

TUESDAY PROJECTS TOWN PLANNING



Statement of Environmental Effects

Aquatic Drive, Frenchs Forest

“Batting cage replacement”

5 August 2025

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PROJECT DETAILS

Client:	Manly Eagles Baseball Club
Subject land:	Aquatic Reserve, Frenchs Forest
Lot Description:	Lot 7349 in Deposited Plan 1167548
Proposed development:	Batting cage replacement.
Council:	Northern Beaches Council

The report is prepared by

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Bachelor of Architecture and Environments (USYD)

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I certify that the contents of the Statement of Environmental Effects to the best of my knowledge, has been prepared as follows:

- In accordance with Section 4.12 of the Environmental Planning and Assessment Act 1979 and Clause 50 of the Environmental Planning and Assessment Regulation 2021;
- The statement contains all available information that is relevant to the environmental impact assessment of the proposed development;
- To the best of my knowledge the information contained in this report is neither false nor misleading.

Emma Rogerson

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1.0 INTRODUCTION

This Statement of Environmental Effects has been prepared for the Manly Eagles Baseball Club to accompany a Development Application (DA) to Northern Beaches Council for the batting cage replacement at Aquatic Drive, Frenchs Forest. More specifically, the proposed development comprises of the:

- **Demolition** of existing batting cage structure;
- **Construction** of new enclosed batting cage structure and associated landscaping and lighting; and the
- **Retention** of the majority of the wider site including the basement fields and all trees.

These works are proposed to improve the recreational amenity of the site with upgraded baseball batting cages which are better protected from weather. The current wire batting cages are not enclosed and are only useable during good weather. The new indoor batting cage will allow training all year round and in all weather conditions.

A reasonable building envelope will protect the amenity of the wider reserve and the character of the fields. The proposal is permissible with consent and is suitable for the site and the area. The proposal has been designed to relate to its site and to the streetscape in terms of appearance, envelope, setbacks, bulk and scale. The proposal will operate without any significant impact to the amenity of neighbouring properties.

The proposal complies with all key development standards, including building height, floor space ratio, setback, landscaped area, and car parking requirements.

The purpose of this SEE is to:

- Describe the site to which the application applies and its context;
- Describe the proposed development;
- Describe the legislative framework against which the application is to be assessed; and
- Provide an assessment of the environmental impacts in accordance with the Section 4.15 of the EP&A Act 1979.

This Statement has been prepared in reference to the following:

Document	Author	Date
Architectural Plans	Andy's Home Design	June 2025
Bushfire Assessment Report	Bushfire Hazard Solutions	August 2025
Geotechnical Report	White Geotechnical	August 2025
Pre-DA Meeting Minutes	Northern Beaches Council	April 2025
Stormwater Drainage Plan	Michal Korecky	August 2025
Waste Management Plan	Andy's Home Design	August 2025

2.0 SITE ANALYSIS & CONTEXT

2.1 The Site

The site is located at Aquatic Reserve, Frenchs Forest and is legally described Lot 7349 in Deposited Plan 1167548. The site is located on the southern side of Aquatic Drive. The site is irregular in shape with a total area of approximately 94259.86 square metres.

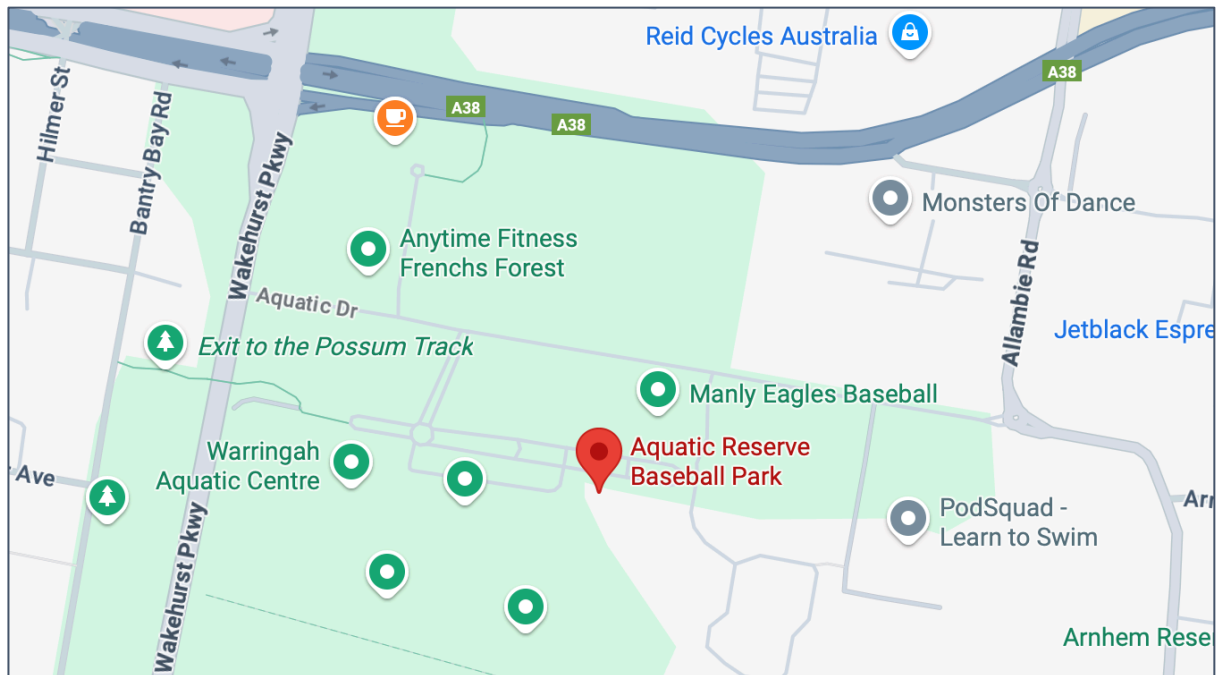


Figure 1 – Site locality map (Google Maps, 2025)

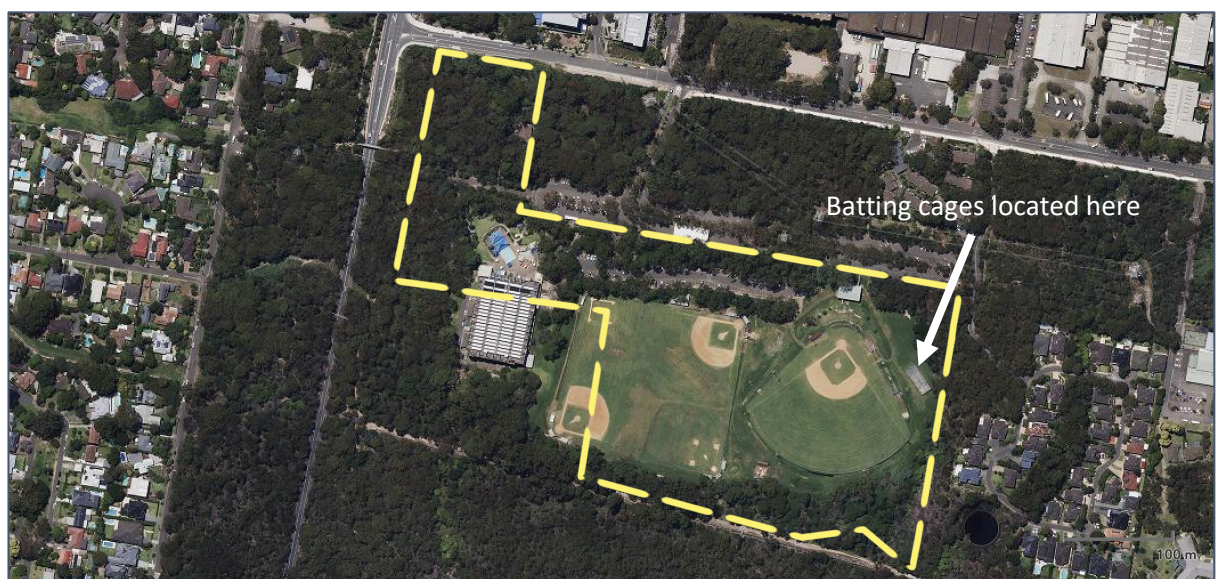


Figure 2 – Aerial map of wider site (NearMaps, 2025)

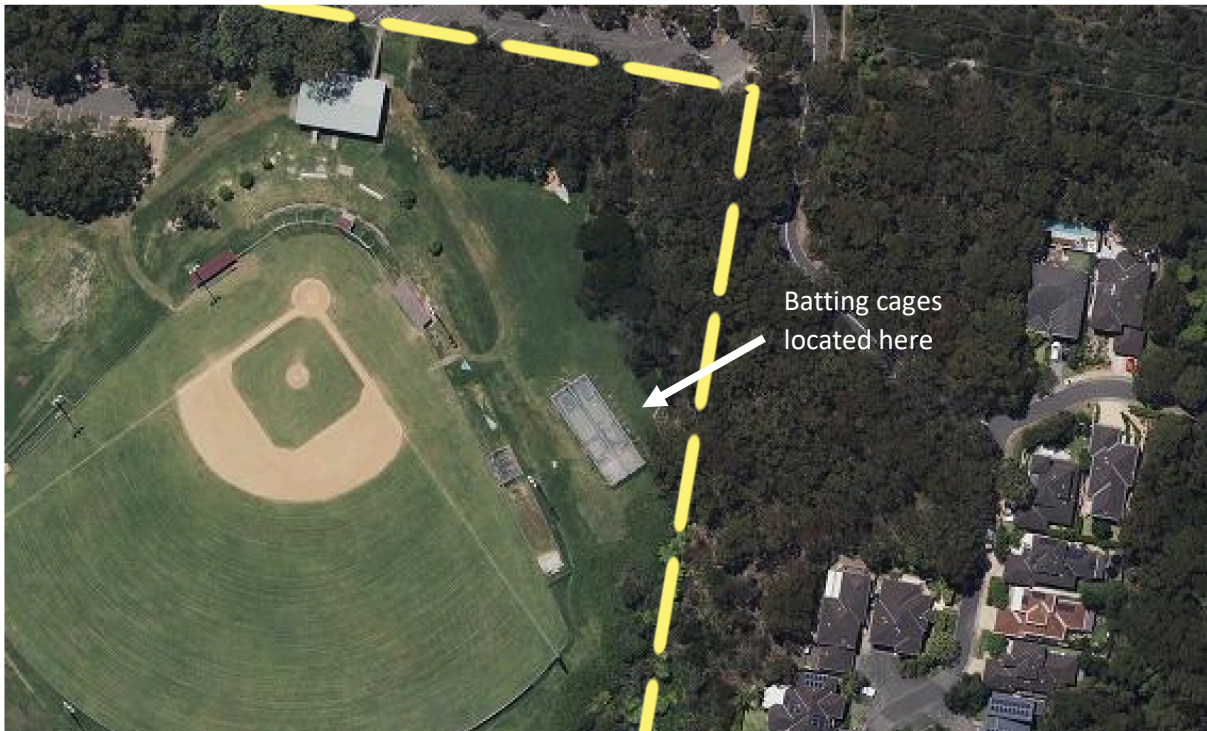


Figure 3 – Aerial map of portion of the site containing the existing batting cages (NearMaps, 2025)

The site currently contains numerous baseball fields, batting cages and other ancillary recreational structures. The majority of the land is landscaped.

The land is zoned both RE1 Public Recreation and C2 Environmental Conservation under the provisions of Warringah Local Environmental Plan 2011 (LEP). The site is not identified as a Heritage Item, nor is it located within a Heritage Conservation Area (HCA).



Figure 4 – View of the fields from the Aquatic Reserve carpark (Google Maps, 2018)



Figure 5 – Existing batting cages proposed for replacement (NearMaps, 2025)

2.2 The Locality

The site is located within the local area of Frenchs Forest. The locality comprises low density residential development to the east and west, commercial development to the north, and significant bushland to the south. A number of existing built structures are located on and around the site, including but not limited to the Warringah Aquatic Centre and buildings associated with the baseball club.

2.3 Connectivity and Public Transport

The site has good access to public transport, with bus stops located within a 2 minute walk (200 metres) of the property which is serviced by the 142 bus route. This route easily connects the development site with key destinations including the Manly and Allambie Heights, allowing visitors of the batting cages, aquatic centre and baseball facilities site to visit without requiring a private car. As the need for a private car is reduced, as is the demand for both on and off-street car parking.

2.4 Development History

A search on Council's DA Tracker returned the following results for recent development applications associated with the site:

[Principal Certifier PCA2016/0092](#)

Change of use from a kiosk to a food and drink premises (cafe) (Submitted: 30/11/2016)

[Construction Certificate CC2016/0666](#)

Construction of a Café resulting from Consent issued for "Change of use from a kiosk to a food and drink premises (cafe)" (Submitted: 16/11/2016)

[Section 455 Modifications Mod2016/0265](#)

Modification of DA2016/0811 granted for a change of use from a kiosk to a food and drink premises (cafe) (Submitted: 10/10/2016)

[Development Application DA2016/0811](#)

Change of use from a kiosk to a food and drink premises (cafe) (Submitted: 10/08/2016)

[Construction Certificate CC2013/0263](#)

Demolition of existing sports field lighting and construction of sports field lighting (Submitted: 19/06/2013)

[Principal Certifier PCA2013/0467](#)

Demolition of existing sports field lighting and construction of sports field lighting (Submitted: 19/06/2013)

[Development Application DA2013/0281](#)

Demolition of existing sports field lighting and construction of sports field lighting (Submitted: 11/03/2013)

[Converted Fujitsu DA2000/4857](#)

Alterations and Additions to Existing Child Minding Centre Within the Warringah Aquatic Centre 21/11/2000 Fees Paid DA Fee \$314, LSL \$96, CC Fee \$248.05, If \$110, 21/11/00 DA Consent to Bruce Lindsay by Hand; File to Records (Submitted: 04/09/2000)

[Converted Fujitsu DA1999/3252](#)

Upgrading Existing Baseball Facilities - Baseball Diamond - Warringah (Submitted: 19/11/1999)

[Converted Fujitsu BA5002/2397](#)

ADD Sun Shades N (Submitted: 18/06/1993)

A pre-lodgement meeting (PLM2025/0028) was held on 1 August 2025 regarding the subject proposal. Key feedback raised by Council during the meeting have been addressed in this Development Application in the following ways:

Table 1: Key pre-DA feedback

Council feedback	Applicant response
Council's land records show that Lot 7349 DP1167548 is Crown Land vested in Council. Written owner's consent will need to be obtained prior to lodgement of the DA for the new shed from Council. This can be gained by addressing a written request to the CEO Northern Beaches Council for the attention of: "Manager, Parks Assets – Planning, Design & Delivery".	Compliance achieved Consent has been obtained via this method.
The position of the building is consistent with the existing position of the nets. Generally, Council would expect the external materials to be a suitable colour for the bushland environment. Any external security lighting (sensor light) should be low glare (shielded) with internal lighting arranged so there is no glare toward nearby houses in Madison Way. Minor shrub planting may be suitable to protect outer walls from graffiti / break up wall planes.	Compliance achieved The proposed materials are neutral and non-reflective, to avoid detracting from the natural landscape setting dominated by green and brown. Only one new lighting fixture is proposed above the roller door. This will be angled to provide adequate security and amenity, but not create adverse glare. New landscaping along the sides of the structure are proposed.

Council does not expect any advertising / sponsorship banners / signs on the exterior of the building. Identification signage is acceptable if mounted flat to the wall or near the entry door. Internal signage or banners are acceptable as they would not be readily visible to the public domain.	<p>Compliance achieved</p> <p>No external signage is proposed.</p>
For Development Applications on land associated with Council the "Council Related Development Management Strategy" applies.	<p>Compliance achieved</p> <p>The requirements of the "Council Related Development Management Strategy" are understood. Council can outsource the assessment of this DA to an independent external contractor.</p>
The wall height of the shed is consistent other buildings near the baseball nets.	<p>Compliance achieved</p> <p>The proposed wall height continues to be consistent with the other buildings nearby.</p>
The front and rear boundary setbacks are sufficiently clear but should be shown on an overall schematic site plan as a single measurement.	<p>Compliance achieved</p> <p>Setbacks to the closest boundaries are clearly shown.</p>
The SEE should outline that the capacity of use remains consistent with the current parking arrangements and as part of the new shed there are no ancillary works planned for the carpark (e.g. such changes to any line marking or pathway access from the carpark). No specific traffic or parking analysis report is required.	<p>Compliance achieved</p> <p>The capacity of use remains consistent with the current parking arrangements and as part of the new shed there are no ancillary works planned for the carpark. No operational changes are proposed. The new batting cages will operate as per the existing batting nets.</p> <p>The following feedback from Council's traffic team are agreed with:</p> <p><i>While there may be some increased traffic and parking demands generated in inclement weather as a result of the change it is not considered that there will be significant traffic or parking issues associated with the proposal which is essentially catering for an existing use in a location which is already well served with parking. The erection of the indoor batting cage will enable the existing use to operate in all weather conditions and is unlikely to be opposed on traffic grounds.</i></p>

Excavation will be minimal, and a demolition waste management plan will be required.	Compliance achieved Refer to Waste Management Plan.
The DCP seeks that colours are suitable for the surrounding bushland / parkland environment. The use of colorbond green or similar earthy tones may also include a secondary colour for the trim (gutters, door frames, down pipes etc). The colours should be low glare earthy tones. (Note the related controls regarding D9 Building bulk, D11 Roofs and D12 Glare and reflection for the applicant to address in the Statement of Environmental Effects).	Compliance achieved The proposed colours are neutral and non-reflective.
No trees are required to be removed. Any planting along the outer wall to break up building bulk and reduce potential graffiti should be suitable native species shrubs that are planted away from downpipes, pits and service cables.	Compliance achieved The proposal does not proposed the removal of any trees. Council may wish to condition the planting of shrubs.
It is unknown how water runoff from the roof will be collected to eliminate ground scouring, and a solution shall be presented with any development application. Stormwater from the proposed roof must be collected and connected to a suitably designed level spreader to ensure no concentration of flows. Details of the level spreader and proposed spoon drain are to be submitted with the DA.	Compliance achieved The proposal shows stormwater management details, and the proposal of a new drainage infrastructure component to the south of the new shed. Refer to the Stormwater Drainage Plans.
It is unknown if storage is intended within the structure, and all use activities shall be indicated in any development application.	Compliance achieved No storage is proposed.
It is unknown if this facility is intended for private occupation by solely the Manly Warringah Baseball Club, or is otherwise intended for public use and this is to be identified in any development application. Lease arrangements through Council's Property business unit will apply for use as a private occupation, if supported by Council.	Compliance achieved The proposed structure will be operated by the Manly Eagles Baseball Club, as per the current netting. Council may wish to condition the requirement of lease arrangements.

A Bushfire Hazard Assessment Report is required.	<p>Compliance achieved</p> <p>A Bushfire Assessment report has been submitted with this DA.</p>
<p>The following biodiversity related legislation and planning controls apply to the subject lot. Compliance with applicable provisions will need to be demonstrated within the submitted Statement of Environmental Effects (SEE) and/or supporting documentation.</p> <ul style="list-style-type: none"> • Planning for Bushfire Protection 2019 • Biodiversity Conservation Act (BC Act) 2016 • Biodiversity Conservation Regulation (BC Reg) 2017 • Warringah DCP clause E3 Threatened species, populations, ecological communities listed under State or Commonwealth legislation, or High Conservation Habitat • Warringah DCP clause E4 Wildlife Corridors • Warringah DCP clause E5 Native Vegetation • Warringah DCP clause E6 Retaining unique environmental features 	<p>Compliance achieved</p> <p>The listed documents have been addressed throughout this report.</p>
If any works would take place within 5 metres of a prescribed tree, an Arboricultural impact assessment will need to be submitted to confirm whether the trees can be retained or will need to be removed.	<p>Compliance achieved</p> <p>No trees are proposed for removal under this application, and generous setbacks between the closest trees and the new structure are provided so no arborist report is considered necessary.</p>
The site is mapped within the Department of Climate Change, Energy, the Environment and Water (DCCEEW) Biodiversity Values Mapping (Figure 2 below, purple polygon). If the proposal would result in any impacts to the BV Map, a Biodiversity Development Assessment Report will need to be prepared and submitted with the application.	<p>Compliance achieved</p> <p>The works do not encroach on the area of the site marked as having biodiversity value, so no Biodiversity Development Assessment Report has been prepared.</p>
The Statement of Environmental Effects will need to address the Biodiversity Conservation Act 2016 in relation to the applicability/triggers of the Biodiversity Offsets scheme even if the proposed development does not trigger entry into the scheme.	<p>Compliance achieved</p> <p>The listed Act has been addressed throughout this report.</p>

3.0 THE PROPOSAL

3.1 Overview

The Development Application proposes the batting cage replacement at Aquatic Reserve, Frenchs Forest. More specifically, the proposed development comprises of the:

- **Demolition** of existing batting cage structure;
- **Construction** of new enclosed colorbond batting cage structure (covering an area of 14m x 30m, and reaching a maximum of 7.054m in height) with motorised roller door, and associated new landscape plantings, and external lighting above the roller door; and the
- **Retention** of the majority of the wider site including the basement fields and all trees.

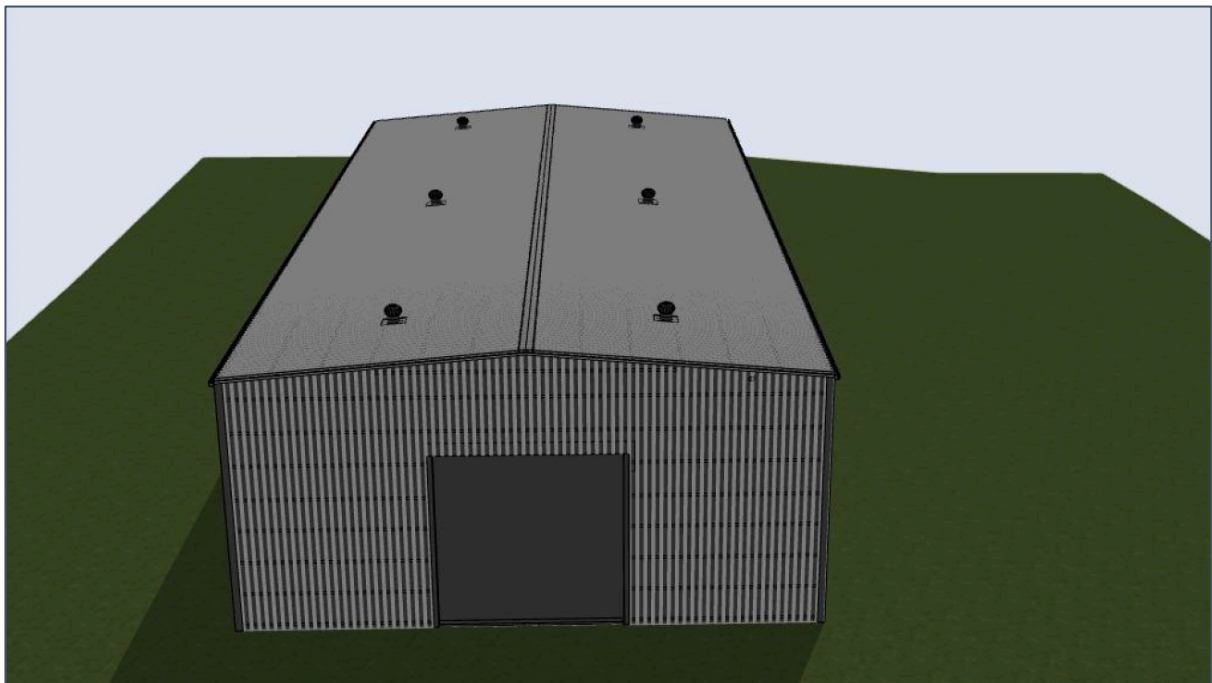


Figure 6 – Proposed development as viewed from the street (Andy's Home Design, 2025)

The proposal has been designed to relate to its site in relation to appearance, envelope, setbacks, bulk and scale. The contemporary design utilises high quality materials and detailing to present an unobtrusive visual outcome for the locality. The development will be located in a similar location as the existing batting cages, and will exhibit a reasonable two-storey scale which is consistent with other multi-storey structures at Aquatic Reserve. New screening will soften the visual appearance.

Only one new lighting fixture is proposed above the roller door. This will be angled to provide adequate security and amenity, but not create adverse glare.

No operational changes or new signage are proposed as part of this Development Application. The new cages will follow the same operational processes as the existing batting nets.

Please refer to plans prepared by Andy's Home Design.

3.2 Development Configuration and Numerical Overview

A brief numerical overview of the development parameters for the proposed development is included in the following table

Table 2: Key development components

Component	Requirement	Proposal	Compliance
Site area	Minimum 20 hectares	94259.86m ²	No change
Height	No maximum	7.054m	No maximum
Boundary setbacks <ul style="list-style-type: none"> East 	Merit assessment	Of new structure 7.285m – 27.943m	On merit – similar to existing netting

4.0 STATUTORY PLANNING FRAMEWORK AND ENVIRONMENTAL ASSESSMENT

This Chapter provides an environmental assessment in accordance with Section 4.15 of the Environmental Planning and Assessment Act 1979.

4.1 Statutory and Policy Compliance

The relevant matters for consideration under Section 4.15(a) of the EP&A Act, 1979, are identified as:

- State Environmental Planning Policy (Resilience and Hazards) 2021
- State Environmental Planning Policy (Biodiversity and Conservation) 2021
- Warringah Local Environmental Plan 2011
- Planning for Bushfire Protection 2019
- Biodiversity Conservation Act (BC Act) 2016
- Biodiversity Conservation Regulation (BC Reg) 2017
- Warringah Development Control Plan 2011

The primary statutory document that relates to the subject site and the proposed development is Warringah Local Environmental Plan 2011. The primary non-statutory plan relating to the subject site and the proposed development is Warringah Development Control Plan 2011.

4.1.1 State Environmental Planning Policy (Resilience and Hazards) 2021

This Policy is to provide for a state-wide planning approach to the remediation of contaminated land. Subject to Clause 7, considerations should be given to the suitability of land in terms of contamination.

The subject site has a long history of being used for recreational purposes. Thus, there is no further consideration required under Clause 7(1)(b) and (c) of this SEPP.

4.1.2 State Environmental Planning Policy (Biodiversity and Conservation) 2021

This SEPP repeals clause 5.9 and 5.9AA of the Warringah LEP in relation to the regulation of clearing vegetation. Section 9(2) of the SEPP confers the assessment criteria for the removal of vegetation to the Council's DCP.

No prescribed trees or other significant vegetation is proposed for removal under this Development Application. The new batting cage structure is only slightly greater in area compared to the existing batting cages so a negligible reduction of insignificant landscaping will occur. New plantings are proposed along the sides of the structure. Therefore no further consideration of this SEPP is required.

4.1.3 Warringah Local Environmental Plan 2011

The development complies with the provisions of Warringah Local Environmental Plan 2011 (LEP 2011).

Zoning and permissibility

The site is located in both Zone RE1 Public Recreation and C2 Environmental Conservation. The portion of land where the batting cage replacement will occur is zoned RE1.

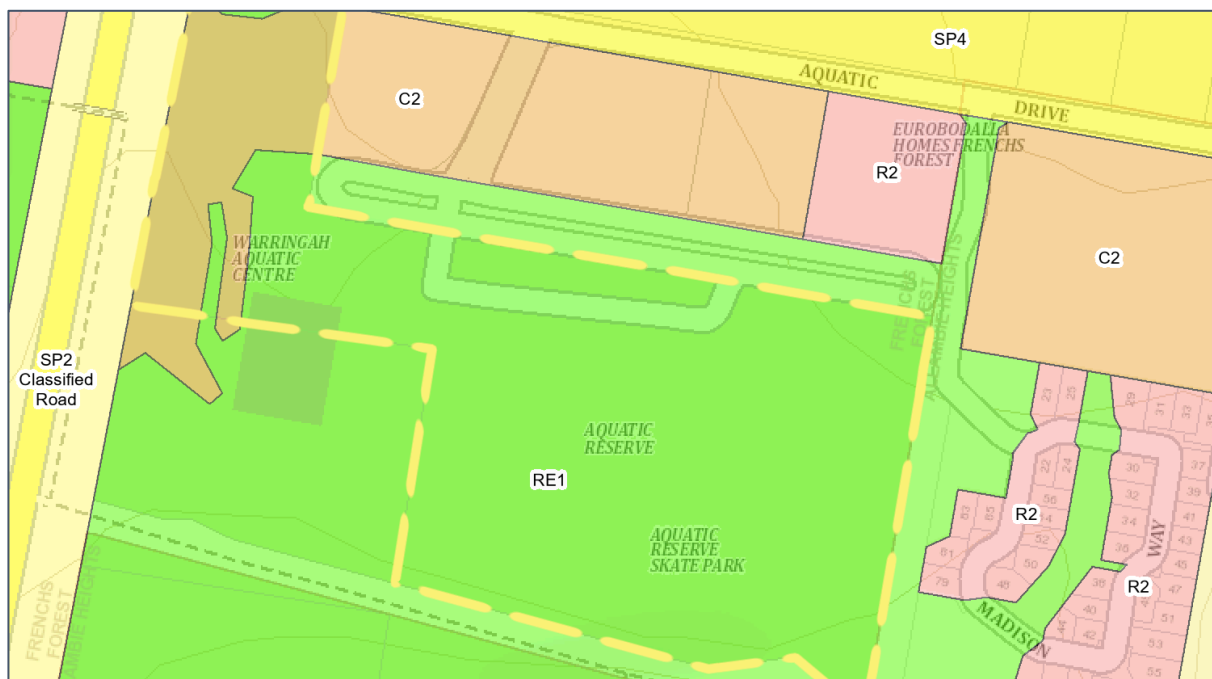


Figure 7 – Land Zoning Map (NSW Planning Portal)

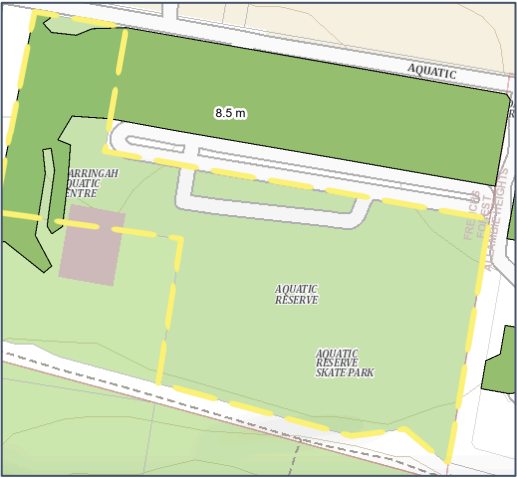
The development is identified to be ‘*recreation facilities (indoor)*’, which is permitted with consent in the RE1 Public Recreation zone.

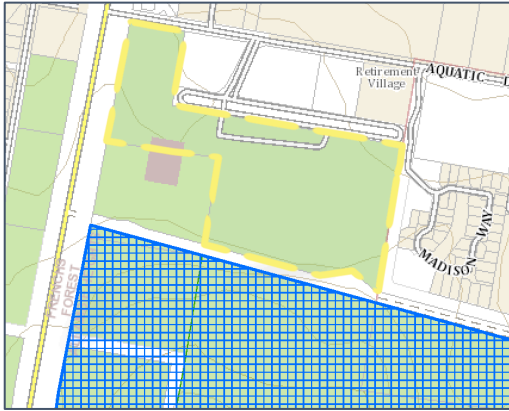
The objectives of the zone are:

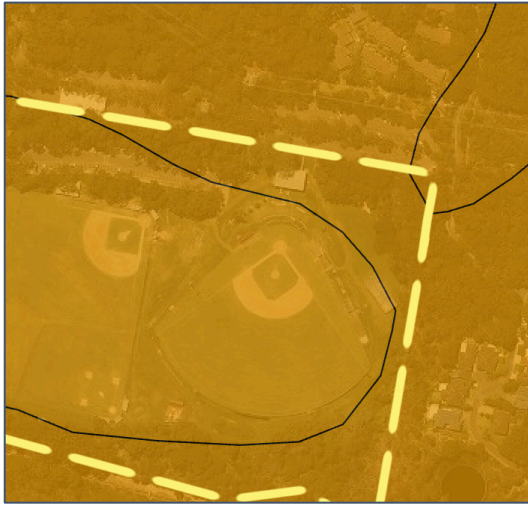

- *To enable land to be used for public open space or recreational purposes.*
- *To provide a range of recreational settings and activities and compatible land uses.*
- *To protect and enhance the natural environment for recreational purposes.*
- *To protect, manage and restore public land that is of ecological, scientific, cultural or aesthetic value.*
- *To prevent development that could destroy, damage or otherwise have an adverse effect on those values.*

The proposed batting cage replacement meets the relevant land use zone objectives. The development will provide upgraded recreational area for baseball practice activities regardless of weather. No significant landscaping is proposed for removal as a result of the new structure, so the natural environment and values of the site remains protected.

Development Standards and Additional Local Provisions

Clause	Development Standard	Comment
Clause 4.3	<p>Height of Buildings</p> <p>The LEP Height of Building Map stipulates that part of the site has the maximum building height permitted of 8.5 metres.</p> <p>The portion of land where the batting cages are proposed does not have any maximum.</p>  <p>Figure 8 – Height of Buildings Map (NSW Planning Portal)</p>	<p>Not applicable.</p> <p>The proposed height of the development is 7.054 metres.</p>
Clause 4.4	<p>Floor Space Ratio</p>	<p>Not applicable.</p>

	<p>The LEP Floor Space Ratio Map does not stipulate any maximum floor space ratio for this site.</p>	
<p>Clause 5.10</p>	<p>Heritage Conservation</p> <p>The site is not identified as a Heritage Item, nor is it located within a Heritage Conservation Area (HCA). However, the site does directly adjoin a State Heritage Listed heritage item to the south known as the 'Manly Warringah War Memorial Park' (listing #02073').</p>  <p>Figure 11 – Heritage Map (NSW Planning Portal)</p>	<p>Compliance achieved</p> <p>The proposed works will have no impact upon the heritage significance of the adjoining State Heritage Item as the works are located generously setback from the shared boundary and are of a modest scale and neutral colouring and materiality, as to avoid visually dominating the landscape values and setting of the Item.</p> <p>Given the modest nature of the proposal a Heritage Impact Statement report is not considered necessary, however, one can be provided upon Council request.</p>
<p>Clause 6.2</p>	<p>Earthworks</p> <p>The objective of this clause is to ensure that earthworks for which development consent is required will not have a detrimental impact on environmental functions and processes, neighbouring uses, cultural or heritage items or features of the surrounding land.</p>	<p>Compliance achieved</p> <p>The proposal is considered to be consistent with the requirements of this clause as the development is not expected to disrupt or have a detrimental effect on the drainage patterns and soil stability of the locality. Nor is it likely to disturb relics and have an adverse impact on any waterway, drinking water catchment or environmentally sensitive area. This is due to the negligible extent of cut and fill included within the proposal, which will not drastically alter the existing</p>

		terrain and environmental functions and processes.
Clause 6.4	<p>Development on sloping land</p> <p>The subject site is identified to be located within a landslip risk hazard zone, specifically 'Area A – Slopes <5' and 'Area B – Flanking Slopes 5 to 25'.</p> <p>The area subject of the new works is mostly Area A.</p>  <p>Figure 12 – Landslip Map (NSW Planning Portal)</p>	<p>Compliance achieved</p> <p>The proposal involves negligible earthworks which are not considered to threaten the geotechnical stability of the site and will not produce any increase in landslide risk.</p> <p>New works will occur on already flat terrain so a geotechnical assessment is not considered necessary, however, can be provided upon Council request.</p>
Non-EPI	<p>Biodiversity Values Map</p> <p>Portions of the site are affected by the Biodiversity Values Map.</p>  <p>Figure 13 – Biodiversity Values Map (NSW Planning Portal)</p>	<p>Not applicable.</p> <p>The proposed works are occurring upon a portion of the site which is not marked as affected by the biodiversity values.</p>

4.1.4 Planning for Bushfire Protection 2019

This Policy provides development standards for designing and building on bush fire prone land in New South Wales. It provides standards and guidance for bush fire protection measures (BPMs) for new buildings. The objectives of this document are to:

- afford buildings and their occupants protection from exposure to a bush fire;
- provide for a defensible space to be located around buildings;
- provide appropriate separation between a hazard and buildings which, in combination with other measures, prevent the likely fire spread to buildings;
- ensure that appropriate operational access and egress for emergency service personnel and occupants is available;
- provide for ongoing management and maintenance of BPMs; and
- ensure that utility services are adequate to meet the needs of firefighters.

The proposal is considered to align with the objectives of this Policy as the new works do not obstruct emergency evacuation and emergency service personnel routes. Materials are not inherently highly flammable. The use of the new batting cages does not introduce risk of accidentally creating a fire.

Refer to the Bushfire Assessment Report for detailed consideration of this Policy.

4.1.5 Biodiversity Conservation Act (BC Act) 2016

This Policy outlines provisions relating to the biodiversity offsets scheme (BOS). Local development and clearing that requires development consent must consider the BOS thresholds to determine whether the scheme applies to a proposal. Scheme participants must determine whether:

- the proposed development or clearing footprint is on land mapped on the Biodiversity Values Map, or
- the proposed development or clearing footprint exceeds the area clearing threshold.

If the determining authority (often local council) finds that either threshold is exceeded, the Biodiversity Offsets Scheme applies and further assessment via a Biodiversity Development Assessment Report is required. The proposed development does not trigger entry into the scheme as the works do not include the clearing of native vegetation that exceeds the area clearing threshold, so a BDAR is not required.

The WLEP stipulates a minimum lot size of 20 hectares for the subject site, which means that a trigger for clearing of 0.5 hectares or more applies. An area exceeding 0.5 hectares is not proposed for clearing, so the biodiversity offsets scheme is not triggered.

Minimum lot size associated with the property	Threshold for clearing, above which the Biodiversity Assessment Method and Biodiversity Offsets Scheme apply
Less than 1 ha	0.25 ha or more
1 ha to less than 40 ha	0.5 ha or more
40 ha to less than 1000 ha	1 ha or more
1,000 ha or more	2 ha or more

Data source: Biodiversity assessments and calculation of the scheme entry requirements
(<https://www.environment.nsw.gov.au/topics/animals-and-plants/biodiversity-offsets-scheme/clear-and-develop-land/assessments-calculation-scheme-entry-requirements>)

The following excerpt shows that the area of the site containing the new batting cages is not subject to any relevant biodiversity value, nor any minimum clearing lot size separate to the lot size in the WLEP 2011.

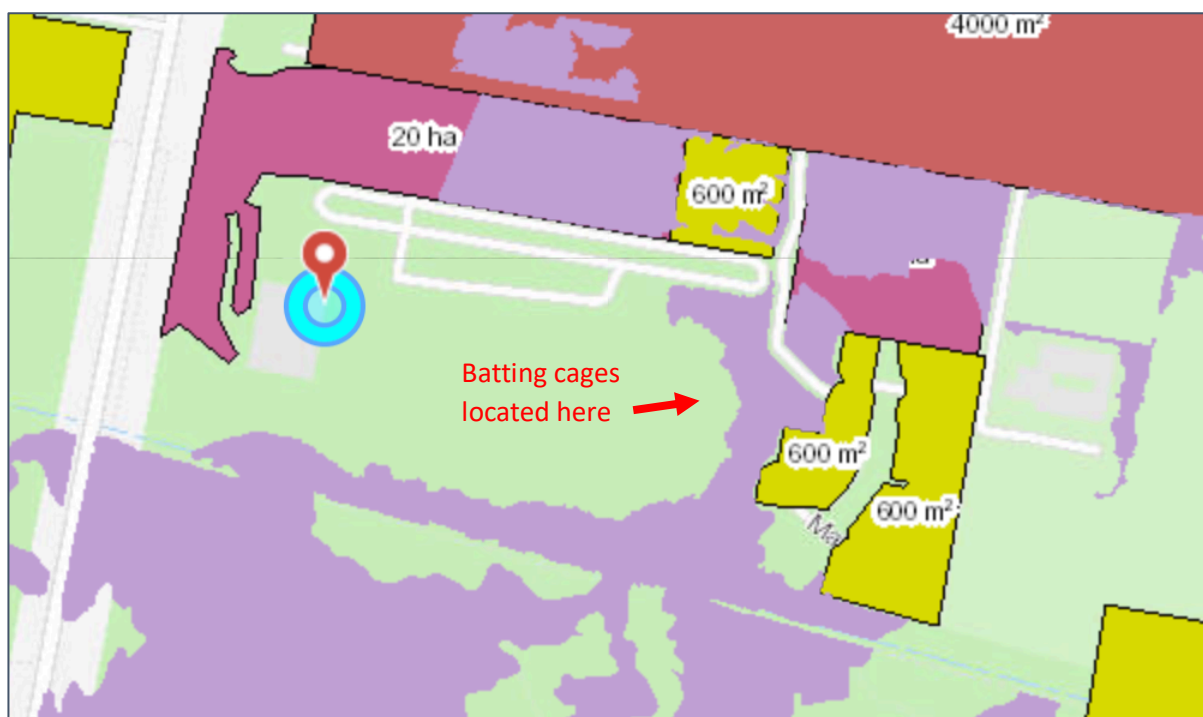


Figure 14 – Biodiversity Values Map and Threshold Tool

4.1.6 Biodiversity Conservation Regulation (BC Reg) 2017

This Policy is not applicable to the subject development as the proposal will not be located upon or impact near land that is identified as containing ‘threatened species and ecological communities’. The Legislation NSW webpage states that “this legislation is currently due to be automatically repealed

under the Subordinate Legislation Act 1989 on 1 September 2025". Furthermore, the contents relevant to the biodiversity offsets scheme do not apply for the same reasons as outlined in part 4.1.5 of this SEE report.

4.1.7 Warringah Development Control Plan 2011

The development achieves a high level of compliance with the provisions of Warringah Development Control Plan 2011.

Control		Comment	Compliance
PART B – BUILT FORM CONTROLS			
B1 Wall Heights			
1	Walls are not to exceed 7.2 metres from ground level (existing) to the underside of the ceiling on the uppermost floor of the building (excluding habitable areas wholly located within a roof space).	New works sit below 7.2m in wall height.	Yes
PART C – SITING FACTORS			
C2 Traffic, Access and Safety			
1	Applicants shall demonstrate that the location of vehicular and pedestrian access meets the objectives.	No changes to vehicular and pedestrian access are proposed.	N/A
6	Facilities for the loading and unloading of service, delivery and emergency vehicles are to be appropriate to the size and nature of the development, screened from public view, and designed so that vehicles may enter and leave in a forward direction.	No changes to loading and unloading are proposed.	N/A
C4 Stormwater			
1	Stormwater runoff must not cause downstream flooding and must have minimal environmental impact on any receiving stormwater infrastructure, watercourse, stream, lagoon, lake and waterway or the like. The stormwater drainage systems for all developments are to be designed, installed and maintained in accordance with Council's Water Management for Development Policy.	Refer to the Stormwater Drainage Plan for compliance.	Yes
C7 Excavation and Landfill			
2	Excavation and landfill works must not result in any adverse impact on adjoining land.	Negligible earthworks are proposed, as new works are located upon already relatively flat portions of the site.	Yes

Control		Comment	Compliance
3	Excavated and landfill areas shall be constructed to ensure the geological stability of the work.	Negligible earthworks are proposed, as new works are located upon already relatively flat portions of the site.	Yes
6	Where landfill is necessary, it is to be minimal and shall have no adverse effect on the visual and natural environment or adjoining and surrounding properties.	Negligible earthworks are proposed, as new works are located upon already relatively flat portions of the site.	Yes

PART D - DESIGN

D6 Access to Sunlight

1	Retain access to sunlight for residential land uses.	The new works are generously setback from residential uses, so overshadowing is not a concern. Council's pre-lodgement minutes agree with this.	Yes
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D7 Views

1	Special views and vistas should not be obstructed.	The new works do not obstruct any significant views or vistas, due to the modest scale and considerate location.	Yes
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D8 Privacy

1	Do not create opportunities for overlooking.	The new works do not introduce new viewing areas or vantage points.	Yes
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D9 Building Bulk

1	Reduce building bulk.	Neutral colours and a modest scale reduces building bulk. Landscaping along side walls assists to soften the built form.	Yes
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D20 Safety and Security

1	Do not create unsafe and unsecure areas.	The proposal will uphold safety as the new building will not facilitate hidden or concealed public areas which will increase the likelihood of anti-social behaviour. Lighting from existing poles and proposed new lighting fixtures will reduce this too.	Yes
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PART E – THE NATURAL ENVIRONMENT

E3 Threatened species, populations, ecological communities listed under State or Commonwealth legislation, or High Conservation Habitat

1	The applicant must demonstrate that the objectives have been achieved through a Flora and Fauna Assessment prepared in accordance with Council guidelines	Such a report is not considered necessary as no new works are proposed upon areas identified as	N/A
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Control		Comment	Compliance
		subject to containing the listed species and communities.	
2	The applicant must demonstrate that the objectives have been achieved through a Biodiversity Management Plan prepared in accordance with Council guidelines that will protect, manage and where appropriate promote the recovery of threatened species, populations and ecological communities and areas of high conservation habitat on the subject property.	Such a report is not considered necessary as no new works are proposed upon areas identified as subject to containing the listed species and communities.	N/A
E4 Wildlife Corridors			
1	This control applies to land identified on DCP Map Wildlife Corridors.	<p>The subject works are not considered to be occurring within a DCP Map Wildlife Corridor.</p>  <p>Figure 15 – Wildlife Corridor Map with batting cages shown in a red arrow (Warringah DCP)</p>	N/A
E5 Native Vegetation			
1	This control applies where native vegetation is being modified.	The proposal does not modify native vegetation.	N/A
E6 Retaining unique environmental features			
1	Development is to be designed to address any distinctive environmental features of the site and on adjoining nearby land.	The proposal is complementary to the significant trees and bushland nearby by featuring neutral colours and materials that do not detract visually from the landscape setting. Further, new works will not reduce trees or significant landscaping.	Yes

4.2 Strategic Planning Context

The proposal aligns with the desired strategic outcomes identified for the area, detailed within the Northern Beaches Council Local Strategic Planning Statement, and the 'A Metropolis of Three Cities' Region Plan.

4.3 Impacts of the Development

As noted in the above assessment against the provisions of the relevant Environmental Planning Instruments and Development Control Plan, the development is of a reasonable scale and nature, and does not present unreasonable environmental, social and economic impacts.

Impacts on Natural and Built Environment

The development does not impact upon native vegetation, soil conditions, foreshore environment or air quality.

The proposed built form allows the neighbouring sites and wider recreational land to retain their access to privacy, solar access, pleasant outlook and overall residential and recreational amenity. The high quality materials proposed for use during construction, and the skilful design of the proposed development will also upgrade the presentation of the site to the reserve. Neutral colouring and non-reflective materials will reduce the visual bulk of the new structure.

Social and Economic Impacts

The development increases the social amenity of the property with the upgraded batting cages that can be used during all weather events. This will improve the access to recreational opportunities for local residents and visitors.

The short term economic impacts are positive, with the generation of employment opportunity through the physical construction stages. The use of high quality materials will ensure a durable final built outcome, reducing the need to rebuild in the near future, resulting in a positive long term financial and sustainability outcome.

4.4 Suitability of the Site

The subject site is considered suitable in size and shape to accommodate the batting cage replacement. The proposal does not introduce any incompatible uses to the site. The works are permissible under the RE1 Public Recreation zone.

4.4.1 Access to Services

The site is located within an established mixed area with excellent access to services and public transport. As the site is within an established urban area, electricity, sewer, telephone, and water services are readily available to the subject site.

4.4.2 Parking and Access

No changes to access and parking to the wider reserve are proposed by this Development Application.

4.4.3 Hazards

The site is in an area recognised by Council as being subject to bushfire and flooding. The proposed development is not likely to increase the likelihood of such hazards occurring and is considered appropriate in this instance. A Bushfire Assessment report has been submitted with this DA.



Figure 16 – Bushfire Map (NSW Planning Portal)

A Flood Report is not considered necessary either as the portion of land subject to the new works is not affected by flood risk. however, such a report can be prepared upon Council request.

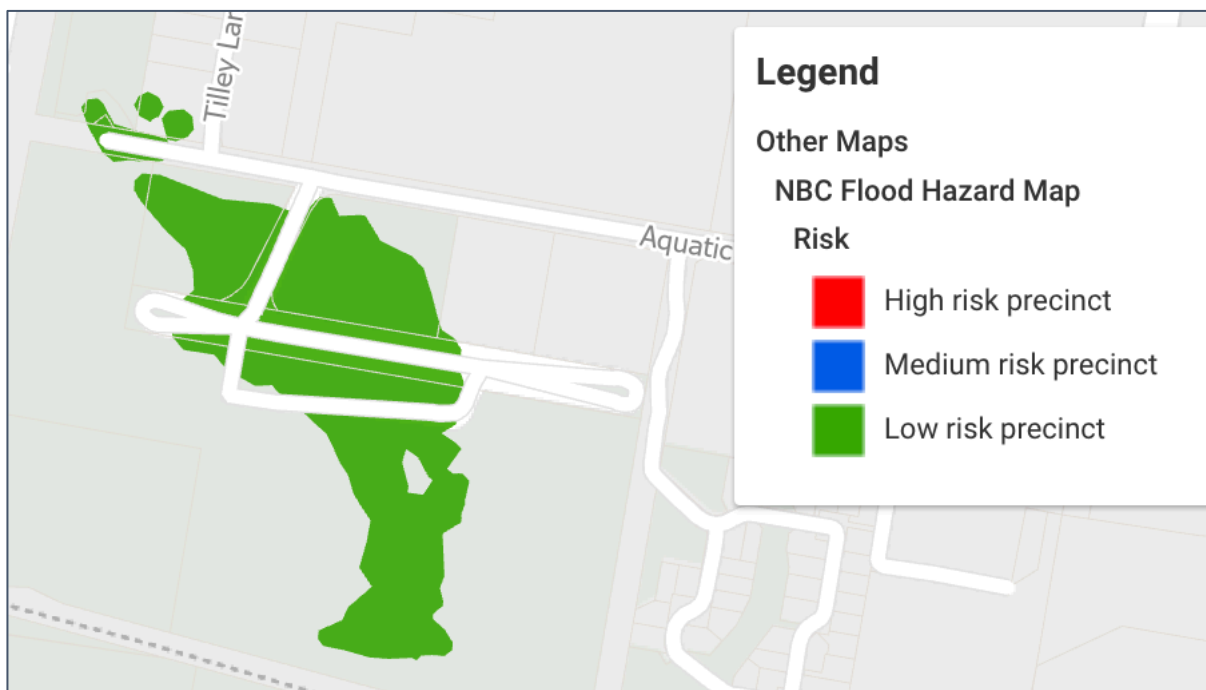


Figure 17 – Flood prone Land Map (Northern Beaches Mapping Portal)

4.4.4 Stormwater Management

The proposal is suitable on stormwater management grounds. The new works do not significantly increase the impervious surface of the site. Refer to the Stormwater Drainage Plan submitted with this Development Application.

4.4.5 Waste Management

Refer to the Waste Management Plan submitted with this Development Application for further information, including detail on the waste management associated with the demolition and construction stages of the proposal.

4.5 The Public Interest

The proposal is considered to be in the public interest as it produces nominal environmental, social and economic impacts. Furthermore, it improves the quality of the subject site without unreasonably impacting on the amenity of neighbouring properties.

The proposed development has been designed to relate to the size, shape and context of the site and has been designed in accordance with the desired future character for development in the area.

The proposal seeks to provide a batting cage development that makes efficient use of space on the site in a prime location that is in high demand for functional recreational facilities. In addition, the proposal has been designed to minimise as far as practical any adverse effects on existing and future neighbouring properties. The proposal is consistent with the applicable LEP and DCP provisions except where identified and justified in this Statement of Environmental Effects. Accordingly, the proposed development is considered to be in the public interest.

5.0 CONCLUSION

The Statement of Environmental Effects (SEE) has been prepared to consider the environmental, social and economic impacts of the batting cage replacement at Aquatic Drive, Frenchs Forest. The report has addressed the applicable policies and plans, and has provided an environmental assessment in accordance with Section 4.15 of the Environmental Planning and Assessment Act 1979.

The application proposes a permissible development within the subject site locality. The proposal incorporates appropriate design considerations to minimise any adverse impacts on the natural and built environment, and the amenity of the surrounding neighbourhood.

Given the benefits of the development and compliance with the relevant policies and plans, we conclude that the proposed development at Aquatic Drive, Frenchs Forest as described in this application is reasonable and supportable, and worthy of approval by Northern Beaches Council.