



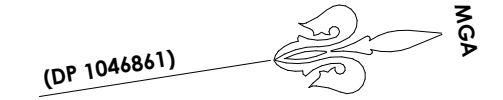
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And, subject to method of construction as determined by Zac Homes as applicable.

Product:	Facade:	Site Address:		Title:		Job No.:	221111	Issue	Date	Description	Drawn	
CUSTOM	CUSTOM	Lot 10, 25 Amourin Street, North Manly NSW 2100		PERSPECTIVE		OWNER ACCEPTANCE		A	14.12.2021	CONCEPT SKETCH	F.N	
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				Council: Northern Beaches Council				C	25.02.2022	COMPLIANCE AMENDMENTS	F.N	
				DP No. : 19139 Approval Type: DA				D	07.03.2022	AMENDMENTS TO SUIT QR	F.N	
				Paper: A3	Scale:			OWNER SIGNATURE: SJP SJP	DATE:	E	28.03.2022	FACADE UPDATED
				Sheet No: 00.0	Date: 14.12.2021	OWNER SIGNATURE		DATE:	F	13.05.2022	NEW SURVEY. PLAN FOR TOWN PLANNER REVIEW	C.V.
								G	07.06.2022	DA ISSUE	AP	

DENOTES APPROX. SEWER LINE
S S S S S S S

DENOTES OVERHEAD POWER LINES
OH OH OH OH OH OH OH

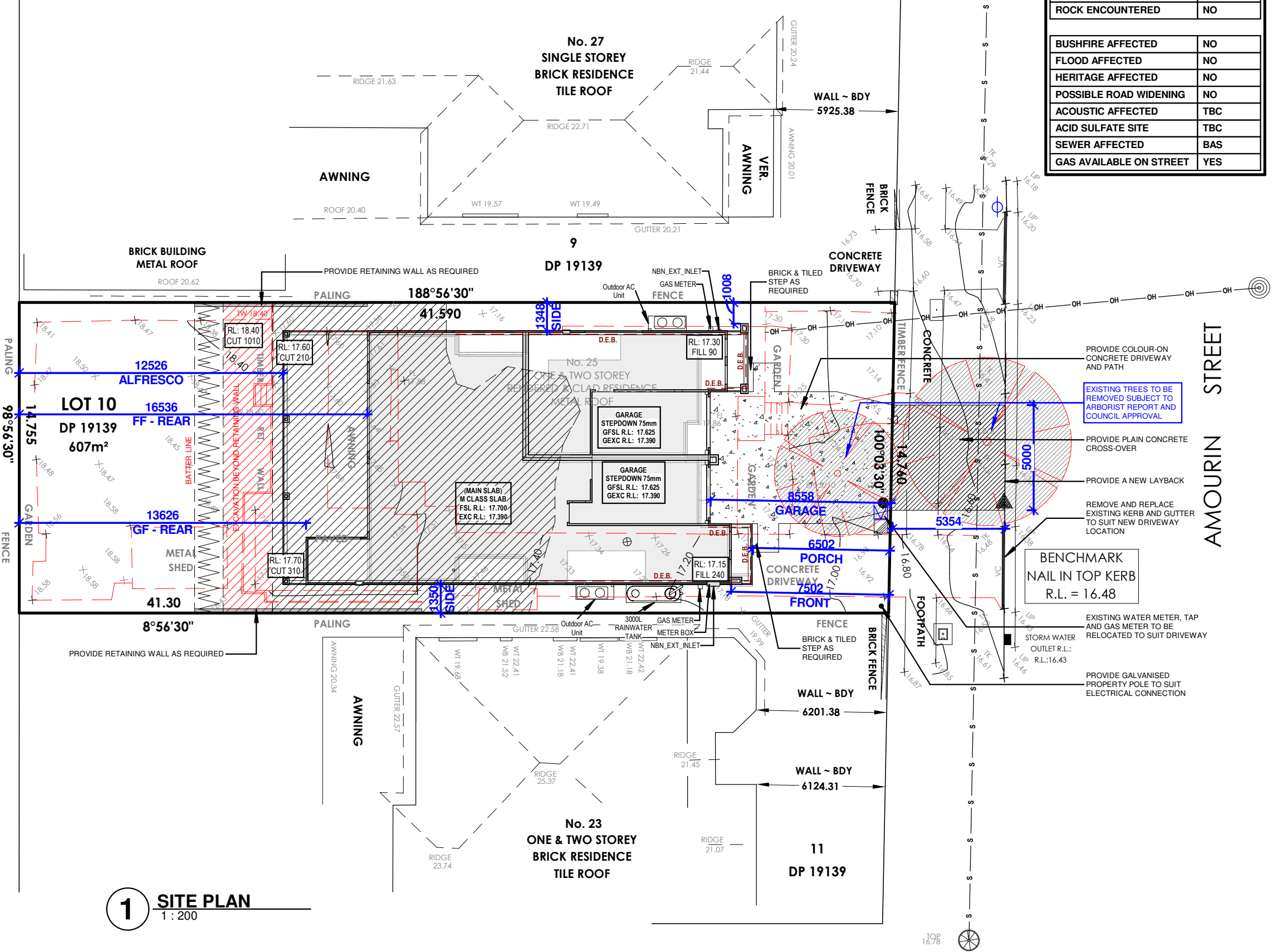
WB - DENOTES LEVEL AT BOTTOM OF WINDOW
WT - DENOTES LEVEL AT TOP OF WINDOW
TW - DENOTES LEVEL AT TOP OF WALL
VC - DENOTES VEHICULAR CROSSING
TK - DENOTES LEVEL AT TOP OF KERB
LIP - DENOTES LEVEL AT LIP OF KERB
5/0.3/6 - DENOTES INDICATIVE TREE SPREAD,
TRUNK SIZE AND HEIGHT



- HYDRANT
- SEWER MANHOLE
- WATER
- SIGN POST
- WATER METER
- GAS METER
- POWER POLE

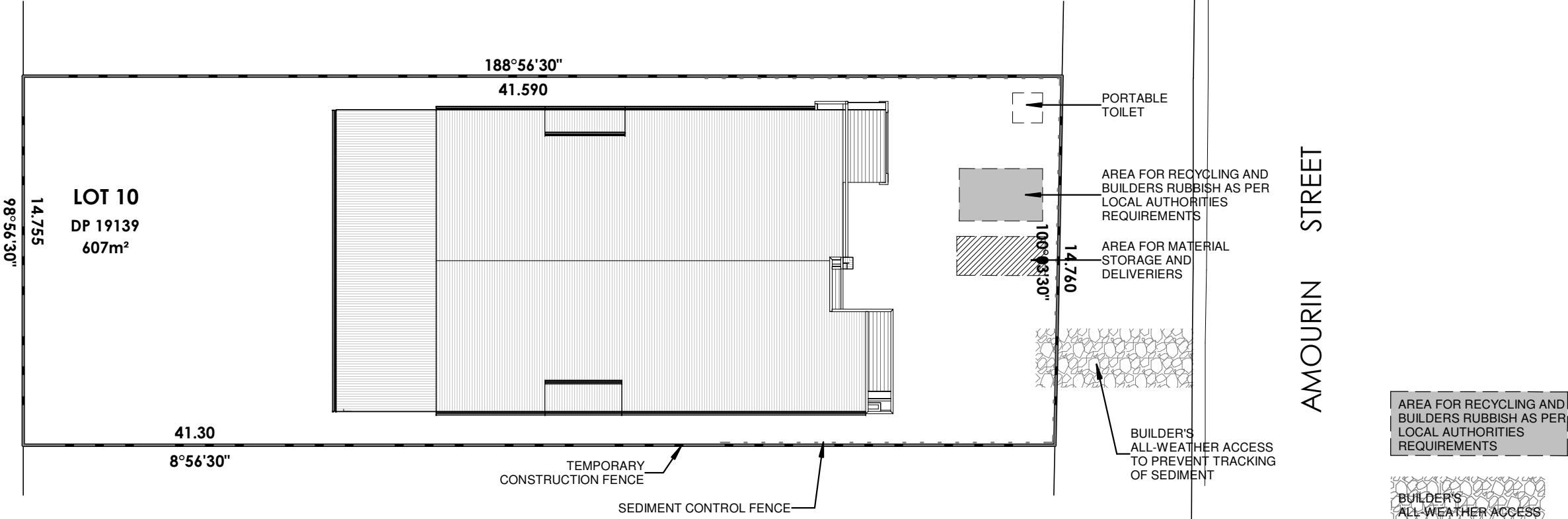
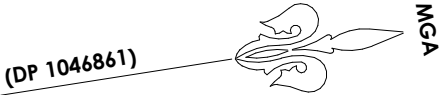
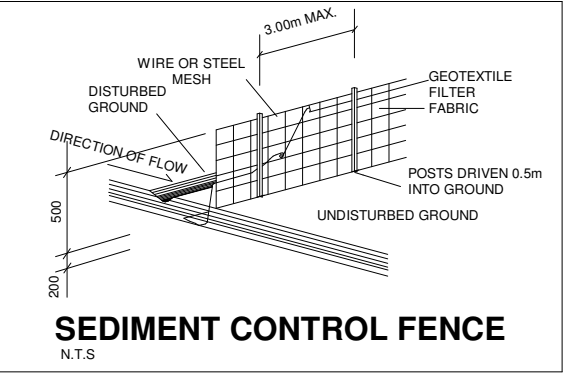


- NOTES :
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 - DATUM OF LEVELS : AUSTRALIAN HEIGHT DATUM
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 - SIGNIFICANT TREES LOCATED ONLY.
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 - THIS TITLE BLOCK AND NOTES IS AN INTEGRAL PART OF THIS DRAWING WHICH IS NOT TO BE REMOVED.
 - CONTOURS ARE INDICATIVE ONLY. SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.



LAND ZONE	R2
SITE CLASSIFICATION	P
SOIL CLASSIFICATION	S
SALINITY AFFECTED	B1
WIND CLASSIFICATION	N2
ROCK ENCOUNTERED	NO
BUSHFIRE AFFECTED	NO
FLOOD AFFECTED	NO
HERITAGE AFFECTED	NO
POSSIBLE ROAD WIDENING	NO
ACOUSTIC AFFECTED	TBC
ACID SULFATE SITE	TBC
SEWER AFFECTED	BAS
GAS AVAILABLE ON STREET	YES

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CUSTOM		CUSTOM		Lot 10, 25 Amourin Street, North Manly NSW 2100		SITE PLAN		221111		OWNER ACCEPTANCE	A	14.12.2021	CONCEPT SKETCH	F.N
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								G	07.06.2022	DA ISSUE	AP			
				Sheet No: 01.0		Date: 14.12.2021		OWNER SIGNATURE: _____		DATE: _____				



SITE MANAGEMENT PLAN

AREA FOR RECYCLING AND BUILDERS RUBBISH AS PER LOCAL AUTHORITIES REQUIREMENTS

BUILDER'S ALL-WEATHER ACCESS TO PREVENT TRACKING OF SEDIMENT

PORTABLE TOILET

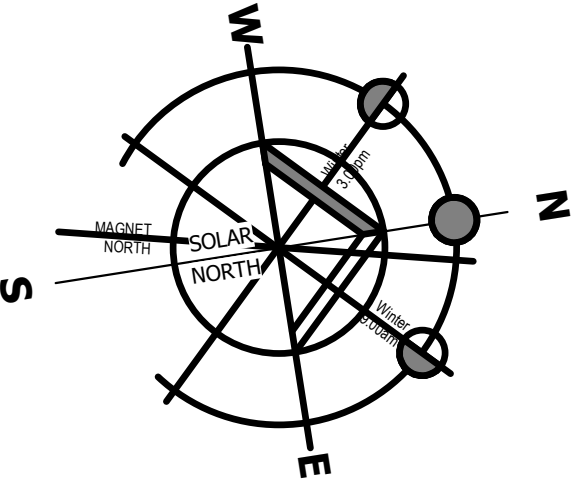
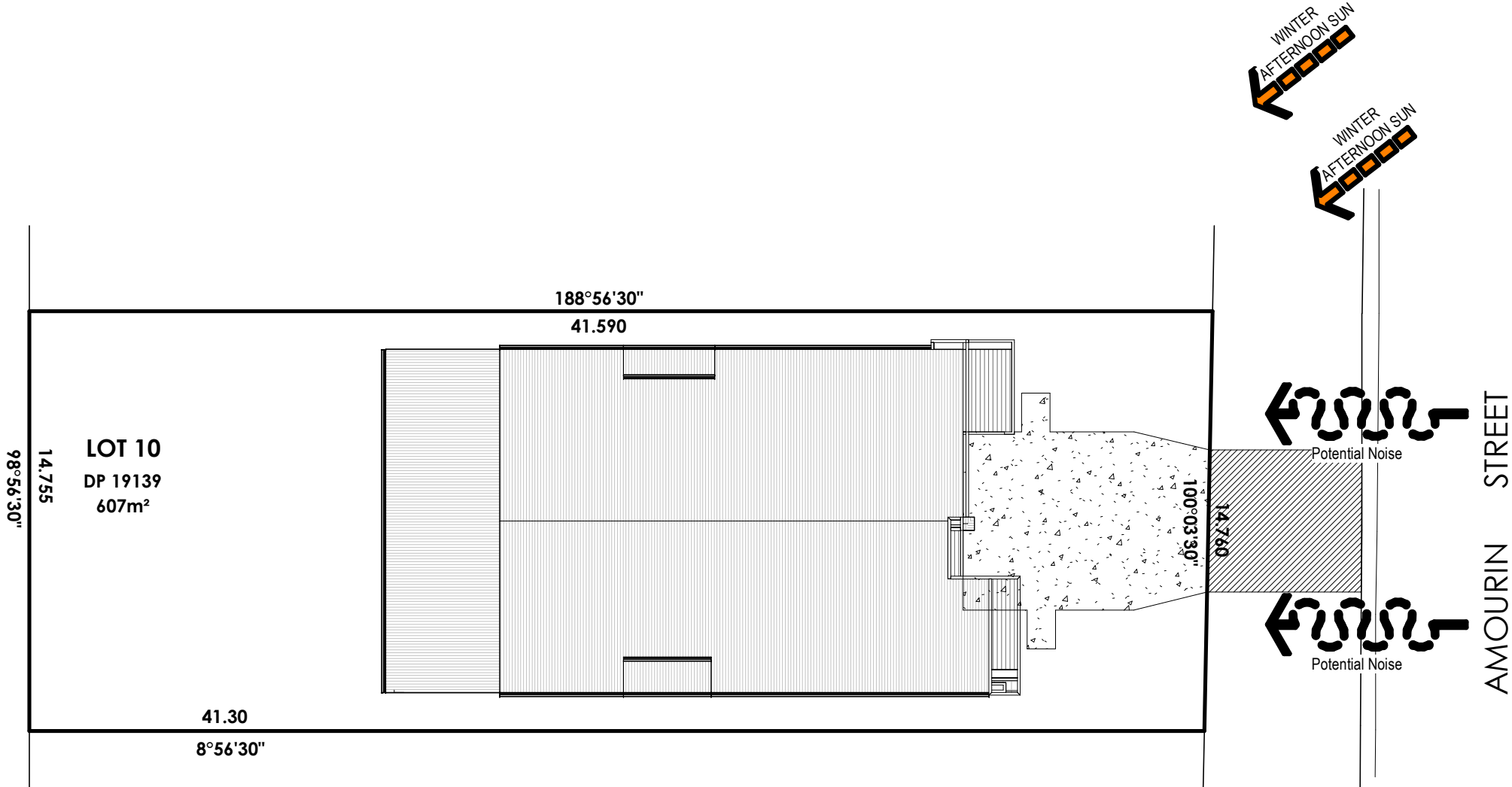
AREA FOR MATERIAL STORAGE AND DELIVERIES

TEMPORARY CONSTRUCTION FENCE

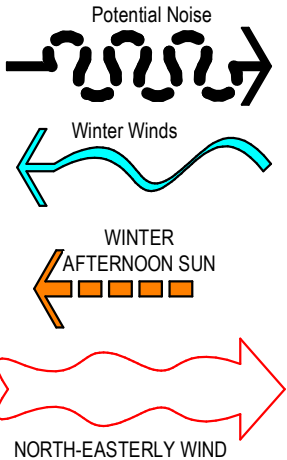
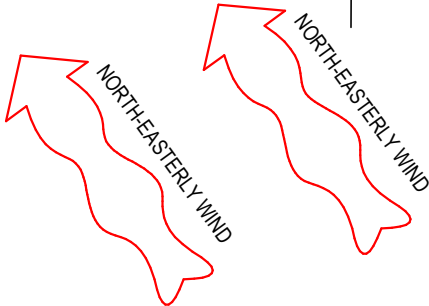
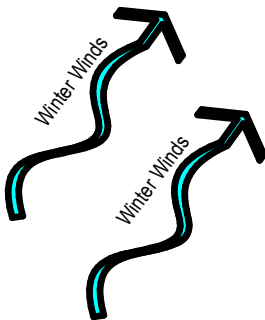
SEDIMENT CONTROL FENCE

SITE MAN. LEGEND

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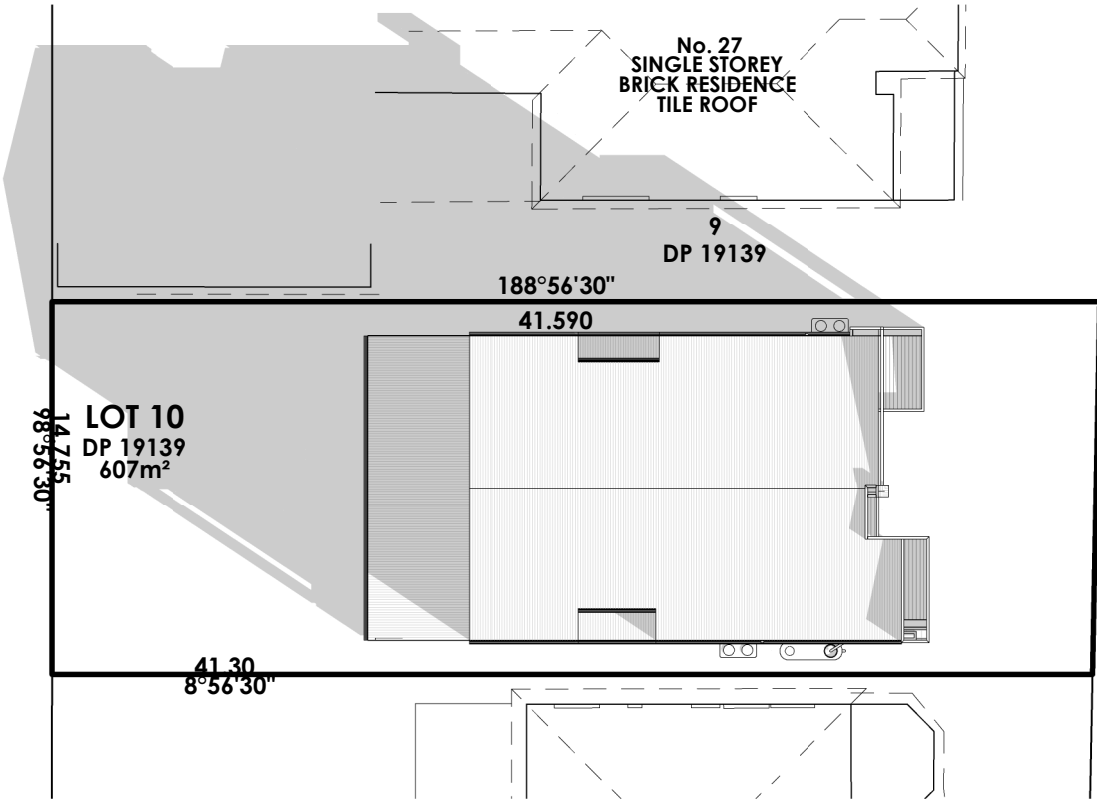


SITE ANALYSIS

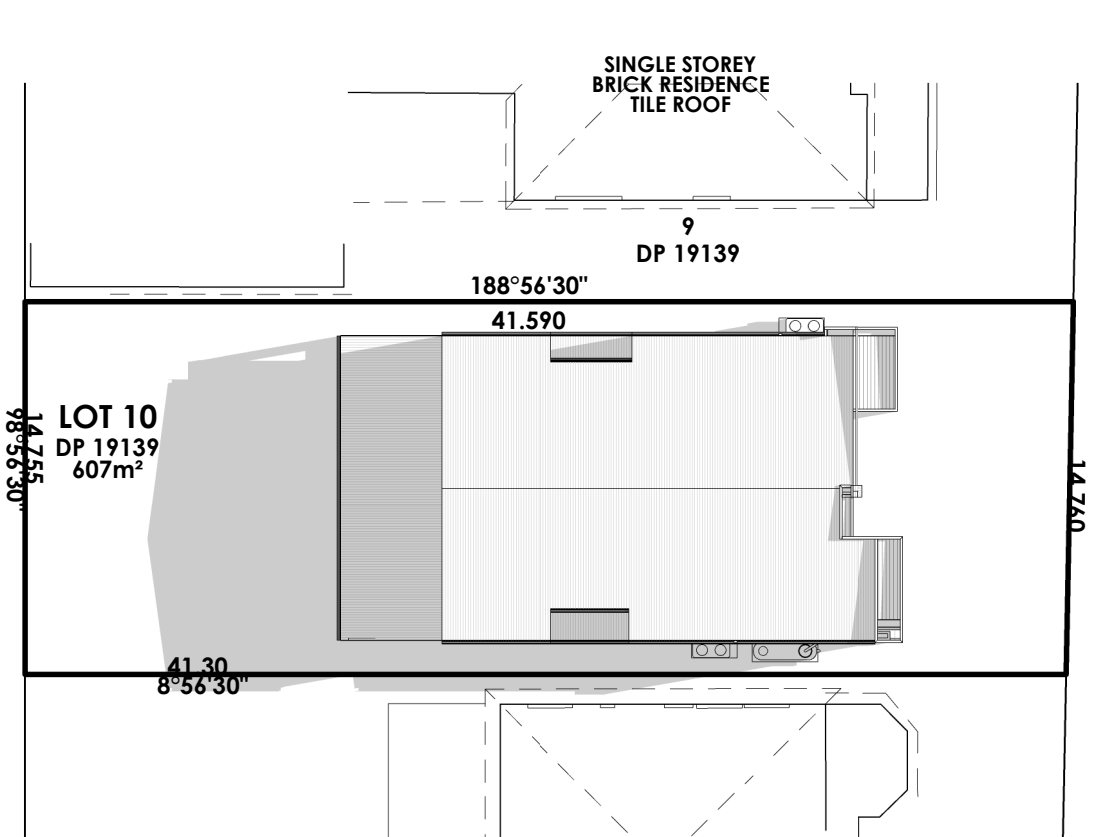


SITE LEGEND

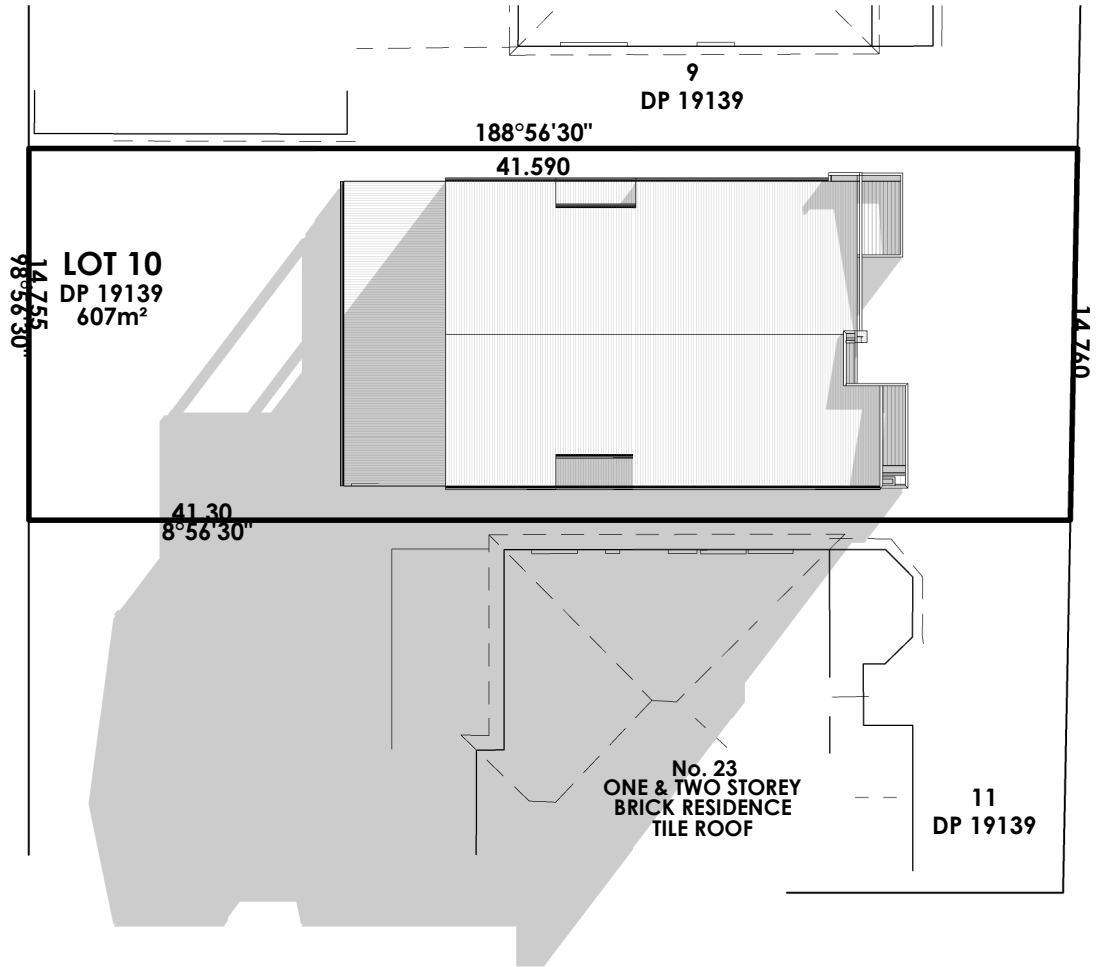
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CUSTOM	CUSTOM	Lot 10, 25 Amourin Street, North Manly NSW 2100	SITE ANALYSIS	221111	OWNER ACCEPTANCE	A	14.12.2021	CONCEPT SKETCH	F.N		
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9AM 22nd June



12 NOON 22nd June

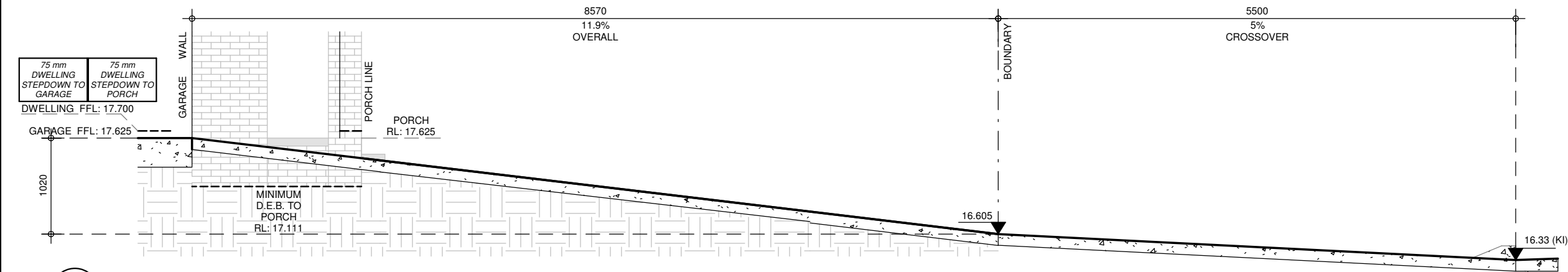


3PM 22nd June

(DP 1046861) MGA

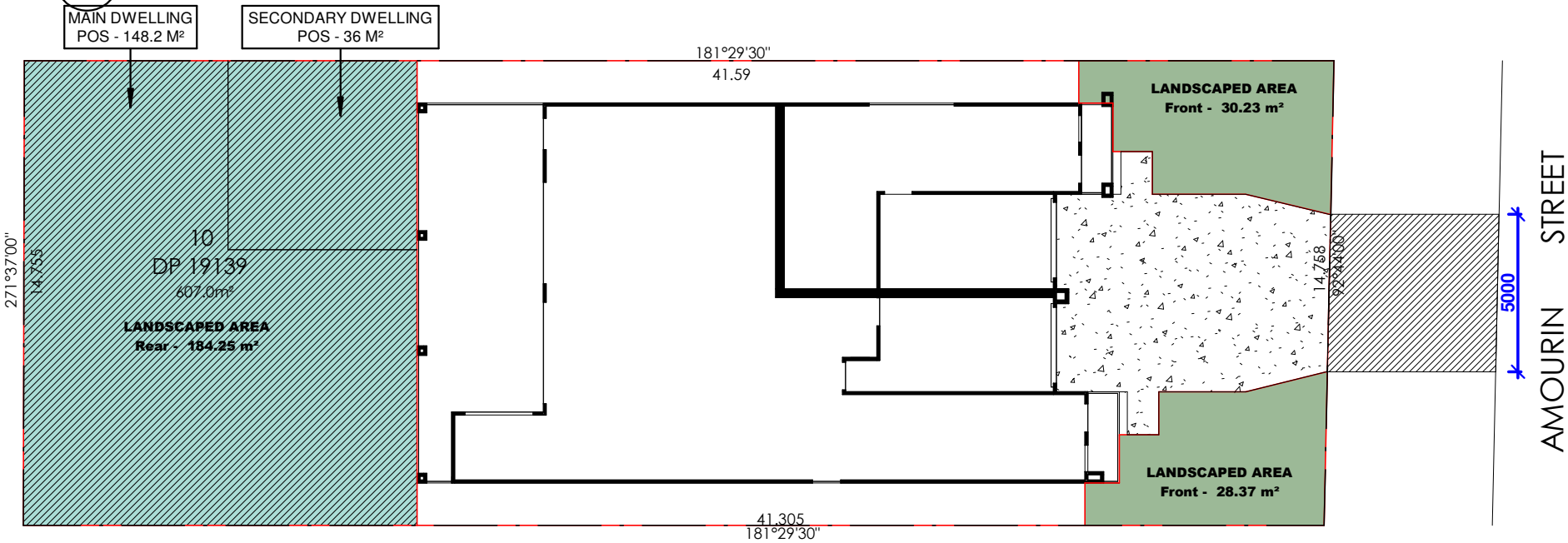
SHADOW DIAGRAMS

Product:	Facade:	Site Address:	Title:	Job No.:	Issue	Date	Description	Drawn		
CUSTOM	CUSTOM	Lot 10, 25 Amourin Street, North Manly NSW 2100	SHADOW DIAGRAM	221111	OWNER ACCEPTANCE	A	14.12.2021	CONCEPT SKETCH	F.N	
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				Council: Northern Beaches Council	Paper: A3	Scale: 1 : 300	E	28.03.2022	FACADE UPDATED	F.N
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4 Driveway Gradient

1 : 50



Area Schedule (GFA/FSR)	
Name	Areas
Ground Floor	35.24 m²
First Floor	39.07 m²
SIDE B - GFA/FSR: 2	74.31 m²
Ground Floor	128.89 m²
First Floor	126.32 m²
SIDE A - GFA/FSR: 2	255.21 m²
Garage	17.65 m²
Garage	16.56 m²
Void	5.55 m²
Void	7.02 m²
EXCLUDED AREA: 4	46.78 m²

LOT 10 - AREAS

SITE AREA:	607.00 m²
MAIN DWELLING :	
GROUND FLOOR:	134.41 m²
FIRST FLOOR:	138.40 m²
GARAGE:	18.68 m²
PORCH:	2.90 m²
ALFRESCO:	41.81 m²
PATIO:	0.00 m²
TOTAL:	336.20 m²

SECONDARY DWELLING :

GROUND FLOOR:	36.85 m²
FIRST FLOOR:	48.94 m²
PORCH:	2.90 m²
TOTAL:	88.69 m²

MAIN & SECONDARY DWELLING

TOTAL AREA :	424.89 m²
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LANDSCAPED AREA

SITE AREA:	607.00 m²
TOTAL HARD SURFACE AREAS:	364.15 m²
REMAINING SOFT AREA:	242.85 m²
LANDSCAPE AREA:	40.0 %
MIN. REQ. BY COUNCIL:	40.0 %

P.O.S. AREA	148.20 m² (24.4%)
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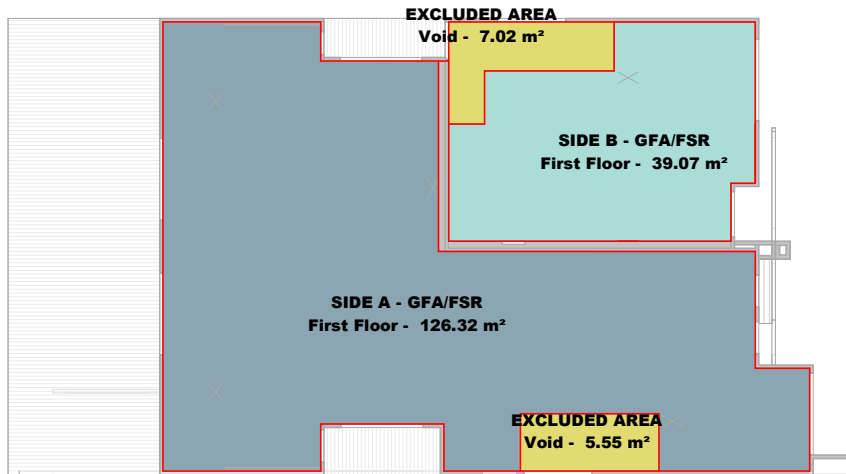
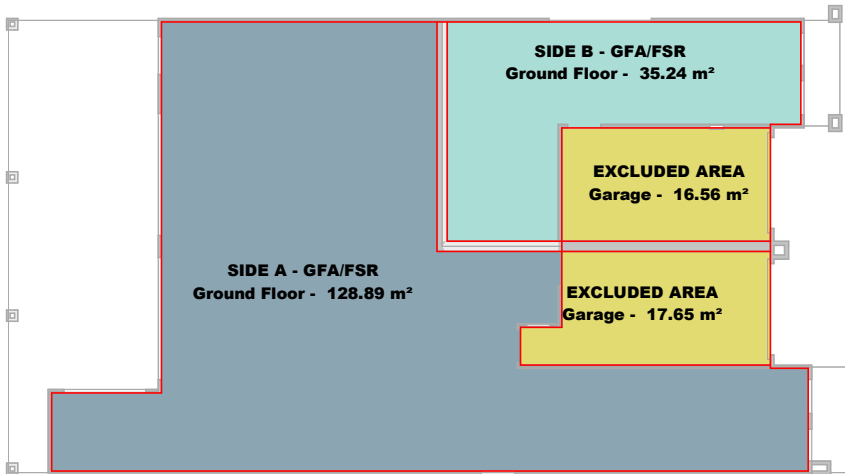
MIN. REQD. BY COUNCIL:	60 M²
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Area Schedule (Landscape Compliance)

Landscape Location	Areas
Front	28.37 m²
Front	30.23 m²
Front: 2	58.60 m²
Rear	184.25 m²
Rear: 1	184.25 m²
LANDSCAPING TOTAL: 3	242.85 m²

3 LANDSCAPING AREA

1 : 200



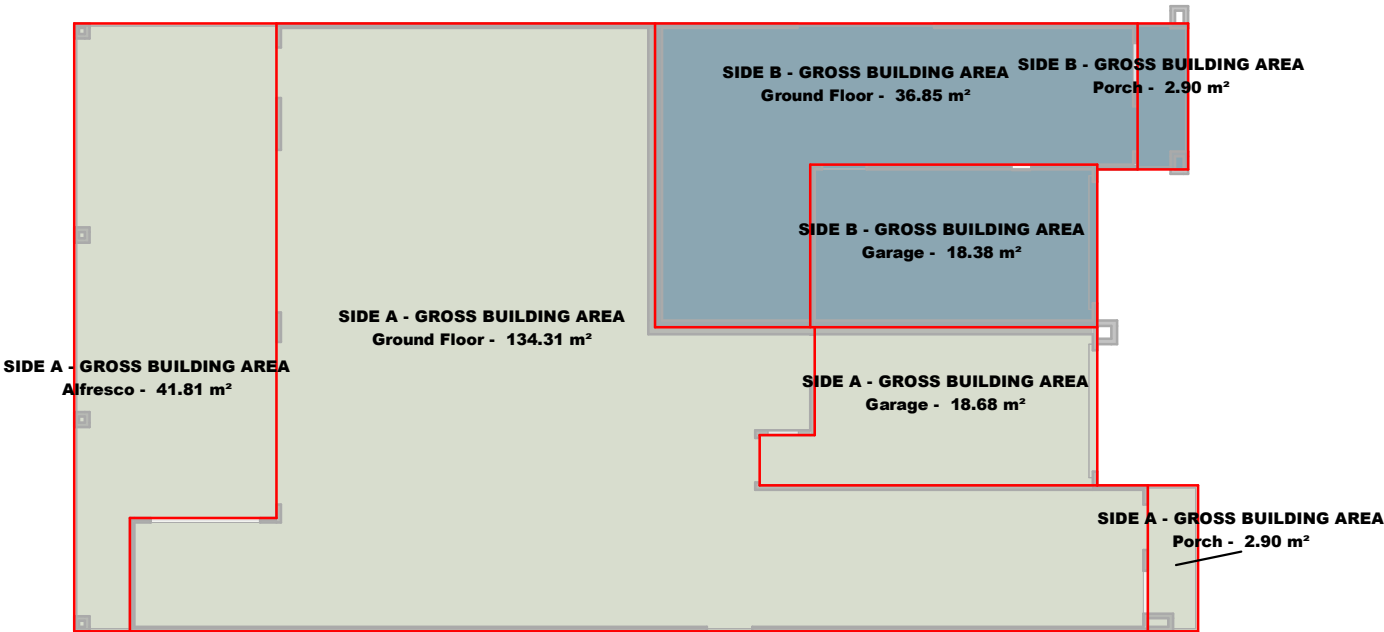
1 GROUND FLOOR - GFA/FSR

1 : 200

2 FIRST FLOOR - GFA/FSR

1 : 200

Product:		Facade:		Site Address:		Title:		Job No.:		Issue	Date	Description	Drawn	
CUSTOM		CUSTOM		Lot 10, 25 Amourin Street, North Manly NSW 2100		GROSS FLOOR AREA/F.S.R.		221111		OWNER ACCEPTANCE	A	14.12.2021	CONCEPT SKETCH	F.N
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Area Schedule (Gross Building)	
Name	Areas
Ground Floor	134.31 m²
First Floor	138.40 m²
Garage	18.68 m²
Porch	2.90 m²
Alfresco	41.81 m²
SIDE A - GROSS BUILDING AREA: 5	336.10 m²
Garage	18.38 m²
Ground Floor	36.85 m²
Porch	2.90 m²
First Floor	48.94 m²
SIDE B - GROSS BUILDING AREA: 4	107.07 m²

GROUND FLOOR - GROSS



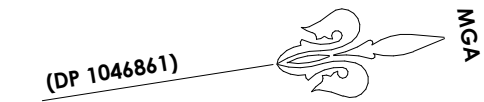
FIRST FLOOR - GROSS

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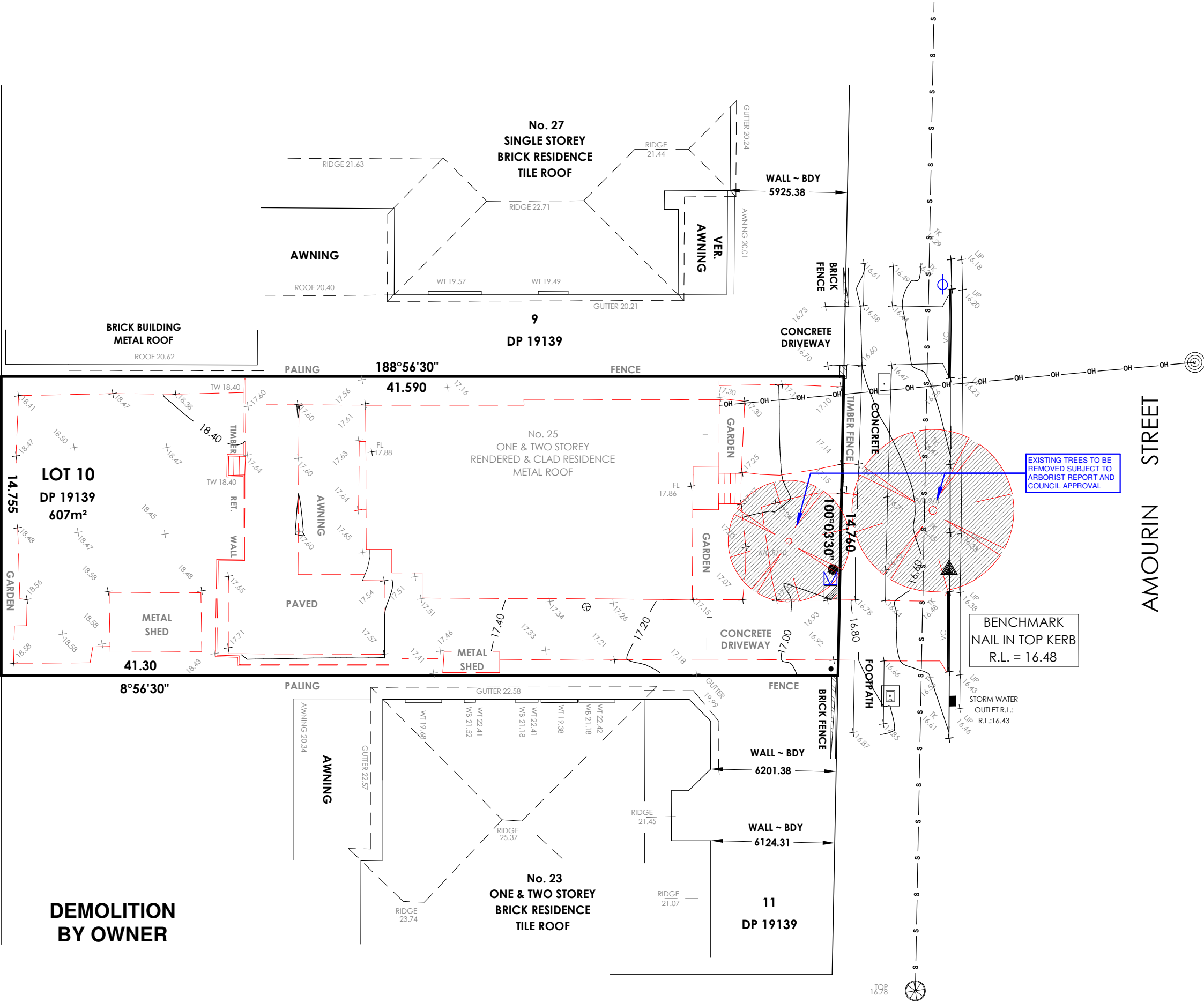
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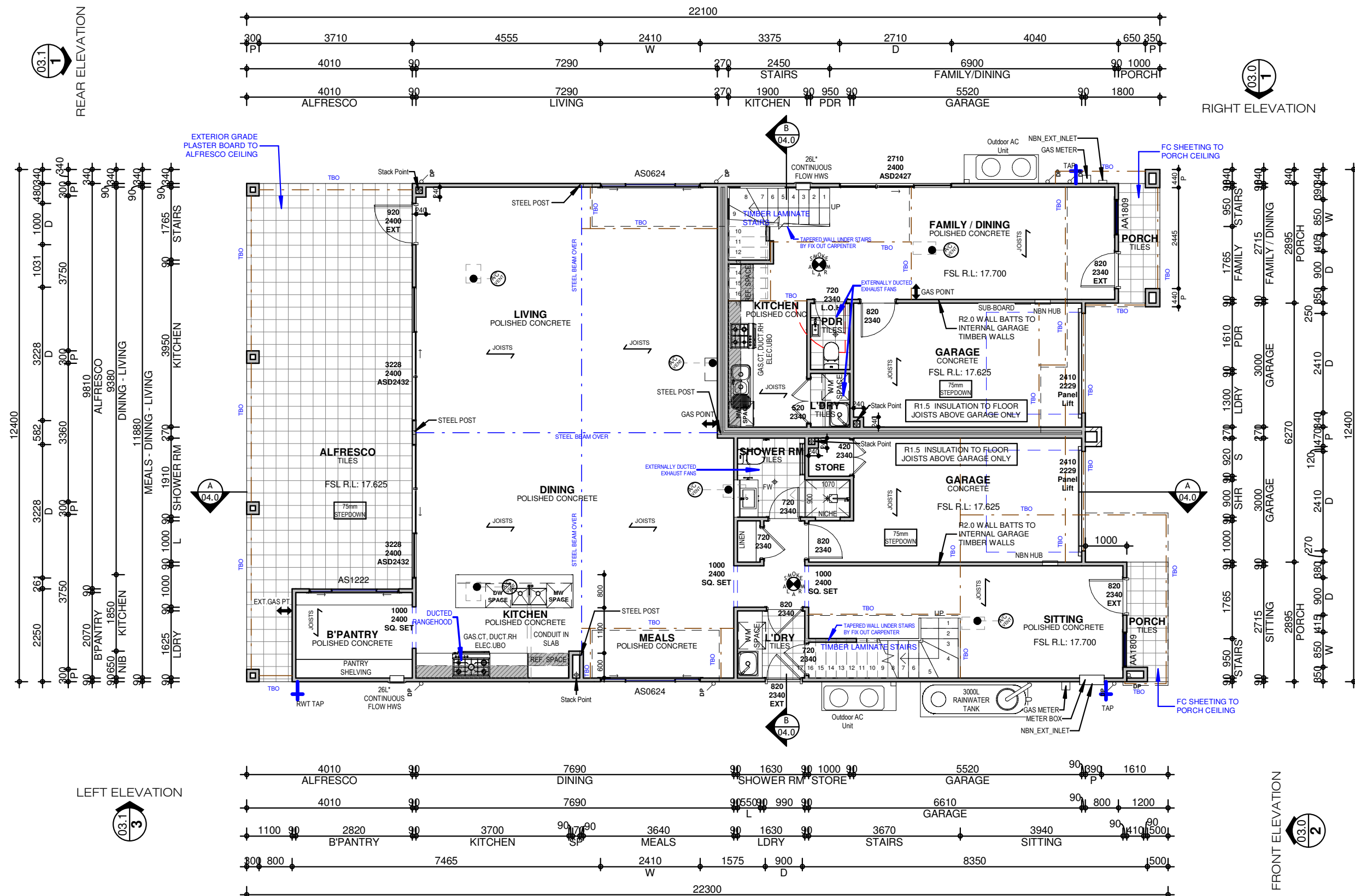


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FSL:	FINISHED SLAB LEVEL	
FF:	FINISHED FLOOR	
FC:	FINISHED CEILING	
	MAN HOLE (ROOF ACCESS)	BULKHEADS
	PROPOSED JOIST DIRECTION (CONFIRM WITH JOIST LAYOUT PLAN)	
	HARDWIRED SMOKE ALARM	OVERHEAD CABINET
	DRAINAGE POINT	
	AIR-CONDITIONING DROPPER	
	AIR-CONDITIONING DUCT LINE	
	AIR-CONDITIONING OUTLET	
	KITCHEN / WET AREA ELEVATIONS	

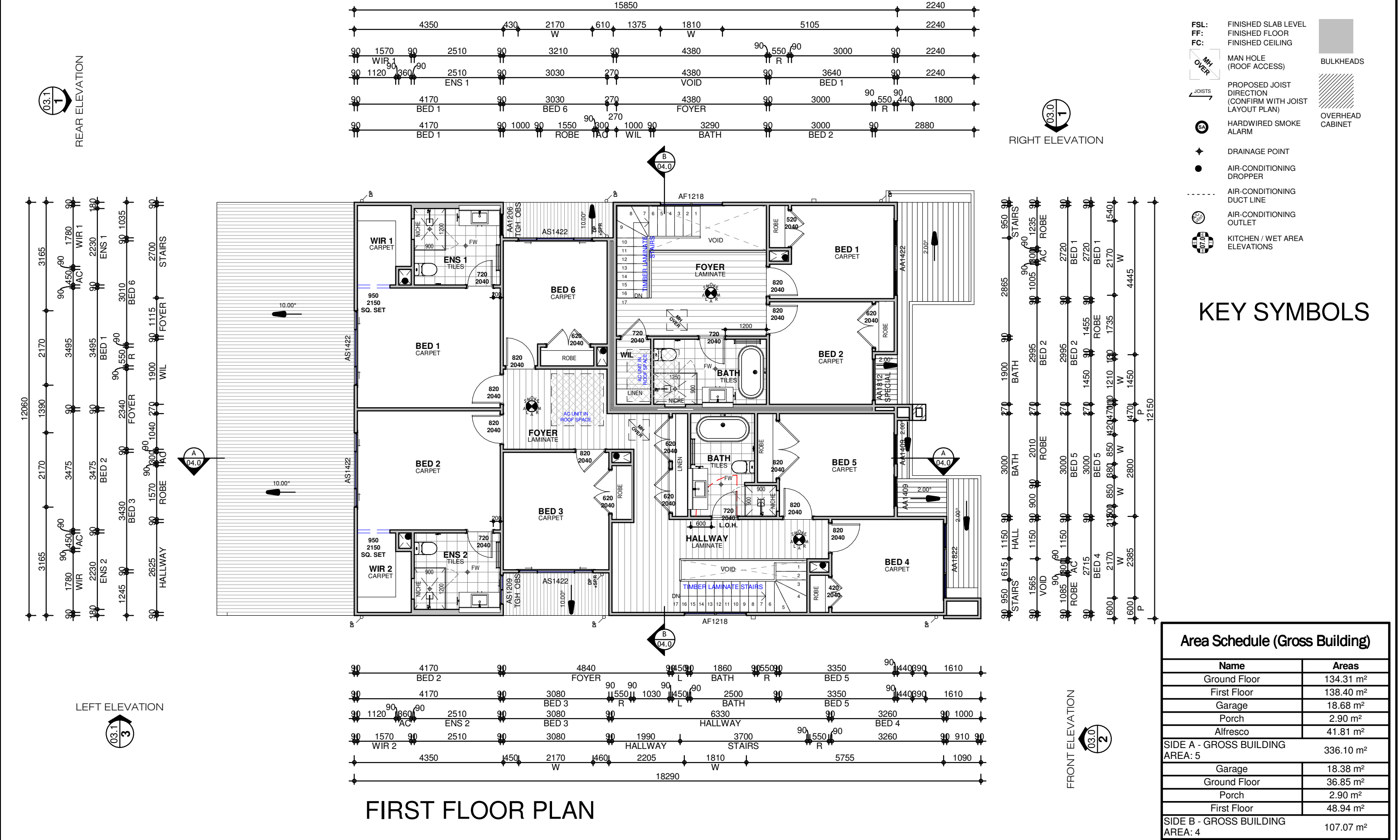
Area Schedule (Gross Building)

Name	Areas
Ground Floor	134.31 m ²
First Floor	138.40 m ²
Garage	18.68 m ²
Porch	2.90 m ²
Alfresco	41.81 m ²
SIDE A - GROSS BUILDING AREA: 5	336.10 m ²
Garage	18.38 m ²
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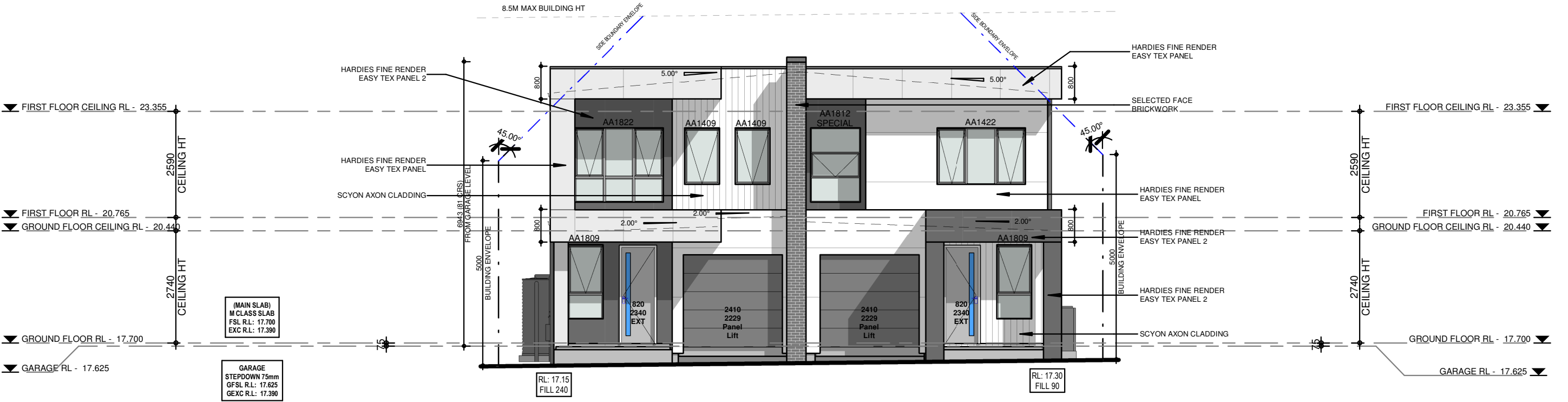


GROUND FLOOR PLAN

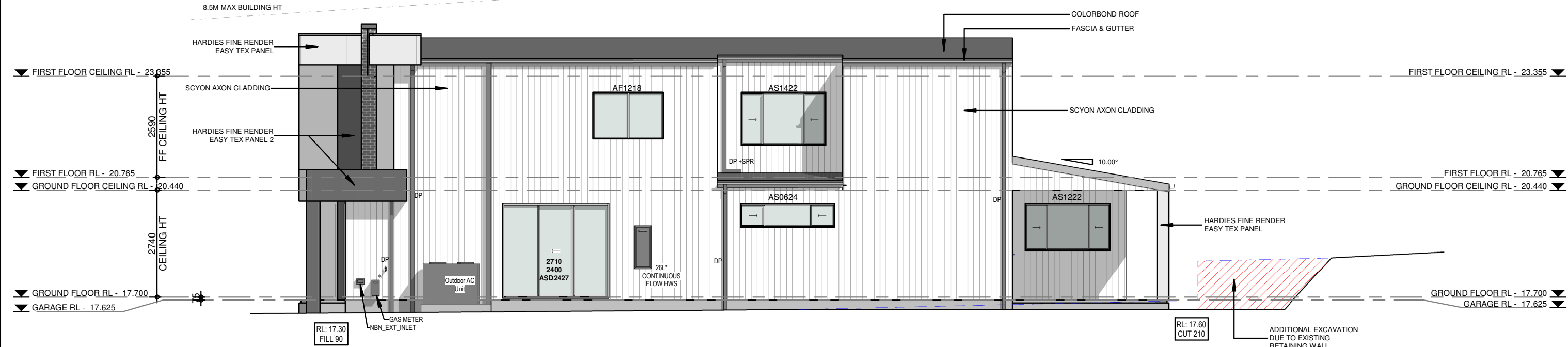
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										G	07.06.2022	DA ISSUE		AP		



Product:	Facade:	Site Address:	Title:		Job No.:	Issue	Date	Description	Drawn	
CUSTOM	CUSTOM	Lot 10, 25 Amourin Street, North Manly NSW 2100	FIRST FLOOR PLAN		OWNER ACCEPTANCE	A	14.12.2021	CONCEPT SKETCH	F.N	
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			OWNER SIGNATURE: <i>SJP</i> <i>SJP</i> DATE			C	25.02.2022	COMPLIANCE AMENDMENTS	F.N	
		DP No. : 19139	Approval Type: DA	Paper: A3		Scale: 1 : 100	D	07.03.2022	AMENDMENTS TO SUIT QR	F.N
							E	28.03.2022	FACADE UPDATED	F.N
		Sheet No: 02.1	Date: 14.12.2021	F		13.05.2022	NEW SURVEY. PLAN FOR TOWN PLANNER REVIEW	C.V.		
				G		07.06.2022	DA ISSUE	AP		
				OWNER SIGNATURE	DATE					



FRONT ELEVATION

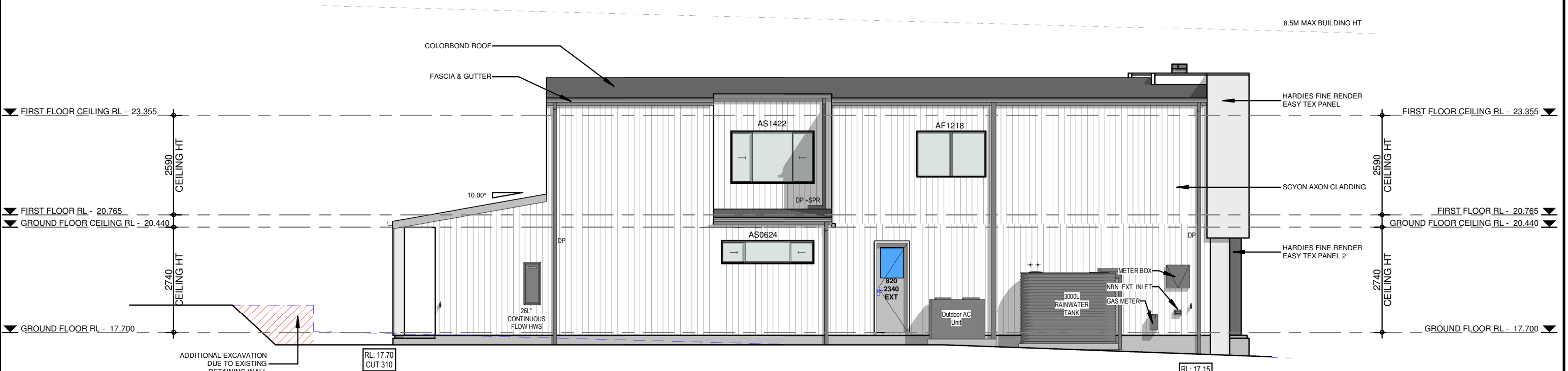


RIGHT ELEVATION

Product:	Facade:	Site Address:	Title:	Job No.:	Issue	Date	Description	Drawn		
CUSTOM	CUSTOM	Lot 10, 25 Amourin Street, North Manly NSW 2100	ELEVATION	221111	OWNER ACCEPTANCE	A	14.12.2021	CONCEPT SKETCH	F.N	
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							C	25.02.2022	COMPLIANCE AMENDMENTS	F.N
							D	07.03.2022	AMENDMENTS TO SUIT QR	F.N
		Council: Northern Beaches Council	Paper: A3	Scale: 1 : 100	E	28.03.2022	FACADE UPDATED	F.N		
		DP No. : 19139	Approval Type: DA	Sheet No: 03.0	Date: 14.12.2021	F	13.05.2022	NEW SURVEY. PLAN FOR TOWN PLANNER REVIEW	C.V.	
						G	07.06.2022	DA ISSUE	AP	

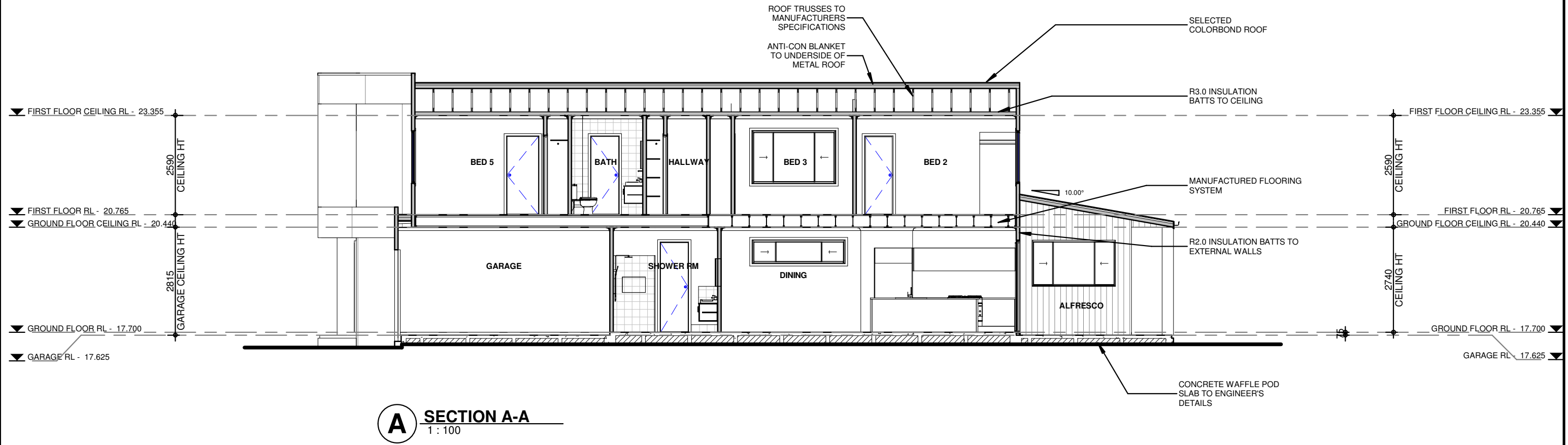


REAR ELEVATION

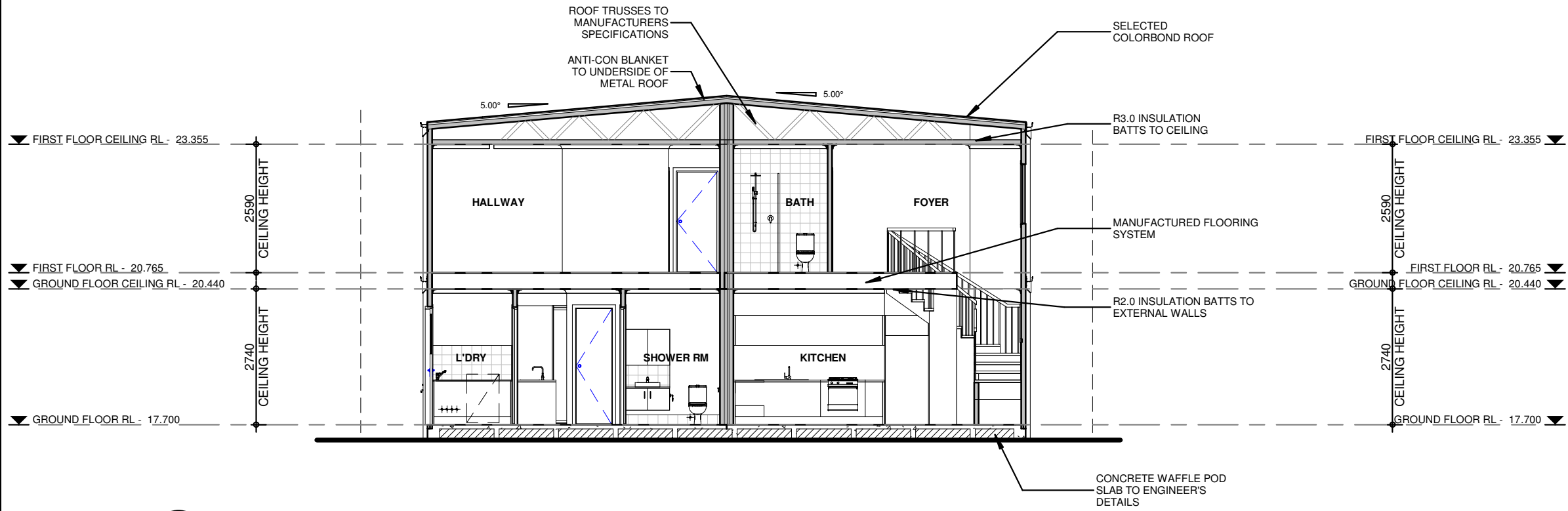


LEFT ELEVATION

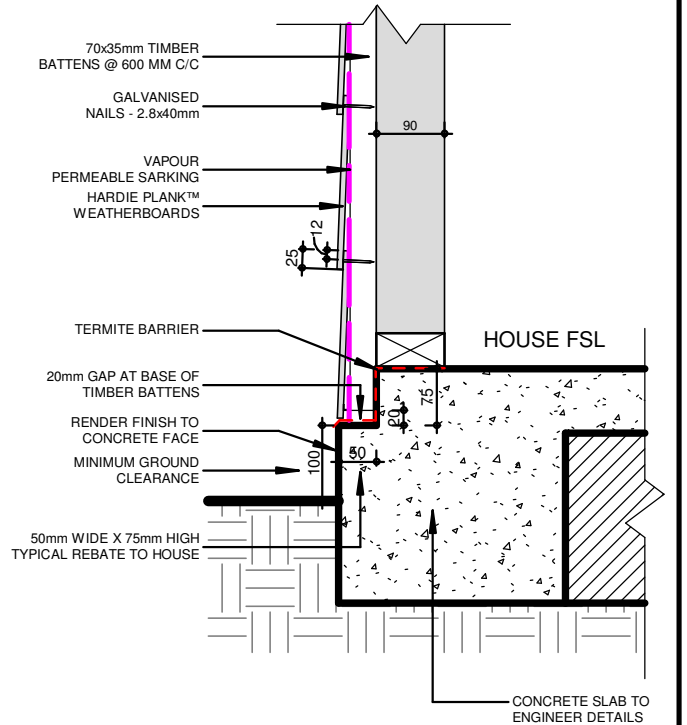
Product:	Facade:	Site Address:	Title:	Job No.:	Issue	Date	Description	Drawn			
CUSTOM	CUSTOM	Lot 10, 25 Amourin Street, North Manly NSW 2100	ELEVATION	221111	OWNER ACCEPTANCE	A	14.12.2021	CONCEPT SKETCH	F.N		
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						D	07.03.2022	AMENDMENTS TO SUIT QR	F.N		
				Council: Northern Beaches Council		Paper: A3	Scale: 1 : 100	E	28.03.2022	FACADE UPDATED	F.N
						OWNER SIGNATURE	DATE	F	13.05.2022	NEW SURVEY. PLAN FOR TOWN PLANNER REVIEW	C.V.
								G	07.06.2022	DA ISSUE	AP
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A SECTION A-A
1 : 100



B SECTION B-B
1 : 100



1 CLADDING TO SLAB DETAIL
1 : 10

Product:	Facade:	Site Address:	Title:		Job No.:	Issue	Date	Description	Drawn	
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		Council: Northern Beaches Council		Paper: A3	Scale: As indicated		C	25.02.2022	COMPLIANCE AMENDMENTS	F.N
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		DP No. : 19139		Approval Type: DA	Sheet No: 04.0		Date: 14.12.2021	F	13.05.2022	NEW SURVEY. PLAN FOR TOWN PLANNER REVIEW
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INTERHOME WALL TO EXTERNAL WALL - PLAN VIEW

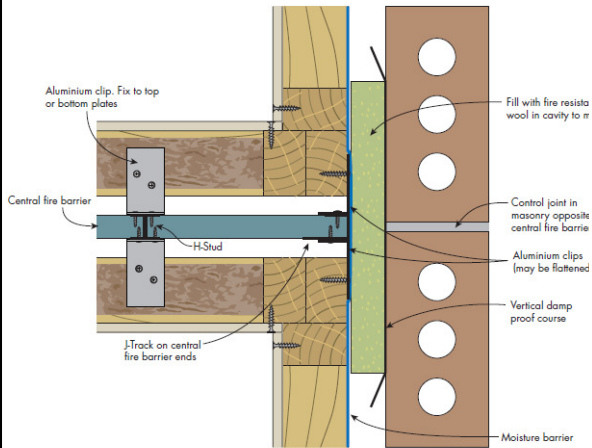


FIGURE 44 InterHome Wall to External Brick Wall Timber Frame - FRL 60/60/60

FIGURE 65 InterHome Wall to External Clad Wall with Cavity Battens FRL 60/60/60 Plan

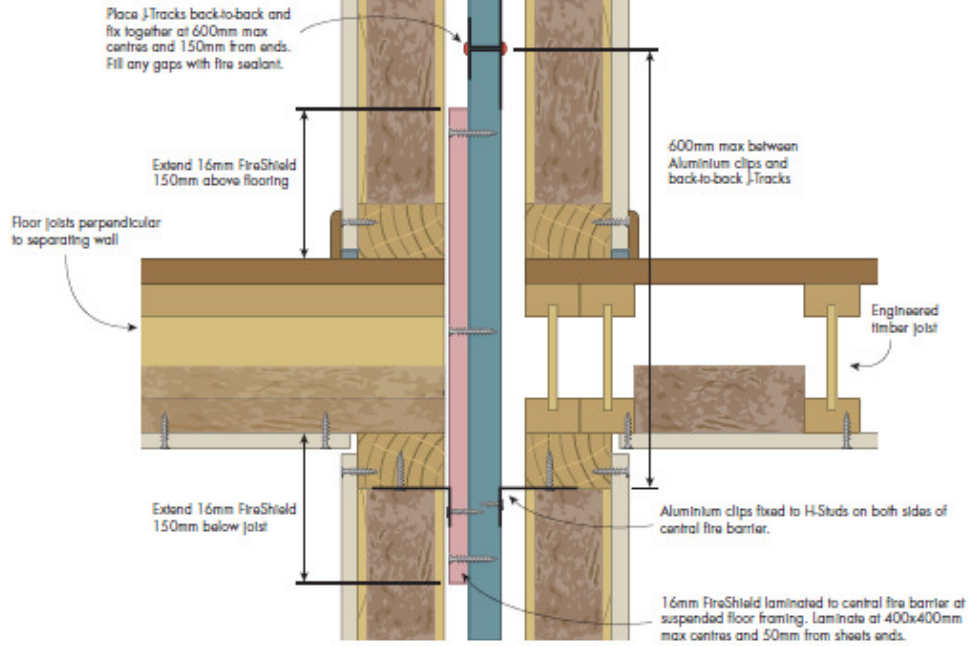
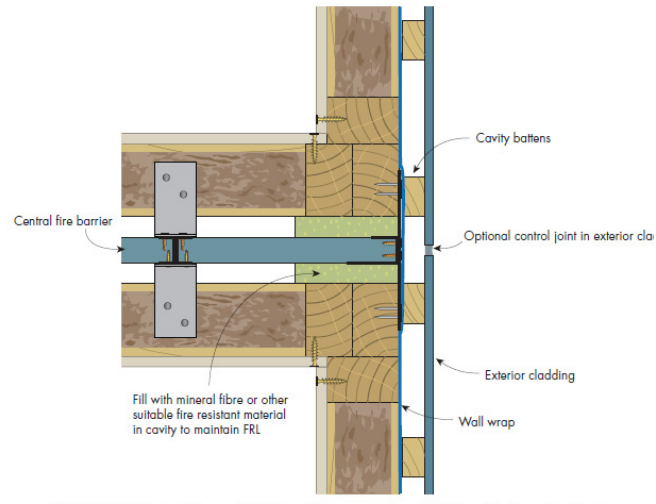


FIGURE 30 InterHome to Upper Storey Floor FRL 60/60/60

INTERHOME WALL TO ROOF LINING - ELEVATION

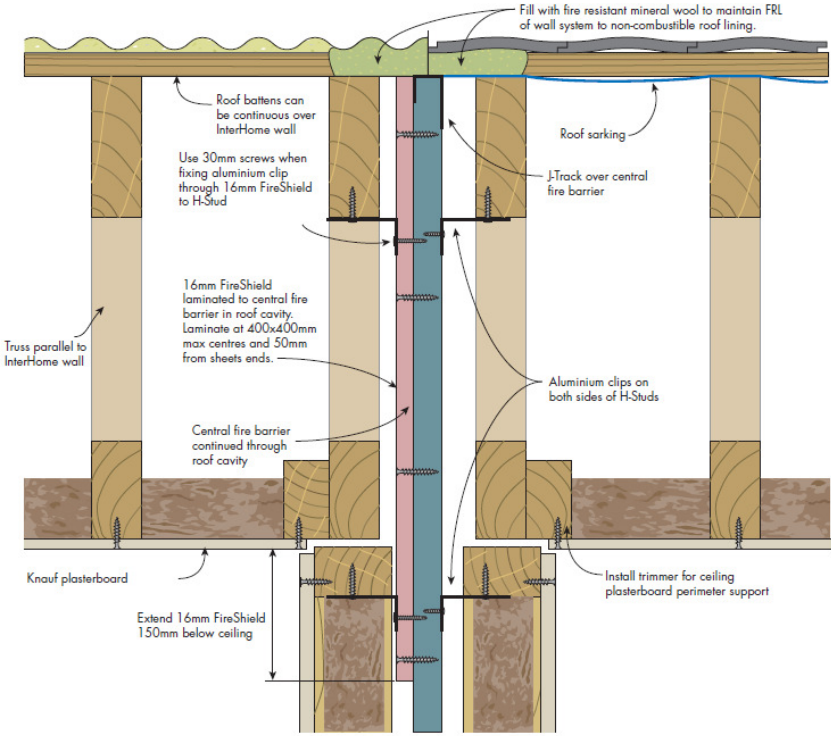


FIGURE 32 InterHome Wall with Parallel Roof Trusses FRL 60/60/60

INTERHOME WALL OVER EAVES - ELEVATION

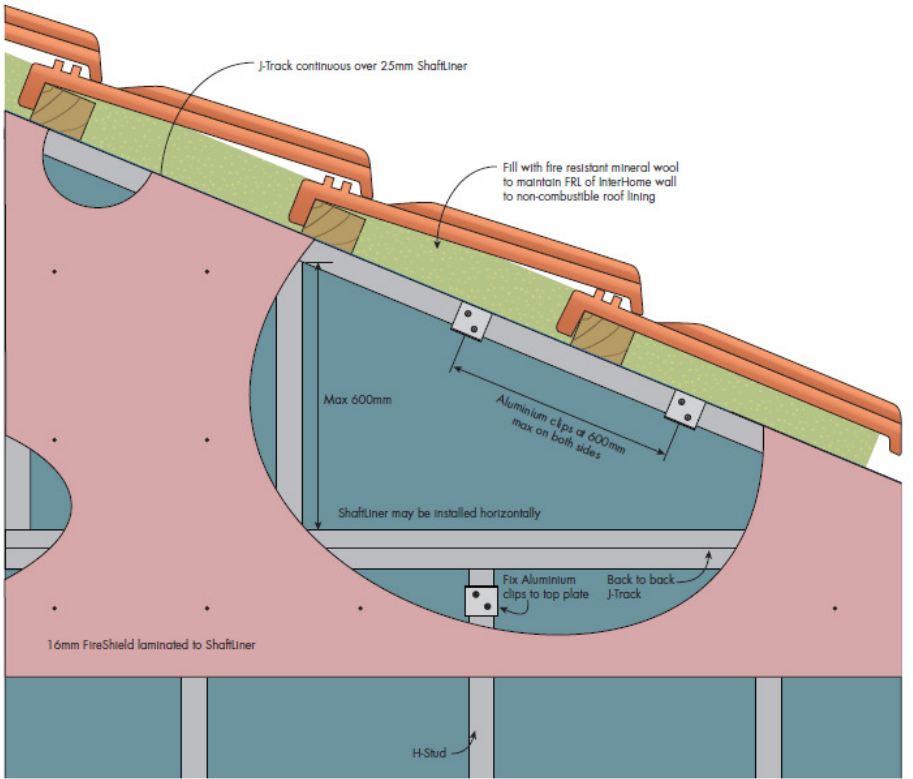
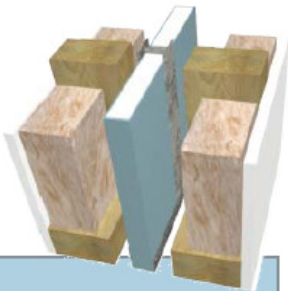


FIGURE 37 InterHome Horizontal ShaftLiner FRL 60/60/60

Timber Systems

KIH1

- WALL LINING:** [Both sides] 1 layer of 10mm **OPAL** or **SoundShield**
- FRAME:** Double timber studs at maximum 600mm centres
Minimum 20mm air gap to central fire barrier
- INSULATION:** Insulation required in both cavities
- CENTRAL FIRE BARRIER:** 1 layer of 25mm **ShaftLiner** encased in **InterHome H-Stud** at 600mm max centres
[16mm **FireShield** laminated to one side of central fire barrier at sub-floor area, floor junctions and roof cavity]

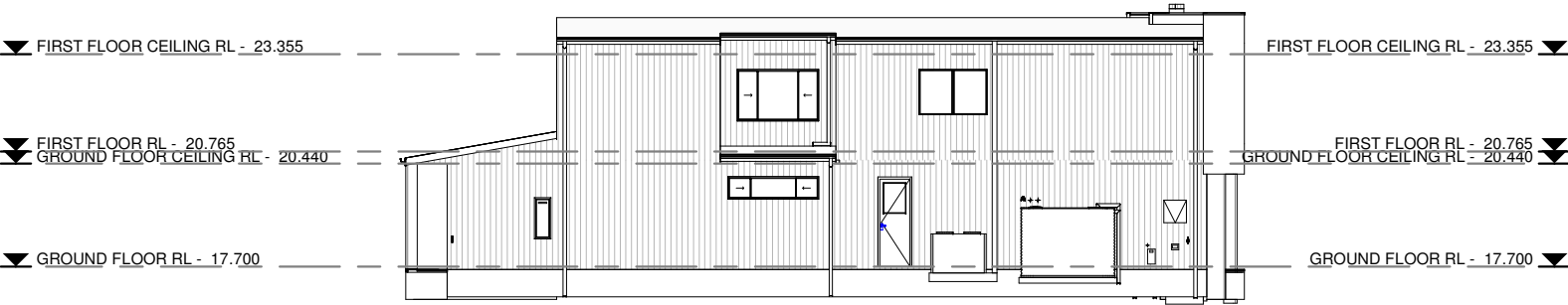


FRL 60/60/60 rated from both sides Fire Report FAR 3131	Stud Size (mm)	Cavity Size (mm)	Wall Width (mm)	Acoustics Rw (Rw + Ctr)				Acoustic Report Day Design 309442 Note: Impact Sound Resistant – Discontinuous Construction
				2 x R2.0 EarthWool	2 x R2.5 EarthWool	2 x R1.5 Polyester	2 x R2.0 Polyester	
	70	90	225	61 (47)^	62 (48)^	57 (45)^	59 (46)^	
	70* or 90	110	265	63 (49)^	64 (50)	58 (47)^	60 (48)^	

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										D	07.03.2022	AMENDMENTS TO SUIT QR	F.N
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										F	13.05.2022	NEW SURVEY. PLAN FOR TOWN PLANNER REVIEW	C.V.
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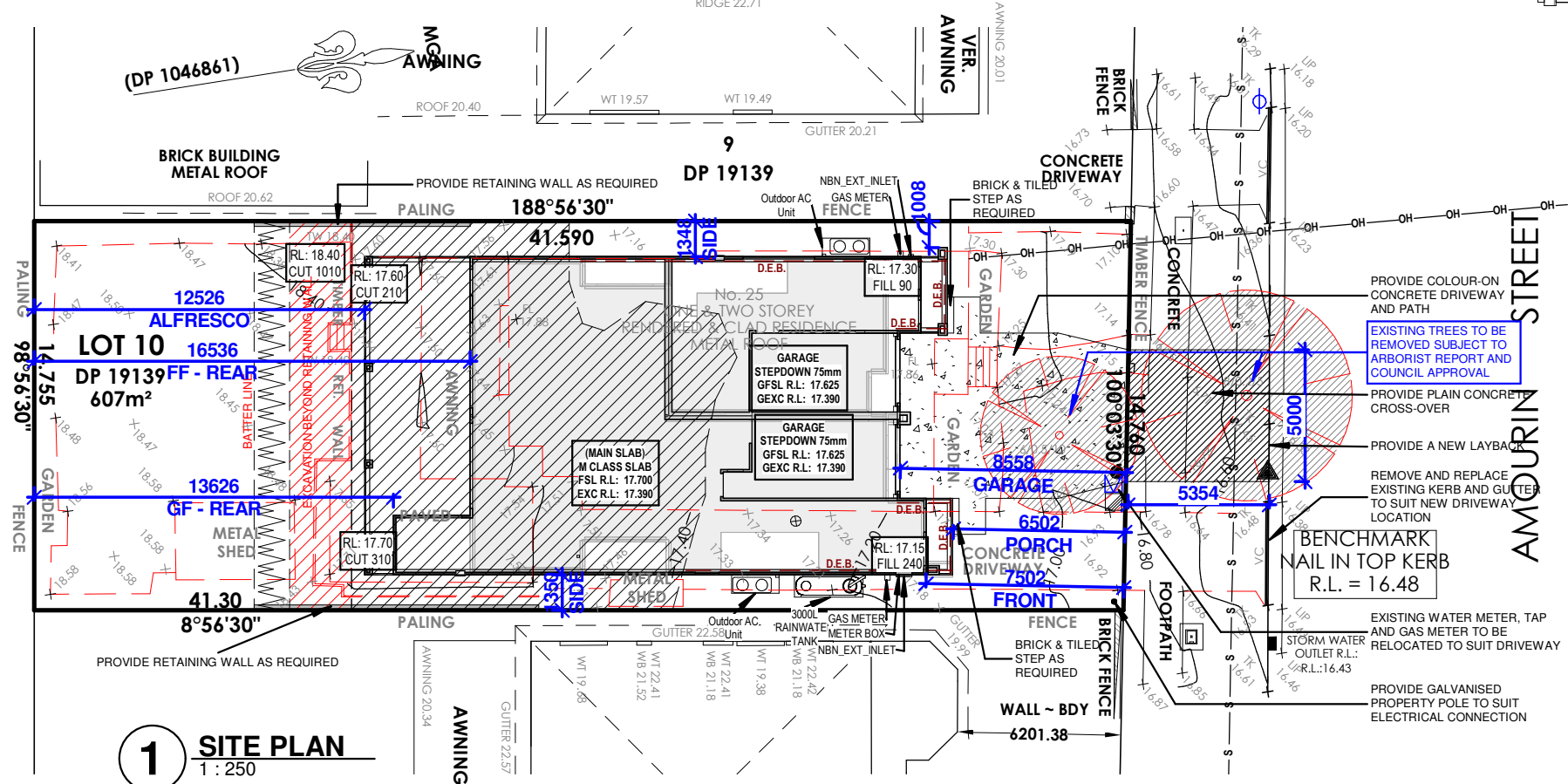
2 FRONT Notification
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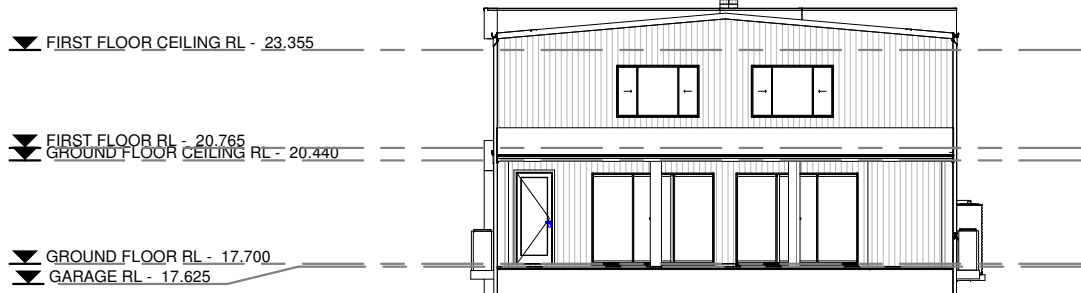
3 LEFT Notification
1 : 200



5 RIGHT Notification
1 : 200



1 SITE PLAN
1 : 250



4 REAR Notification
1 : 200

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		OWNER SIGNATURE: <i>SJP</i> <i>SJP</i> DATE		C	25.02.2022		COMPLIANCE AMENDMENTS	F.N		
				D	07.03.2022		AMENDMENTS TO SUIT QR	F.N		
				E	28.03.2022		FACADE UPDATED	F.N		
		Council: Northern Beaches Council		Paper: A3	Scale: As indicated		F	13.05.2022	NEW SURVEY. PLAN FOR TOWN PLANNER REVIEW	C.V.
DP No. : 19139		Approval Type: DA	Sheet No: A	Date: 14.12.2021	G		07.06.2022	DA ISSUE	AP	