A3

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W: cdarchitects.ae

Australian Institute of Architects

**SOLAR ACCESS TO THE CHILDCARE OUTDOOR AREA - 21st JUNE**

MINIMUM REQUIRED OUTDOOR AREA

420m²

TARGET COMPLIANCE AREA REQUIRED

MINIMUM 2hrs OF SOLAR ACCESS TO 30% OF MINIMUM OUTDOOR AREA (BETWEEN 8am - 4pm WINTER MONTHS)

MINIMUM OUTDOOR AREA TO RECEIVE SOLAR

126m²

OUTDOOR CHILDCARE AREA RECEIVING SOLAR

Project  
**PROPOSED MIXED USE DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH, NEW SOUTH WALES 2107

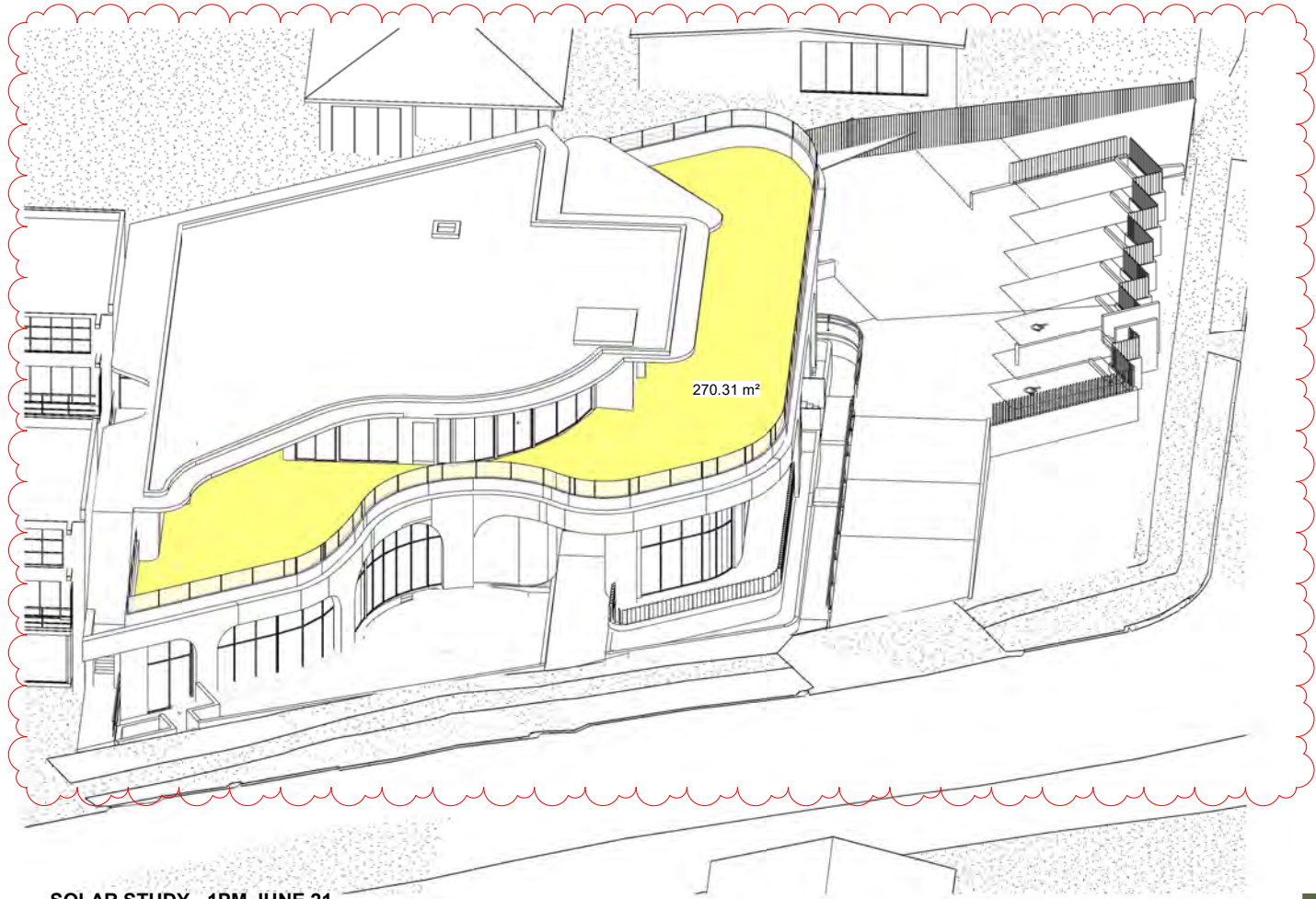
Drawing Title  
**SUN ANGLE VIEWS 21 JUNE 12PM**

Project Stage  
**DA Submission**

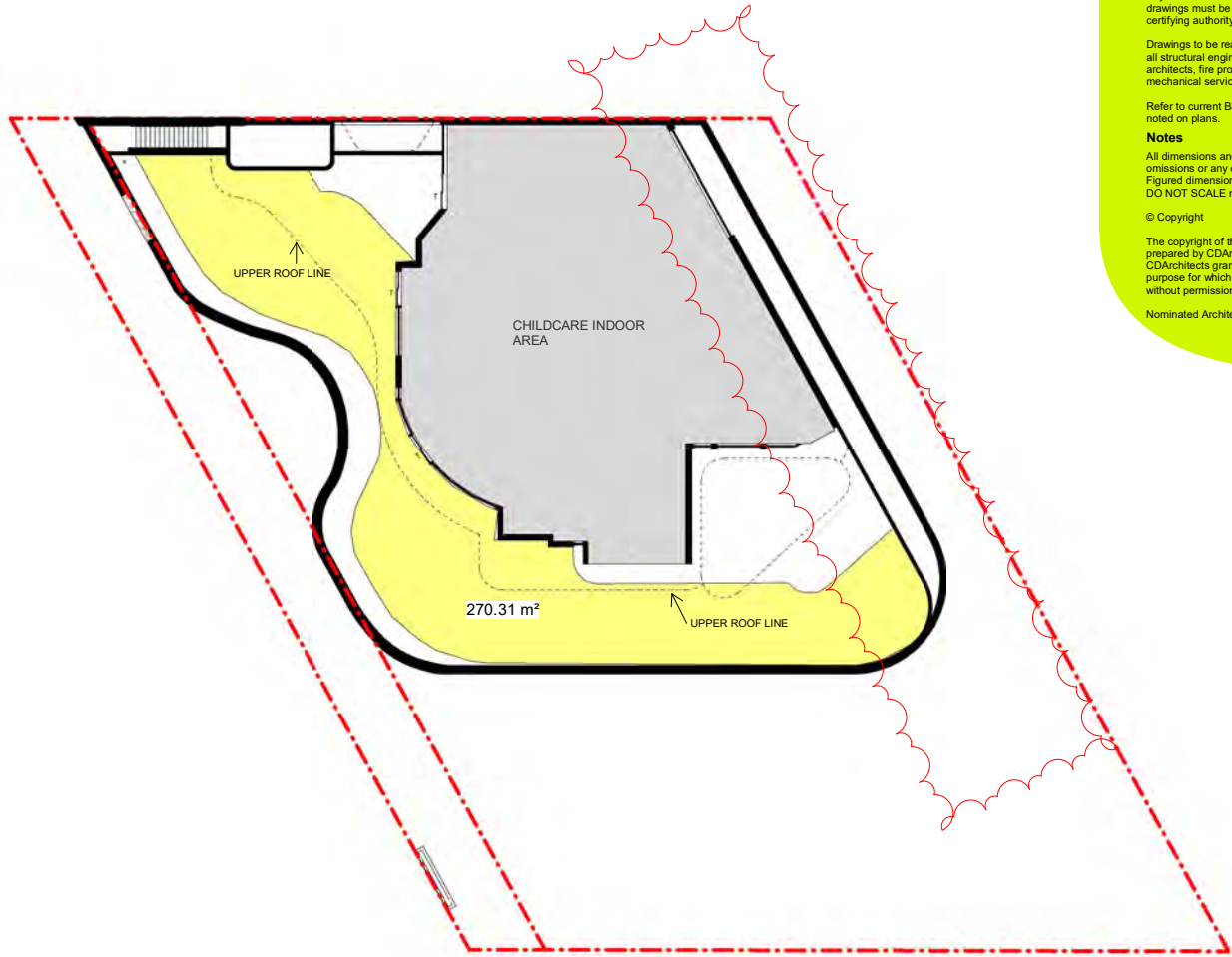
Job no. Drawing no. Rev.  
**J23587D DA6025 D**

Drawn by Checked by Approved by Date  
GH RJ ZC JULY, 2024





2 SOLAR STUDY - 1PM JUNE 21



1 1PM SOLAR CHILD CARE ACCESS PLAN  
1 : 200

CHILDCARE PLANNING GUIDELINE - DELIVERING  
QUALITY CHILDCARE FOR NSW - SEPTEMBER 2021

Outdoor play areas should:

- Have a minimum of 2 hours of solar access between 8:00am and 4:00 pm during winter months, for at least 30%(126m²) of the 420m² of outdoor space per child required.

TOTAL (60 KIDS)

| TIME | MINUMUM AREA REQUIRED | PROPOSED AREA | % OF REQUIRED CHILDCARE OUTDOOR AREA |
|------|-----------------------|---------------|--------------------------------------|
| 8am  | 126 m²                | 0 m²          | 0 %                                  |
| 9am  | 126 m²                | 125.20 m²     | 29.81 %                              |
| 10am | 126 m²                | 169.76 m²     | 40.42 %                              |
| 11am | 126 m²                | 224.51 m²     | 53.45 %                              |
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| 2pm  | 126 m²                | 273.18 m²     | 65.04 %                              |
| 3pm  | 126 m²                | 242.74 m²     | 57.8 %                               |
| 4pm  | 134.4 m²              | 116.61 m²     | 27.76 %                              |

SOLAR ACCESS TO THE CHILDCARE OUTDOOR AREA - 21st JUNE

MINIMUM REQUIRED OUTDOOR AREA

420m²

TARGET COMPLIANCE AREA REQUIRED

MINIMUM 2hrs OF SOLAR ACCESS TO 30% OF MINIMUM OUTDOOR AREA (BETWEEN 8am - 4pm WINTER MONTHS)

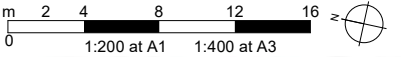
MINIMUM OUTDOOR AREA TO RECEIVE SOLAR

126m²

OUTDOOR CHILDCARE AREA RECEIVING SOLAR

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Nominated Architect: Liljana Emilova 7887, ABN 24 243 205 327

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C 23/04/2025 GENERAL AMENDMENT  
B 01/20/2025 GENERAL AMENDMENT



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Project

**PROPOSED MIXED USE DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title

**SUN ANGLE VIEWS 21 JUNE 1PM**

Project Stage

**DA Submission**

Job no.

J23587D

Drawing no.

DA6026

Rev.

D

Drawn by

GH

Checked by

RJ

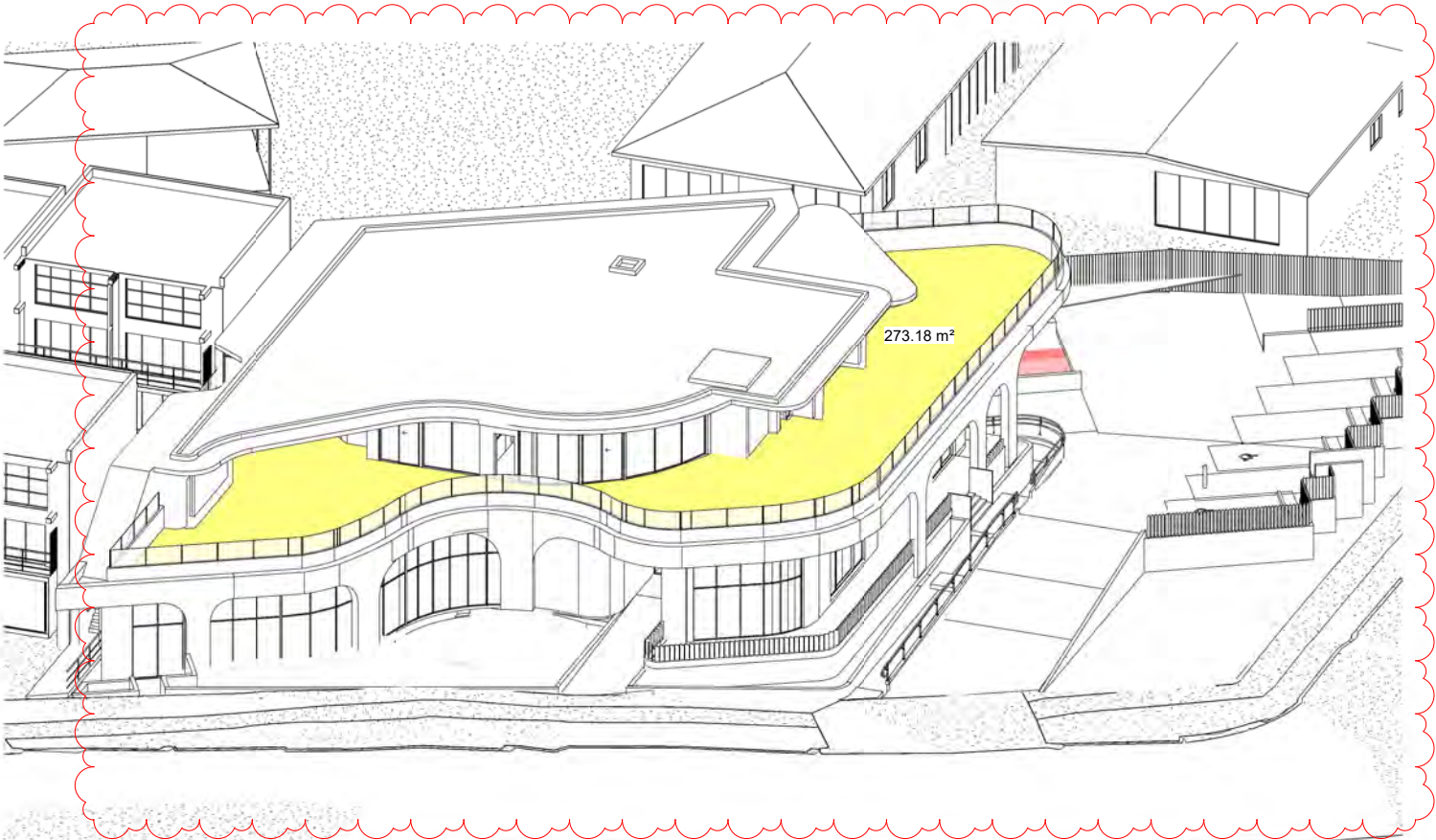
Approved by

ZC

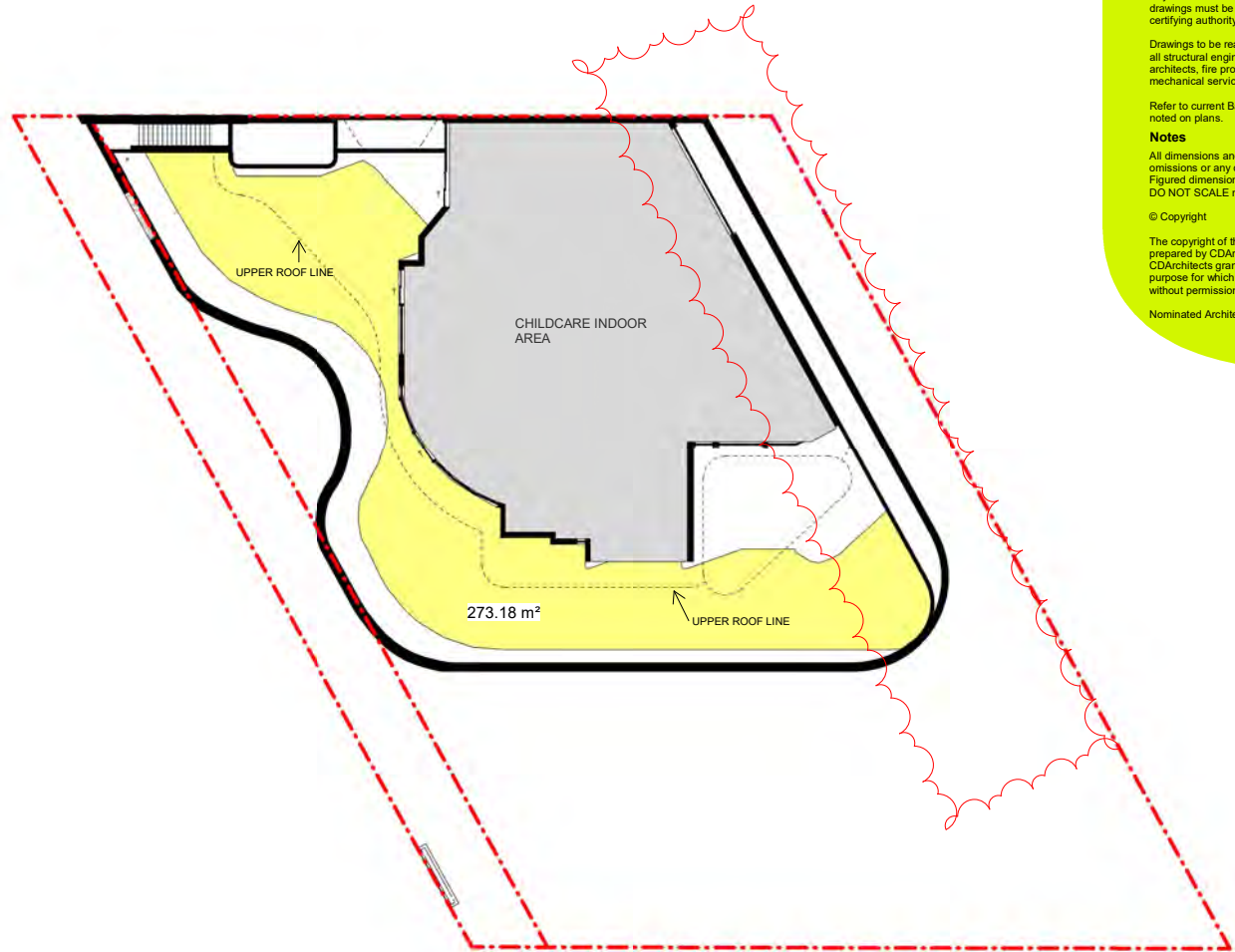
Date

JULY, 2024





1 SOLAR STUDY - 2PM JUNE 21



2 2PM SOLAR CHILD CARE ACCESS PLAN  
1 : 200

CHILDCARE PLANNING GUIDELINE - DELIVERING  
QUALITY CHILDCARE FOR NSW - SEPTEMBER 2021

Outdoor play areas should:

- Have a minimum of 2 hours of solar access between 8:00am and 4:00 pm during winter months, for at least 30%(126m²) of the 420m² of outdoor space per child required.

TOTAL (60 KIDS)

| TIME | MINIMUM AREA REQUIRED | PROPOSED AREA | % OF REQUIRED CHILDCARE OUTDOOR AREA |
|------|-----------------------|---------------|--------------------------------------|
| 8am  | 126 m²                | 0 m²          | 0 %                                  |
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| 3pm  | 126 m²                | 242.74 m²     | 57.8 %                               |
| 4pm  | 134.4 m²              | 116.61 m²     | 27.76 %                              |

SOLAR ACCESS TO THE CHILDCARE OUTDOOR AREA - 21st JUNE

MINIMUM REQUIRED OUTDOOR AREA

420m²

TARGET COMPLIANCE AREA REQUIRED

MINIMUM 2hrs OF SOLAR ACCESS TO 30% OF MINIMUM OUTDOOR AREA (BETWEEN 8am - 4pm WINTER MONTHS)

MINIMUM OUTDOOR AREA TO RECEIVE SOLAR

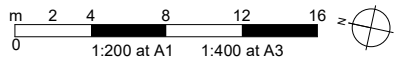
126m²

OUTDOOR CHILDCARE AREA RECEIVING SOLAR



**References**  
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B 01/20/2025 GENERAL AMENDMENT



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Project

**PROPOSED MIXED USE DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title

**SUN ANGLE VIEWS 21 JUNE 2PM**

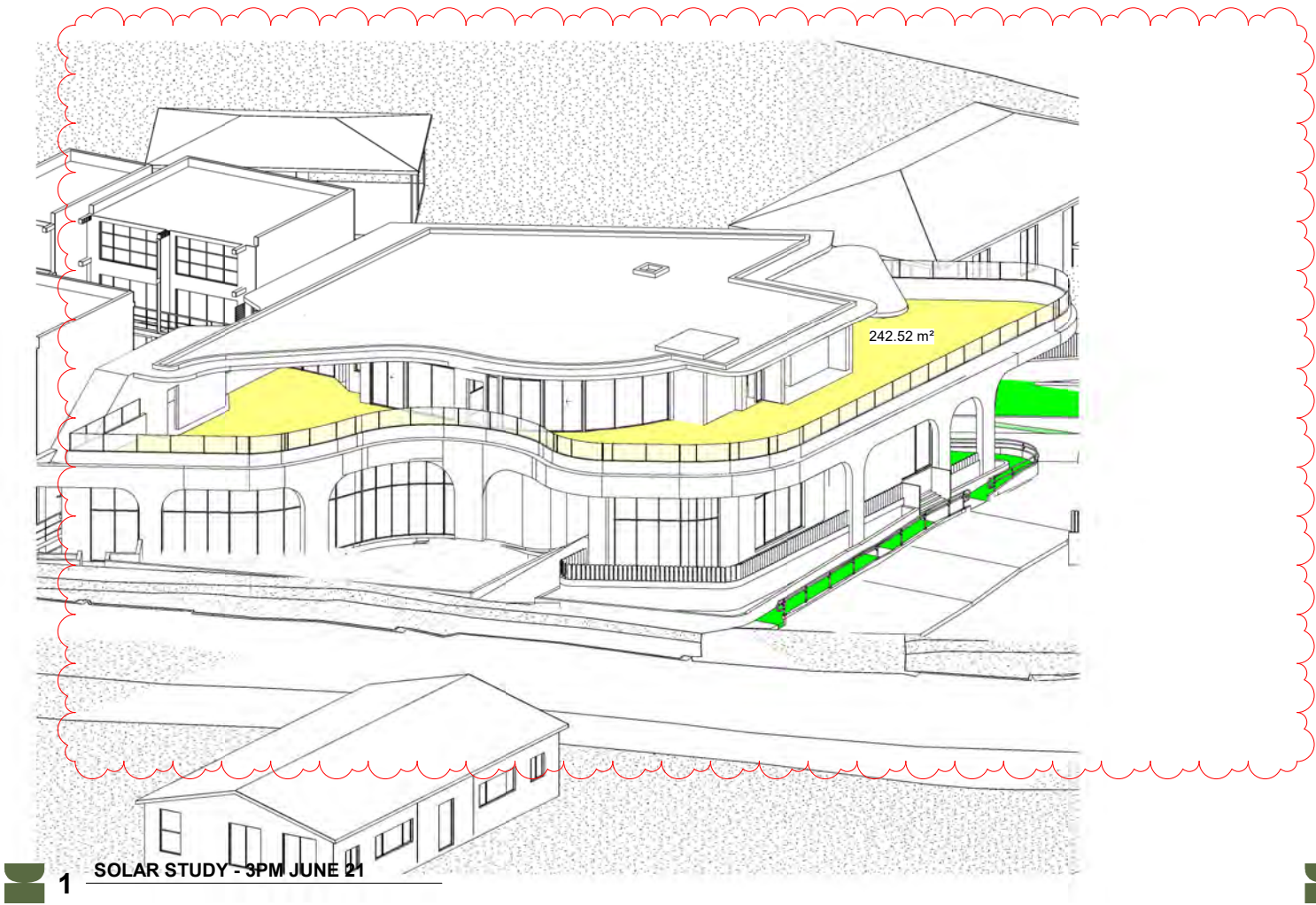
Project Stage

**DA Submission**

|         |             |      |
|---------|-------------|------|
| Job no. | Drawing no. | Rev. |
| J23587D | DA6027      | D    |

|          |            |             |            |
|----------|------------|-------------|------------|
| Drawn by | Checked by | Approved by | Date       |
| GH       | RJ         | ZC          | JULY, 2024 |





## CHILDCARE PLANNING GUIDELINE - DELIVERING QUALITY CHILDCARE FOR NSW - SEPTEMBER 2021

### Outdoor play areas should:

- Have a minimum of 2 hours of solar access between 8:00am and 4:00 pm during winter months, for at least 30%(126m<sup>2</sup>) of the 420m<sup>2</sup> of outdoor space per child required.

## SOLAR ACCESS TO THE CHILDCARE OUTDOOR AREA - 21st JUNE

MINIMUM REQUIRED OUTDOOR AREA

420m<sup>2</sup>

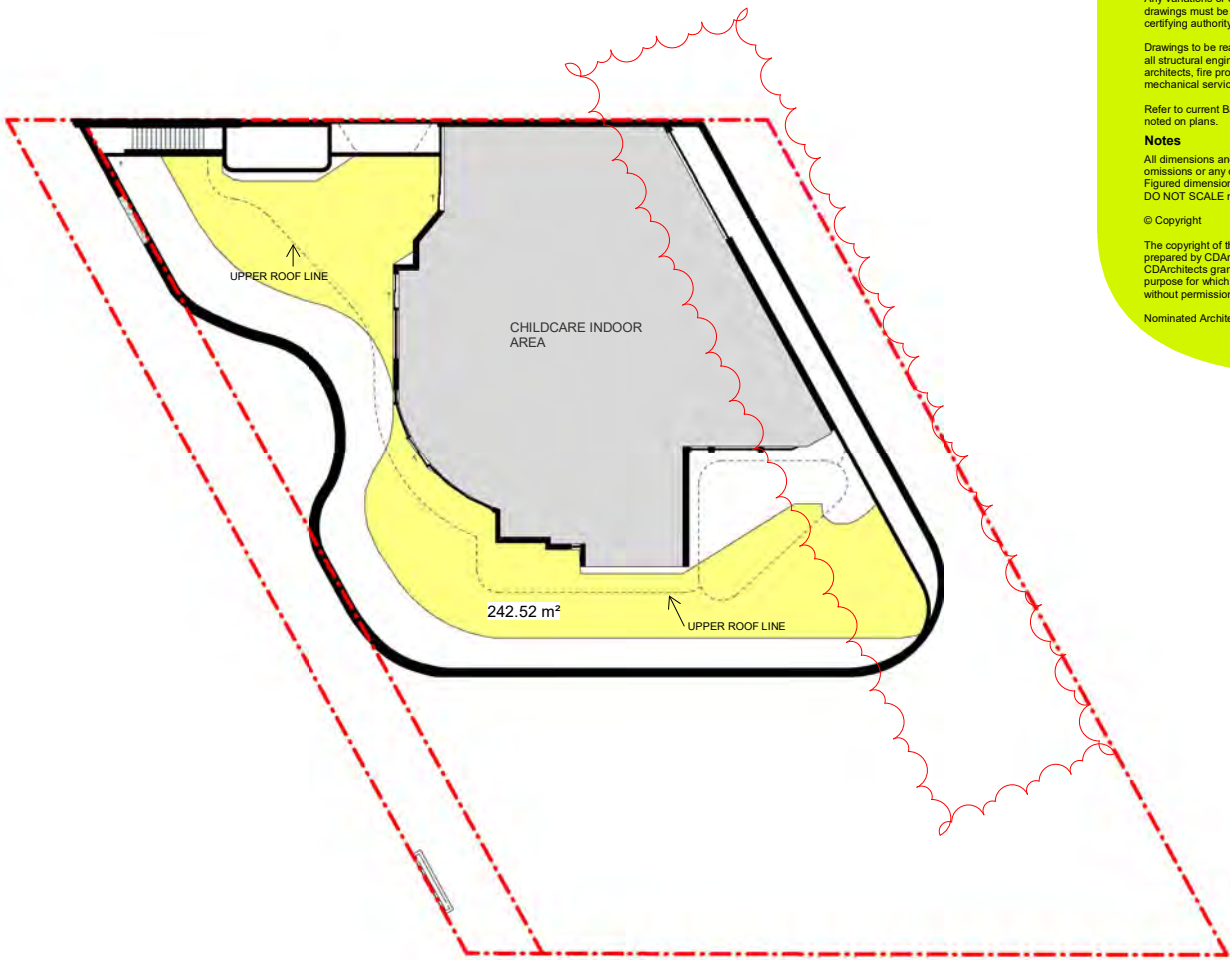
TARGET COMPLIANCE AREA REQUIRED

MINIMUM 2hrs OF SOLAR ACCESS TO 30% OF MINIMUM OUTDOOR AREA (BETWEEN 8am - 4pm WINTER MONTHS)

MINIMUM OUTDOOR AREA TO RECEIVE SOLAR

126m<sup>2</sup>

OUTDOOR CHILDCARE AREA RECEIVING SOLAR



2 3PM SOLAR CHILD CARE ACCESS PLAN  
1 : 200

### TOTAL (60 KIDS)

| TIME | MINIMUM AREA REQUIRED | PROPOSED AREA         | % OF REQUIRED CHILDCARE OUTDOOR AREA |
|------|-----------------------|-----------------------|--------------------------------------|
| 8am  | 126 m <sup>2</sup>    | 0 m <sup>2</sup>      | 0 %                                  |
| 9am  | 126 m <sup>2</sup>    | 125.20 m <sup>2</sup> | 29.81 %                              |
| 10am | 126 m <sup>2</sup>    | 169.76 m <sup>2</sup> | 40.42 %                              |
| 11am | 126 m <sup>2</sup>    | 224.51 m <sup>2</sup> | 53.45 %                              |
| 12pm | 126 m <sup>2</sup>    | 251.73 m <sup>2</sup> | 59.93 %                              |
| 1pm  | 126 m <sup>2</sup>    | 268.68 m <sup>2</sup> | 63.97 %                              |
| 2pm  | 126 m <sup>2</sup>    | 273.18 m <sup>2</sup> | 65.04 %                              |
| 3pm  | 126 m <sup>2</sup>    | 242.74 m <sup>2</sup> | 57.8 %                               |
| 4pm  | 134.4 m <sup>2</sup>  | 116.61 m <sup>2</sup> | 27.76 %                              |

#### References

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#### Notes

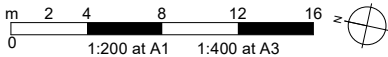
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C 23/04/2025 GENERAL AMENDMENT  
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Project

#### PROPOSED MIXED USE DEVELOPMENT

1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title

#### SUN ANGLE VIEWS 21 JUNE 3PM

Project Stage

#### DA Submission

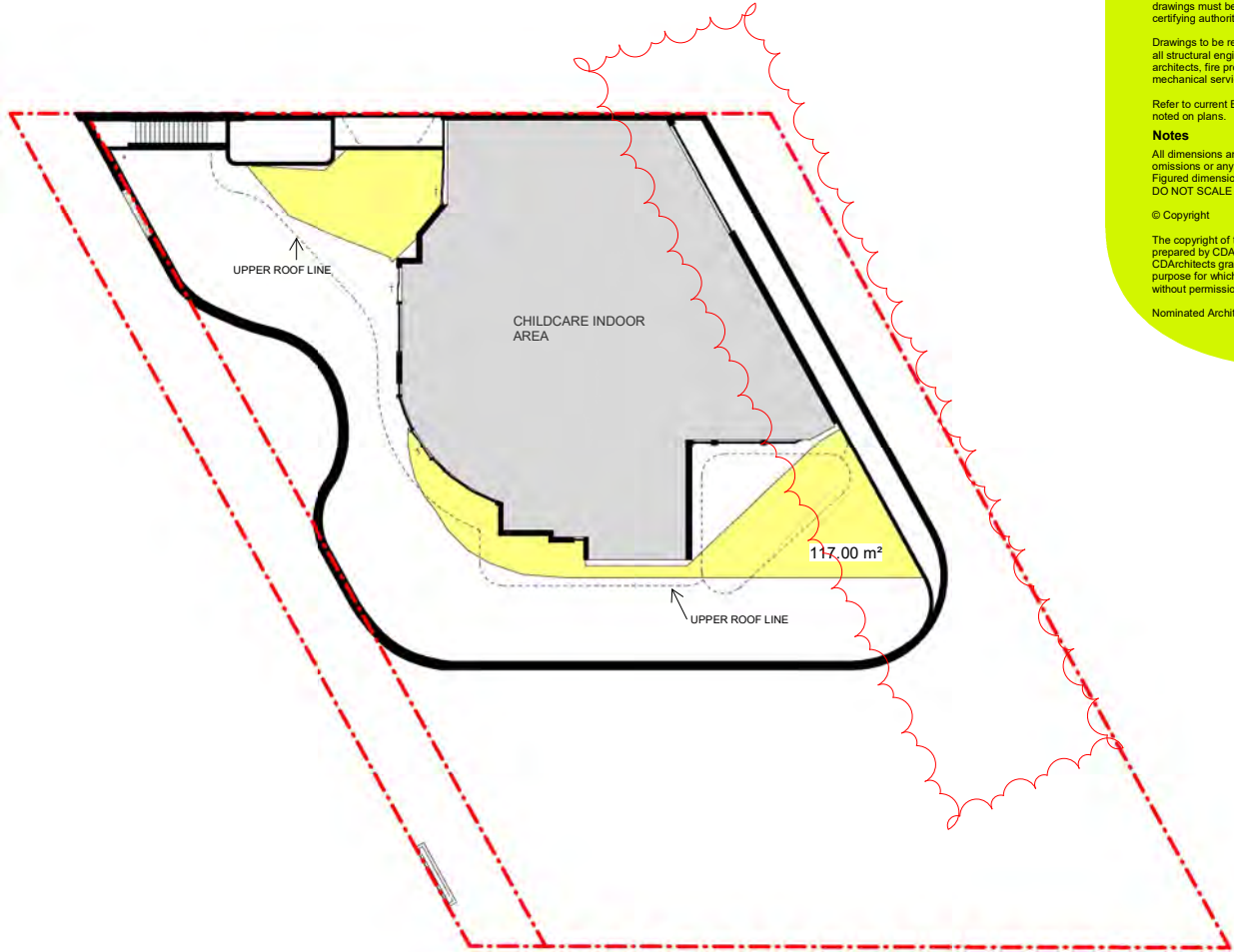
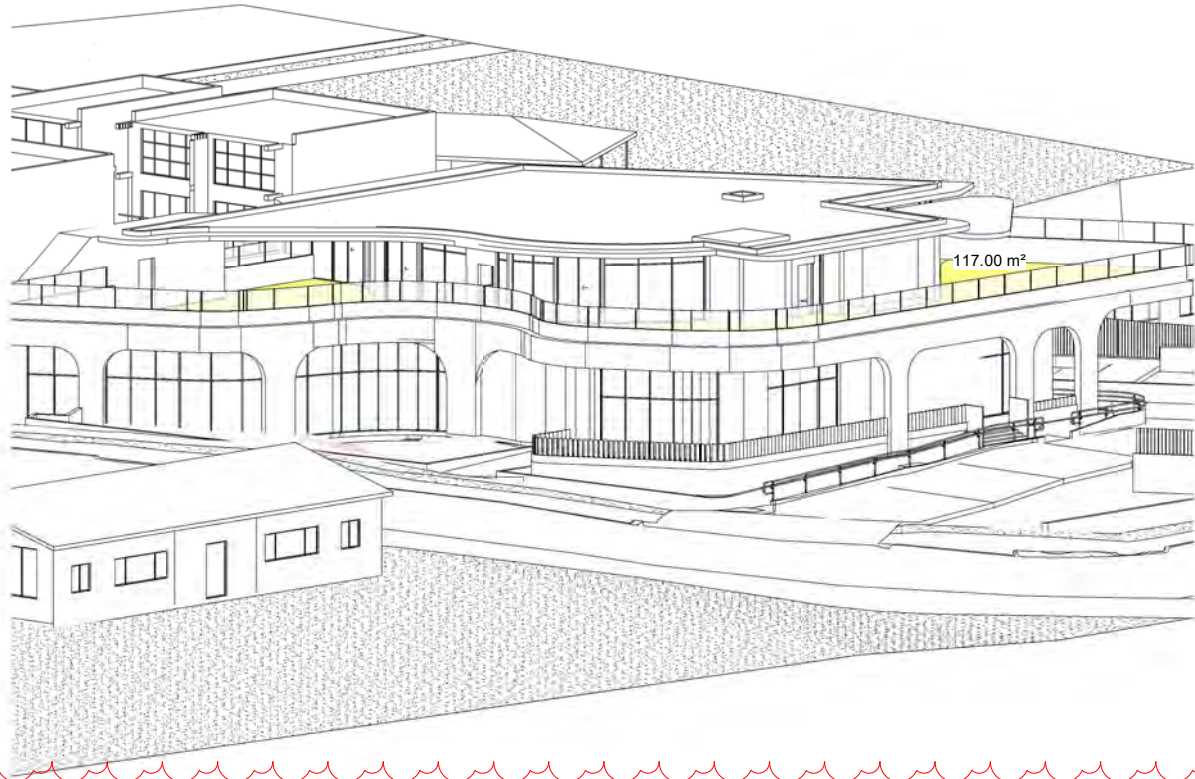
Job no. Drawing no. Rev.

J23587D DA6028 D

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1 SOLAR STUDY - 4PM JUNE 21

CHILDCARE PLANNING GUIDELINE - DELIVERING QUALITY CHILDCARE FOR NSW - SEPTEMBER 2021

Outdoor play areas should:

- Have a minimum of 2 hours of solar access between 8:00am and 4:00 pm during winter months, for at least 30%(126m²) of the 420m² of outdoor space per child required.

2 4PM SOLAR CHILD CARE ACCESS PLAN 1 : 200

| TOTAL (60 KIDS) |                       |               |                                      |
|-----------------|-----------------------|---------------|--------------------------------------|
| TIME            | MINIMUM AREA REQUIRED | PROPOSED AREA | % OF REQUIRED CHILDCARE OUTDOOR AREA |
| 8am             | 126 m²                | 0 m²          | 0 %                                  |
| 9am             | 126 m²                | 125.20 m²     | 29.81 %                              |
| 10am            | 126 m²                | 169.76 m²     | 40.42 %                              |
| 11am            | 126 m²                | 224.51 m²     | 53.45 %                              |
| 12pm            | 126 m²                | 251.73 m²     | 59.93 %                              |
| 1pm             | 126 m²                | 268.68 m²     | 63.97 %                              |
| 2pm             | 126 m²                | 273.18 m²     | 65.04 %                              |
| 3pm             | 126 m²                | 242.74 m²     | 57.8 %                               |
| 4pm             | 134.4 m²              | 116.61 m²     | 27.76 %                              |

D 13/06/2025 GENERAL AMENDMENT  
C 23/04/2025 GENERAL AMENDMENT  
B 01/20/2025 GENERAL AMENDMENT

m 2 4 8 12 16  
0 1:200 at A1 1:400 at A3



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SOLAR ACCESS TO THE CHILDCARE OUTDOOR AREA - 21st JUNE

MINIMUM REQUIRED OUTDOOR AREA

TARGET COMPLIANCE AREA REQUIRED


MINIMUM OUTDOOR AREA TO RECEIVE SOLAR

OUTDOOR CHILDCARE AREA RECEIVING SOLAR

420m²

MINIMUM 2hrs OF SOLAR ACCESS TO 30% OF MINIMUM OUTDOOR AREA (BETWEEN 8am - 4pm WINTER MONTHS)

126m²



Project

**PROPOSED MIXED USE DEVELOPMENT**

1 & 3 CAREEL HEAD ROAD, AVALON BEACH, NEW SOUTH WALES 2107

Drawing Title

**SUN ANGLE VIEWS 21 JUNE 4PM**

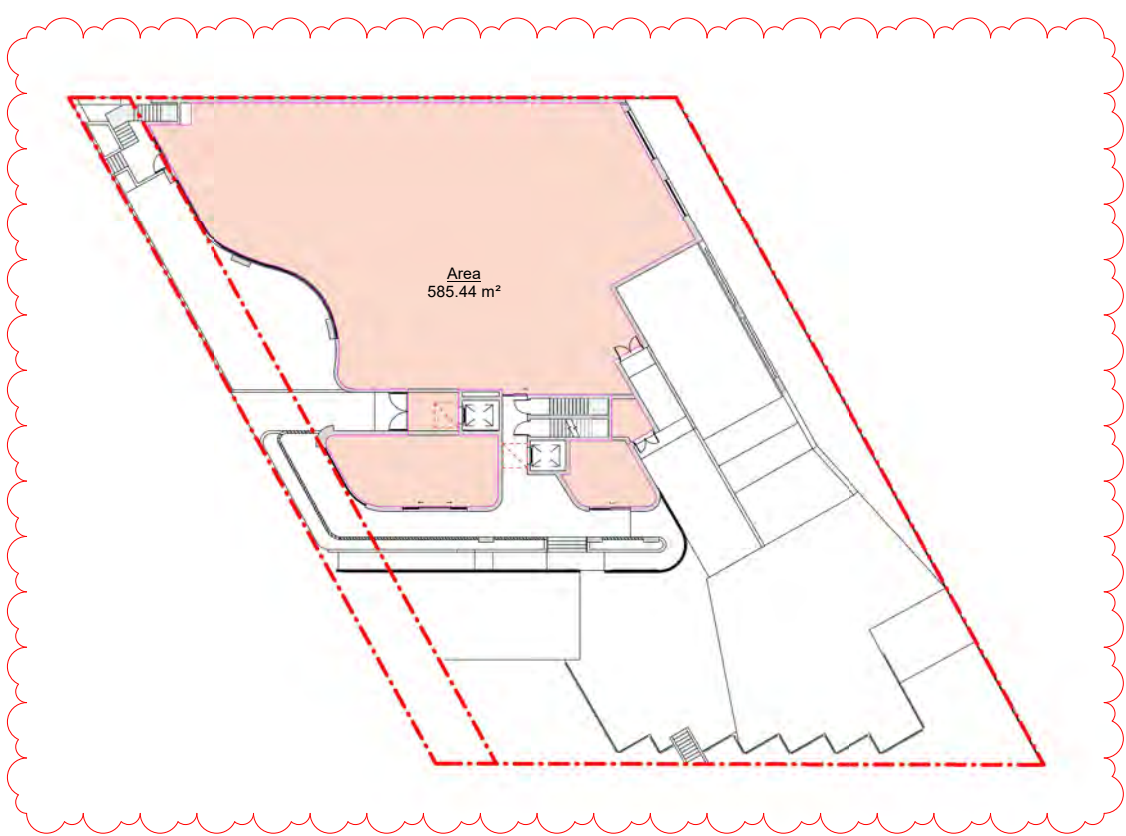
Project Stage

**DA Submission**

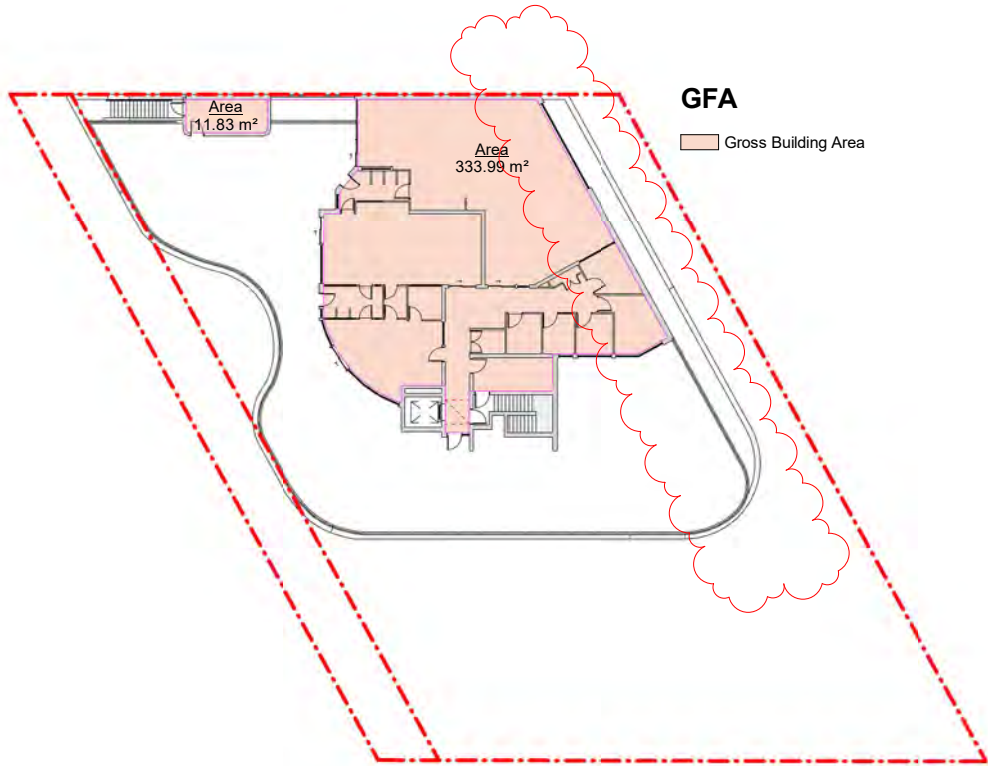
Job no. Drawing no. Rev.  
**J23587D DA6029 D**

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GH RJ ZC JULY 2024





1 GROUND LEVEL  
1 : 250



2 LEVEL 01  
1 : 250

| GFA AREA SCHEDULE |           |
|-------------------|-----------|
| GROUND LEVEL      | 585.44 m² |
| LEVEL 01          | 345.82 m² |
| TOTAL             | 931.26 m² |

AREA CALCULATIONS - FLOOR SPACE RATIO

ZONE R2 - Low Density Residential:

SITE AREA 1771.2 m²

PERMISSIBLE FLOOR SPACE RATIO NA  
PERMISSIBLE GFA NA

PROPOSED FLOOR SPACE RATIO 0.53:1  
PROPOSED RESIDENTIAL GFA NA  
PROPOSED GROUND FLOOR GFA 585.44m²  
TOTAL GFA 931.26m²

PITTWATER LOCAL ENVIRONMENTAL PLAN 2014

|                                 |                               |
|---------------------------------|-------------------------------|
| SITE AREA                       | 1771.2m²                      |
| ZONING                          | E1 - LOCAL CENTRE             |
| RELEVANT CONTROLS               | NA                            |
| COUNCIL                         | PIT WATER COUNCIL             |
| LOT / DP No.                    | SP 32656 & LOT B IN DP 385673 |
| FSR                             | N.A                           |
| HEIGHT OF BUILDING              | 8.5 m                         |
| HERITAGE                        | NOT AFFECTED                  |
| ACID SULPHATE SOILS             | Class 5                       |
| KEY SITE                        | NOT AFFECTED                  |
| FLOOD PLANNING AREA             | AFFECTED                      |
| LAND RESERVATION ACQUISITION    | NOT AFFECTED                  |
| NATURAL RESOURCE - BIODIVERSITY | NOT AFFECTED                  |
| FORESHORE BUILDING LINE         | NOT AFFECTED                  |

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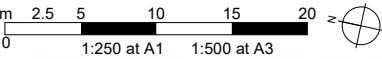
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PROPOSED MIXED USE  
DEVELOPMENT

1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title

GFA CALCULATION

Project Stage

DA Submission

Job no. Drawing no. Rev.

J23587D DA7001 D

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- A 15/07/2024 DA SUBMISSION



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PROPOSED MIXED USE  
DEVELOPMENT

1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title

3D STREET VIEW 1

Project Stage

DA Submission

Job no. Drawing no. Rev.

J23587D DA7033 C

Drawn by Checked by Approved by Date

GH RJ ZC JULY, 2024



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**PROPOSED MIXED USE  
DEVELOPMENT**

1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title

**3D STREET VIEW 2**

Project Stage

**DA Submission**

Job no. Drawing no. Rev.

J23587D DA7034 C

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**PROPOSED MIXED USE DEVELOPMENT**

1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title

**3D STREET VIEW 3**

| Project Stage |             |             |            |
|---------------|-------------|-------------|------------|
| DA Submission |             |             |            |
| Job no.       | Drawing no. | Rev.        |            |
| J23587D       | DA7035      | C           |            |
| Drawn by      | Checked by  | Approved by | Date       |
| GH            | RJ          | ZC          | JULY, 2024 |





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MATERIAL LEGEND

|      | <varies>  |
|------|---|
| AWD1 | ALUMINIUM FRAME WINDOWS & DOORS - COLOUR 1            |
| CF3  | CONCRETE FINISH - SMOOTH                              |
| CG   | CLEAR GLASS   |
| FC1  | FLUTED CONCRETE                                       |
| OFC  | OFF-FORM CONCRETE - DULUX FINISH WHITE ON WHITE       |
| RP1  | RENDERED PAINT - DULUX NAPKIN WHITE                   |
| SC1  | SOLID ALUMINIUM SCREENS - DULUX FINISH WHITE ON WHITE |
| ST1  | STONE CLADDING  |

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PROPOSED MIXED USE DEVELOPMENT

1 & 3 CAREEL HEAD ROAD, AVALON BEACH, NEW SOUTH WALES 2107

Drawing Title

FINISHES SCHEDULE

Project Stage

DA Submission

Job no. Drawing no. Rev.

J23587D DA7041 C

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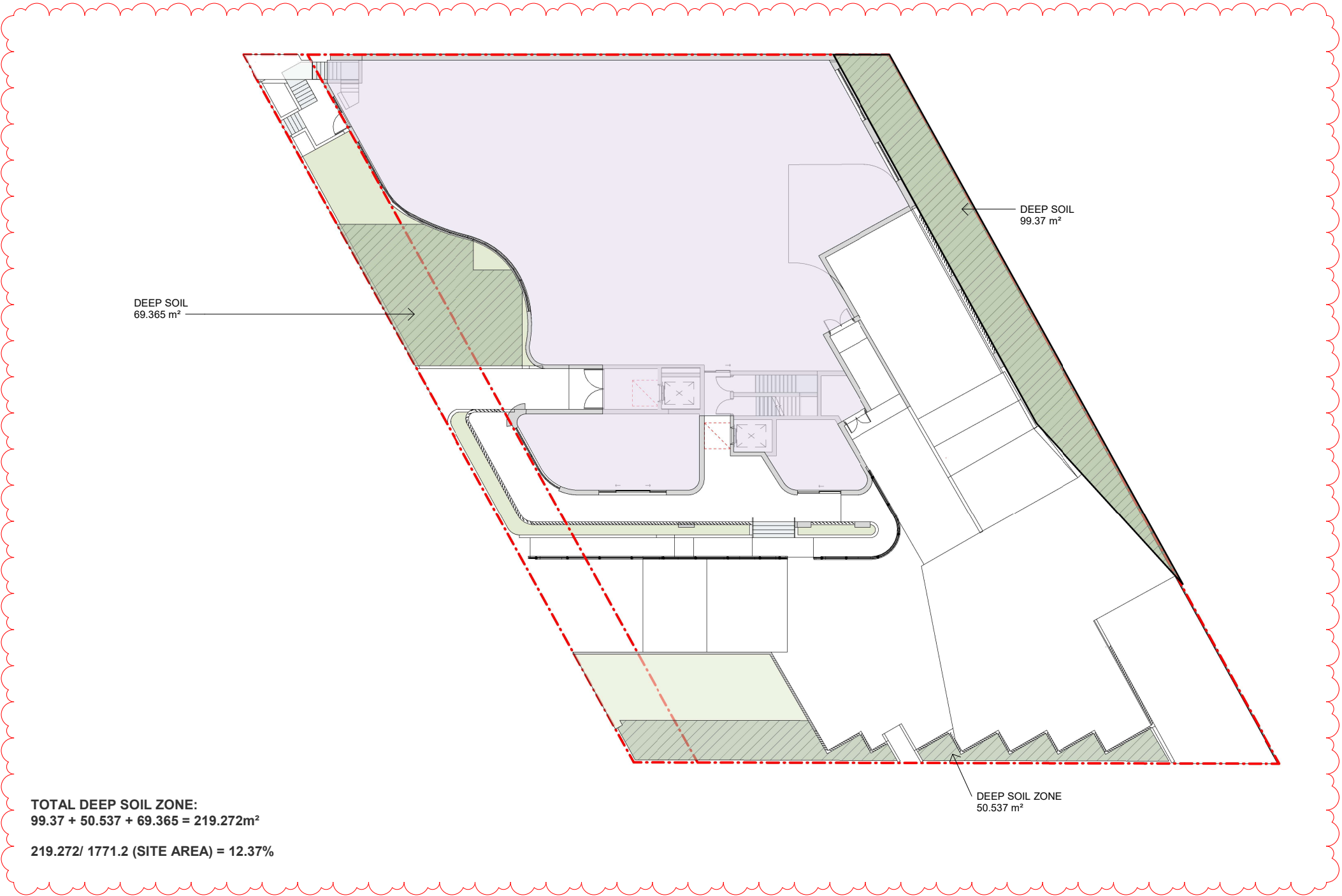
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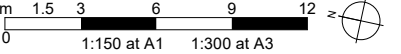
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Nominated Architect: Liljana Ermilova 7887, ABN 24 243 205 327

- LEGEND**
- BUILDING AREA
  - 50% OF DEEP SOIL ZONE AREA



- D 13/06/2025 GENERAL AMENDMENT  
C 23/04/2025 GENERAL AMENDMENT  
B 01/20/2025 GENERAL AMENDMENT



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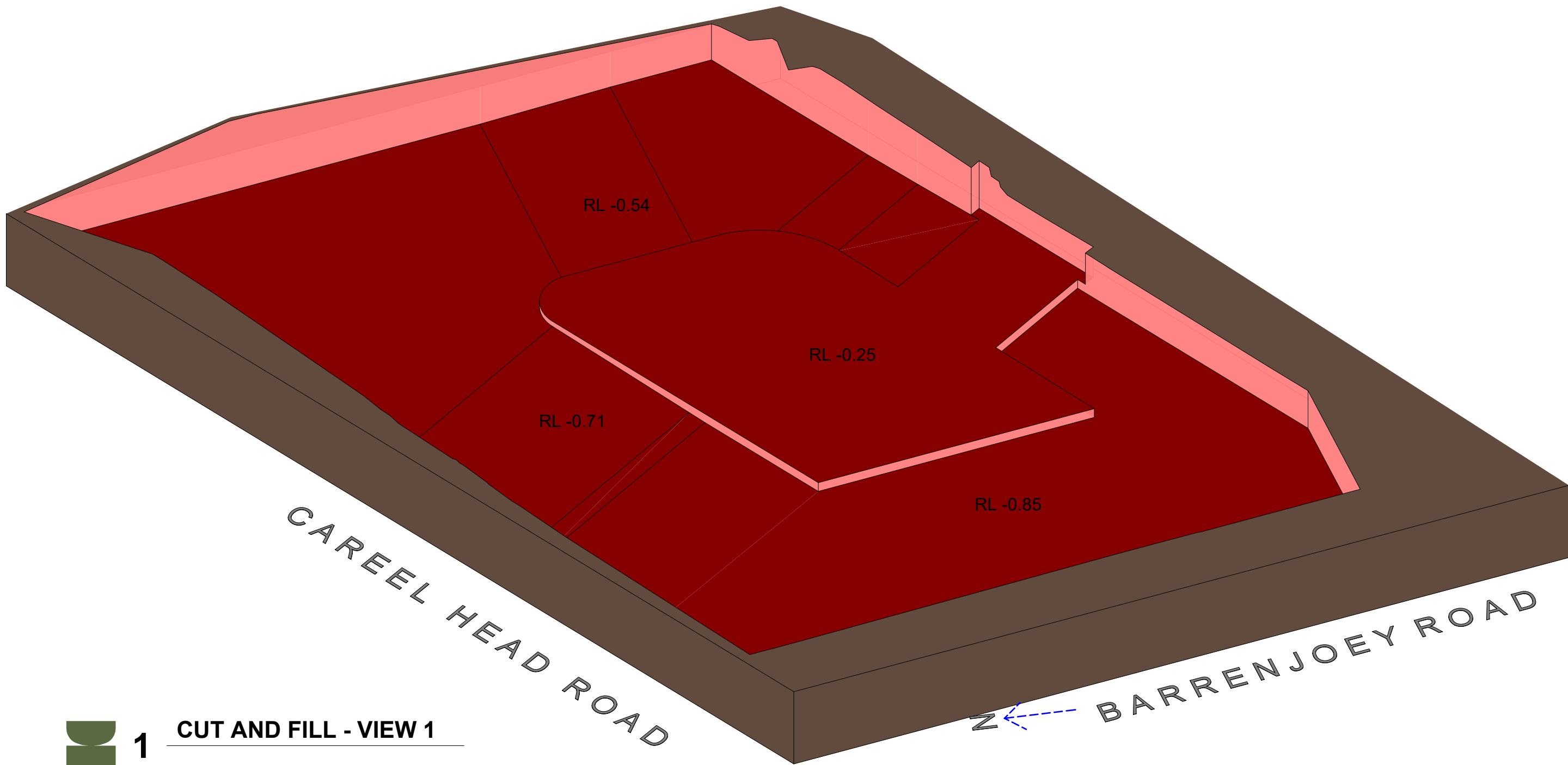
Project  
**PROPOSED MIXED USE DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title  
**DEEP SOIL ZONE**

Project Stage  
**DA Submission**

|                    |             |             |
|--------------------|-------------|-------------|
| Job no.            | Drawing no. | Rev.        |
| J23587D            | DA7051      | D           |
| Drawn by           | Checked by  | Approved by |
| GH                 | RJ          | ZC          |
| Date<br>JULY, 2024 |             |             |





1 CUT AND FILL - VIEW 1

| CUT AND FILL |             |                         |      |              |
|--------------|-------------|-------------------------|------|--------------|
| SITE         | Volume      | Total Excavation Volume | Fill | Comments     |
| Toposolid    | 10771.52 m³ |                         |      | 1. EXISTING  |
| Toposolid    | 6051.65 m³  | 4719.87 m³              |      | 2. AFTER CUT |

**References**

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m2481216

01:200 at A11:400 at A3

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PROPOSED MIXED USE  
DEVELOPMENT

1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title

CUT & FILL DIAGRAM

Project Stage

DA Submission

Job no.

Drawing no.

Rev.

J23587D

DA7081

A

Drawn by

Checked by

Approved by

Date

GH

RJ

ZC

JULY, 2024



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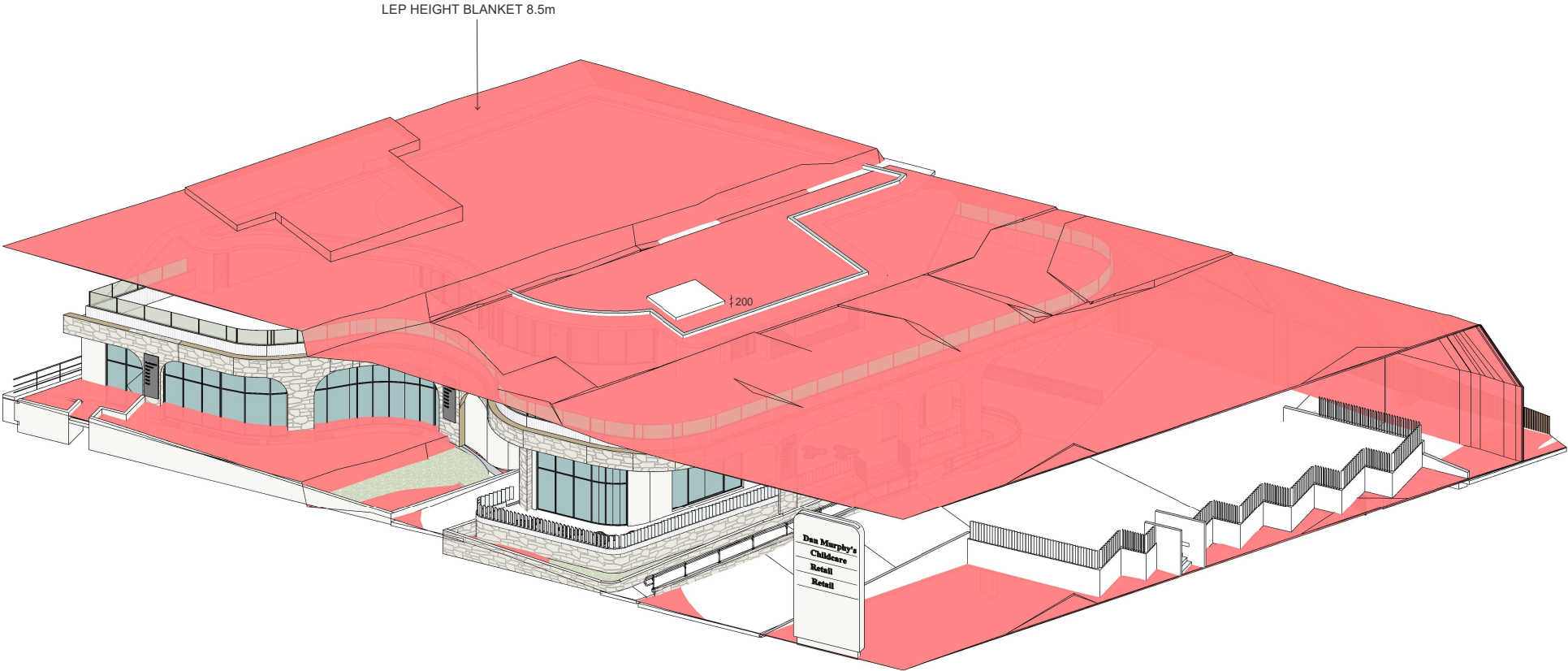
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B 01/20/2025 GENERAL AMENDMENT

m 1.5 3 6 9 12  
0 1:150 at A1 1:300 at A3



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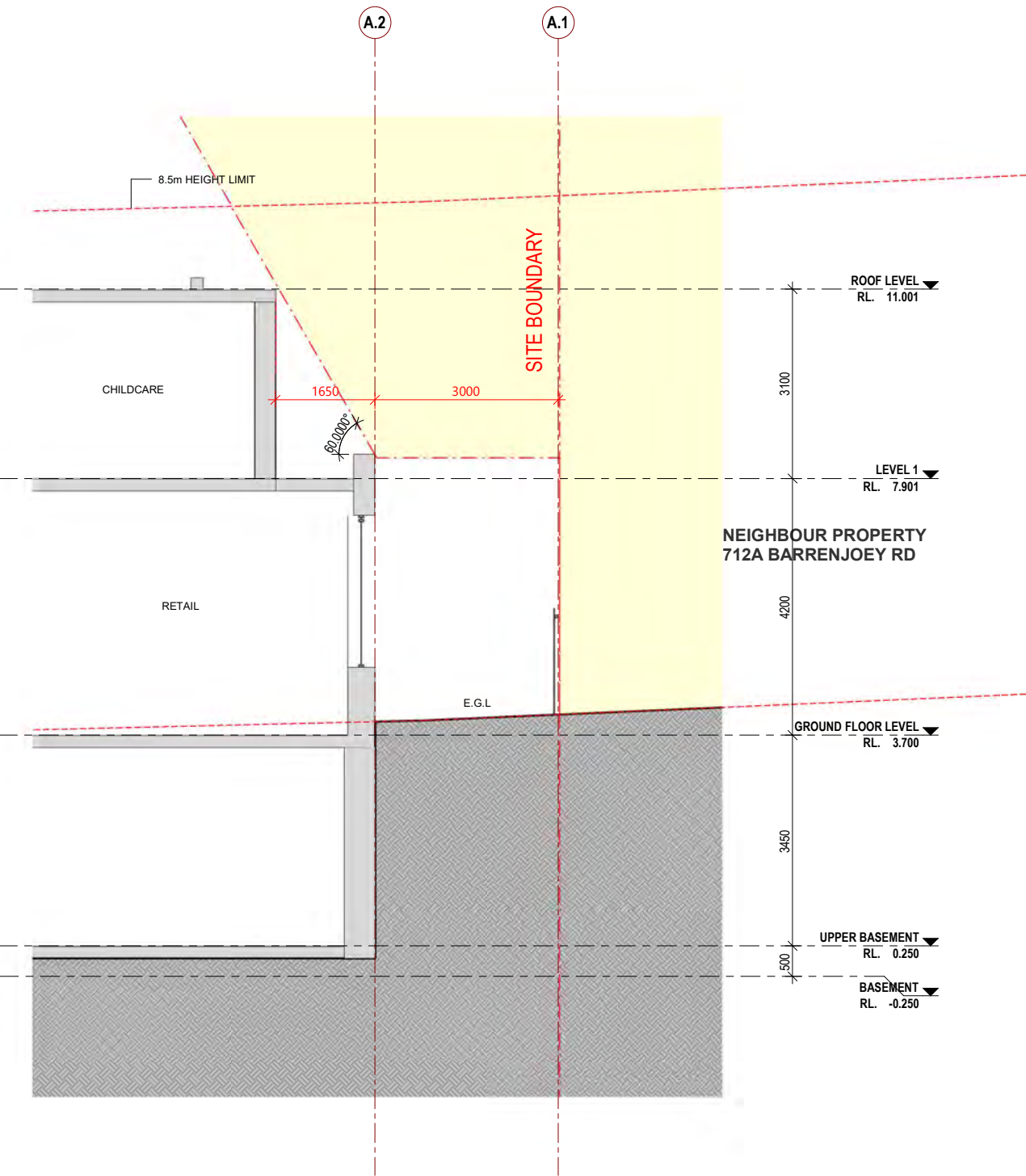
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Project  
**PROPOSED MIXED USE  
DEVELOPMENT**  
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title  
**LEP HEIGHT BLANKET**

Project Stage  
**DA Submission**  
Job no. Drawing no. Rev.  
**J23587D DA7091 D**  
Drawn by Checked by Approved by Date  
GH RJ ZC JULY, 2024





Pittwater 21 Development Control Plan  
Section D Locality Specific Development Controls  
D1 Avalon Beach Locality  
D1.9 Side and rear building line

Where the wall height is 3 metres or less, the minimum side and rear boundary setback shall be 3 metres.

Where the wall height is more than 3 metres above ground level (existing), the minimum distance from any point on the external wall of the building and a side or rear boundary shall not be less than the distance calculated in accordance with the following:

where

S = the distance in metres

H = the height of the wall at that point measured in metres above existing ground level

$$S = 3 + (H-2)/4$$

**1 SIDE - SETBACK**  
1 : 50 at A1 1:200 at A3

References

Any variations or deviations from approved construction drawings must be reviewed and approved by PCA or nominated certifying authority.

Drawings to be read in conjunction with, but not limited to, all structural engineers, stormwater engineers, landscape architects, fire protection, essential electrical services and mechanical services plans & other associated plans & reports.

Refer to current Basix report for additional requirements to ones noted on plans.

Notes

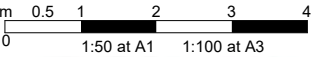
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B 01/20/2025 GENERAL AMENDMENT  
A 15/07/2024 DA SUBMISSION



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**PROPOSED MIXED USE  
DEVELOPMENT**

1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title

**DETAIL SECTION - SETBACK**

Project Stage

**Preliminary Issue**

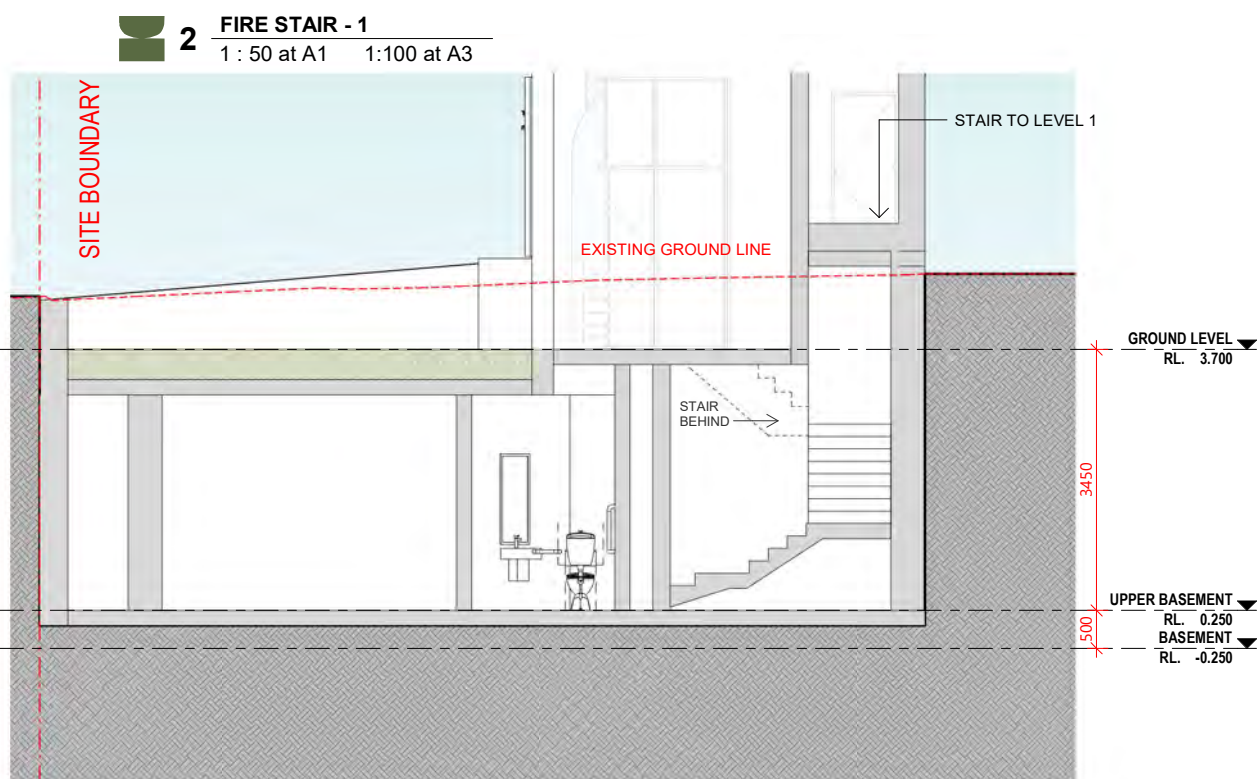
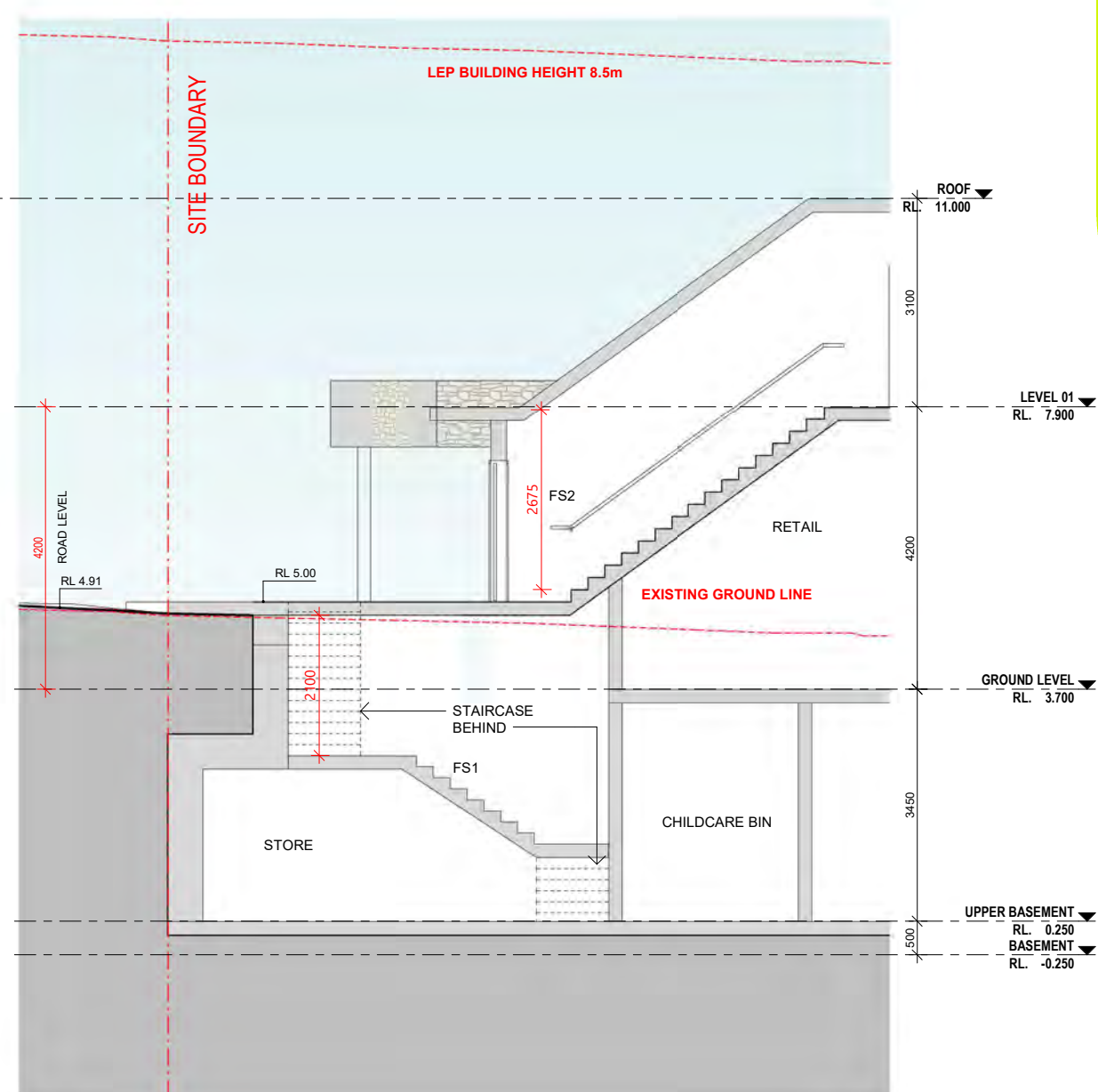
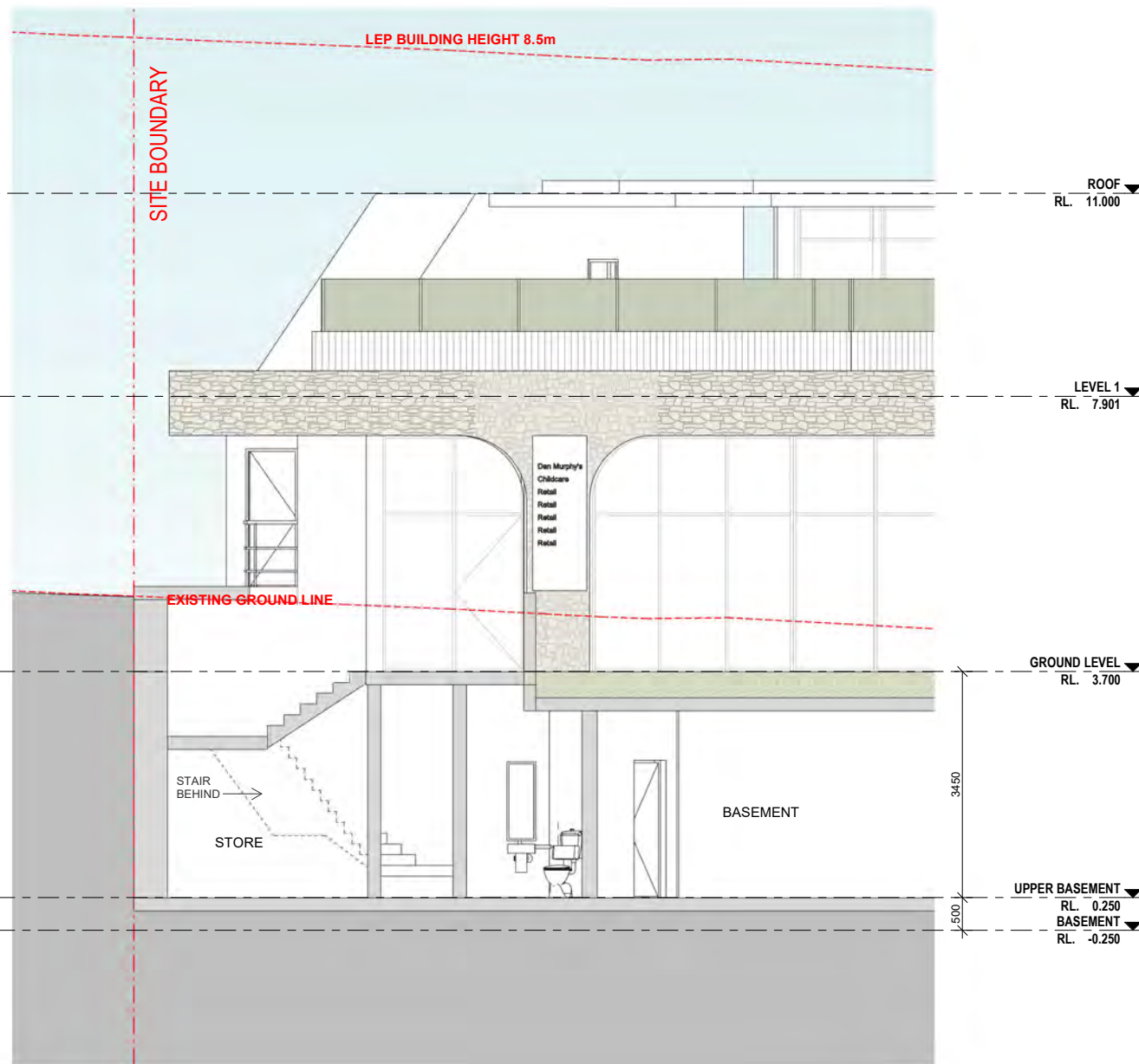
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J23587D DA8001 B

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## References

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## Notes

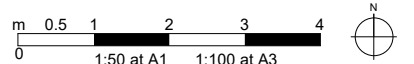
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|   |            |                   |
|---|------------|-------------------|
| C | 23/04/2025 | GENERAL AMENDMENT |
| B | 01/20/2025 | GENERAL AMENDMENT |
| A | 15/07/2024 | DA SUBMISSION     |



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## PROPOSED MIXED USE DEVELOPMENT

1 & 3 CAREEL HEAD ROAD, AVALON BEACH,  
NEW SOUTH WALES 2107

Drawing Title

## DETAIL SECTION - FIRE STAIRS

Project Stage

## Preliminary Issue

Job no.                  Drawing no.                  Rev.

J23587D DA8003 C

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|        |         |    |            |
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| Author | Checker | ZC | JULY, 2024 |
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